



**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**  
Jennifer Weyenberg, WCMC

**Date:**  
February 24, 2017

**Title:**  
Consent Agenda- Minutes from 01/31/17, Payment of Bills and Claims, Operator Licenses

**Issue:**  
n/a

**Background and Additional Information:**

\*Payment of Bills and Claims- The February settlement checks were issued this month resulting in a higher than usual amount.

\*The background checks on the bartender applications for Jennifer Heid, Ashley Rohrer, and Paul Le Clair came back clear. All have completed the required Responsible Serving class or currently hold a valid license and paid the required fees. Staff recommends approval. The background check for Tracy Miller has come back with some charges related to property damage, battery, and issuance of worthless checks. The charges are related to one event and are more than 10 years old. Staff recommends approval.

**Budget/Financial Impact:**  
None

**Recommended Action:**  
Staff recommends approval of all items on the consent agenda.

**Attachments:**

- Minutes from 01/31/17
- Payment of Bills and Claims Voucher with Workhorse reports
- Operator License applications

**VILLAGE OF HARRISON  
BOARD MEETING MINUTES  
01/31/2017**

A regular meeting of the Village of Harrison was called to order on Tuesday, January 31, 2017 at 7:00pm in the Harrison Municipal Building with President Jim Salm presiding. After the Pledge of Allegiance was recited, the Clerk called the roll.

Board present: President Jim Salm, Trustees Joe Sprangers, Buddy Lisowe, Kevin Hietpas, and Dave La Shay

Staff present: Planner Mark Mommaerts, Public Works Director Bob Kesler, Clerk Jennifer Weyenberg, Manager Travis Parish

Other present: Ryan Wilson, Accurate Appraisal

Correspondence or Communications from Board and Staff

Resident Meg Brew asked the board to consider placing dog waste receptacles on the Noe Road Trail.

Public Comments

Mike Gillis, N8675 Firelane 9: He asked the board to reconsider marking roads near the boat landing as ATV/UTV Routes.

Consent Agenda

- a) Minutes 12/20/16, 01/13/17
- b) Payment of Bills and Claims
- c) Use of DJ in Community Room on 07/29/17 [removed by Trustee La Shay]
- d) Operator License for Hunter Hartjes
- e) Certified Survey Maps
  - i. Donald Mielke, Mielke Rd
  - ii. Irvin Zahringer, N7247 Hwy 55
  - iii. Joseph Zahringer, N7332 Hwy 55
  - iv. David Weiland, Schmidt Rd
  - v. Richard Davis, W4115 Manitowoc Rd

Motion: Trustee La Shay and second by Trustee Sprangers to approve the consent agenda except for item c.

Discussion: None

Vote: Motion carried 5-0.

Items removed from Consent Agenda (if any)

Motion: Trustee La Shay and second by Trustee Hietpas to approve the request.

Discussion: The applicant indicated that alcohol would be served and the type of event is listed as a "Sweet 16" party. The board would like to see an officer from the Sheriff's Dept stop by during the party to ensure there is no underage drinking.

Vote: Motion to approve carried 5-0.

## Appointments

None

## Unfinished Business from Previous Meetings for Consideration or Action

### a) Ordinance V17-01 Amending the Traffic Code- Speed Limit on Stommel Rd

Motion: Trustee Lisowe and second by Trustee La Shay to approve Ord. V17-01 Amending the Traffic Code relating to the speed limit on Stommel Rd effective Feb. 6, 2017.

Discussion: The village board previously voted to lower the speed limit from 45 mph to 40 mph on the portion of Stommel from 114 to the Sherwood village limits. Trustee La Shay wanted it to be made clear that a traffic study was conducted and this was the recommendation.

Vote: Motion carried 5-0.

## New Business for Consideration or Action

### a) Kaukauna Youth Baseball Request for Fields

Motion: Trustee Lisowe and second by Trustee Hietpas recommending that staff bring back more information.

Discussion: The Kaukauna Baseball organization has asked if the village is willing to participate in the acquisition or construction of any portion of the new facility. Plans call for 4 ball fields, parking lot, concessions, and playground. Staff will review the village's financials and report back with some firm figures.

Vote: Motion to bring info back carried 5-0.

### b) Replace Furnace in Maintenance Garage

Motion: Trustee Sprangers and second by Trustee La Shay to purchase the Clean Burn Waste Oil Heater at \$12,100.

Discussion: Quotes were received for the Clean Burn and also a Reznor heater. The Clean Burn was \$810 less and required less maintenance.

Vote: Motion carried 5-0.

### c) Claim for Recovery of Unlawful Taxes- Mike and Tracey Driessen

Motion: Trustee Lisowe and second by Trustee La Shay to deny the claim.

Discussion: The Driessens believe the assessment should be lowered to 80% completion on January 1<sup>st</sup> rather than the full assessment they received. Accurate Appraisal does not believe a palpable error has occurred; they believe the house was effectively complete on the 1<sup>st</sup> of the year.

Vote: Motion to deny carried 5-0.

### d) Lake Park Sportzone Request to Expand Hours of Operation on Feb. 24, 2017

Motion: Trustee La Shay and second by Trustee Lisowe to approve extending the hours as requested with it noted that if concerts are to become regular in the future, the applicant must request a modification to their Conditional Use Permit so that sound/noise concerns can be addressed.

Discussion: Under the current conditional use permit, the Sportzone is limited to operating hours no later than 11:00pm on Friday nights. They are requesting to stay

open until midnight on 02/24/17 to have flexibility in case the concert runs late and allows them to clean up before a tournament early the next morning.

Vote: Motion carried 5-0.

e) Ordinance V17-02 Annexation of Territory

Motion: Trustee Lisowe and second by Trustee Hietpas to adopt Ord. V17-02.

Discussion: Several property owners have petitioned for unanimous direct annexation to the village. The petition is for approximately 45-acres near the intersection of County LP and Midway Rd. The DOA has the opinion that it is in the public interest.

Vote: Motion carried 5-0.

f) Approve Consultant for Park Design on Manitowoc Road

Motion: Trustee La Shay and second by Trustee Lisowe to approve Ayres Assoc. as the consultant for the park design.

Discussion: Staff recommended Ayres. The firms were ranked based on their presentation, process and methodologies, timeline, staff time required, and costs.

Vote: Motion carried 5-0.

g) Approve Amendments to Standard Specifications Manual

Motion: Trustee La Shay and second by Trustee Lisowe to postpone.

Discussion: Staff requested postponement because there is still information that the engineer is working on.

Vote: Motion carried 5-0.

Reports of Ad Hoc Committees and Departments

a) Calumet Co. Sheriff Department

b) Village Manager's Report- T. Parish reported that there are two finalists for the Fire Chief positions and interviews will be conducted this week.

No action taken.

Future Agenda Items

Requested by board or residents: ATV Route, Signage on Highways, Policy Guidelines for Bartender Applications

Closed Session

Motion: Trustee Lisowe and second by Trustee La Shay to meet in closed session pursuant to Wis. State Stats. §19.85 (1)(e) to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business whenever competitive or bargaining reasons require a closed session in regards to properties on Dogwood Lane and development agreement with Lake Park Sportzone. Also, pursuant to Wis. State Stats. §19.85 (1)(c ), the board will meet to consider employment, promotion, compensation, or performance evaluation data of an employee in regards to the Administrator's contract. Lastly, pursuant to Wis. State Stats. §19.85 (1)(g ), the board will confer with legal counsel about strategy regarding current or likely litigation in regards to an agreement with Waverly Sanitary District.

**Discussion: None**

**Vote: Roll Call vote carried with Sprangers, Lisowe, Salm, Hietpas, and La Shay voting "aye".**

**The board adjourned in closed session.**

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**Jennifer Weyenberg, Village Clerk**

**Dated January 31, 2017**

**Approved February 14, 2017**



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ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/01/2017

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
4850	2/01/2017	CALIFORNIA CONTRACTOR SUPPLIES INC BLACK AND GOLD DRILL BIT SET	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance BLACK AND GOLD DRILL BIT SET T50793	419.20
Total			419.20
4851	2/01/2017	Hydroclean Equipment, Inc NOZZLE	
100-09-53311-700-000		Hwy Dept - Equip Maintenance NOZZLE IN00011393	122.00
Total			122.00
4852	2/01/2017	KAATS WATER CONDITIONING INC. CHARGES THROUGH 01/24/17	
100-09-53311-400-000		Hwy Dept - Supplies CHARGES THROUGH 01/24/17	53.52
Total			53.52
4853	2/01/2017	LISOWE OIL 01/13/17	
100-09-53311-600-030		Hwy Dept - Fuel 01/13/17 19198	1,505.75
100-09-53311-600-030		Hwy Dept - Fuel 01/18/17 19223	1,286.92
Total			2,792.67
4854	2/01/2017	MONROE TRUCK EQUIPMENT, INC ALARM; LIGHTS	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance ALARM; LIGHTS 767784	245.48
Total			245.48
4855	2/01/2017	NOTT COMPANY FROM 01/13/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 01/13/17 2765102-00	57.34
Total			57.34
4856	2/01/2017	PRAXAIR DISTRIBUTION, INC from 01/14/17	

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/01/2017 From Account:  
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Check Nbr	Check Date	Payee	Amount
100-09-53311-700-000	2/01/2017	Hwy Dept - Equip Maintenance	106.77
	from 01/14/17	75787014	
		Total	106.77
4857	2/01/2017	SECURA INSURANCE COMPANIES ACCOUNT 7282623 (Harrison Athletic Ass.)	
100-00-51932-000-000	2/01/2017	Insurance - Property and Crime	2,101.00
		ACCOUNT 7282623 (Harrison Athletic Ass.)	
		Total	2,101.00
4858	2/01/2017	SUPERIOR CHEMICAL CORPORATION trapper grease solvent	
100-09-53311-400-000	2/01/2017	Hwy Dept - Supplies	308.13
		trapper grease solvent 148247	
		Total	308.13
4859	2/01/2017	TECC Security Systems, Inc. service on key card	
100-02-51400-400-006	2/01/2017	Gen. Admin - Service Contracts	47.95
		service on key card 41737	
		Total	47.95
4860	2/01/2017	THE ELITE GROUP 2016 apparel	
100-02-51400-400-000	2/01/2017	Gen. Admin - Supplies	794.84
		2016 apparel 268825	
		Total	794.84
4861	2/01/2017	THEDACARE AT WORK PHYSICAL DOT- WISNET	
100-09-53311-306-000	2/01/2017	Hwy Dept - CDL/Testing	66.00
		PHYSICAL DOT- WISNET 216776	
		Total	66.00
		Grand Total	7,114.90



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THE BUSINESS BANK-GENRL CHCKNG

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From Account:  
Thru Account:

	Amount
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Total Expenditure from Fund # 100 - GENERAL FUND	7,114.90
Total Expenditure from all Funds	7,114.90

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ACCT

Posting Date: 2/01/2017

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/01/2017

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		7,114.90
	Total Expenditure - Fund # 100	7,114.90	
	Total	7,114.90	7,114.90

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 1/31/2017 From Account:  
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
4849	1/31/2017	VILLAGE OF HARRISON TREASURER TAX ID 33394 STORMWATER CHARGES	
100-00-24053-000-000		Due to Garners Creek - Taxes TAX ID 33394 STORMWATER CHARGES	48.00
100-00-24053-000-000		Due to Garners Creek - Taxes TAX ID 33396 STORMWATER CHARGES	48.00
100-00-24010-000-000		Due to County - Tax Apprtnmnt TAX ID 40124 POWTS CHARGE ON HALL	15.00
100-00-41900-000-000		Other Taxes TAX ID 39144 DIOCESE PROPERTY	73.62
100-00-41900-000-000		Other Taxes TAX ID 43050 HOELZEL PROPERTY	23.00
100-00-41900-000-000		Other Taxes TAX ID 33524 MANITOWOC RD	31.85
100-00-41900-000-000		Other Taxes TAX ID 42480 COUNTY KK	1.77
		Total	241.24
		Grand Total	241.24

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Dated From: 1/31/2017

From Account:

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Thru Account:

Amount

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Total Expenditure from Fund # 100 - GENERAL FUND	241.24
Total Expenditure from all Funds	241.24

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Posting Date: 1/31/2017

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Dated From: 1/31/2017

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		241.24
	Total Expenditure - Fund # 100	241.24	
	Total	241.24	241.24

Bills Pd 1/28/17

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 1/28/2017

From Account:

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Thru Account:

Check Nbr	Check Date	Payee	Amount
4847	1/28/2017	MASS MUTUAL FIRE DEPT RETIREMENT	
100-06-52200-210-000		Fire Dept - Retirement FIRE DEPT RETIREMENT	15,829.06
100-08-52300-210-000		1st Responder - Retirement 1ST RESPONDER RETIREMENT	2,064.66
		Total	17,893.72
4848	1/28/2017	VFIS FIRE DEPT PENSIONS	
100-06-52200-210-000		Fire Dept - Retirement FIRE DEPT PENSIONS	1,190.00
		Total	1,190.00
		Grand Total	19,083.72

Refunds 1/27/17

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Dated From: 1/27/2017 From Account:  
Thru: 1/27/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
4815	1/27/2017	AMBER SCHROEDER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	12.31
		Total	12.31
4816	1/27/2017	BRENT SCHUETTPELZ OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	152.61
		Total	152.61
4817	1/27/2017	CANDI TESKE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.56
		Total	26.56
4818	1/27/2017	CHAD GIESEN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	216.40
		Total	216.40
4819	1/27/2017	CHAD MODER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	205.41
		Total	205.41
4820	1/27/2017	CHRISTOPHER RAHN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	24.99
		Total	24.99
4821	1/27/2017	DANIEL NATALI OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	62.05

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 1/27/2017 From Account:  
Thru: 1/27/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total 62.05
4822	1/27/2017	GEORGE SZAFRANSKI OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	104.71
			Total 104.71
4823	1/27/2017	JAY STEPHAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	3.00
			Total 3.00
4824	1/27/2017	JEFFREY DAVID URBAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	6.78
			Total 6.78
4825	1/27/2017	JERROD VANESS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	25.04
			Total 25.04
4826	1/27/2017	JILL BROCK OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	10.37
			Total 10.37
4827	1/27/2017	JOHN OEHLER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	35.64
			Total 35.64
4828	1/27/2017	KEVIN MEYERS OVERPAYMENT ON PROPRETY TAXES	



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Dated From: 1/27/2017 From Account:  
Thru: 1/27/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPRETY TAXES	9.69
		Total	9.69
4829	1/27/2017	MICHAEL ROTH OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	20.23
		Total	20.23
4830	1/27/2017	MICHELLE KOLASINSKI OVERPAYMENT ON PROPRETY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	839.04
		Total	839.04
4831	1/27/2017	NICOLE KLOTZ OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	29.13
		Total	29.13
4832	1/27/2017	PATRICK SCHIESSL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	140.89
		Total	140.89
4833	1/27/2017	PAUL & KARI COTTER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	192.12
		Total	192.12
4834	1/27/2017	PENNY MAC LOAN SERVICES REFUND ON PROPERTY TAX- N8616 WINDING TR	
100-00-21070-000-000		Overpayments Payable REFUND ON PROPERTY TAX- N8616 WINDING TR	7,576.09
		Total	7,576.09

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 1/27/2017 From Account:  
Thru: 1/27/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
4835	1/27/2017	RICHARD PAALMAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.32
		Total	27.32
4836	1/27/2017	SARA FAUST OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	194.20
		Total	194.20
4837	1/27/2017	SARA HAJOS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	9.64
		Total	9.64
4838	1/27/2017	SCOTT SCHWARZ OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	510.55
		Total	510.55
4839	1/27/2017	SCOTT WENDELS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	164.36
		Total	164.36
4840	1/27/2017	SHAWN & CHERYL ESSLINGER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.62
		Total	27.62
4841	1/27/2017	TIMOTHY SEABAUGH OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.99

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 1/27/2017

From Account:

Thru: 1/27/2017

Thru Account:

Check Nbr	Check Date	Payee	Amount	
			Total	26.99
4842	1/27/2017	TIMOTHY SELLE OVERPAYMENT ON PROPERTY TAXES		
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	41.07	
			Total	41.07
4843	1/27/2017	TODD HANK OVERPAYMENT ON PROPERTY TAXES		
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	25.50	
			Total	25.50
4844	1/27/2017	TRAVIS BARTLETT OVERPAYMENT ON PROPERTY TAXES		
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	4.56	
			Total	4.56
4845	1/27/2017	TROY CARLSON OVERPAYMENT ON PROPERTY TAXES		
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	32.64	
			Total	32.64
4846	1/27/2017	WENDY EISENMANN OVERPAYMENT ON PROPERTY TAXES		
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	218.43	
			Total	218.43
			Grand Total	10,975.94

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ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 1/27/2017 From Account:  
Thru: 1/27/2017 Thru Account:

	Amount
Total Expenditure from Fund # 100 - GENERAL FUND	10,975.94
Total Expenditure from all Funds	10,975.94

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Posting Date: 1/27/2017

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ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 1/27/2017  
Thru: 1/27/2017

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		10,975.94
	Total Expenditure - Fund # 100	10,975.94	
	Total	10,975.94	10,975.94

Bills  
Paid 02/02/17

2/08/2017 2:55 PM

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ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/02/2017 From Account:  
Thru: 2/02/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
4862	2/02/2017	ADVANCED DISPOSAL COMMERICAL TRASH DUMPSTER FOR JANUARY	
100-00-53620-000-000		Refuse and Garbage Collection COMMERICAL TRASH DUMPSTER FOR JANUARY	79.00
100-00-53635-000-000		Recycling Collection COMMERICAL RECYCLING DUMPSTER for JAN	54.00
100-00-53620-000-000		Refuse and Garbage Collection FUEL FEE	0.00
100-00-53620-000-000		Refuse and Garbage Collection RES TRASH 90 GALLON CARTS for JAN	28,472.40
100-00-53635-000-000		Recycling Collection LANDFILL TAX	0.00
100-00-53635-000-000		Recycling Collection RES RECYCLING SINGLE STREAM JAN	13,842.50
100-00-53620-000-000		Refuse and Garbage Collection REPLACEMENT CART(S)	0.00
100-00-53620-000-000		Refuse and Garbage Collection FALL PICK UP	0.00
100-00-53620-000-000		Refuse and Garbage Collection BULKY ITEM PICKUP	15.00
100-00-53620-000-000		Refuse and Garbage Collection RESID RECYCLE	0.00
		Total	42,462.90
4863	2/02/2017	AMERICAN OVERHEAD DOOR TRANSMITTER	
100-09-53311-505-000		Hwy Dept - Building Maint TRANSMITTER 128096	540.00
		Total	540.00
4864	2/02/2017	ANDERS AUTO PARTS, INC FILTERS ON 01/09/17	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FILTERS ON 01/09/17 001011845	98.80
		Total	98.80
4865	2/02/2017	BAY COMMUNICATIONS, INC SRVCE000000005949 01/21/17	

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ALL Checks

ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/02/2017 From Account:  
Thru: 2/02/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-06-52200-700-000		Fire Dept - Equip Maintenance	110.00
		SRVCE000000005949 01/21/17	
		Total	110.00
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4866	2/02/2017	CALUMET COUNTY TREASURER-HIGHWAY DEPARTMENT	
		PERMIT APPLICATION FOR COUNTY N/ HOELZEL	
100-00-44325-000-000		Zoning Permit Fee	750.00
		PERMIT APPLICATION FOR COUNTY N/ HOELZEL	
		Total	750.00
<hr/>			
4867	2/02/2017	CARDMEMBER SERVICE	
		ACCT 4798 5100 5742 3846	
100-09-53311-400-000		Hwy Dept - Supplies	1,766.25
		ACCT 4798 5100 5742 3846	
		Total	1,766.25
<hr/>			
4868	2/02/2017	Chad Boesch	
		Steel Toe Boot Reimbursement	
100-09-53311-400-000		Hwy Dept - Supplies	176.00
		Steel Toe Boot Reimbursement	
		Total	176.00
<hr/>			
4869	2/02/2017	EDGARTON, ST.PETER, PETAK & ROSENFELDT	
		ACCOUNT 20441-300T	
100-00-51300-000-000		Legal	320.55
		ACCOUNT 20441-300T	
		Total	320.55
<hr/>			
4870	2/02/2017	J & E CONSTRUCTION	
		01/12/17 MIXED IN WITH SALT	
100-09-53311-903-000		Hwy Dept - Salt & Sand	181.66
		01/12/17 MIXED IN WITH SALT	
		2017-819	
		Total	181.66
<hr/>			
4871	2/02/2017	LANGE ENTERPRISES, INC	
		NO OUTLET; SPEED LIMIT 35	
100-09-53315-902-000		Hwy Dept - Signs	732.24
		NO OUTLET; SPEED LIMIT 35	
		60681	
		Total	732.24

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Check Nbr	Check Date	Payee	Amount
4872	2/02/2017	LISOWE OIL	
	01/09/17		
100-09-53311-600-030		Hwy Dept - Fuel	1,418.82
	01/09/17		19171
		Total	1,418.82
4873	2/02/2017	MCMAHON	
	01/11/17	MENASHA DETACHMENTS	
100-09-53311-000-000		Hwy Dept - Engineer/Consultant	585.50
	01/11/17	MENASHA DETACHMENTS	0904914
		Total	585.50
4874	2/02/2017	MONROE TRUCK EQUIPMENT, INC	
		MOTOR, PULSE SENSOR 01/05/17	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	974.80
		MOTOR, PULSE SENSOR 01/05/17	767002
		Total	974.80
4875	2/02/2017	OFFICE DEPOT CREDIT PLAN	
		Balance through 01/18	
100-02-51400-400-000		Gen. Admin - Supplies	184.22
		Balance through 01/18	
		Total	184.22
4876	2/02/2017	SCHAEFFERS MFG CO	
	01/10/17		
100-09-53311-700-000		Hwy Dept - Equip Maintenance	192.00
	01/10/17		701370-INV1
		Total	192.00
4877	2/02/2017	STUMPF EXCAVATING & TRUCKING	
		PUMP HOLDING TANK 02/01/17	
100-09-53311-505-000		Hwy Dept - Building Maint	240.00
		PUMP HOLDING TANK 02/01/17	6869
		Total	240.00
4878	2/02/2017	THEDACARE AT WORK	
		DOT ANNUAL POOL MEMBERSHIP	
100-09-53311-306-000		Hwy Dept - CDL/Testing	132.00
		DOT ANNUAL POOL MEMBERSHIP	216889



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100-02-51400-400-006		Gen. Admin - Service Contracts	1,950.00
		EAP CONTRACT 216899	
100-09-53311-306-000		Hwy Dept - CDL/Testing	96.00
		WISNET 09/22/16 210350	
		Total	2,178.00
<hr/>			
4879	2/02/2017	VIERBICHER ASSOCIATES, INC.	
		PROJECT 150343 HARRISON COMP PLAN INV 9	
100-01-51101-304-000		Planning - Consultants	12,460.00
		PROJECT 150343 HARRISON COMP PLAN INV 9	
		Total	12,460.00
<hr/>			
4880	2/02/2017	VILLAGE OF KIMBERLY	
		TYPE E NOTICE; SPRING PRIMARY	
100-00-51440-600-000		Elections - Publications	19.74
		TYPE E NOTICE; SPRING PRIMARY	
		Total	19.74
<hr/>			
4881	2/02/2017	WAVERLY SANITARY DISTRICT	
		Account 000-2781-00	
100-07-52200-500-023		Fire Station 70 - Water/Sewer	27.74
		Account 000-2781-00	
		Total	27.74
<hr/>			
4882	2/02/2017	WIL-KIL PEST CONTROL	
		Fire Station 70	
100-02-51400-400-006		Gen. Admin - Service Contracts	40.00
		Fire Station 70 3061909	
100-02-51400-400-006		Gen. Admin - Service Contracts	77.75
		Village Hall 3061504	
100-02-51400-400-006		Gen. Admin - Service Contracts	40.00
		Fire Station 60 3061908	
		Total	157.75
<hr/>			
4883	2/02/2017	WINTER EQUIPMENT COMPANY INC	
		SYS-BB10WC	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	8,190.00
		SYS-BB10WC IV32104	
		Total	8,190.00

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Check Nbr	Check Date	Payee	Amount
			Grand Total
			73,766.97

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Dated From: 2/02/2017 From Account:  
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Total Expenditure from Fund # 100 - GENERAL FUND 73,766.97

Total Expenditure from all Funds 73,766.97

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Posting Date: 2/02/2017

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Dated From: 2/02/2017

Thru: 2/02/2017

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		73,766.97
	Total Expenditure - Fund # 100	73,766.97	
	Total	73,766.97	73,766.97

Refunds Paid 02/08

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Dated From: 2/08/2017 From Account:  
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Check Nbr	Check Date	Payee	Amount
4884	2/08/2017	AARON FREUND OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.10
		Total	27.10
4885	2/08/2017	AARON VANDERVELDEN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.69
		Total	26.69
4886	2/08/2017	ADAM MARIN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.95
		Total	26.95
4887	2/08/2017	ADAM NAGEL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.42
		Total	26.42
4888	2/08/2017	ADAM WEGE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	9.02
		Total	9.02
4889	2/08/2017	ALAN FREDERICKSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	159.28
		Total	159.28
4890	2/08/2017	ALLAN GARDEBRECHT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	25.55

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Dated From: 2/08/2017 From Account:  
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Check Nbr	Check Date	Payee	Amount
			Total 25.55
4891	2/08/2017	AMANDA EMMENEGGER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	164.37
			Total 164.37
4892	2/08/2017	AMBER AERTS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	28.79
			Total 28.79
4893	2/08/2017	ANDREW LAKE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	252.76
			Total 252.76
4894	2/08/2017	ANITA TITTEL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	41.01
			Total 41.01
4895	2/08/2017	ANTHONY JORDAN OVERPAYMENT ON TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON TAXES	86.04
			Total 86.04
4896	2/08/2017	BARBARA FORSTNER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	206.34
			Total 206.34
4897	2/08/2017	BRADLY RETZLAFF OVERPAYMENT ON PROPERTY TAXES	

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Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	165.74
		Total	165.74
4898	2/08/2017	BRANDON RADDANT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	29.04
		Total	29.04
4899	2/08/2017	BRENT MILLER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	29.96
		Total	29.96
4900	2/08/2017	BRETT BIRNSCHEIN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	23.52
		Total	23.52
4901	2/08/2017	BRIAN KOHLMANN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	170.89
		Total	170.89
4902	2/08/2017	Brian Martin OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	39.72
		Total	39.72
4903	2/08/2017	BRIAN RAMMER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	188.35
		Total	188.35

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4904	2/08/2017	BRIAN WARNER CONSTRUCTION OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	279.21
		Total	279.21
4905	2/08/2017	BRUCE LAWLESS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	226.82
		Total	226.82
4906	2/08/2017	CHAD DORTON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	17.34
		Total	17.34
4907	2/08/2017	CHAD GIACKINO OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	57.40
		Total	57.40
4908	2/08/2017	CHRIS OTT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.32
		Total	26.32
4909	2/08/2017	CHRISTINE CHAPMAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	77.93
		Total	77.93
4910	2/08/2017	CHRISTOPHER GIERKE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	126.25



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			Total 126.25
4911	2/08/2017	CHRISTOPHER HANSEN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.18
			Total 27.18
4912	2/08/2017	CHRISTOPHER ROTTIER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	5,445.79
			Total 5,445.79
4913	2/08/2017	CHRISTOPHER ZIMMERMAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	338.61
			Total 338.61
4914	2/08/2017	COREY OLSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	205.92
			Total 205.92
4915	2/08/2017	CRAIG & AMY SURPRISE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	193.60
			Total 193.60
4916	2/08/2017	CRAIG & APRIL SCHMIDT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	261.77
			Total 261.77
4917	2/08/2017	DALE HERNKE OVERPAYMENT ON PROPERTY TAXES	

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Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	20.00
		Total	20.00
4918	2/08/2017	DANIEL & MARUBY RADKE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	19.53
		Total	19.53
4919	2/08/2017	DANIEL ARMSTRONG OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	213.46
		Total	213.46
4920	2/08/2017	DANIEL BIRLING OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	12.44
		Total	12.44
4921	2/08/2017	DANIEL DICKMAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	10.33
		Total	10.33
4922	2/08/2017	DANIEL JOOSTEN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	776.16
		Total	776.16
4923	2/08/2017	DAVID KIM OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	9.40
		Total	9.40

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4924	2/08/2017	DENNIS MERRYFIELD OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	9.83
		Total	9.83
4925	2/08/2017	DEREK KUMROW OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	91.43
		Total	91.43
4926	2/08/2017	DEREK RAYFORD OVERPAYMENT ON PROPRETY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPRETY TAXES	17.87
		Total	17.87
4927	2/08/2017	DON LARSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	3,492.13
		Total	3,492.13
4928	2/08/2017	DUSTIN DUNAWAY OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	28.24
		Total	28.24
4929	2/08/2017	DUSTIN LEDER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	331.37
		Total	331.37
4930	2/08/2017	ERIC DEERING OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	14.80

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			Total 14.80
4931	2/08/2017	ERIC OLSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	197.22
			Total 197.22
4932	2/08/2017	ERIC RIESE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	3,173.13
			Total 3,173.13
4933	2/08/2017	ERIC SCHMALL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	10.13
			Total 10.13
4934	2/08/2017	GARY FISCHER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	153.49
			Total 153.49
4935	2/08/2017	GRANT ENGEBOS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	50.00
			Total 50.00
4936	2/08/2017	GREG MAYER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	172.42
			Total 172.42
4937	2/08/2017	GREG TESCH OVERPAYMENT ON PROPERTY TAXES	

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Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	4.64
		Total	4.64
4938	2/08/2017	GREGORY HINDS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	32.29
		Total	32.29
4939	2/08/2017	GREGORY KRAUSE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	186.17
		Total	186.17
4940	2/08/2017	GREGORY LUENEBURG OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	241.51
		Total	241.51
4941	2/08/2017	GREGORY ROSEN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	134.45
		Total	134.45
4942	2/08/2017	JAMES FEAVEL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	119.59
		Total	119.59
4943	2/08/2017	JAMIE KNUDSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	34.10
		Total	34.10

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4944	2/08/2017	JARED P VANHANDEL	
		OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable	119.59
		OVERPAYMENT ON PROPERTY TAXES	
		Total	119.59
4945	2/08/2017	JASON BOLZ	
		OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable	202.51
		OVERPAYMENT ON PROPERTY TAXES	
		Total	202.51
4946	2/08/2017	JASON VANHANDEL	
		OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable	10.01
		OVERPAYMENT ON PROPERTY TAXES	
		Total	10.01
4947	2/08/2017	JAY HEINZ	
		OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable	27.53
		OVERPAYMENT ON PROPERTY TAXES	
		Total	27.53
4948	2/08/2017	JEFFERY CHRISTENSEN	
		OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable	4.41
		OVERPAYMENT ON PROPERTY TAXES	
		Total	4.41
4949	2/08/2017	JEFFREY OWENS	
		OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable	170.58
		OVERPAYMENT ON PROPERTY TAXES	
		Total	170.58
4950	2/08/2017	JEFFREY PAFFENROTH	
		OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable	270.72
		OVERPAYMENT ON PROPERTY TAXES	

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Check Nbr	Check Date	Payee	Amount
			Total 270.72
4951	2/08/2017	JEFFREY YOUNG OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	28.09
			Total 28.09
4952	2/08/2017	JEFREE JAROLIMEK OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	29.05
			Total 29.05
4953	2/08/2017	JENNIFER FARRELL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	81.07
			Total 81.07
4954	2/08/2017	JEREMY LISOWE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	29.27
			Total 29.27
4955	2/08/2017	JEREMY MISCHKA OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	39.80
			Total 39.80
4956	2/08/2017	JERROD VANESS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	2,826.43
			Total 2,826.43
4957	2/08/2017	JOHN BISHOP OVERPAYMENT ON PROPERTY TAXES	

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Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	31.57
		Total	31.57
4958	2/08/2017	JOHN LAPLANT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	6.40
		Total	6.40
4959	2/08/2017	JORDAN & CHELSEA DAUN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	179.38
		Total	179.38
4960	2/08/2017	JOSEPH ANDERSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	29.52
		Total	29.52
4961	2/08/2017	Joseph Grishaber Jr OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	10.96
		Total	10.96
4962	2/08/2017	JULIE HENDRICKS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	84.37
		Total	84.37
4963	2/08/2017	JULIE KOEHLER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	64.50
		Total	64.50



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Dated From: 2/08/2017 From Account:

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Check Nbr	Check Date	Payee	Amount
4964	2/08/2017	KAREN SEVERING OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	194.99
		Total	194.99
4965	2/08/2017	KENNETH BEHRENT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	8.68
		Total	8.68
4966	2/08/2017	KEVIN DECKER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	5.31
		Total	5.31
4967	2/08/2017	KEVIN GRAFF OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.57
		Total	26.57
4968	2/08/2017	KEVIN KWASNY OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	89.83
		Total	89.83
4969	2/08/2017	KRENKE REV TRST OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	166.36
		Total	166.36
4970	2/08/2017	KYLE LARSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	222.28

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Dated From: 2/08/2017 From Account:  
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Check Nbr	Check Date	Payee	Amount
			Total 222.28
4971	2/08/2017	LARRY & SUSAN BRISKI OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.89
			Total 26.89
4972	2/08/2017	LAWRENCE MCARTHUR OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.21
			Total 27.21
4973	2/08/2017	LIRA MARTINEZ OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	25.49
			Total 25.49
4974	2/08/2017	LORI DESORCY OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.12
			Total 27.12
4975	2/08/2017	LUKAS HUBERS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	289.18
			Total 289.18
4976	2/08/2017	MARCO GONZALEZ JR OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	25.65
			Total 25.65
4977	2/08/2017	MATTHEW DILLENBURG OVERPAYMENT ON PROPERTY TAXES	

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Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	119.59
		Total	119.59
4978	2/08/2017	MEGAN BROWN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	64.42
		Total	64.42
4979	2/08/2017	MELISSA KETTER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.87
		Total	26.87
4980	2/08/2017	MICHAEL BEVERLIN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	55.20
		Total	55.20
4981	2/08/2017	MICHAEL BULTMAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	228.39
		Total	228.39
4982	2/08/2017	MICHAEL BUTT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	9.96
		Total	9.96
4983	2/08/2017	MICHAEL HOLZ OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	162.98
		Total	162.98

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4984	2/08/2017	MICHAEL ROSNER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	239.82
		Total	239.82
4985	2/08/2017	Michael Sandry OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	149.18
		Total	149.18
4986	2/08/2017	MICHAEL VEDDER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.26
		Total	27.26
4987	2/08/2017	MIKE JURGENSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	33.68
		Total	33.68
4988	2/08/2017	NENG THAO OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	120.28
		Total	120.28
4989	2/08/2017	NICHOLAS HESS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	25.97
		Total	25.97
4990	2/08/2017	NICOLAS KEHOE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	63.59

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Dated From: 2/08/2017 From Account:  
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Check Nbr	Check Date	Payee	Amount
			Total 63.59
4991	2/08/2017	PATRICK HARRINGTON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	25.56
			Total 25.56
4992	2/08/2017	PATRICK WELLER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	205.79
			Total 205.79
4993	2/08/2017	PAUL OBRIEN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	215.23
			Total 215.23
4994	2/08/2017	PHILLIP PASTORELLI OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	29.59
			Total 29.59
4995	2/08/2017	RACHEL GARTMAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	2,877.80
			Total 2,877.80
4996	2/08/2017	RANDY DECOSTER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	179.22
			Total 179.22
4997	2/08/2017	RICHARD GOODWIN OVERPAYMENT ON PROPERTY TAXES	

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Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	9.39
		Total	9.39
4998	2/08/2017	ROBB ALLARD OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	10.26
		Total	10.26
4999	2/08/2017	ROBBY NEVEU OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	158.71
		Total	158.71
5000	2/08/2017	ROBERT BROCKER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	7.31
		Total	7.31
5001	2/08/2017	ROBERT ELLIOTT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	32.95
		Total	32.95
5002	2/08/2017	ROBERT HERR OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	105.13
		Total	105.13
5003	2/08/2017	ROBERT ROWE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.02
		Total	26.02

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Dated From: 2/08/2017 From Account:  
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Check Nbr	Check Date	Payee	Amount
5004	2/08/2017	RONALD & ARLENE SCHULZE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	68.50
		Total	68.50
5005	2/08/2017	RONALD WRIGHT OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	319.16
		Total	319.16
5006	2/08/2017	ROY VERSTEGEN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	183.65
		Total	183.65
5007	2/08/2017	RYAN CLEETON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	75.87
		Total	75.87
5008	2/08/2017	SCOTT DECLARK OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	26.49
		Total	26.49
5009	2/08/2017	SCOTT HIETPAS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	335.03
		Total	335.03
5010	2/08/2017	SCOTT MUSICH OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	201.43

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			Total 201.43
5011	2/08/2017	SCOTT PETERMAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.55
			Total 27.55
5012	2/08/2017	SCOTT SASS OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	56.11
			Total 56.11
5013	2/08/2017	SEAN PRUST OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	11.29
			Total 11.29
5014	2/08/2017	STACEY GUTMAN OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	8.60
			Total 8.60
5015	2/08/2017	STEVEN HAAG OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	25.48
			Total 25.48
5016	2/08/2017	TERRY MITCHELL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	305.59
			Total 305.59
5017	2/08/2017	THOMAS & LORI GRUETT OVERPAYMENT ON PROPERTY TAXES	



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Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	448.44
		Total	448.44
5018	2/08/2017	THOMAS ZHRINGER OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	13.51
		Total	13.51
5019	2/08/2017	TIMOTHY CAMPBELL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	36.63
		Total	36.63
5020	2/08/2017	TIMOTHY DAMROW OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	4.69
		Total	4.69
5021	2/08/2017	TREVOR GELHAAR OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	187.92
		Total	187.92
5022	2/08/2017	ULRICH WELP OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	2.88
		Total	2.88
5023	2/08/2017	WARREN PEPERAK OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	27.24
		Total	27.24

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5024	2/08/2017	WESLEY BEHLING OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	171.62
		Total	171.62
5025	2/08/2017	WILLIAM & JESSICA SCHAFF OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	3,524.10
		Total	3,524.10
5026	2/08/2017	WILLIAM BOLL OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	961.98
		Total	961.98
5027	2/08/2017	WILLIAM JATCZAK OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	229.21
		Total	229.21
5028	2/08/2017	ZACHARY THOMPSON OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	70.00
		Total	70.00
5029	2/08/2017	ZACKERY & AMY ROWE OVERPAYMENT ON PROPERTY TAXES	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT ON PROPERTY TAXES	9.75
		Total	9.75
		Grand Total	36,492.00

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	Amount
Total Expenditure from Fund # 100 - GENERAL FUND	36,492.00
Total Expenditure from all Funds	36,492.00

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Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		36,492.00
	Total Expenditure - Fund # 100	36,492.00	
	Total	36,492.00	36,492.00

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Check Nbr	Check Date	Payee	Amount
5030	2/17/2017	APPLETON SCHOOL DISTRICT FEB 20, 2017 SETTLEMENT	
100-00-24045-000-000		Due to Appleton School - Taxes FEB 20, 2017 SETTLEMENT	97,722.54
			Total 97,722.54
5031	2/17/2017	CALUMET COUNTY TREASURER FEB 20, 2017 SETTLEMENTS	
100-00-24010-000-000		Due to County - Tax Apprtnmnt FEB 20, 2017 SETTLEMENTS	995,796.09
			Total 995,796.09
5032	2/17/2017	DARBOY SANITARY DISTRICT FEB 20, 2017 SETTLEMENT- FIRE DISTRICT	
100-00-24060-000-000		Due to Darboy Sanitary - Taxes FEB 20, 2017 SETTLEMENT- FIRE DISTRICT	126,291.90
			Total 126,291.90
5033	2/17/2017	FOX VALLEY TECHNICAL COLLEGE FEB 20, 2017 SETTLEMENT	
100-00-24050-000-000		Due to Fox Valley Tech - Taxes FEB 20, 2017 SETTLEMENT	208,091.30
			Total 208,091.30
5034	2/17/2017	GARNERS CREEK UTILITY FEB 20, 2017 SETTLEMENT	
100-00-24053-000-000		Due to Garners Creek - Taxes FEB 20, 2017 SETTLEMENT	228,883.20
			Total 228,883.20
5035	2/17/2017	HILBERT SCHOOL DISTRICT FEB 20, 2017 SETTLEMENT	
100-00-24043-000-000		Due to Hilbert School - Taxes FEB 20, 2017 SETTLEMENT	130,914.17
			Total 130,914.17
5036	2/17/2017	KAUKAUNA SCHOOL DISTRICT FEB 20, 2017 SETTLEMENT	
100-00-24042-000-000		Due to Kaukauna School - Taxes FEB 20, 2017 SETTLEMENT	309,049.68

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Check Nbr	Check Date	Payee	Amount
			Total 309,049.68
5037	2/17/2017	KIMBERLY SCHOOL DISTRICT FEBRUARY 20, 2017 SETTLEMENT	
100-00-24041-000-000		Due to Kimberly School - Taxes FEBRUARY 20, 2017 SETTLEMENT	1,234,660.66
			Total 1,234,660.66
5038	2/17/2017	STOCKBRIDGE SCHOOL DISTRICT FEB 20, 2017 SETTLEMENT	
100-00-24044-000-000		Due to Stockbrdge Schl - Taxes FEB 20, 2017 SETTLEMENT	2,784.44
			Total 2,784.44
5039	2/17/2017	WAVERLY SANITARY DISTRICT FEB 20, 2017 DELINQUENT WATER	
100-00-24055-000-000		Due to Waverly Sanitary - Tax FEB 20, 2017 DELINQUENT WATER	994.30
100-00-24055-000-000		Due to Waverly Sanitary - Tax FEB 20, 2017 DELINQUENT SEWER	847.04
100-00-24055-000-000		Due to Waverly Sanitary - Tax FEB 20, 2017 WATER MAIN ASSESSMENT	788.21
100-00-24055-000-000		Due to Waverly Sanitary - Tax FEB 20, 2017 SEWER MAIN ASSESSMENT	1,416.90
			Total 4,046.45
			Grand Total 3,338,240.43

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	Amount
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Total Expenditure from Fund # 100 - GENERAL FUND	3,338,240.43
Total Expenditure from all Funds	3,338,240.43

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Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		3,338,240.43
	Total Expenditure - Fund # 100	3,338,240.43	
	Total	3,338,240.43	3,338,240.43



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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/20/2017

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
5040	2/20/2017	5 ALARM REPAIR BURST DISC ON 2216	
100-06-52200-700-000		Fire Dept - Equip Maintenance REPAIR BURST DISC ON 2216 164176-1	91.22
100-06-57220-000-000		Fire Dept - Capital Outlay CYLINDER 163943-1	5,951.64
		Total	6,042.86
5041	2/20/2017	AMERICAN MESSAGING INV u1-860083 FROM 02/01/17	
100-09-53311-900-000		Hwy Dept - Road Maintenance INV u1-860083 FROM 02/01/17	216.83
		Total	216.83
5042	2/20/2017	AUTOMOTIVE SUPPLY CO FROM 02/03/17	
100-09-53311-400-000		Hwy Dept - Supplies FROM 02/03/17 060756818	10.95
		Total	10.95
5043	2/20/2017	BARB MILLER NON DIRECT DEPOSIT FROM NOVEMBER 2016	
100-00-51440-000-000		Elections - Wages NON DIRECT DEPOSIT FROM NOVEMBER 2016	220.00
		Total	220.00
5044	2/20/2017	BIRSCHBACH INSPECTION SERVICE, LLC Building Inspections JANUARY 2017	
100-00-52400-000-000		Building Inspector - Contract Building Inspections JANUARY 2017	6,202.40
		Total	6,202.40
5045	2/20/2017	DAVID LINDENSTRUTH MAILBOX REIMBURSEMENT	
100-09-53311-900-000		Hwy Dept - Road Maintenance MAILBOX REIMBURSEMENT	55.10
		Total	55.10
5046	2/20/2017	EVENSON CONSTRUCTION CO. INC. MIX WITH SALT	

2/17/2017 4:42 PM

Check Register - Full Report - ALL  
ALL Checks

Page: 2  
ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/20/2017 From Account:  
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
100-09-53311-903-000		Hwy Dept - Salt & Sand	787.32
		MIX WITH SALT	
		25970	
		Total	787.32
<hr/>			
	5047 2/20/2017	FEMAL'S TOWING, INC.	
		TRUCK 17	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	315.00
		TRUCK 17	
		63461	
		Total	315.00
<hr/>			
	5048 2/20/2017	First American Title	
		LIFT STATION #6 LAND DEDICATION	
100-00-57190-000-000		Capital Outlay - General Gvmnt	1,433.00
		LIFT STATION #6 LAND DEDICATION	
		925-650225466	
		Total	1,433.00
<hr/>			
	5049 2/20/2017	GAT SUPPLY, INC	
		SAFETY GLASSES	
100-09-53311-400-000		Hwy Dept - Supplies	17.10
		SAFETY GLASSES	
		310535-2	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	198.00
		CHAIN W/ GRAB	
		310535-1	
		Total	215.10
<hr/>			
	5050 2/20/2017	GENE FREDERICKSON TRUCKING & EXC., INC.	
		SALT	
100-09-53311-903-000		Hwy Dept - Salt & Sand	7,603.20
		SALT	
		22728	
		Total	7,603.20
<hr/>			
	5051 2/20/2017	INTERSTATE BATTERY OF GREEN BAY	
		FROM 02/02/2017	
100-06-52200-700-000		Fire Dept - Equip Maintenance	253.85
		FROM 02/02/2017	
		90114761	
		Total	253.85
<hr/>			
	5052 2/20/2017	KRIS WEBORG	
		SCUBAPRO AIR REIMBURSEMENT	
100-06-52200-700-000		Fire Dept - Equip Maintenance	252.00
		SCUBAPRO AIR REIMBURSEMENT	

2/17/2017 4:42 PM

Check Register - Full Report - ALL  
ALL Checks

Page: 3  
ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/20/2017 From Account:  
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total 252.00
5053	2/20/2017	L & S TRUCK CENTER TRUCK 14 CONTROL UNIT	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance TRUCK 14 CONTROL UNIT 243624	64.98
			Total 64.98
5054	2/20/2017	LISOWE OIL FROM 01/26/17	
100-09-53311-600-030		Hwy Dept - Fuel FROM 01/26/17 19274	553.55
100-09-53311-600-030		Hwy Dept - Fuel FROM 19273 19273	1,466.09
			Total 2,019.64
5055	2/20/2017	MGD INDUSTRIAL CORPORATION SCREWS BOLTS	
100-09-53311-400-000		Hwy Dept - Supplies SCREWS BOLTS 151781	53.15
			Total 53.15
5056	2/20/2017	MONROE TRUCK EQUIPMENT, INC TRUCK 10	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance TRUCK 10 469092	176.49
			Total 176.49
5057	2/20/2017	PACKER CITY INTERNATIONAL TRUCKS TRUCK 17	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance TRUCK 17 R103009866:02	807.54
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance TRUCK 20 X103039677:01	240.30
			Total 1,047.84
5058	2/20/2017	PETTY CASH-FIRE DEPARTMENT 2017 PETTY CASH	
100-06-52200-301-000		Fire Dept - Petty Cash 2017 PETTY CASH	3,000.00

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Check Register - Full Report - ALL  
ALL Checks

Page: 4  
ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/20/2017 From Account:  
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total 3,000.00
5059	2/20/2017	PRAXAIR DISTRIBUTION, INC FROM 01/23/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 01/23/17	28.77
			Total 28.77
5060	2/20/2017	SI METALS AND SUPPLY DATED 02/02/2017	
100-09-53311-700-000		Hwy Dept - Equip Maintenance DATED 02/02/2017	234.00
			Total 234.00
5061	2/20/2017	TIMES-VILLAGER RENEWAL FOR TOWN/VILLAGE OF HARRISON	
100-02-51400-400-000		Gen. Admin - Supplies RENEWAL FOR TOWN/VILLAGE OF HARRISON	49.00
			Total 49.00
5062	2/20/2017	WASTE OIL DOCTOR, LLC NEW OIL BURNER	
100-09-53311-505-000		Hwy Dept - Building Maint NEW OIL BURNER	12,100.00
			Total 12,100.00
			Grand Total 42,381.48

2/17/2017 4:42 PM

Check Register - Full Report - ALL  
ALL Checks

Page: 5  
ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/20/2017  
Thru:

From Account:  
Thru Account:

	Amount
Total Expenditure from Fund # 100 - GENERAL FUND	42,381.48
Total Expenditure from all Funds	42,381.48

2/17/2017 4:43 PM

Check Posting Control Report

Page: 1

ALL Checks

ACCT

Posting Date: 2/20/2017

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 2/20/2017

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		42,381.48
	Total Expenditure - Fund # 100	42,381.48	
	Total	42,381.48	42,381.48



**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Date:**

February 28, 2017

**Title:**

Amendment to Standard Specification Manual

**Issue:**

Should the Village amend the Standard Specifications Manual to include provisions and typical cross-sections for concrete streets?

**Background and Additional Information:**

Last year the Village Board approved a policy that new subdivisions will be developed with concrete streets. The current Standard Specifications Manual does not include typical cross-sections or special provisions for concrete streets. The Village Engineer has developed a set of amendments to add to the Standard Specification Manual for concrete streets.

**Budget/Financial Impact:**

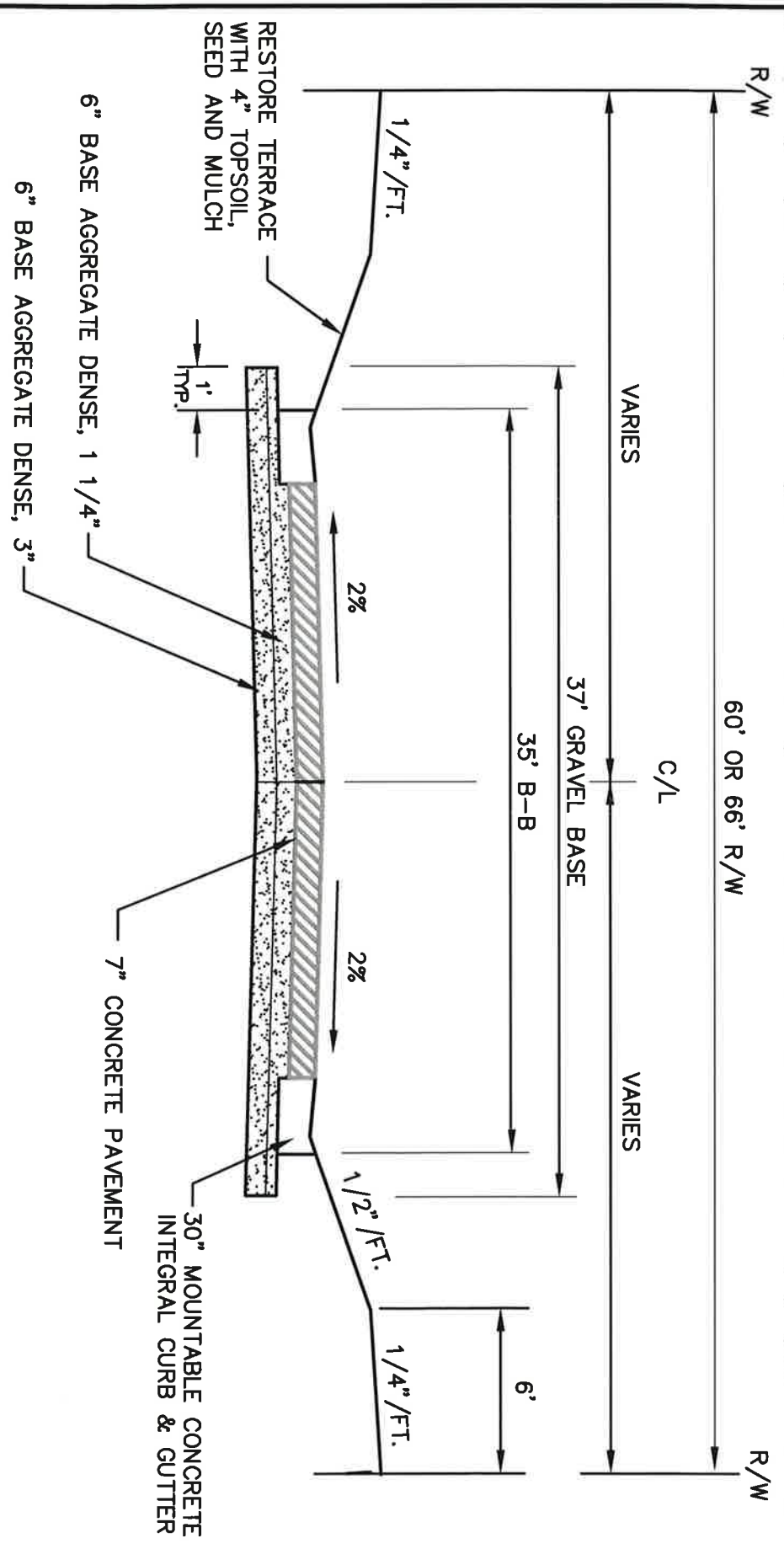
None.

**Recommended Action:**

Staff recommends the Standard Specifications Manual be amended to include provisions and typical cross-sections for concrete streets.

**Attachments:**

- Typical Cross-Sections

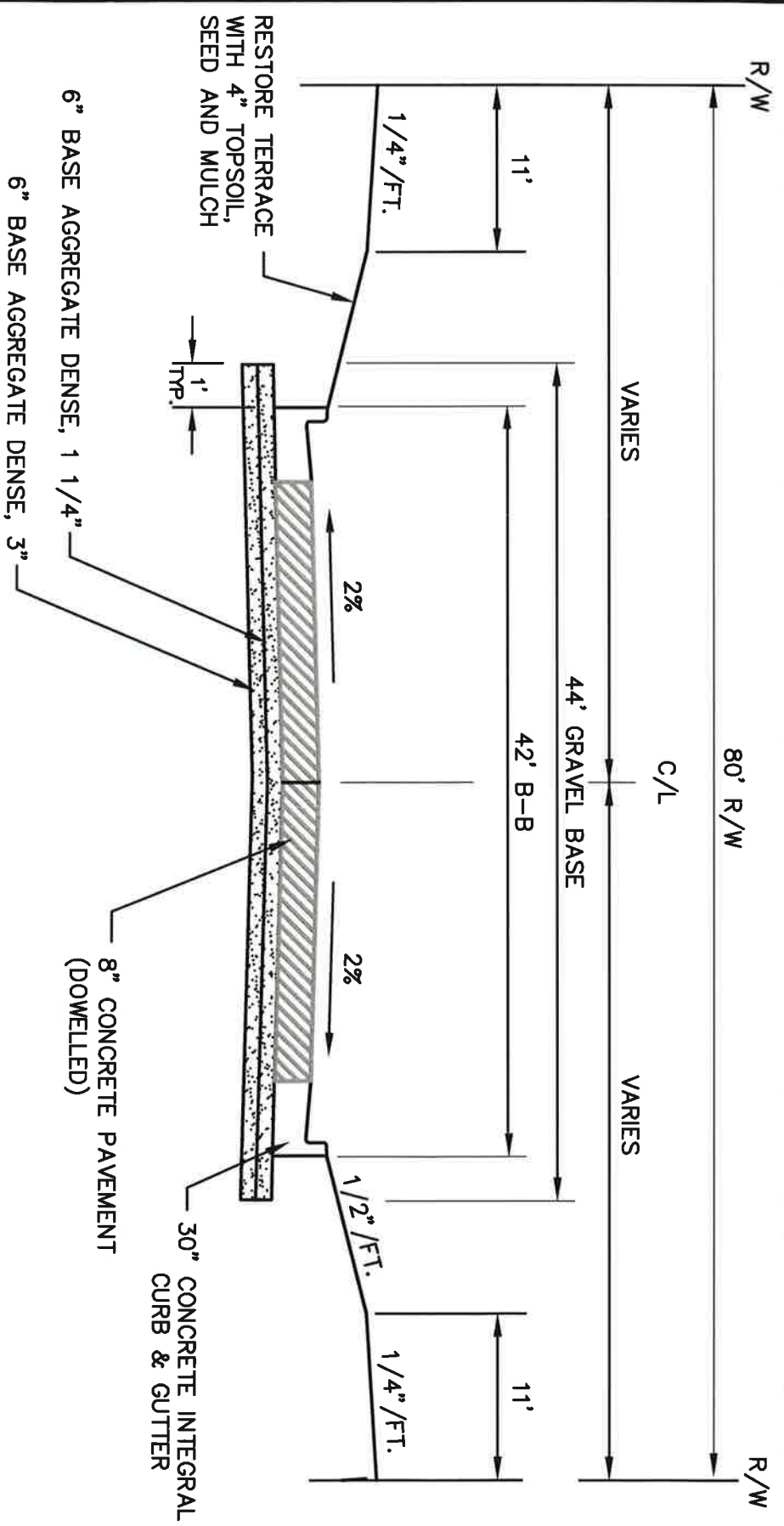


**HARRISON URBAN CONCRETE  
LOCAL STREET SECTION**

**McMAHON**  
ENGINEERS ARCHITECTS

1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
Tel: (920) 751-4200 Fax: (920) 751-4284  
www.mcmgrp.com

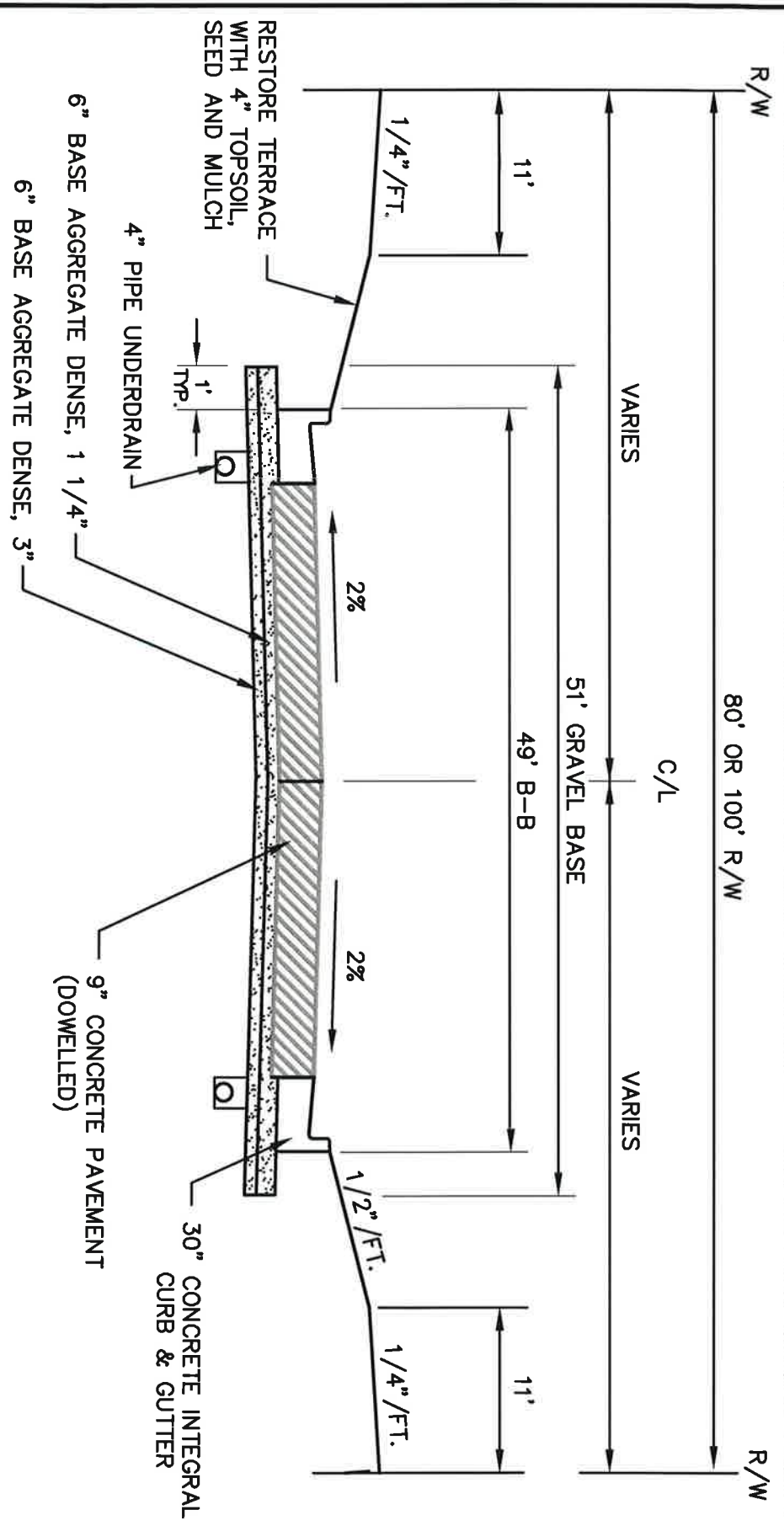




**HARRISON URBAN CONCRETE COLLECTOR STREET SECTION**



1445 McMAHON DRIVE NEENAH, WI 54956  
 Mailing: P. O. BOX 1025 NEENAH, WI 54957-1025  
 Tel: (920) 751-4200 FAX: (920) 751-4284  
 www.mcmgp.com

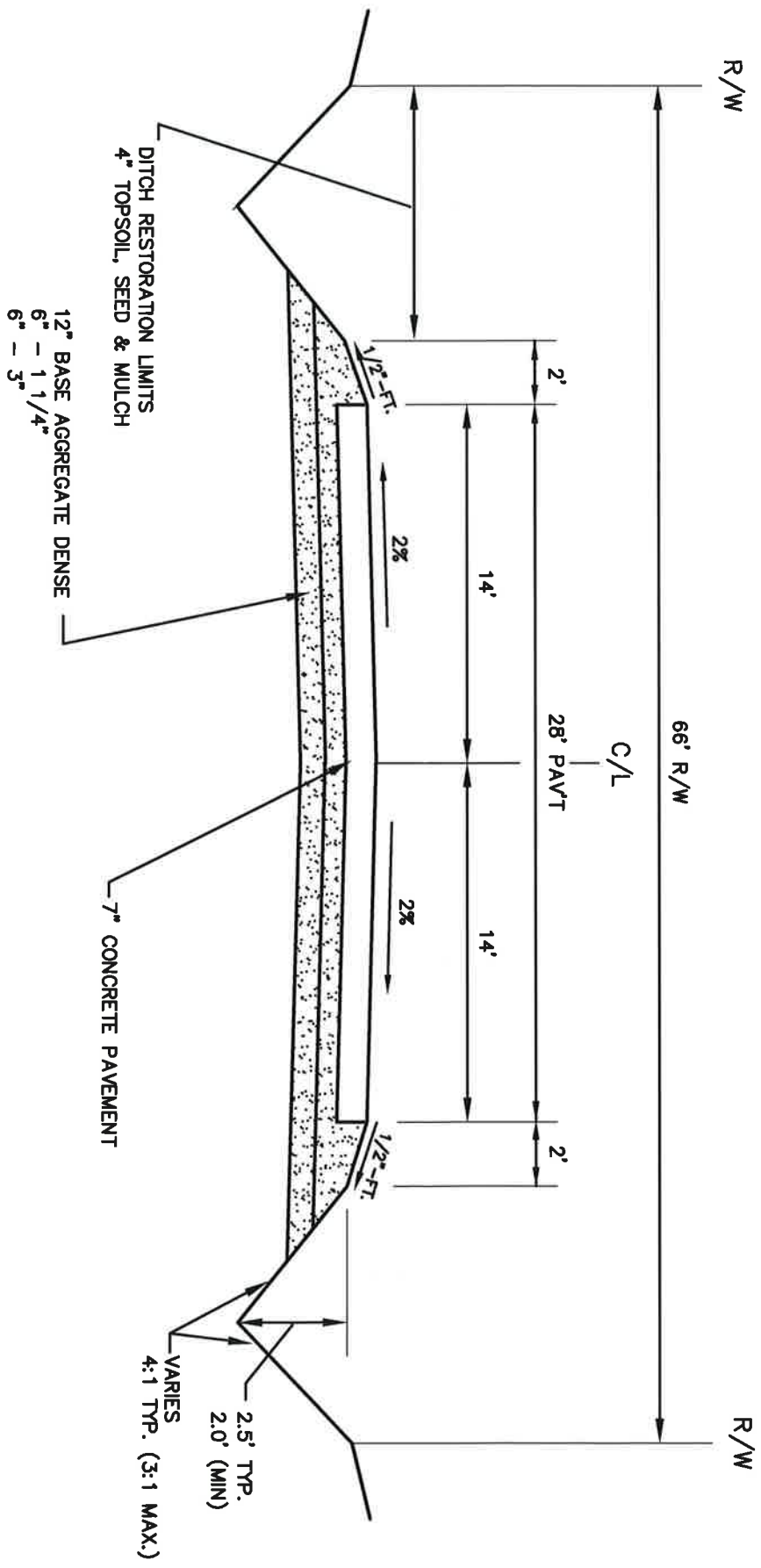


### HARRISON URBAN CONCRETE ARTERIAL STREET SECTION

# McMAHON

ENGINEERS ARCHITECTS

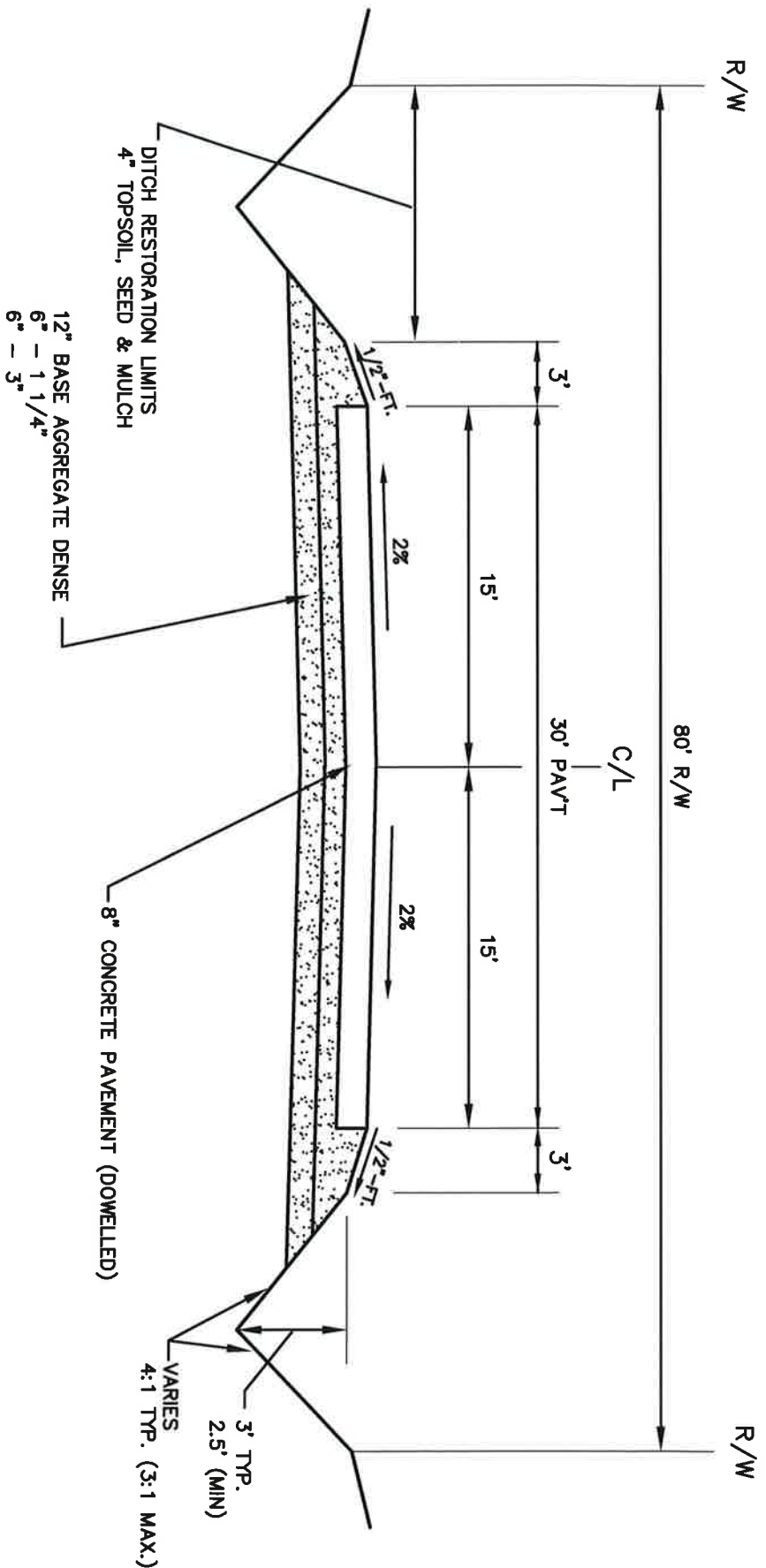
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
Tel: (920) 751-4200 Fax: (920) 751-4284  
www.mcmgrp.com



**HARRISON RURAL CONCRETE  
LOCAL STREET SECTION**  
(NON-SANITARY DISTRICT DEVELOPMENTS)



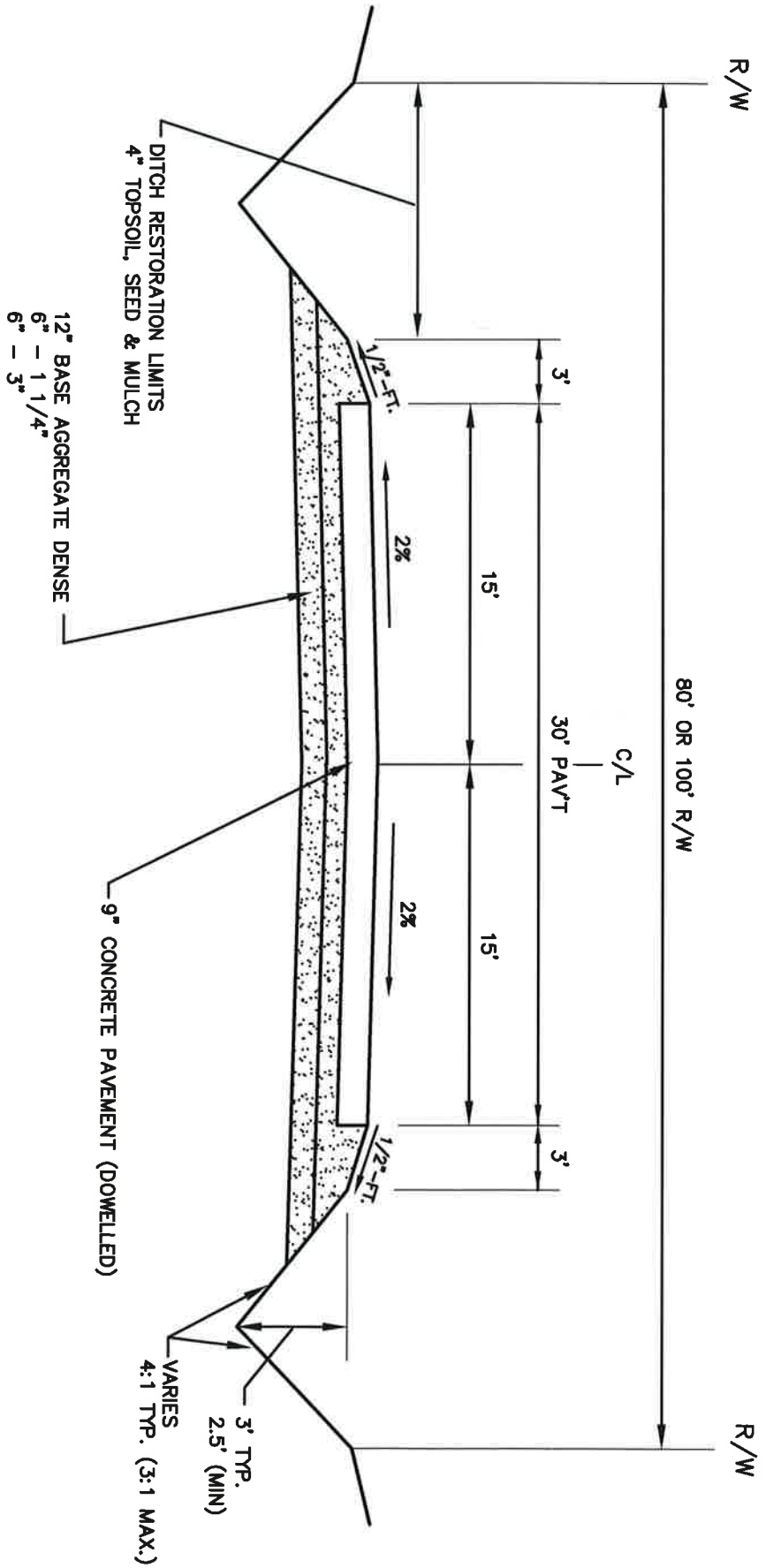
1445 McMAHON DRIVE NEENAH, WI 54956  
 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
 Tel: (920) 751-4200 Fax: (920) 751-4284  
 www.mcmgp.com



**HARRISON RURAL CONCRETE COLLECTOR STREET SECTION**  
 (NON-SANITARY DISTRICT DEVELOPMENTS)

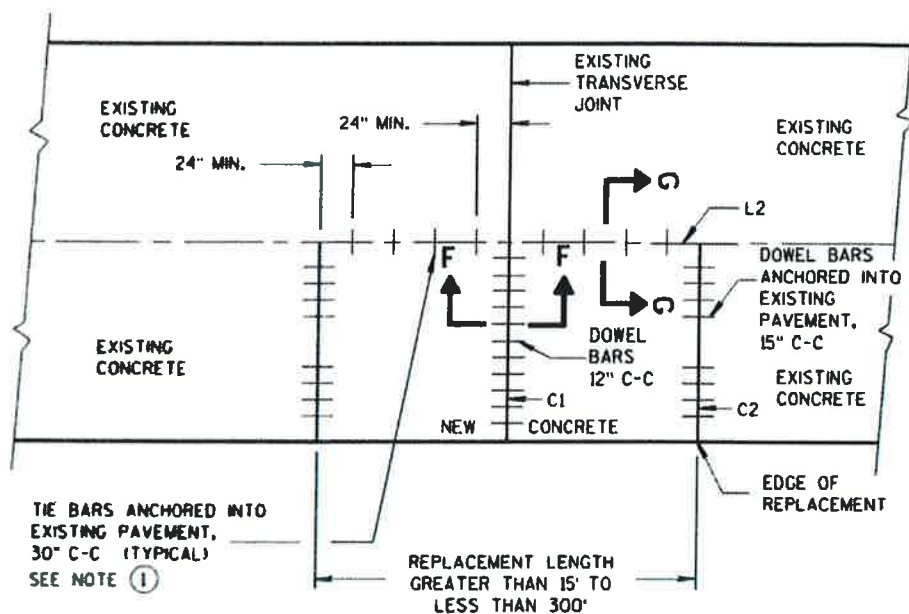


1445 McMAHON DRIVE NEENAH, WI 54956  
 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
 Tel: (920) 751-4200 Fax: (920) 751-4284  
 www.mcmgrp.com



# HARRISON RURAL CONCRETE ARTERIAL STREET SECTION (NON-SANITARY DISTRICT DEVELOPMENTS)

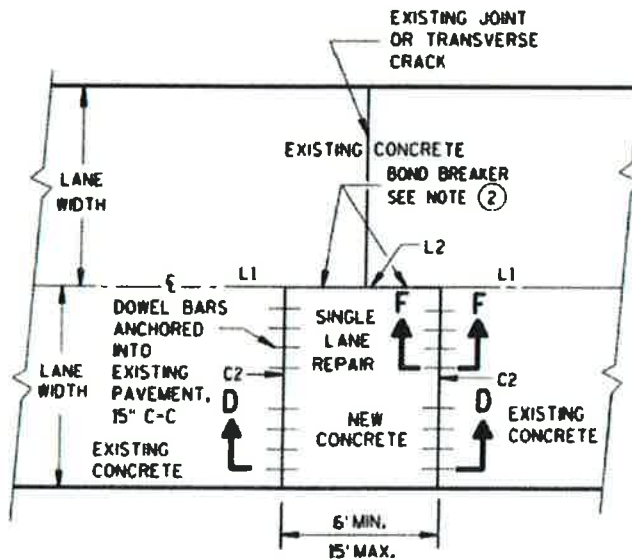
**McMAHON**  
ENGINEERS ARCHITECTS  
1445 McMAHON DRIVE, NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
Tel: (920) 751-4200 Fax: (920) 751-4284  
www.mcmgrp.com



TIE BARS ANCHORED INTO EXISTING PAVEMENT, 30" C-C (TYPICAL) SEE NOTE ①

REPLACEMENT LENGTH GREATER THAN 15' TO LESS THAN 300'

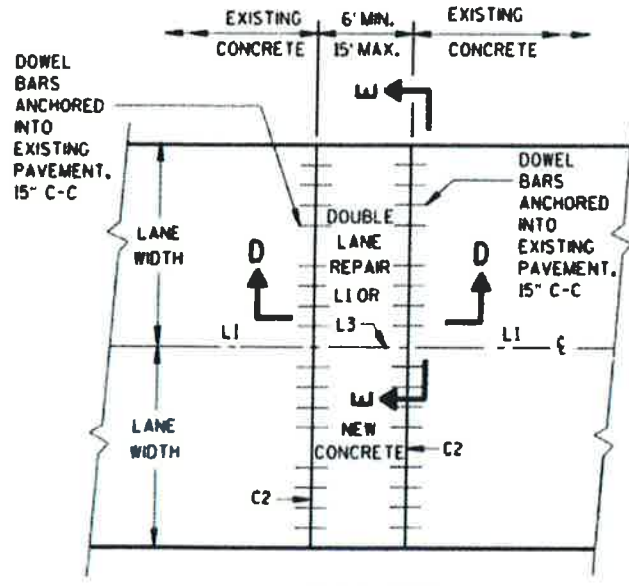
**PLAN VIEW  
SINGLE LANE  
CONCRETE PAVEMENT REPLACEMENT**



**PLAN VIEW  
SINGLE LANE  
CONCRETE PAVEMENT REPAIR**

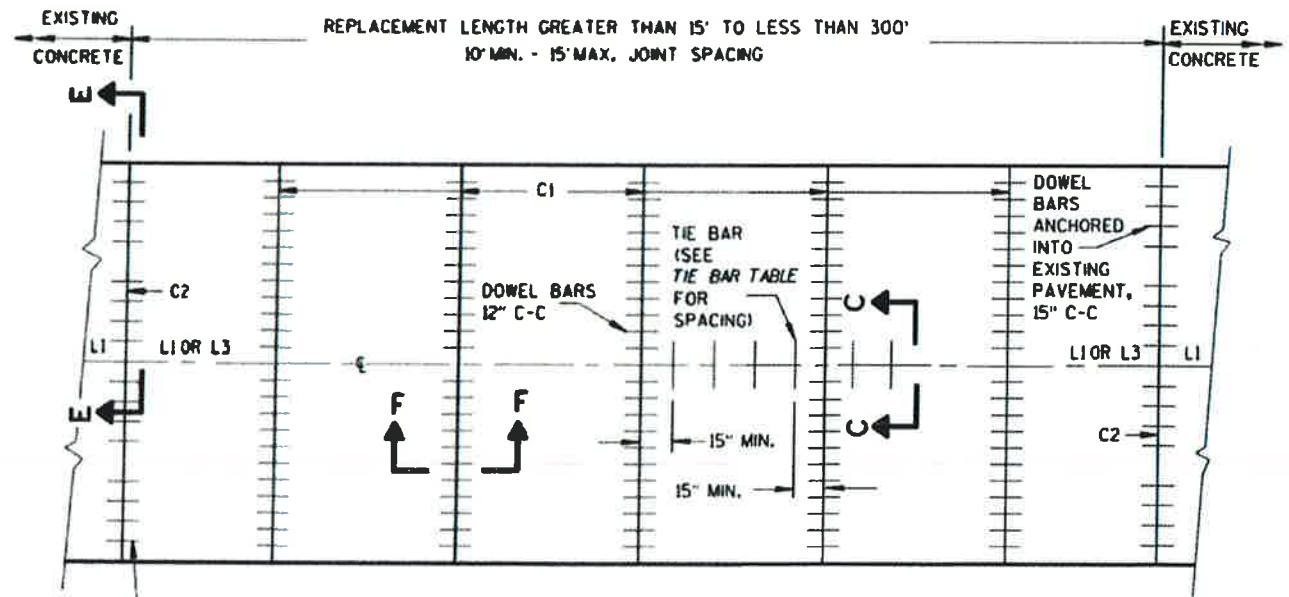
**McMAHON**  
ENGINEERS ARCHITECTS

1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
Tel: (920) 751-4200 Fax: (920) 751-4284  
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PLAN VIEW

**MULTI-LANE CONCRETE PAVEMENT REPAIR**

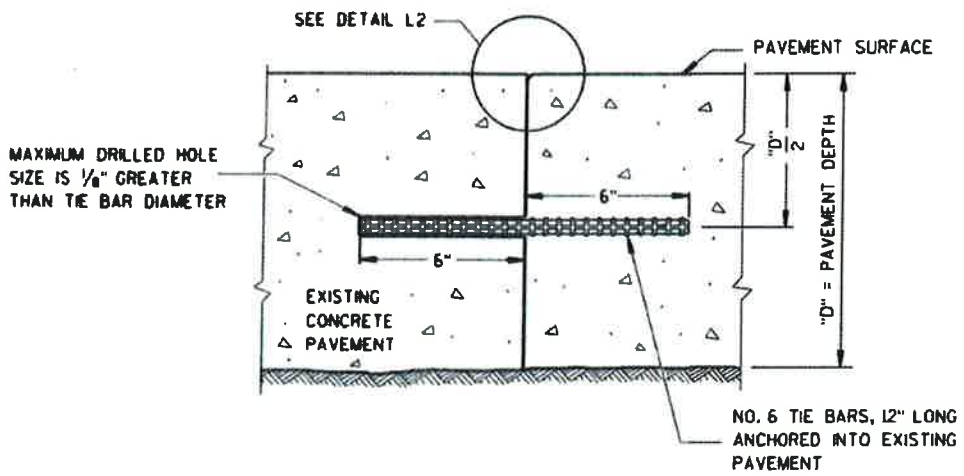


PLAN VIEW

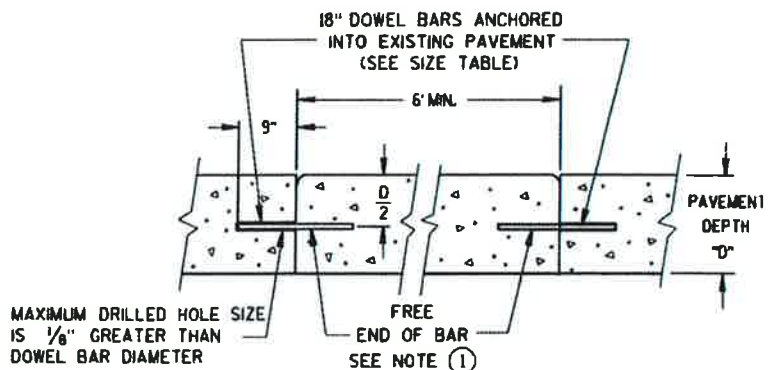
**MULTI-LANE CONCRETE PAVEMENT REPLACEMENT**

**McMAHON**  
ENGINEERS ARCHITECTS

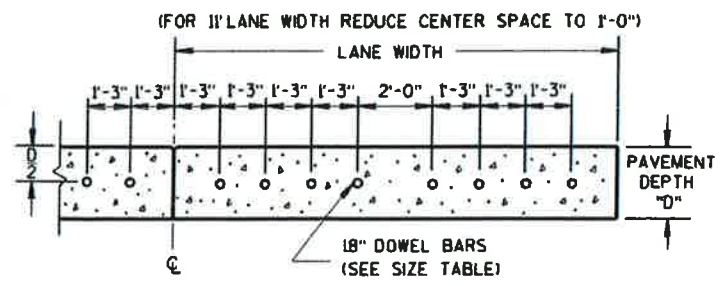
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
Tel: (920) 751-4200 Fax: (920) 751-4284  
www.mcmgrp.com



**SECTION G-G**  
**TIE BARS ANCHORED**  
**INTO EXISTING PAVEMENT**



**SECTION D-D**



**SECTION E-E**  
**DRILLED DOWEL BAR CONSTRUCTION JOINT**

**PAVEMENT DEPTH, DOWEL BAR SIZE**  
**AND JOINT SPACING TABLE**

PAVEMENT DEPTH (D)	DOWEL BAR DIAMETER	CONTRACTION JOINT SPACING
5 1/2", 6", 6 1/2"	NONE	12'
7", 7 1/2"	1"	14'
8", 8 1/2"	1 1/4"	15'
9", 9 1/2"	1 1/4"	15'
10" & ABOVE	1 1/2"	15'

**McMAHON**  
**ENGINEERS ARCHITECTS**

1445 McMAHON DRIVE NEENAH, WI 54956  
 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
 Tel: (920) 751-4200 Fax: (920) 751-4284  
 www.mcmgrp.com





**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Date:**

February 28, 2017

**Title:**

Request for Sewer Service – Stommel Road

**Issue:**

The property owner is requesting information on being provided sewer and water.

**Background and Additional Information:**

Lee Fredericks, property owner of parcel ID 40220, is requesting sewer and water service for his property on the west side of Stommel Road. The property owner created this parcel in 2012 prior to the Village incorporating, during the Certified Survey Map (CSM) review Calumet County placed a development restriction on this parcel prohibiting the installation of a holding tank. The property has not been able to pass for a private on-site sanitary system other than a holding tank. According the property owner, the Village of Sherwood has sewer and water utilities along Stommel Road and assessed properties in Harrison for future use (See attached Village of Sherwood Special Assessment Payoff Statement).

In the email request, the property owner requests release of the property for annexation into the Village of Sherwood if Harrison cannot provide sewer and water service. This process is known as “Detachment of Territory” under state statutes. Since there is a formal process for detachment, the Village Board cannot act on the property owners request for release.

The property owner has stated that they will be in attendance at the meeting to provide additional information.

**Budget/Financial Impact:**

None

**Recommended Action:**

Staff recommends the Village Board work with the Village of Sherwood to extend sewer and water service outside of the Village of Sherwood.

**Attachments:**

- Email from Lee Fredericks with attachments.

## Mark Mommaerts

---

**From:** Lee Fredericks <lee.fredericks@outlook.com>  
**Sent:** Tuesday, February 21, 2017 7:32 AM  
**To:** Mark Mommaerts  
**Subject:** RE: 73-61,J2900-47, NE1/4 NE1/4 SEC.25-20-18 LOT 2 CSM#3354 VOL.29-52 PREV DESC AS CSM#2749

Hello Mark,

I would like to request from Harrison of the likelihood of being provided sewer and water to the west side of Stommel Road. I understand that there are limitations for Harrison providing such infrastructure.

If Harrison cannot and has no plans of such infrastructure inclusion. I would request release of the property for annexation into the Village of Sherwood, so the utilities already installed the curb line could be used.

I would prefer that this not be placed as public comments as then there would be no action taken on this item that night only generalization. There is details associated with this process that they need to know so I can inform them and details they know which I feel I'm privy to. What I desire is to set the stage for a resolution to the simple matter in preferred shorter timeframe so construction can occur.

Thank you

Lee

---

**From:** Mark Mommaerts [<mailto:MMommaerts@harrison-wi.org>]  
**Sent:** Monday, February 20, 2017 12:53 PM  
**To:** [lee.fredericks@outlook.com](mailto:lee.fredericks@outlook.com)  
**Cc:** Jennifer Weyenberg <[JWeyenberg@harrison-wi.org](mailto:JWeyenberg@harrison-wi.org)>  
**Subject:** RE: 73-61,J2900-47, NE1/4 NE1/4 SEC.25-20-18 LOT 2 CSM#3354 VOL.29-52 PREV DESC AS CSM#2749

Hi Lee,

Thank you for the email. Is there something that you are requesting from the Village Board, or do you want to have a discussion? If there is a formal request then we would place the item as an action item, otherwise you will be listed under public comments and you will be able to speak to your item.

Thank you,

Mark

---

**From:** Jennifer Weyenberg  
**Sent:** Monday, February 20, 2017 7:51 AM  
**To:** Mark Mommaerts  
**Subject:** FW: 73-61,J2900-47, NE1/4 NE1/4 SEC.25-20-18 LOT 2 CSM#3354 VOL.29-52 PREV DESC AS CSM#2749

Can you let Lee know of your timeline- I assume this goes to Plan Commission first?

---

**From:** Lee Fredericks [<mailto:lee.fredericks@outlook.com>]  
**Sent:** Saturday, February 18, 2017 7:58 PM  
**To:** Jennifer Weyenberg  
**Subject:** RE: 73-61,J2900-47, NE1/4 NE1/4 SEC.25-20-18 LOT 2 CSM#3354 VOL.29-52 PREV DESC AS CSM#2749

Hello Jennifer,

I'm writing today to request an opportunity to be placed as on the agenda for next Village Board Meeting in late February. It pertains to the 1.57 acre wooded parcel referred to as LOT #2 on the attached CSM. There are sanitary restrictions placed on this lot by Calumet County included within their Chapter 74, titled "Utilities" subsection 15-16, item (f) prohibiting of the installation and use of a holding tank for a new residential construction when soils on a site cannot .

Attached within you will find:

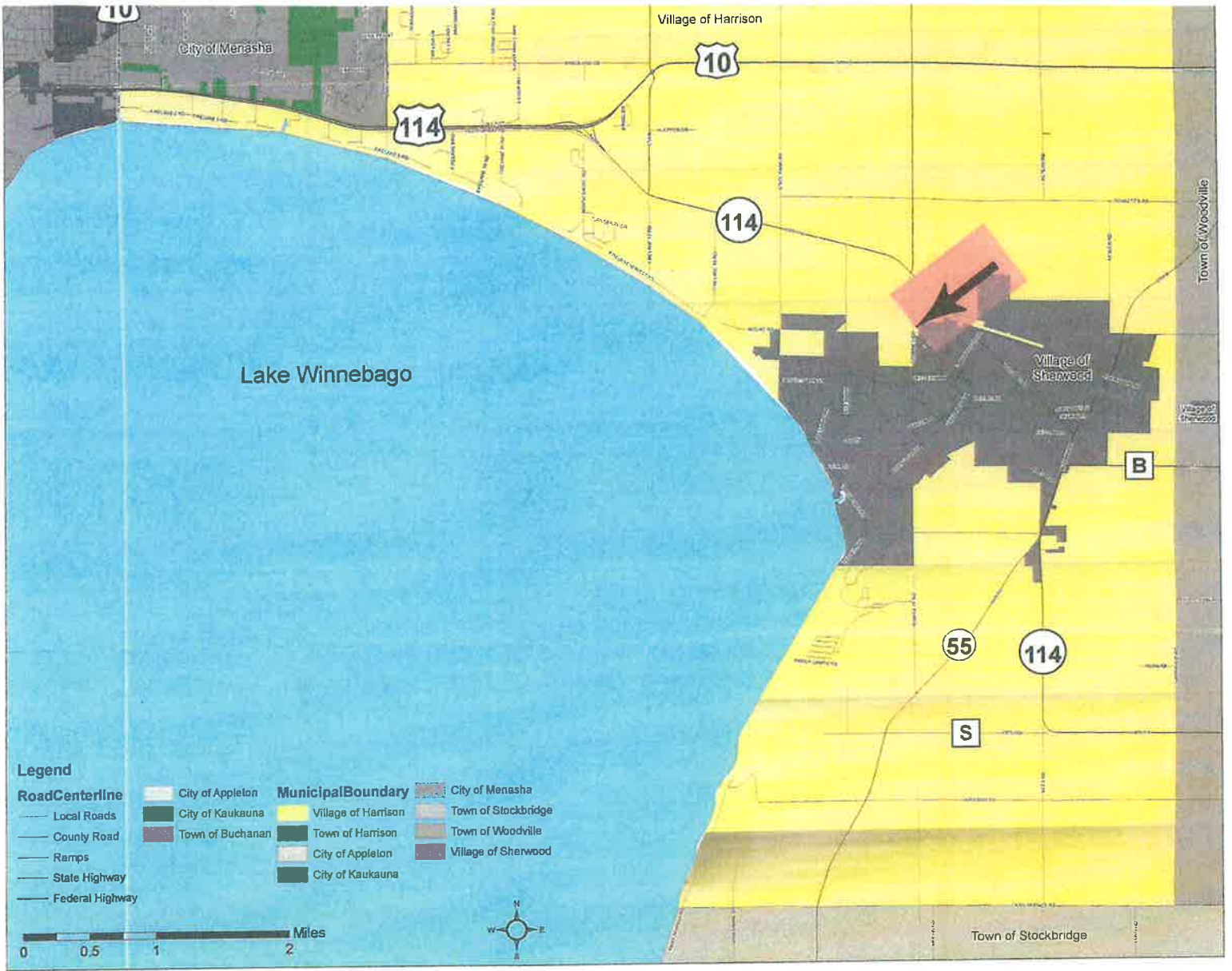
- A copy of CSM #3354
- Town of Harrison CSM Approval Letters for CSM
- Overview Map and Photos of Lot
- Sketch of 2006 Village of Sherwood Property Assessments due to Road construction project
- Statement of paid in full special assessments

The sewer serve area of the Village of Sherwood coupled with the sanitary restrictions of Calumet County are causing hardship for me on this developable lot. I would request and opportunity to converse with the Board in regards to developing this property.

I will await your confirmation in regards to February 28<sup>th</sup>.

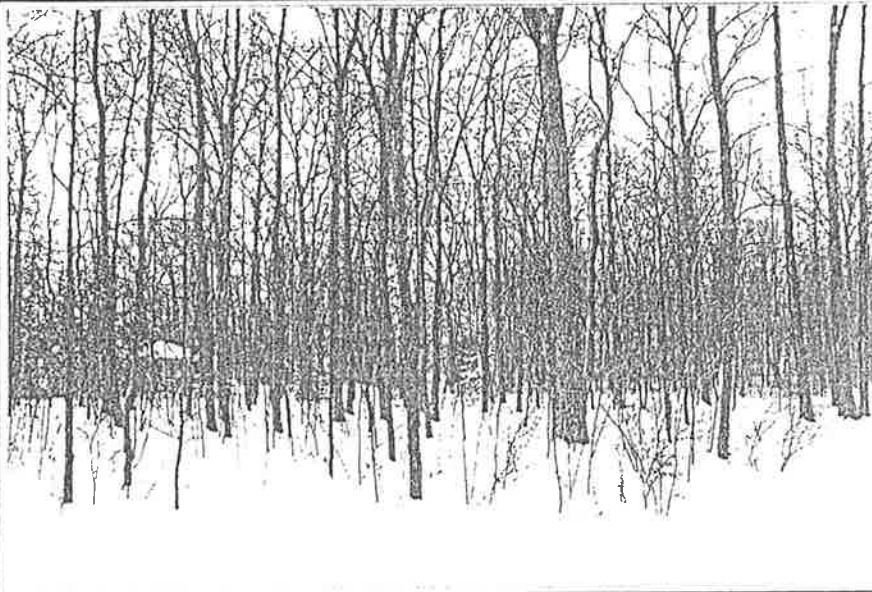
Thank you and have a good week,

Lee Fredericks  
1414 American Eagle Drive  
Slinger, WI 53086  
(920)-843-2007  
[lee.fredericks@outlook.com](mailto:lee.fredericks@outlook.com)

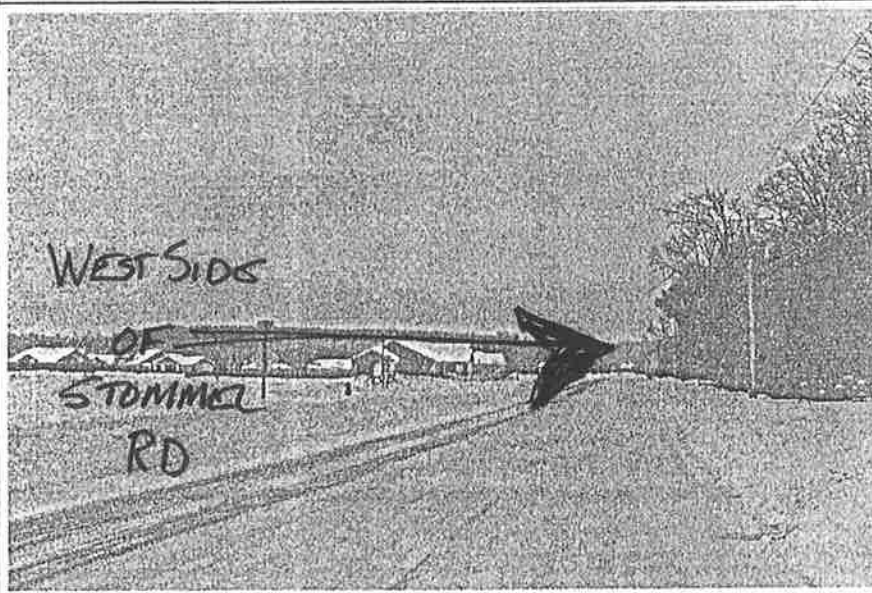




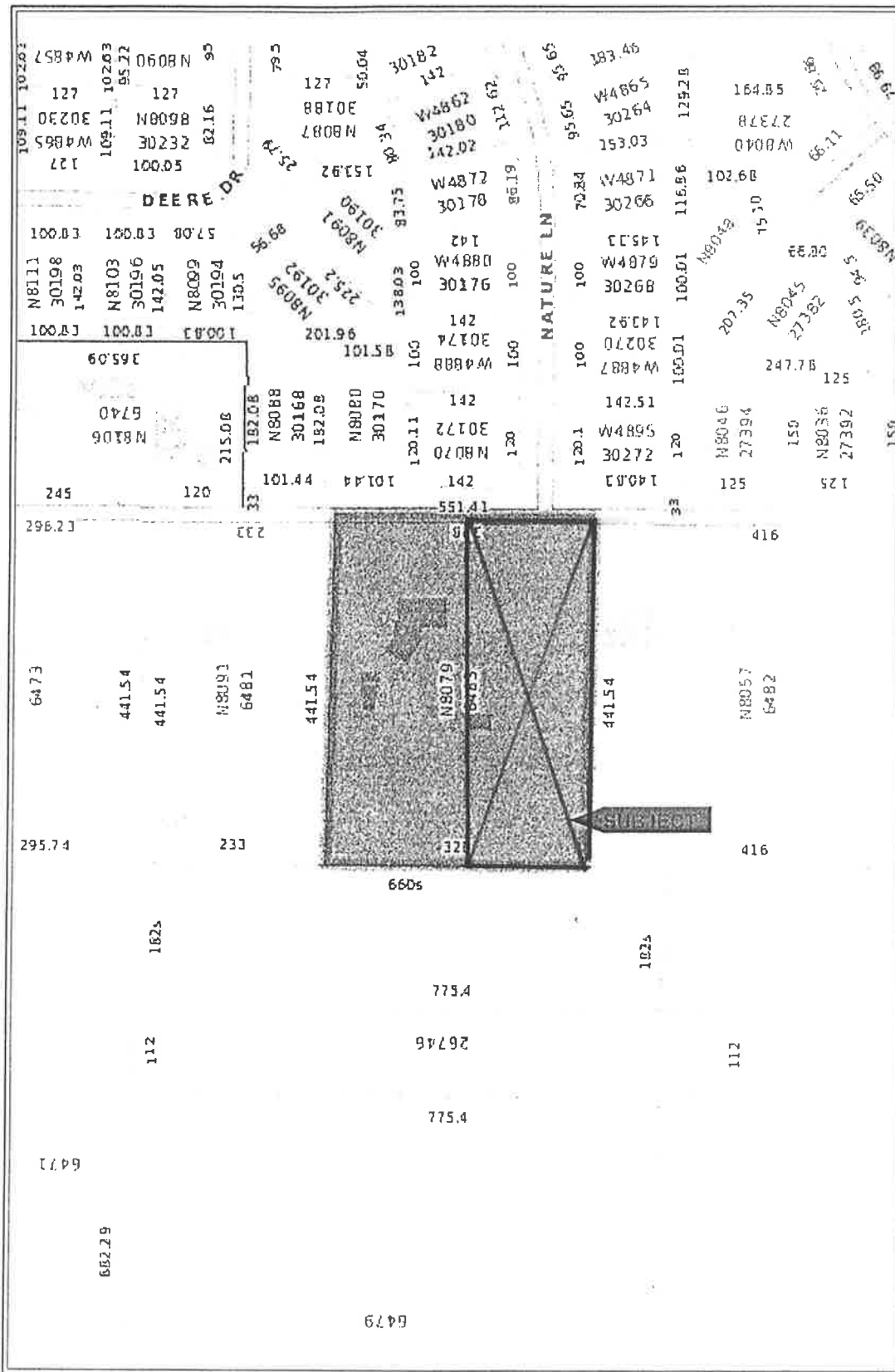
SUBJECT PROPERTY  
N8079 Stommel Road (vacant),  
Sherwood, WI 54169



REAR OF  
SUBJECT PROPERTY



STREET SCENE



Village of  
 SHERWOOD  
 ROAD  
 IMPROVEMENT  
 2006

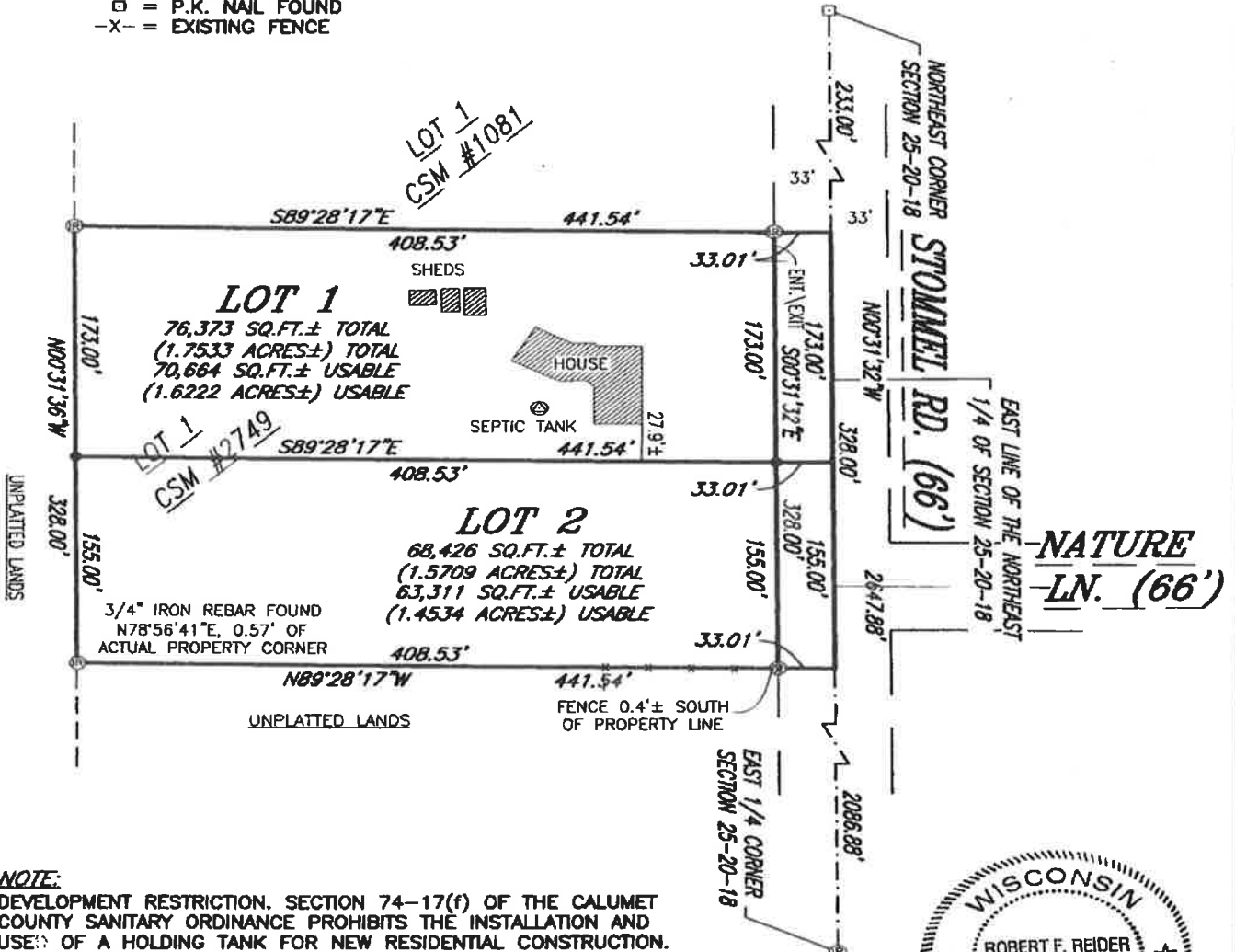
# CERTIFIED SURVEY MAP NO. 3354

BEING ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 2749 AS RECORDED IN VOLUME 22 OF CERTIFIED SURVEY MAPS ON PAGE 102, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 20 NORTH, RANGE 18 EAST, TOWN OF HARRISON, CALUMET COUNTY, WISCONSIN.

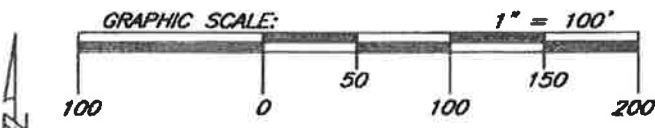
**LEGEND:**

- = 3/4" X 18" SOLID ROUND IRON REBAR SET, WEIGHING 1.502 LBS. PER LIN. FT.
- ⊕ = 3/4" SOLID ROUND IRON REBAR FOUND
- ⊙ = 1-1/2" IRON PIPE FOUND
- = P.K. NAIL FOUND
- X- = EXISTING FENCE

**OWNERS OF RECORD:**  
 LEE & JANET FREDERICKS  
 N8079 STOMMEL ROAD  
 SHERWOOD, WISCONSIN 54169



**NOTE:**  
 DEVELOPMENT RESTRICTION. SECTION 74-17(f) OF THE CALUMET COUNTY SANITARY ORDINANCE PROHIBITS THE INSTALLATION AND USE OF A HOLDING TANK FOR NEW RESIDENTIAL CONSTRUCTION. DUE TO UNSUITABLE SOILS, LOT #2 IS NOT CAPABLE OF SUPPORTING A PRIVATE ONSITE WASTEWATER TREATMENT SYSTEM OTHER THAN A HOLDING TANK. DEVELOPMENT OF LOT #2 SHALL NOT OCCUR UNTIL PUBLIC SEWER IS AVAILABLE.



NORTH IS REFERENCED TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 20 NORTH, RANGE 18 EAST, TOWN OF HARRISON, CALUMET COUNTY, WISCONSIN, WHICH BEARS N00°31'32"W PER THE CALUMET COUNTY COORDINATE SYSTEM.

*Robert F. Reider 9-12-12*  
 ROBERT F. REIDER, RLS-1251 DATED  
 CAROW LAND SURVEYING CO., INC.  
 615 N. LYNNDALE DR., P.O. BOX 1297  
 APPLETON, WISCONSIN 54912-1297  
 PHONE: (920)731-4168  
 A849.177-12 DATED: 9-12-12  
 DRAFTED BY: (RDD) REVISED: 11-5-12  
 SHEET 1 OF 3 SHEETS

**CERTIFIED SURVEY MAP NO. 3354**

**SURVEYOR'S CERTIFICATE:**

I, ROBERT F. REIDER, REGISTERED WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 2749 AS RECORDED IN VOLUME 22 OF CERTIFIED SURVEY MAPS ON PAGE 102, LOCATED IN THE NORTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 25, TOWNSHIP 20 NORTH, RANGE 18 EAST, TOWN OF HARRISON, CALUMET COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 25; THENCE S00°31'32"E, 233.00 FEET ALONG THE EAST LINE OF THE NORTHEAST ¼ OF SECTION 25 TO THE NORTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2749 AND THE POINT OF BEGINNING; THENCE CONTINUING S00°31'32"E, 328.00 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF SAID LOT 1; THENCE N89°28'17"W, 441.54 FEET ALONG SAID SOUTH LINE TO THE WEST LINE OF SAID LOT 1; THENCE N00°31'36"W, 328.00 FEET ALONG SAID WEST LINE TO THE NORTH LINE OF SAID LOT 1; THENCE S89°28'17"E, 441.54 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF LEE FREDERICKS, N8079 STOMMEL ROAD, SHERWOOD, WISCONSIN 54169.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION ORDINANCE OF CALUMET COUNTY.



*Robert F. Reider 9-12-12*  
ROBERT F. REIDER, RLS-1251 DATED  
CAROW LAND SURVEYING CO., INC.  
615 N. LYNNDALE DRIVE, P.O. BOX 1297  
APPLETON, WISCONSIN 54912-1297  
PHONE: (920)731-4168  
A849.177-12 (RFR) 9-12-12

**CERTIFICATE OF PLANNING AGENCY:**

PURSUANT TO CHAPTER 62 (LAND DIVISION) OF THE CALUMET COUNTY CODE OF ORDINANCES, ALL THE REQUIREMENTS FOR APPROVAL HAVE BEEN FULFILLED.

11/8/12  
DATE \_\_\_\_\_  
CALUMET COUNTY RESOURCE MANAGEMENT DEPARTMENT

**COUNTY TREASURER CERTIFICATE:**

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS MINOR SUBDIVISION AS OF THIS 30th DAY OF October, 2012.

*Michael V. Schmitt*  
COUNTY TREASURER DATED

**TOWN TREASURER CERTIFICATE:**

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS MINOR SUBDIVISION AS OF THIS 27 DAY OF October, 2012.

*Joann Ashauer* 10/27/2012  
TOWN TREASURER DATED



**CERTIFIED SURVEY MAP NO. 3354**

**TOWN OF HARRISON APPROVAL:**

THIS CERTIFIED SURVEY MAP WAS APPROVED BY THE TOWN OF HARRISON ON THIS 25 DAY OF SEPTEMBER, 2012

[Signature]  
TOWN CHAIRPERSON

Penny Wein 10/24/12  
TOWN CLERK

**VILLAGE OF SHERWOOD APPROVAL:**

THIS CERTIFIED SURVEY MAP HAS BEEN APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN ON THIS 24 DAY OF OCTOBER, 2012.

[Signature] 10/30/12  
VILLAGE PRESIDENT, DATED

[Signature] 10/30/12  
VILLAGE CLERK DATED

**OWNER'S CERTIFICATE:**

AS OWNER (S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S. 236.10 OR 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: CALUMET COUNTY AND THE TOWN OF HARRISON

WITNESS THE HAND AND SEAL OF SAID OWNER (S) THIS 22 DAY OF October, 2012.

[Signature]  
LEE L. FREDERICKS

[Signature]  
JANET FREDERICKS

STATE OF WISCONSIN )  
                                  ) SS  
COUNTY OF CALUMET)

PERSONALLY CAME BEFORE ME THIS 22 DAY OF October, 2012, THE ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

[Signature]  
NOTARY PUBLIC  
Washington CO., WISCONSIN  
MY COMMISSION EXPIRES 12/21/14



[Signature] 9-12-12  
ROBERT F. REIDER, RLS-1251 DATED  
CAROW LAND SURVEYING CO., INC.  
615 N. LYNNDALE DRIVE, P.O. BOX 1297  
APPLETON, WISCONSIN 54912-1297  
PHONE: (920)731-4168  
A849.177-12 (RFR) 9-10-12

**DOCUMENT # 481137**

**TAMARA ALTEN  
REGISTER OF DEEDS  
CALUMET COUNTY, WI**

SHEET 3 OF 3 SHEETS

**RECEIVED FOR RECORD  
11/08/2012 11:45 AM  
VOL: 29 PAGE: 52**



W5298 HWY 114 • MENASHA, WI 54952  
TOWN HALL: 920-989-1062 • TOWN GARAGE: 920-989-1139  
FAX: 920-989-1077  
WWW.TOWNOFHARRISON.ORG

September 28, 2012

Lee Fredericks  
1579 S. 38th St  
Milwaukee, WI 53215

RE: Town Board Decision Letter – CSM – N8079 Stommel Road

Dear Mr. Fredericks:

This letter is to inform you that on September 25, 2012 the Town Board approved your Certified Survey Map (CSM). If you have any questions, please contact me at 920.989.1062 or email me at [mmommaerts@townofharrison.org](mailto:mmommaerts@townofharrison.org).

Sincerely,

A handwritten signature in black ink, appearing to read "Mark J. Mommaerts", written over a horizontal line.

Mark J. Mommaerts, AICP  
Planner

cc: Robert Reider, Carow Land Surveying



W5298 HWY 114 • MENASHA, WI 54952  
TOWN HALL: 920-989-1062 • TOWN GARAGE: 920-989-1139  
FAX: 920-989-1077  
WWW.TOWNOFHARRISON.ORG

September 19, 2012

Lee Fredericks  
1579 S. 38th St  
Milwaukee, WI 53215

RE: Plan Commission Advisory Recommendation Letter – CSM – N8079 Stommel Road

Dear Mr. Fredericks:

This letter is to inform you that on September 18, 2012 the Plan Commission recommended approval of your Certified Survey Map (CSM) to the Town Board. The Town Board will review the CSM at their meeting on September 25, 2012 at 7:30pm at the Harrison Town Hall.

If you have any questions, please contact me at 920.989.1062 or email me at [mmommaerts@townofharrison.org](mailto:mmommaerts@townofharrison.org).

Sincerely,

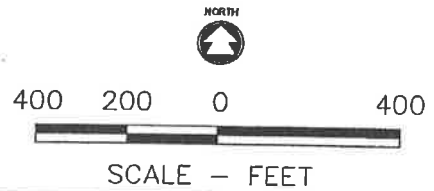
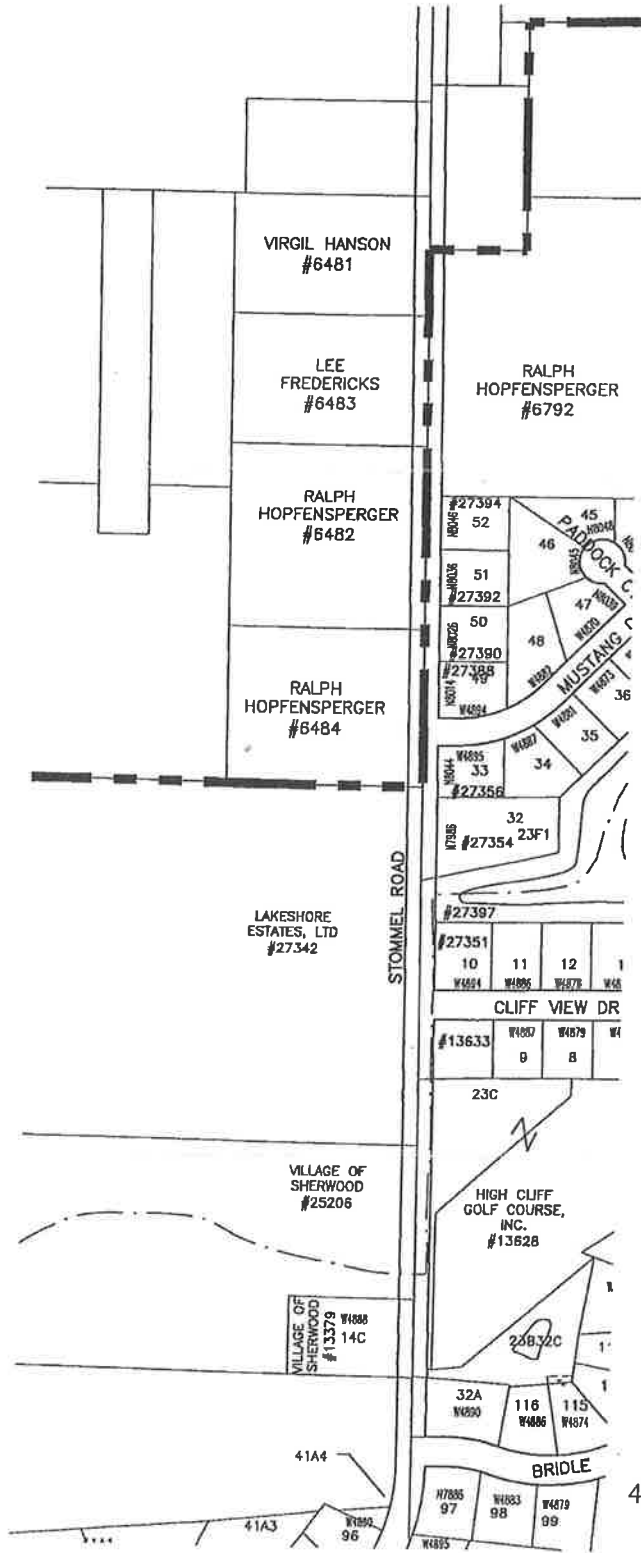
A handwritten signature in black ink, appearing to read "Mark J. Mommaerts".

Mark J. Mommaerts, AICP  
Planner

cc: Robert Reider, Carow Land Surveying

# Village of Sherwood STOMMEL ROAD ASSESSMENT

kkoils-scheel W:\DWG\S0017\940390.08\Stommel\_assessment.dwg 09/30/05 10:19 AM C:\Parcel-MAP Sherwood County Coords, Sherwood-Area, x-Sherwood



**McMAHON ASSOCIATES, INC.**  
 ■ ENGINEERS  
 ■ ARCHITECTS  
 ■ PROJ. MGRS.  
 ■ SURVEYORS

1445 McMahon Drive Neenah, WI 54956

Project No. 940390.08 Date SEPT. 30, 2005 Scale 1" = 400'

Drawn By KKS Field Book \_\_\_\_\_ Page \_\_\_\_\_

Mailing Address:  
 P.O. Box 1025 Neenah, WI 54957-1025  
 TEL: 920-751-4200 FAX: 920-751-4284

File No.  
CAD

4/29/2013 8:34 AM

Special Assessment Payoff Statement  
Payoff Date: 4/29/2013

Page: 1

**VILLAGE OF SHERWOOD**

W482 CLIFTON RD  
PO BOX 279  
SHERWOOD, WI 54169  
(920)989-1589

Parcel ID Number  
6483

Property Address  
N8079 STOMMEL RD

Owner's Name / Address  
FREDERICKS, LEE  
N8079 STOMMEL RD  
SHERWOOD, WI 54169

Project	Interest Rate	Principal Due	Interest Due	Total Due
STOMMEL RD IMP-DEFRRD-TIF	4.3800 %	3,183.34	0.00	3,183.34
		=====	=====	=====
		3,183.34	0.00	3,183.34

\*\*\*\*\* Total Payoff of All Special Assessments = \$3,183.34 \*\*\*\*\*



**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Date:**

February 28, 2017

**Title:**

Ordinance V17-03 – Adopting Comprehensive Plan Amendment

**Issue:**

Should the Village Board adopt Ordinance V17-03 approving the Comprehensive Plan update.

**Background and Additional Information:**

Under state statutes, municipalities are required to update their Comprehensive Plan every 10 years. The original plan was adopted in 2004 and updated in 2009. With the creation of the Village and the amount of development occurring, it was decided that a major update would be completed in 2016/17. Included is a link to the updated Comprehensive Plan and Village Center Plan from January. Attached to the memo are replacement pages with additional updates from comments received during February. After Board approval, a final finished document will be compiled. There is a public hearing on the Comprehensive Plan update, which includes a Village Center Master Plan, on Monday, February 27<sup>th</sup> at 6:00pm.

Comprehensive Plan

<http://www.harrison-wi.org/PDF-Documents/Comp-Plan/Full-Draft-Review-12052016-Reduced.aspx>

Village Center Plan

<http://www.harrison-wi.org/PDF-Documents/Comp-Plan/Draft-Village-Center-Concept-Plan-12082016-Reduced.aspx>

If you would like a paper copy, please let me know and one will be available at the meeting.

**Budget/Financial Impact:**

None

**Recommended Action:**

Staff recommends adoption of Ordinance V17-03.

**Attachments:**

- Ordinance V17-03
- Revised: Future Land Use Map; Land Use Descriptions; Alternate Village Center Plan (no Sports Complex)

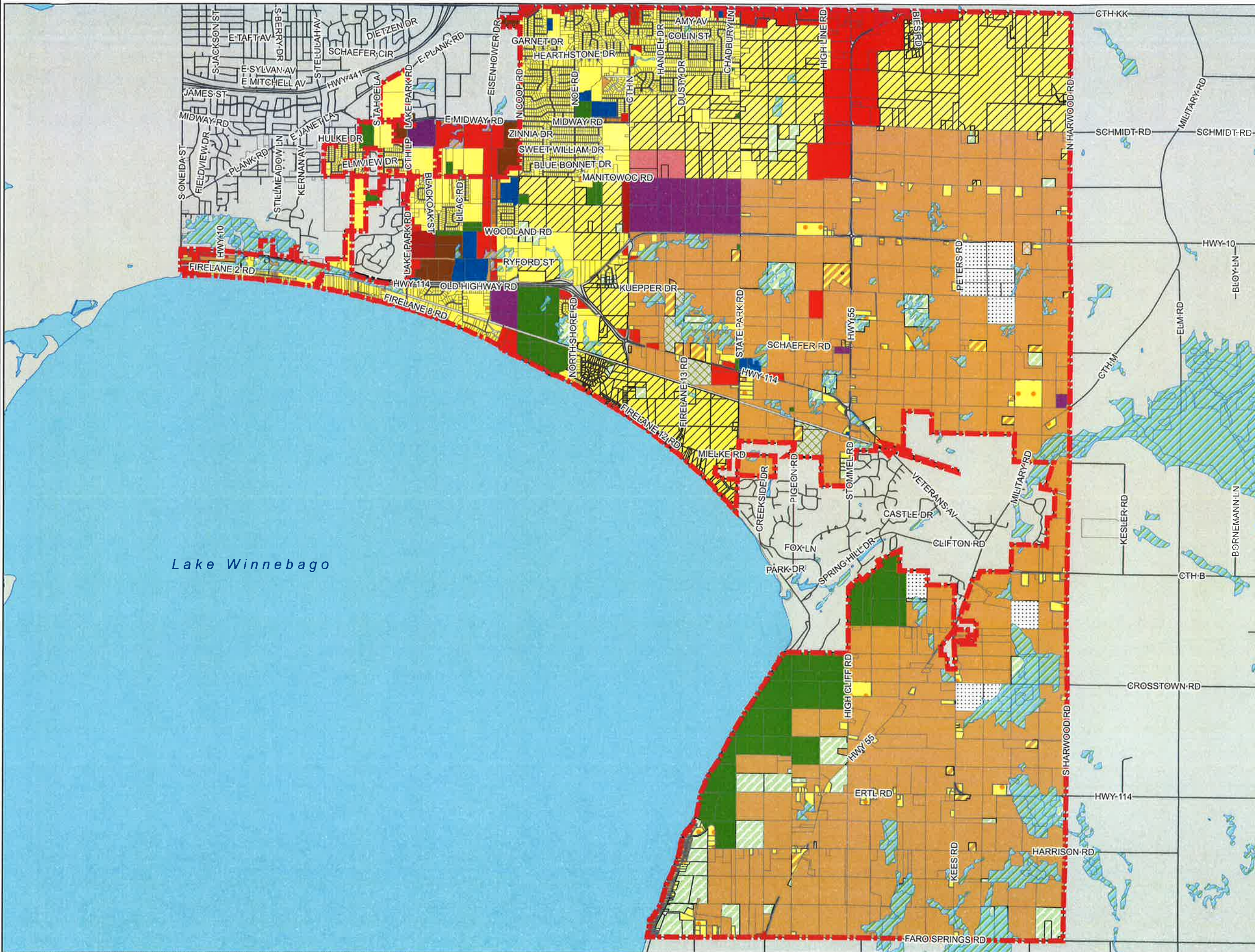
**Amend the Mixed-use and add the Village Center**

**Mixed-use**

The Future Land Use map calls for mixed-use areas along County N from Manitowoc Road to Highway 10, and along Lake Park Road from Woodland Road to Sonny Drive. Only development served by public sewer should be permitted to ensure high-quality high-value developments. The Village should develop a plan to prioritize future expansions of sewer service and to achieve orderly growth outward from the existing development. These mixed-use areas should blend residential, commercial, cultural, institutional, where those functions are physically and functionally integrated, and that provides pedestrian connections.

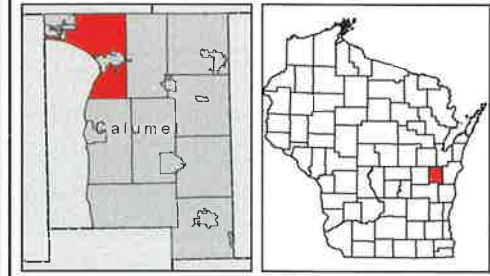
**Village Center**

The proposed Village Center location is along Manitowoc Road. This area is a commercial/mixed-use area that will serve as the Village's commercial and social center. The location has convenient access and high visibility to County Highway N. As discussed in the Commercial uses section, there may be a need for a future neighborhood commercial area. A portion of the mixed-used category should contain neighborhood commercial area. Examples include grocery stores, hardware stores, and services such as a dental office or banking facilities. Also, the Village Center will contain residential units, a village square, parks, and a network of trails for pedestrians and bicyclists.



- ### Future Land Use Village of Harrison
- Single-Family Residential (sewered)
  - Single-Family Residential (transitional)
  - Single-Family Residential (unsewered)
  - Two-Family Residential
  - Multi-Family Residential
  - Mobile Home Park
  - Farmstead Homes
  - Village Center
  - Commercial
  - Mixed Use
  - Parks and Recreation
  - Industrial
  - Public/Institutional
  - Ag, Vacant, Undeveloped
  - Special Ag/Nurseries
  - Woodlands
  - Utilities/Quarries
  - Village Boundary

Map 13



Date Created: 12/22/2016  
 Date Amended: 02/17/17  
 Data Sources: Data Sources: Harrison, Calumet County, & Vierbicher

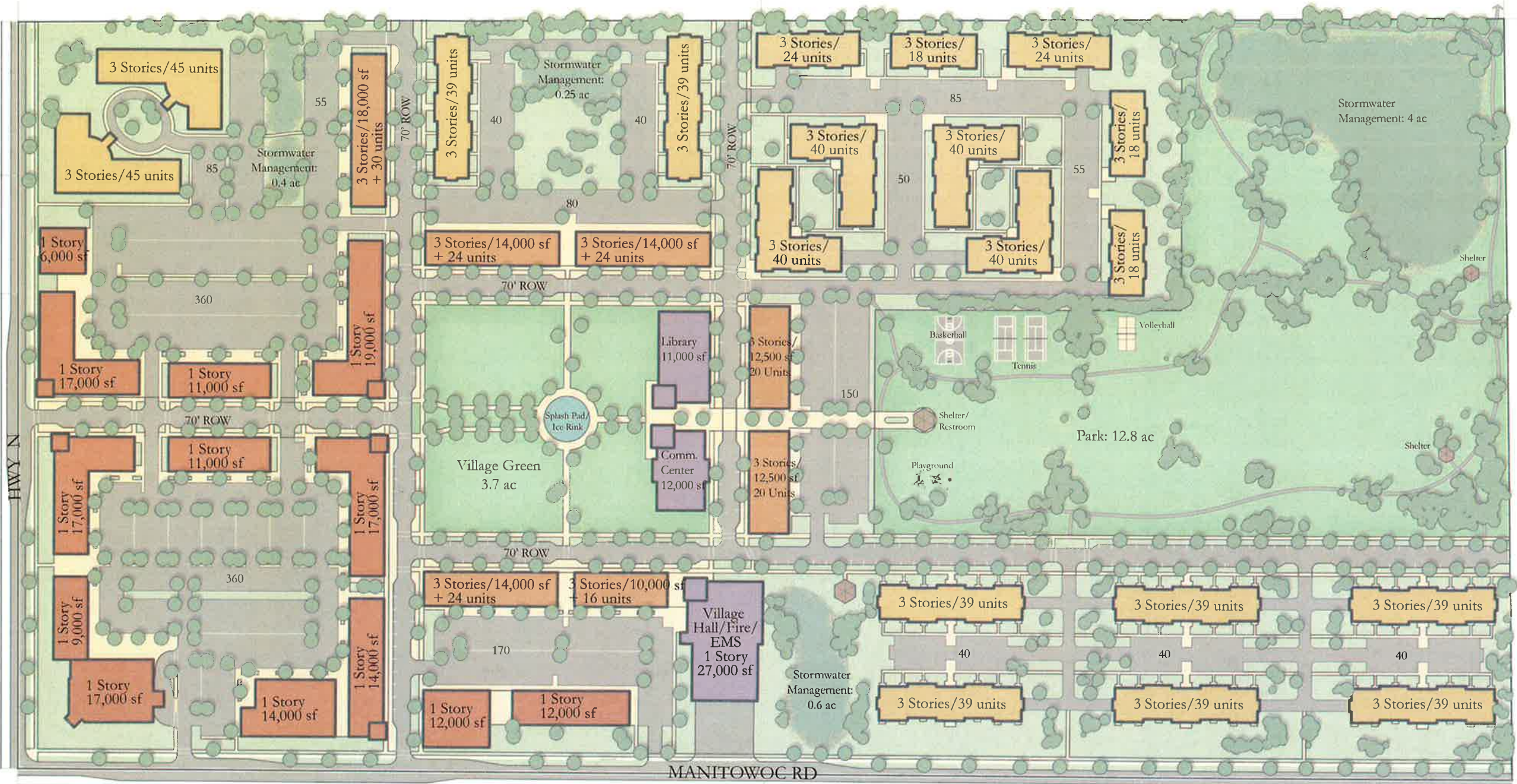
0 0.35 0.7 1.4 Miles

**vierbicher**  
 planners engineers advisors

REEDSBURG - MADISON - PRAIRIE DU CHIEN  
 999 Fourier Drive, Suite 201, Madison, WI 53717  
 Phone: (608) 826-0532 Fax: (608) 826-0530

File Path: M:\Harrison, Village of\150343 - Comp Plan Update & District Plan\Planning & Zoning\Maps & Renderings\Comp Plan MXDs

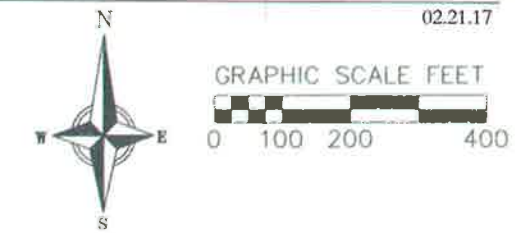




**Harrison Village Center: Hwy N & Manitowoc Rd - Option 2**

Total Area: 79.7 ac

- Commercial: 271,000 sf
- Mixed Use
- Civic (Village Hall, Library, Community Center, Fire/EMS): 50,000
- Residential Units: 822 (based on 1150 GSF per unit)
- Public Open Space: 16.5 ac





**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**  
Mark J. Mommaerts, AICP, Planner

**Date:**  
February 28, 2017

**Title:**  
Kambura Acres II Development Agreement

**Issue:**  
Should the Village Board approve the development agreement for Kambura Acres II?

**Background and Additional Information:**

As a part of the subdivision plat approval process, the Village requires a Development Agreement in order to assure all the public improvements are installed in the subdivision if the final plat is to be approved prior to all the improvements being completed. The standard agreements in the past have included language for street construction; sewer, water and storm sewer installation; terrace landscaping; and letter of credit in the amount to cover the cost of the improvements in case the developer did not.

Attached is a draft development agreement for Kambura Acres II. This agreement is similar to that for Phase 1. There are several provisions that must be completed prior to the Village accepting the roadway in a graveled state, including but not limited to, all utilities being installed and all terraces and drainage swales and ditches being graded, seeded, and mulched/matted and inspected. The developer is working with a bank to secure the irrevocable letter of credit or cash escrow financial guarantee.

The final plat for Kambura Acres II has been approved by the Board. In order for the plat to be recorded and lots sold, the development agreement must be approved and signed. Without the development agreement, the developer would have to complete all improvements before recording the plat. Under the terms of the agreement, no permits will be issued until the roads are accepted in a graveled state.

**Budget/Financial Impact:**

None

**Recommended Action:**

Staff recommends approval of the development agreement for Kambura Acres II.

**Attachments:**

- Development Agreement

**SUBDIVISION DEVELOPMENT AGREEMENT  
KAMBURA ACRES II**

THIS AGREEMENT, made this \_\_\_\_\_ day of \_\_\_\_\_, 2017, between RUSCH DEVELOPMENT PROPERTIES, LLC, hereinafter called "Subdivider", and the Village of Harrison, a municipal corporation of the State of Wisconsin, located in Calumet and Outagamie counties, hereinafter called "Village".

WHEREAS, Subdivider is the owner of approximately 6.262-acres of land in the Village, said lands being referred to as Kambura Acres described as:

KAMBURA ACRES II, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, SECTION 15, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 15; THENCE NORTH 00 DEGREES 45 MINUTES 08 SECONDS EAST, ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 753.51 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 45 MINUTES 08 SECONDS EAST, CONTINUING ALONG THE WEST LINE OF SAID NORTHWEST 1/4, A DISTANCE OF 279.27 FEET; THENCE SOUTH 89 DEGREES 13 MINUTES 12 SECONDS EAST, ALONG THE SOUTH LINE OF KAMBURA ACRES, A DISTANCE OF 972.42 FEET; THENCE SOUTH 00 DEGREES 24 MINUTES 16 SECONDS WEST, A DISTANCE OF 281.30 FEET; THENCE NORTH 89 DEGREES 06 MINUTES 04 SECONDS WEST, ALONG THE NORTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2679, A DISTANCE OF 974.12 FEET TO THE POINT OF BEGINNING. CONTAINING 272,787 SQ.FT. [6.262 ACRES]

WHEREAS, Subdivider desires to subdivide and develop said land; and

WHEREAS, said land is presently zoned or planned to be zoned as **RS-2 | Single-Family Residential (Traditional)** which permits the above development; and

WHEREAS, the Plan Commission has recommended to the Village Board that the proposed subdivision of the above described lands be given final approval when the final plat thereof has been presented to the Village Board on the condition that the Subdivider enter into an agreement with the Village relative to the manner and method by which said land is to be developed; and

WHEREAS, the Subdivider agrees to develop said land as herein described in accordance with this Agreement and in accordance with all of the ordinances and regulations of the Village of Harrison; and

WHEREAS, the developer/subdivider assures the Village and shall on the plat acknowledge:  
"The owner/subdivider has no notice or knowledge of any environmental problems (the existence of hazardous or toxic substances) of any sort on the property being transferred. The owner/subdivider understands that it will pay for any costs to remediate any environmental problems encountered during construction of any of the public improvements required by the Village on the plat in the Developer's Agreement. The owner/subdivider understand that they shall be individually responsible for any environmental problems found on the land, transferred to the Village on the Plat of Survey or Certified Survey Map during the construction of roads or other dedications and agree to hold the Village harmless until construction, installation or grading is complete."; and

WHEREAS, the Village and Subdivider agree that the required dedications for surface water drainage and detention shall be dedicated with the plat acceptance, but shall be constructed by the developer as specified. The performance of the construction shall be secured by letter of credit or escrow. Security for performance of the construction shall be secured by letter of credit or escrow. Security for performance shall not be released in full or in part, at the discretion of the Village, until performance is complete and sufficient development of the subdivision has occurred to satisfy the Village that further development related impairment or damage of surface water structures will not occur.

NOW, THEREFORE, in consideration of the granting of approval of a final plat of the above-described lands and the development thereof by the Village Board, the Subdivider does hereby agree to subdivide and develop said lands as follows:

**SECTION 1 – IMPROVEMENTS**

All improvements shall be in accordance with the Village of Harrison standards and specifications as established by the Village’s Engineer and the Land Division Ordinance of the Village of Harrison for sanitary sewer, water main, storm sewer and street construction.

**A. ROADS AND STREETS** The Subdivider hereby agrees:

To furnish, construct, grade and surface all roads and streets in the subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village Board.

The Village has given consideration to the installation required and completion dates shall hereinafter be established and specified below. The completion dates are based upon the developer’s installation in accordance with the land division ordinance and the **FINAL** plan specifications and drawings approved by the Village Board. The Subdivider agrees to pay for all costs associated with inspection of the street construction. Such inspection shall be provided by an inspector selected by the Village.

*After the inspecting engineer, as chosen by the Village and paid for by the Subdivider, has certified that the Village of Harrison standards have been met, the Village Board will review the engineer’s certification and take action respectively, to accept the listed roads in a graveled state. Acceptance of a gravel road may only occur after the subgrade and gravel has been installed and inspected, all utilities (sanitary sewer, water, storm sewer, gas, electric, cable/phone, etc.) have been installed and inspected, and all terraces and primary drainage swales and ditches have been graded, seeded, and mulched and inspected. Once approved, the roads will sit in a gravel state for a period of not more than two (2) years after acceptance by the Village Board.*

*Prior to paving the road base shall be inspected to ensure the gravel is sufficient for paving. If the gravel is insufficient, the Subdivider shall bring the gravel base into compliance prior to paving. The Subdivider shall also cause the curb and gutter to be installed, the paving completed (including both lifts of asphalt), and the sidewalks and/or trails installed. Once the inspecting engineer, as chosen by the Village and paid for by the Subdivider, has certified that the Village of Harrison standards have been met, the Village Board will review the engineer’s certification and take action respectively, to accept the listed roads in a finished state.*

*The Subdivider will be responsible for all maintenance and repairs (including but not limited to pothole repair, placement of extra gravel, gravel replacement, calcium chloride or other dust control methods, etc.) of the roadways until the roadways is accepted by the Village Board in a finished state, or as otherwise stated in this Agreement. If the Village performs any repair or maintenance work, the costs of such work will be billed to the Subdivider based on actual time and material costs. Village will perform snow plowing and ice removal upon the roadways after acceptance in a graveled state at no cost to the Subdivider.*

Any variation to the proposed schedule of the improvements as set forth in the contract below may be extended where requests are made by the developer for construction during periods within the determination of the Road Superintendent and the Village’s Engineer, require extension of time periods to assure the Village that the improvements will not suffer from premature degeneration as a result of said construction.

For road construction between Nov. 15 and May 1st, there will be an additional warranty period of three years from gravel acceptance.

The schedule for construction shall be as follows:

<u>Timeframe Record</u>	
To be completed by Village of Harrison designee	
Final Subdivision approval	<u>February 2017</u>
Gravel and Grade	<u>June 2017</u>
Curb and Gutter/ Asphalt Binder/ Final Course Asphalt / Sidewalks	<u>June 2019</u>
Final Compliance Date	<u>June 2019</u>

**B. CURB AND GUTTER** The Subdivider hereby agrees:

1. To furnish, construct and install curb and gutter in accordance with the plat, plans, specifications and drawings attached hereto as Exhibit "A" and to complete said installation as set forth in the schedule above.

**C. SIDEWALKS** The Subdivider hereby agrees:

1. To furnish, construct and install sidewalks in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above.

**D. SANITARY SEWER** The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete sewerage systems throughout the entire subdivision, all in accordance with the plat plans, specifications and drawings *as per the requirements of the Waverly Sanitary District.*
2. To install separate sanitary sewer laterals to each lot within the subdivision.
3. The Village Board will not accept the sanitary sewer system until the sanitary sewers have been installed and tested in accordance with the Village's specifications on file with the Department of Natural Resources and the Subdivider's plan specifications as approved by the Village and the Village's engineer.

**E. WATER** The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete water distribution system throughout the entire subdivision, all in accordance with the plat, plans, specifications and drawings *as per the requirements of the Waverly Sanitary District.*
2. To install separate water laterals to each lot within the subdivision.
3. The Village Board will not accept the water distribution system until the water distribution system has been installed and tested in accordance with Village specifications on file with the

Department of Natural Resources and Public Service Commission and the Subdivider's plans and specifications approved by the Village and the Village's engineer.

**F. SURFACE WATER DRAINAGE** The Subdivider hereby agrees:

1. *To furnish, construct, install and provide a 12' gravel maintenance drive from the subdivision to the storm water management facility (i.e. stormwater pond). Such gravel drive shall approximately follow the storm sewer utility easement (provided in separate document) to provide access to the storm water facility easement (provided in separate document).*
2. To furnish, construct, install and provide adequate facilities for storm and surface water drainage throughout the entire subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village Board as well as all regulations of the County of Calumet and, where applicable, the Garners Creek Storm Water Utility and the Village of Harrison Storm Water regulations.
3. The Village Board will not accept the storm and surface water drainage improvements until the same have been installed and tested in accordance with the Village's specifications and the Subdivider's plans and specifications approved by the Village. The storm water and surface water drainage improvements shall be completed before a release of the performance guarantee specified by this contract.

**G. GRADING** The Subdivider hereby agrees:

1. To complete rough grading and finish grading along all primary drainage swales and ditches in the subdivision all in accordance with **FINAL** plat, plans specifications and drawings approved by the Village Board.

**H. LANDSCAPING RESTORATION** The Subdivider hereby agrees:

1. To preserve to the maximum extent possible existing trees, shrubbery, vines and grasses not actually lying within public roadways, drainageways, building foundations sites, private driveways, solid absorption waste disposal areas, paths and trails by use of sound conservation practices.
2. To remove and lawfully dispose of all destroyed trees, brush, tree trunks, shrubs and other natural growth and all rubbish.
3. To provide topsoil, seed, fertilizer and mulch for primary drainage swales and ditches and seed fertilizer and mulch for terrace areas in order to provide permanent growth of grass. Such landscaping restoration shall be completed after the installation of utilities (gas, electric, cable, phone, etc.); or if completed before utility installation, the Subdivider warrants that after such utility installation all primary drainage swales and ditches and terrace areas shall be further restored to the satisfaction of the Village Engineer and/or Road Superintendent.
4. To provide a growth of grass and warranty for washouts or other destruction of the drainage plan structures.

**I. INSPECTIONS** The Subdivider hereby agrees:

1. To allow for the Village to select an inspector for the purposes of inspecting the improvements to ensure compliance with the Standard Specifications Manual for the Village of Harrison.

2. To pay for all costs associated with the inspection of improvements within the subdivision development.

## SECTION II – MISCELLANEOUS REQUIREMENTS

- A. Survey Monuments. The Subdivider hereby agrees to properly place and install all survey or other monuments required by statute and ordinance. The Village of Harrison agrees that monuments on Lots 21-40 may be placed after grading is complete; however, no building or zoning permits will be issued until such monuments are placed by a registered surveyor and a monumentation certification has been delivered to the Village of Harrison.
- B. Grade. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner, the final signed plan set showing the finished grade at each lot corner.
- C. Plans. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner all plans and specifications identified in the Land Division Ordinance of the Village of Harrison.
- D. Compliance with Ordinances and Statutes. The Subdivider hereby agrees to comply with the requirements and provisions of all Village and County ordinances and state statutes.
- E. Record Drawings. The Subdivider agrees to provide the Village with record drawings of the sanitary sewer, water main and storm sewer improvements showing location of all the appurtenances and features of the systems as required by the standard specifications.
- F. Locations for Laterals or Other Improvements. If locates are necessary for any reason prior to final acceptance, the developer shall either provide adequate record drawings to the Village or the developer shall provide the field locates of utilities (such as laterals).

## SECTION III – PUBLIC IMPROVEMENT GUARANTEE

- A. The Village will not approve a final plat until such improvement is guaranteed as listed in A(1).
1. The Subdivider shall provide an irrevocable letter of credit or cash escrow for an amount equal to the cost of furnishings, constructing, installing, staking, inspecting and testing the improvement as required by this contract. The amount shall include construction engineering costs and shall be subject to final approval by the Village. (Improvements are described in this contract in Section I – Part, A, B, C, D, E, F, G, H & I hereof) The improvements shall be guaranteed prior to the Village approving the final plat. Roads as listed/shown shall be graded and graveled and shall include the curb and gutter and asphalt paving of all roads.

That amount of the remaining improvements, **as provided by the developer's engineer** is  
\$ 364,855.40

A detail of the estimated cost shall be attached as Exhibit "B".

- B. The Subdivider shall furnish, construct, install, stake, inspect and test the improvement. The improvement shall be dedicated to and accepted by the Village prior to the Village approving any release of a public improvement guarantee.
- C. The Subdivider hereby agrees to guarantee the improvements described in Section I hereof against defects due to faulty materials or workmanship which appear within a period of one

year from the date of acceptance by the Village as herein provided and shall pay for any damages resulting therefrom to Village property.

- D. As improvements required by this Agreement are completed, approved and accepted by the Village, the Subdivider may request a reduction of the public improvement guarantee based upon a demonstration that there exists no necessity for a guarantee in the full amount as originally required. Reductions in the amount of the public improvement guarantee shall be solely within the discretion of the Village Board and shall be made only upon recommendation by the Road Superintendent and Village Engineer.
- E. That the public improvement guarantee provided hereunder shall in all respects require compliance with the land division ordinance and particularly the performance guarantee as required by Article IV entitled "Development Agreements".

#### **SECTION IV – BUILDING PERMITS**

- A. The Village will not allow building permits to be issued to any person in the said subdivision until all improvements required herein have been dedicated to and accepted by the Village. *Issuance of permits may commence upon the dedication and acceptance of the roadways in a graveled state.* The Village will perform no repair, maintenance or snow plowing upon said improvements until accepted by the Village.
- B. Building permits may be issued by the Village upon dedication acceptance, and verification by the Village that the provisions of this Agreement have been complied with.
- C. The Village shall also require verification that all improvements have been paid for, and upon recording of the final plat, provided that the Subdivider has filed a sufficient cash escrow or irrevocable letter of credit with the Village to cover the cost of remaining items. Should the Subdivider fail to complete any items pursuant to the terms of the contract by the date set forth herein, the Village shall have the right through either the cash escrow and irrevocable letter of credit provided by the Subdivider to complete the said improvement and the Village shall have unrestricted access to the Subdivider's land for said purpose.
- D. Further, in the event that during the construction of the improvements specified herein, it is determined by the Road Superintendent, or Village's Engineer, that the Subdivider and/or its subcontractors installing said improvements have created a situation that is hazardous to the public and requires guarding improvement or repair, the Village may access the Subdivider's property for the purpose of making said repairs and any costs associated with the maintenance of roadways, filling of holes, removal of obstructions or other necessary work may be charged against the cash escrow or irrevocable letter of credit. The Road Superintendent shall make an effort to notify the Subdivider of the situation. The Road Superintendent and the Engineer in their judgment may determine the necessity of the repairs are urgent in nature and complete those repairs without notice to the Subdivider.

#### **SECTION V – AMENDMENTS**

The Village Board and Subdivider by mutual consent may amend this Agreement at any regularly scheduled meeting of the Village Board of the Village of Harrison. The Village Board shall not, however, consent to an amendment until after having first received a recommendation from the Road Superintendent and/or the Village's Engineer.



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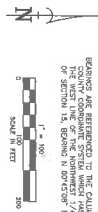


EXHIBIT A

*Final Plat, Plans, and Drawings as approved by the Village.*

# KAMBURA ACRES II

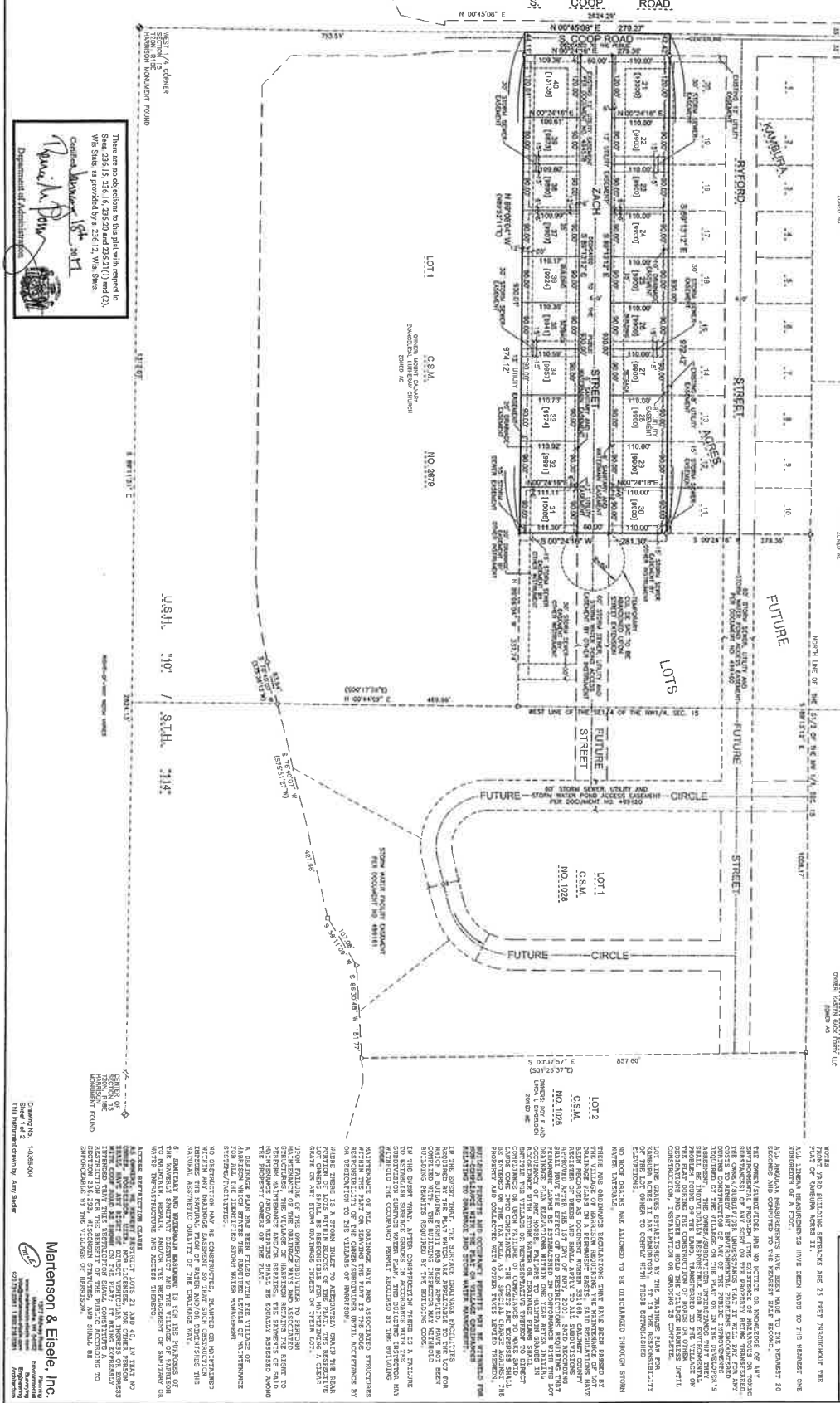
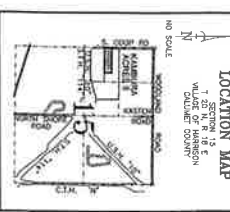
PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4  
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



- LEGEND**
- ▲ 1-1/2" O.D. ROAD FROM FIRE PUMP
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**NOTES**

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.S.M. NO. 1028



There are no objections to this plat with respect to  
Sec. 236.15, 236.16, 236.20 and 236.21(1) and (2),  
Wis. Stats. as provided by § 236.12, Wis. Stats.

*Capital Investment 1st*  
*W.L.T.*

Department of Administration

**Watterson & Eisele, Inc.**  
Professional Land Surveyors  
1000 North Lincoln Street  
Madison, WI 53706  
608.261.1111  
www.watterson-eisele.com

Checked by: *[Signature]*  
Date: *[Date]*



# KAMBURA ACRES II

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

PERMIT CONTACTS	CONTACT PERSON	PHONE
MUNICIPALITY		
WISCONSIN SANITARY DISTRICT	BOB PERCISOR	920-895-6844
VILLAGE OF HARRISON	BOB KESLER	920-909-1042
OWNER		
KAMBURA ACRES	FLAD BLISCH	920-894-5295
ENGINEER / SURVEYOR		
WARTONSON & EISELE	STAN WARTONSON	920-731-0381
WARTONSON & EISELE	GARY WARTONSON	920-731-0381
UTILITIES		

DRAWING NO.	DESCRIPTION:
C1.0	COVER SHEET
C2.0	UTILITY LAYOUT PLAN
C3.0	DRAINAGE PLAN
C4.0	ZACH STREET PLAN & PROFILE
C4.1	EROSION CONTROL PLAN
C5.0	EROSION CONTROL DETAILS
C5.1	EROSION CONTROL DETAILS
C5.2	STANDARD DETAILS
C6.0	STANDARD DETAILS
C6.1	STANDARD DETAILS

## LOCATION MAP



## REVISION TRACKERS

NO.	DATE	DESCRIPTION
△	10-21-2016	EXTENDED CULVERT, ADDED POST CONSTRUCTION SILT FENCE.
△	11-18-2016	ADDED INLET E2 & VOT, CHANGED CUL-TO-SAC GRASSES & CONTOURS
△	12-9-2016	SCREENS & WALKED NEAR SOUTH SHALE (FORM 31-46)
△	1-10-2017	1" CASING PIPE REMOVED
△	2-8-2017	ADDED SIDEWALK, REVISED INLET NAMES.

## CONSTRUCTION DOCUMENT REVISION TRACKER

NO.	DATE	DESCRIPTION

## RECORD DRAWING REVISION TRACKER

NO.	DATE	DESCRIPTION



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES YOU DIG IN WISCONSIN

CALL 811 or  
Toll Free 1-800-242-8511  
(262) 432-7910  
Emergency Only (877) 500-9592  
FAX 1-800-336-3860  
FAX (414) 259-0947  
Hearing Impaired TDD 1-800-542-2289

MS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

Martenson & Eisele, Inc.  
1377 Midway Road  
Manasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920 731 0381 1.800.236.0381

NO.	DATE	FIELDWORK	APPROVED:
1	10-21-2016	EXTENDED CULVERT, ADDED POST CONSTRUCTION SILT FENCE, CONSTRUCTION SILT FENCE	REVISION
2	11-18-2016	ADDED INLET E2 & VOT, CLARIFIED CUL-TO-SAC GRASSES & CONTOURS	
3	12-9-2016	NEAR DITCH CHANGE ELOTS 31-46	
4	1-10-2017	1" CASING PIPE REMOVED	
5	2-8-2017	ADDED SIDEWALK, REVISED INLET NAMES	

## COVER SHEET KAMBURA ACRES II

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

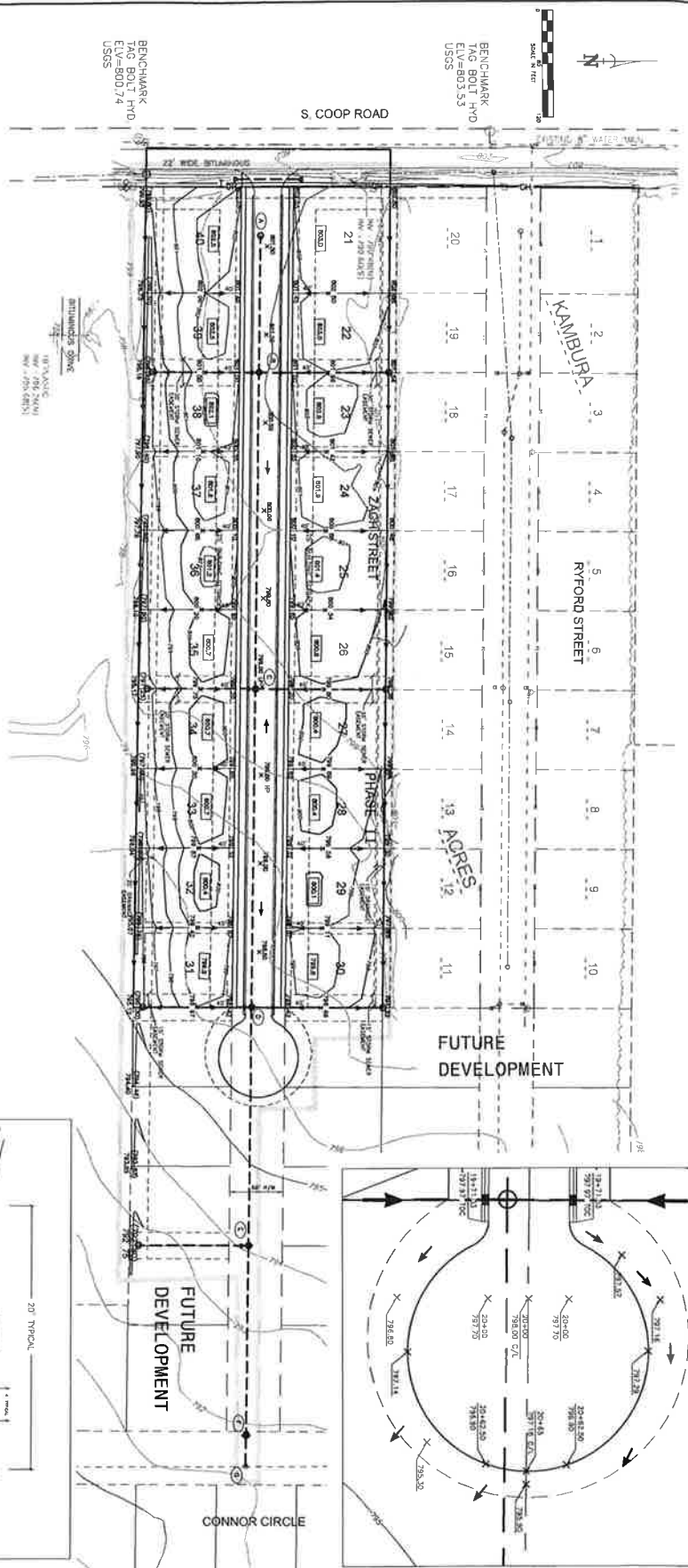
SCALE DATE  
N.T.S. 10-3-2016  
COMPILED BY  
MARTENSON-EISELE, INC.

DRAWING NO.  
C1.0



# DRAINAGE PLAN: KAMBURA ACRES II

## CUL-DE-SAC GRADING DETAIL

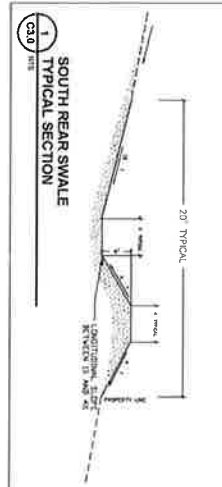


- DRAINAGE PLAN NOTES**
1. THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITH THE WORK IS DISCOVERED.
  2. ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE VILLAGE OF HARRISON STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE CONSTRUCTION.
  3. THIS FINAL DRAINAGE PLAN PROVIDES BRANCHED ALONG LOT LINES. MAJOR DRAINAGE SWALES AND CONDUITS SHALL BE LOCATED AT THE PERMANENT GRADE AT FOUNDATION ELEVATIONS. THE LOT BASED ON THE INFORMATION PROVIDED AT FOUNDATION ELEVATIONS MAY VARY. AN ENGINEER TO DETERMINE GRADE AT FOUNDATION ELEVATION.
  4. THE PROPOSED ELEVATIONS SHOWN ON THE DRAINAGE PLANS SHOWN ARE ASSUMED TO BE BASED ON THE FINISHED GRADE OF THE SOIL. THE FINISHED GRADE OF THE SOIL SHALL VARY FROM THE DRAINAGE AT A RATE OF AT LEAST 1-INCH PER FOOT FOR A MINIMUM DISTANCE OF 10 FEET OR TO THE LOT LINE, WHICHEVER IS LESS.
  5. PER W. ADMIN. CODE, CHAP 21.12, THE FINISHED GRADE OF THE SOIL SHALL BE AT LEAST 10 FEET OR TO THE LOT LINE, WHICHEVER IS LESS.
  6. THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS, THE LANDSCAPER SHALL NOT GRADE UP TO ANY FRESHLY OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.

7. ALL WORK SHALL COMPLY WITH O.S.M.A. STANDARDS.
8. THE CONTRACTOR AND/OR OTHERS SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/PERMITS ARE OBTAINED.
9. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
10. THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE CONSTRUCTION.
12. CONTRACTOR SHALL REMOVE OF NON-SATURABLE MATERIAL, GRT-4-SITE COMPACT EACH LAYER TO BE PERCENT OF MAXIMUM DENSITY, OR MORE, BEFORE PLACING SUBSEQUENT LAYER.

**DRAINAGE PLAN LEGEND**

- - - - - EXISTING CONTOUR
- — — — — PROPOSED CONTOUR
- — — — — STORM MAIN
- — — — — STORM MANHOLE
- — — — — STORM INLET
- — — — — PROPOSED ELEVATION
- (000.00) — — — — PERMANENT ELEVATION OR SHALE ELEVATION
- (000.00) — — — — EXISTING ELEVATION
- (000.00) — — — — DETECTION OF DRAINAGE
- (000.00) — — — — PROPOSED GRADING AT FOUNDATION



**TOPOGRAPHIC LEGEND**

- — — — — 1" x 1" 10' HIGH POST
- — — — — 2" x 2" 10' HIGH POST
- — — — — 3" x 3" 10' HIGH POST
- — — — — 4" x 4" 10' HIGH POST
- — — — — 5" x 5" 10' HIGH POST
- — — — — 6" x 6" 10' HIGH POST
- — — — — 8" x 8" 10' HIGH POST
- — — — — 10" x 10" 10' HIGH POST
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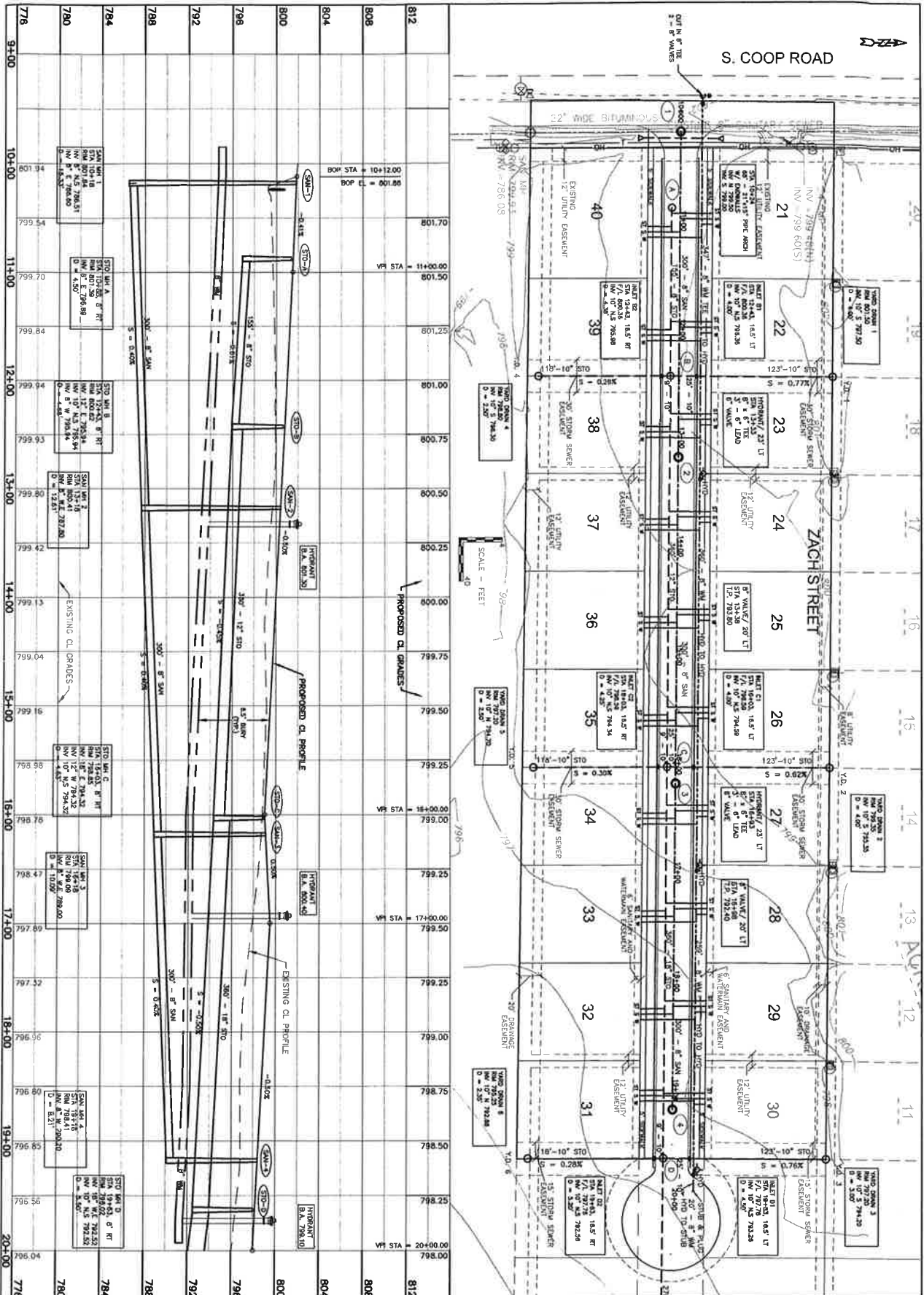
**DRAINAGE PLAN KAMBURA ACRES II**  
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION
1	10-21-2018	FOOTPRINTED, CIVIL, W/RT. ADDED POST
2	11-18-2018	CONSTRUCTION BUILT EMBANKMENT
3	12-1-2018	ADDED INLET #2 & 10', CLARIFIED
4	12-1-2018	CUL-DE-SAC GRADER & CONTOURS
5	12-1-2018	REAR DITCH GRADER & CONTOURS
6	12-1-2018	REAR DITCH GRADER & CONTOURS
7	12-1-2018	REAR DITCH GRADER & CONTOURS
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9	12-1-2018	REAR DITCH GRADER & CONTOURS
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31	12-1-2018	REAR DITCH GRADER & CONTOURS

**Martenson & Eisele, Inc.**  
1377 Mulvey Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920 731 0361 1 800 236 0361

Planning  
Environmental  
Surveying  
Engineering  
Architecture





DRAWN BY		CHECKED	APPROVED	REVISION
E.A.M.		M.S.S.		
NO.	DATE			
1	10-21-2016	EXTENDED CULVERT, ADDED POST		
2	11-16-2016	CONSTRUCTION SET FINISHES		
3	12-16-2016	ADDED INLET #1 & #2, CLARIFIED		
4	12-8-2018	REAR DITCH GRADES LOTS 31-40		
5	1-10-2017	18" CASING PIPE, REMOVED		
6	2-8-2017	ADDED BULKHEAD, REVISED INLET NAMES		

784	STO MAN A SIN 10'-0" x 6'-0" RT INV. 12' N.S. 798.89 INV. 10' N.S. 798.89 D = 4.50'
780	STO MAN B SIN 12'-0" x 6'-0" RT INV. 12' N.S. 798.94 INV. 10' N.S. 798.94 D = 4.50'
784	STO MAN B SIN 12'-0" x 6'-0" RT INV. 12' N.S. 798.94 INV. 10' N.S. 798.94 D = 4.50'
780	STO MAN 2 SIN 12'-0" x 6'-0" RT INV. 12' N.S. 798.94 INV. 10' N.S. 798.94 D = 4.50'
784	STO MAN C SIN 12'-0" x 6'-0" RT INV. 12' N.S. 798.94 INV. 10' N.S. 798.94 D = 4.50'
780	STO MAN 3 SIN 12'-0" x 6'-0" RT INV. 12' N.S. 798.94 INV. 10' N.S. 798.94 D = 4.50'
784	STO MAN D SIN 12'-0" x 6'-0" RT INV. 12' N.S. 798.94 INV. 10' N.S. 798.94 D = 4.50'
780	STO MAN 4 SIN 12'-0" x 6'-0" RT INV. 12' N.S. 798.94 INV. 10' N.S. 798.94 D = 4.50'

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9+00	10+00	11+00	12+00	13+00	14+00	15+00	16+00	17+00	18+00	19+00	20+00	20+00

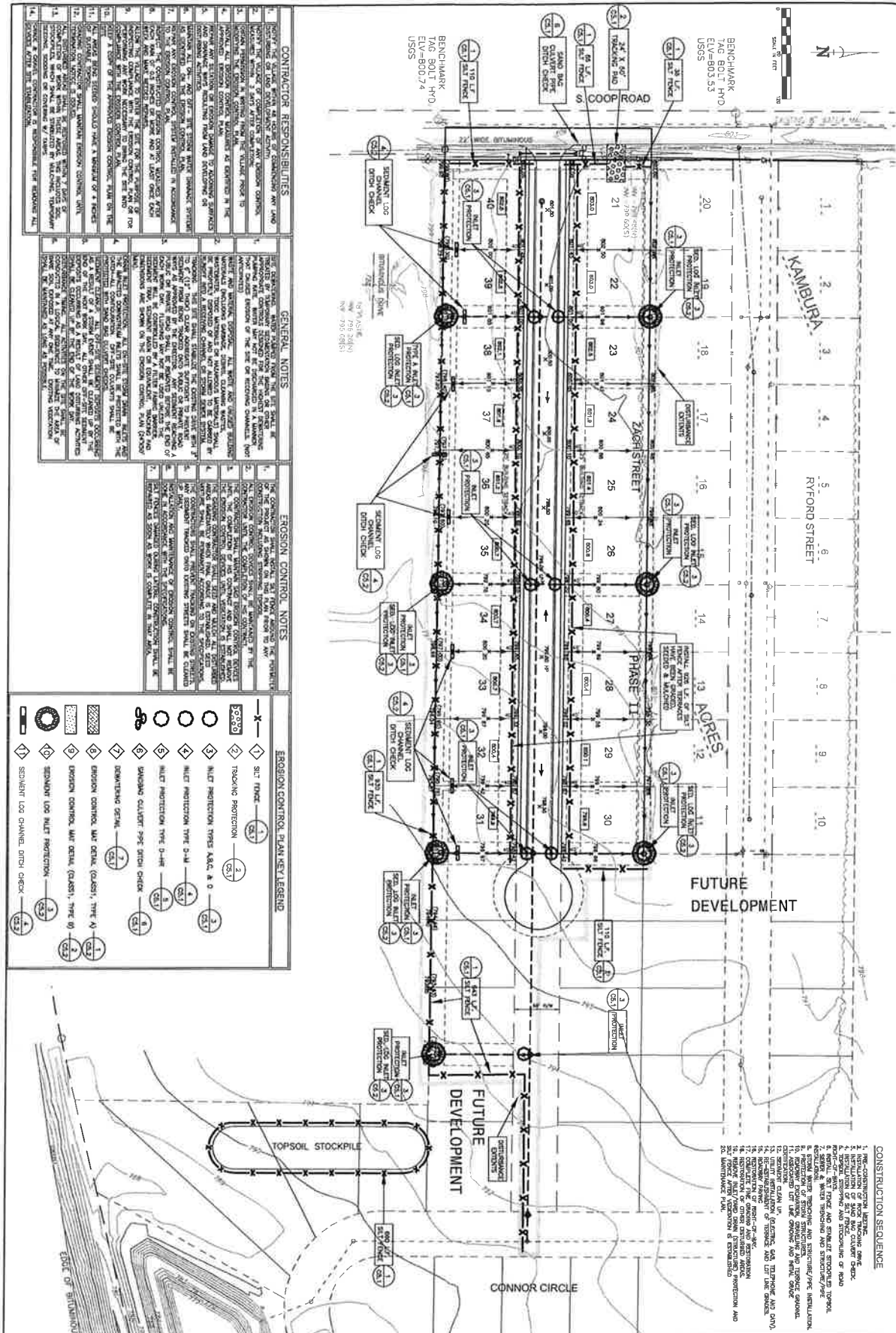
  

<b>PLAN &amp; PROFILE</b> <b>ZACH STREET</b> <b>KAMBURA ACRES II</b> VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN		DRAWING NO. C-0
--	--	--------------------

**Martenson & Eisele, Inc.**  
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 Menasha, WI 54952  
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 info@martenson-eisele.com  
 920.731.0381 1.800.238.0381



# EROSION CONTROL PLAN: KAMBURA ACRES II



### CONTRACTOR RESPONSIBILITIES

1. NOTIFY THE STATE, COUNTY AND LOCAL GOVERNMENT AND LAND OWNERS OF THE PROJECT AND OBTAIN NECESSARY PERMITS.
2. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
3. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
5. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
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10. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
11. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
12. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
13. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
14. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

### GENERAL NOTES

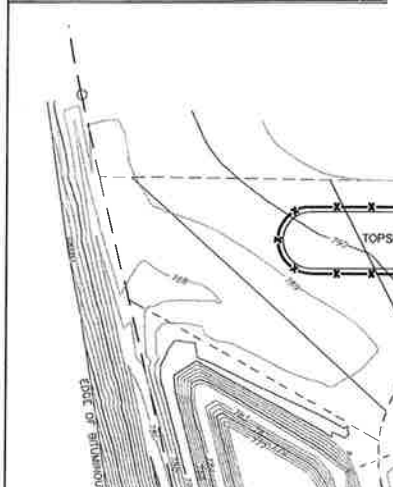
1. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
3. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
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13. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
14. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.

### EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
3. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
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10. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
11. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
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13. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.
14. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT.

### EROSION CONTROL PLAN REVISION LEGEND

	SILT FENCE	(2.1)
	SILT TRAP	(2.2)
	SILT BASIN	(2.3)
	SILT CHECK	(2.4)
	SILT CONTROL MAT	(2.5)
	SILT CONTROL MAT DETAIL	(2.6)
	SILT CONTROL MAT DETAIL (GRASS)	(2.7)
	SILT CONTROL MAT DETAIL (GRASS)	(2.8)
	SILT CONTROL MAT DETAIL (GRASS)	(2.9)
	SILT CONTROL MAT DETAIL (GRASS)	(2.10)
	SILT CONTROL MAT DETAIL (GRASS)	(2.11)
	SILT CONTROL MAT DETAIL (GRASS)	(2.12)
	SILT CONTROL MAT DETAIL (GRASS)	(2.13)
	SILT CONTROL MAT DETAIL (GRASS)	(2.14)
	SILT CONTROL MAT DETAIL (GRASS)	(2.15)
	SILT CONTROL MAT DETAIL (GRASS)	(2.16)
	SILT CONTROL MAT DETAIL (GRASS)	(2.17)
	SILT CONTROL MAT DETAIL (GRASS)	(2.18)
	SILT CONTROL MAT DETAIL (GRASS)	(2.19)
	SILT CONTROL MAT DETAIL (GRASS)	(2.20)
	SILT CONTROL MAT DETAIL (GRASS)	(2.21)
	SILT CONTROL MAT DETAIL (GRASS)	(2.22)
	SILT CONTROL MAT DETAIL (GRASS)	(2.23)
	SILT CONTROL MAT DETAIL (GRASS)	(2.24)
	SILT CONTROL MAT DETAIL (GRASS)	(2.25)
	SILT CONTROL MAT DETAIL (GRASS)	(2.26)
	SILT CONTROL MAT DETAIL (GRASS)	(2.27)
	SILT CONTROL MAT DETAIL (GRASS)	(2.28)
	SILT CONTROL MAT DETAIL (GRASS)	(2.29)
	SILT CONTROL MAT DETAIL (GRASS)	(2.30)
	SILT CONTROL MAT DETAIL (GRASS)	(2.31)
	SILT CONTROL MAT DETAIL (GRASS)	(2.32)
	SILT CONTROL MAT DETAIL (GRASS)	(2.33)
	SILT CONTROL MAT DETAIL (GRASS)	(2.34)
	SILT CONTROL MAT DETAIL (GRASS)	(2.35)
	SILT CONTROL MAT DETAIL (GRASS)	(2.36)
	SILT CONTROL MAT DETAIL (GRASS)	(2.37)
	SILT CONTROL MAT DETAIL (GRASS)	(2.38)
	SILT CONTROL MAT DETAIL (GRASS)	(2.39)
	SILT CONTROL MAT DETAIL (GRASS)	(2.40)
	SILT CONTROL MAT DETAIL (GRASS)	(2.41)
	SILT CONTROL MAT DETAIL (GRASS)	(2.42)
	SILT CONTROL MAT DETAIL (GRASS)	(2.43)
	SILT CONTROL MAT DETAIL (GRASS)	(2.44)
	SILT CONTROL MAT DETAIL (GRASS)	(2.45)
	SILT CONTROL MAT DETAIL (GRASS)	(2.46)
	SILT CONTROL MAT DETAIL (GRASS)	(2.47)
	SILT CONTROL MAT DETAIL (GRASS)	(2.48)
	SILT CONTROL MAT DETAIL (GRASS)	(2.49)
	SILT CONTROL MAT DETAIL (GRASS)	(2.50)



### EROSION CONTROL PLAN

#### KAMBURA ACRES II

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

DATE: 10-3-2016  
SCALE: AS SHOWN  
DRAWN BY: [Name]  
CHECKED BY: [Name]

NO.	DATE	DESCRIPTION	APPROVED
1	10-21-2016	EXTENDED CULVERT, ADDED POIST	HELOMANK
2	11-16-2016	ADDED SILT TRAP TO 2nd YARD CLARIFIER	HELOMANK
3	12-1-2016	NEAR DITCH GRADES LOTS 31-40	HELOMANK
4	1-10-2017	NE CADING PAUL REMOVED	HELOMANK
5	2-8-2017	ADDED SIDEWALK, REWROTE SILT TRAP	HELOMANK

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920 731 0361 1 800 236 0381

Planning  
Environmental  
Surveying  
Engineering  
Architecture

# EROSION CONTROL DETAILS: KAMBURA ACRES II

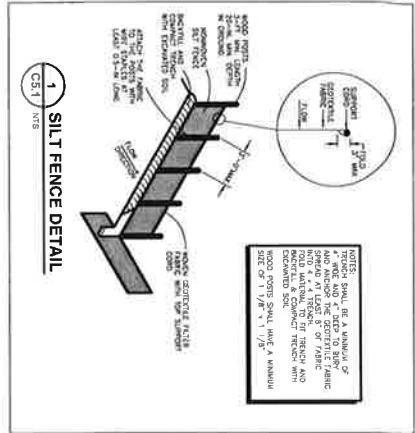


FIGURE 1: INLET PROTECTION TYPES A, B, C AND D

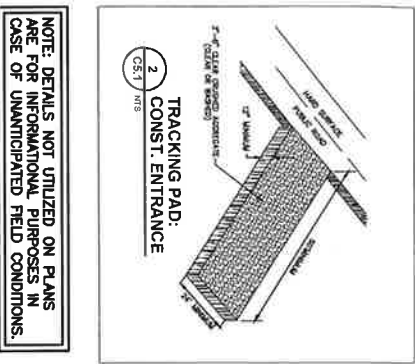


FIGURE 2: INLET PROTECTION TYPE D-M

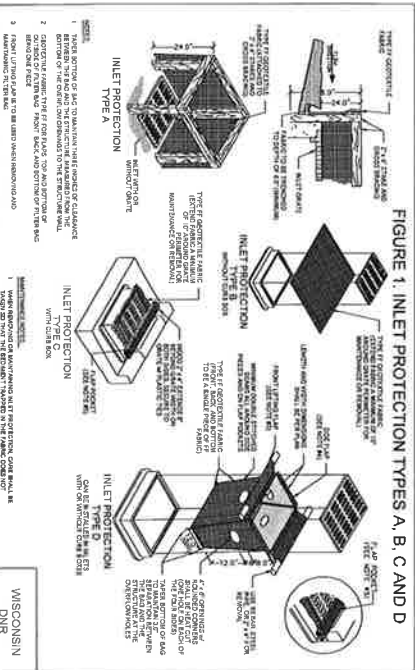
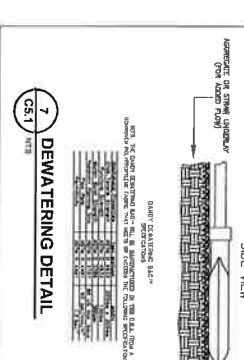
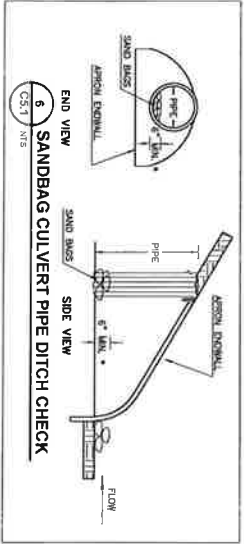
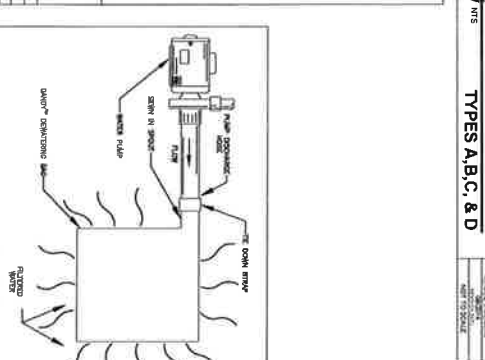
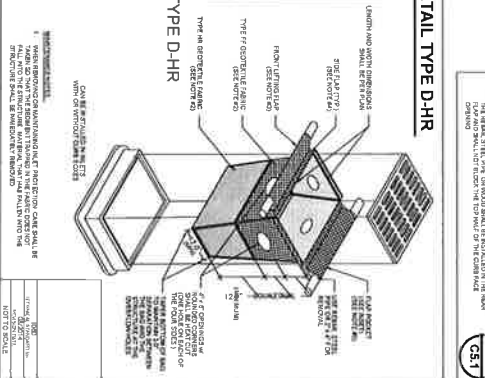
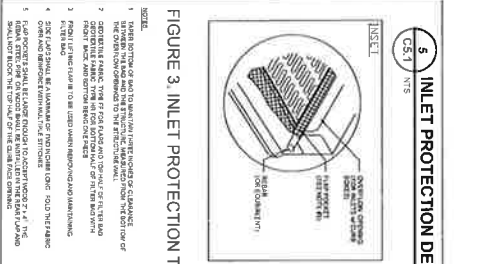
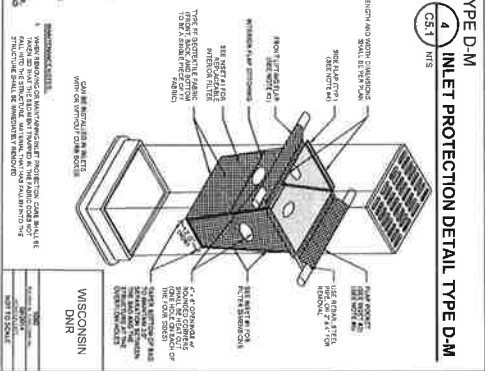
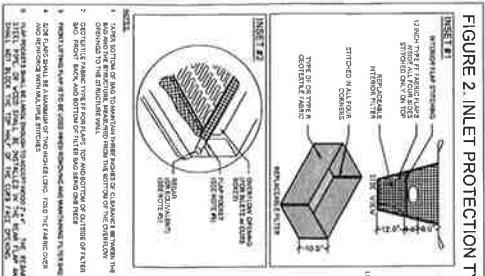


FIGURE 3: INLET PROTECTION TYPE D-HR



**EROSION CONTROL DETAILS**  
**KAMBURA ACRES II**  
VILLAGE OF HARRISON, CALLUMET COUNTY, WISCONSIN

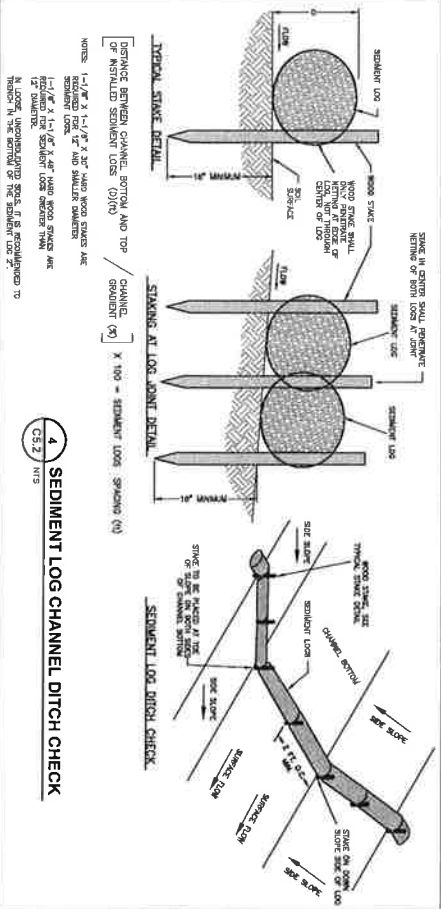
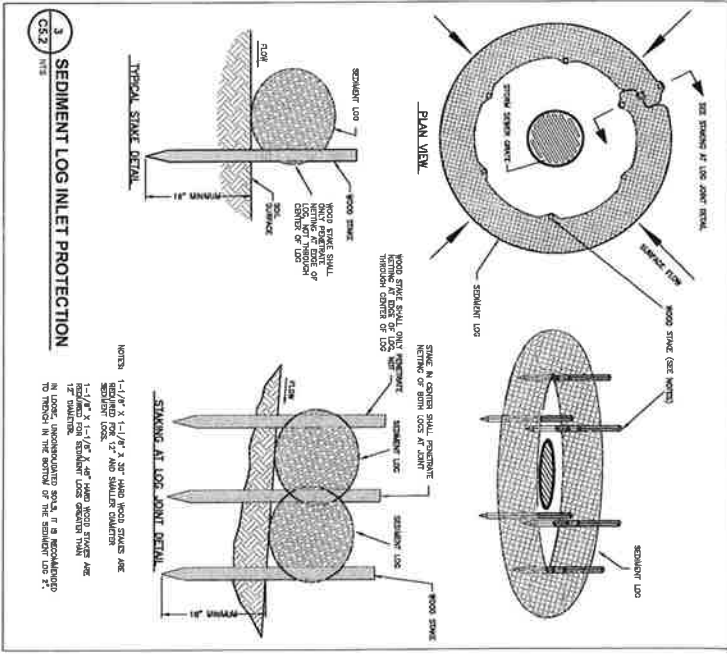
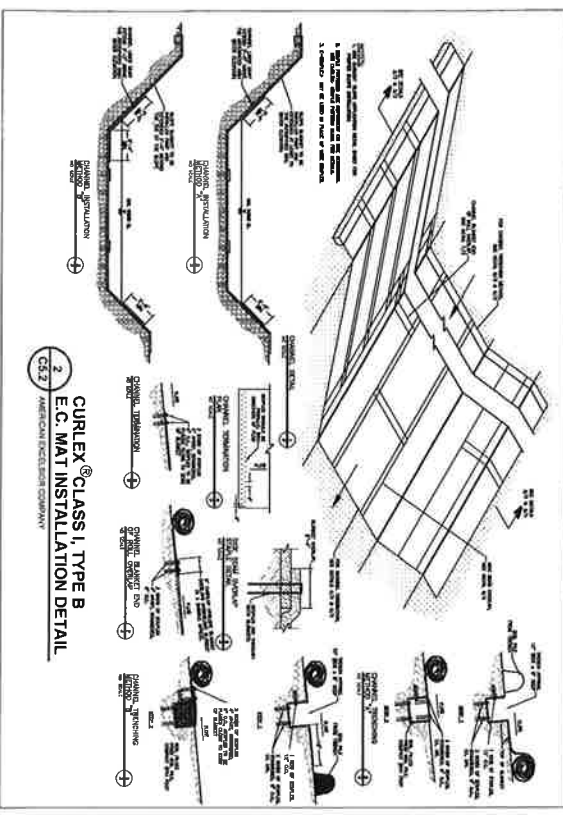
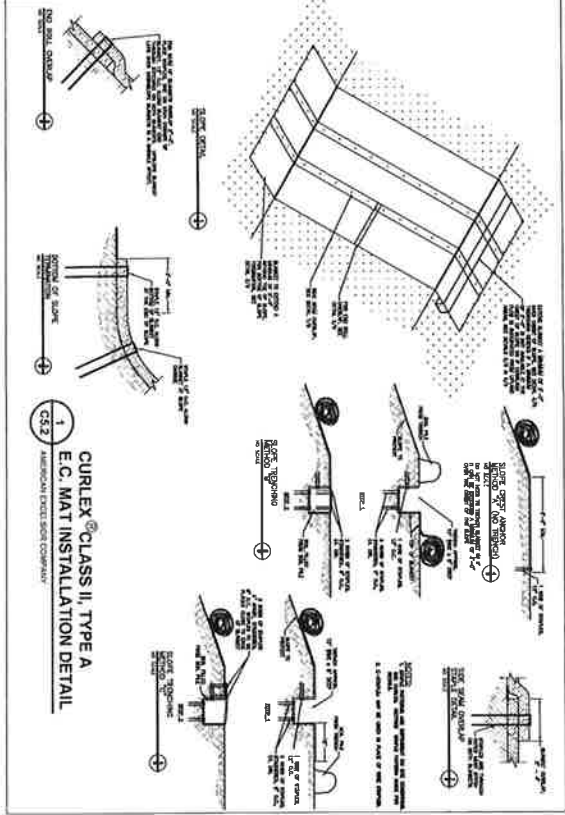
NO.	DATE	REVISION
1	10-21-2016	PERMITTED CULVERT, ADDD POST
2	11-18-2016	CONSTRUCTION PERMITS
3	12-1-2016	ADD INLET B2 & VDT, CLARIFIED CUL. ON RAC GRADIS & CONTOURS
4	12-1-2016	RENAME DITCH GRADIS LOTS 21-40
5	2-6-2017	RE-CALCULATE GRADIS IN LOTS 21-40
6	2-6-2017	ADD SCHWALK, REVISED INLET NAMES

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SCALE	DATE
N.T.S.	10-25-2016
COMPUTER FILE	
VERSION	09/20/2016.dwg
DESIGNED BY	CS1

NOTE: DETAILS NOT UTILIZED ON PLANS ARE FOR INFORMATIONAL PURPOSES IN CASE OF UNANTICIPATED FIELD CONDITIONS.

# EROSION CONTROL DETAILS: KAMBURA ACRES II



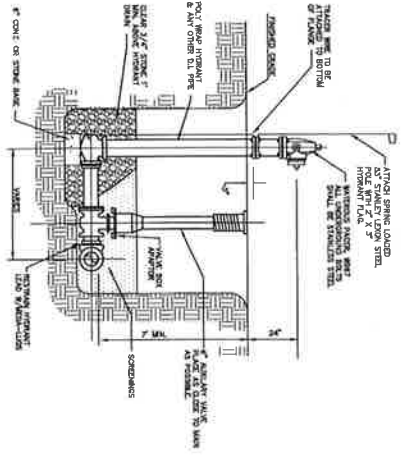
NO.	DATE	REVISION
1	10-21-2018	EXTENDED CALUMET ADOBE POST
2	11-18-2018	ADDED INLET #2 & VET. CLARIFIER
3	12-11-2018	REAR DITCH GRASSES & CONTROLS
4	1-10-2017	18" CASING PIPE REMOVED
5	2-8-2017	ADDED SIDEWALK, REVERSED INLET FRAMES

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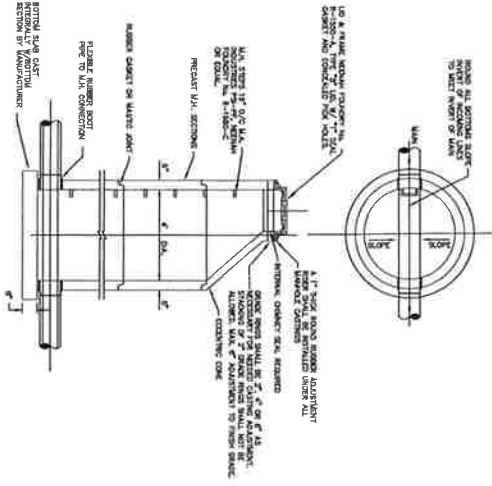
**EROSION CONTROL DETAILS**  
**KAMBURA ACRES II**  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

SCALE: 1" = 10'-0"  
 DATE: 10-23-2018  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]

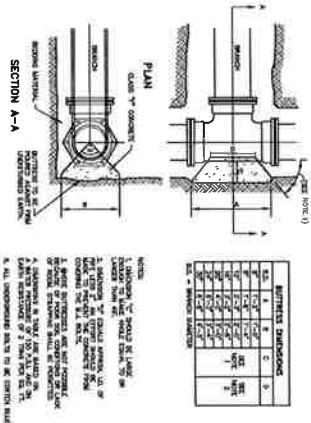
# STANDARD DETAILS: KAMBURA ACRES II



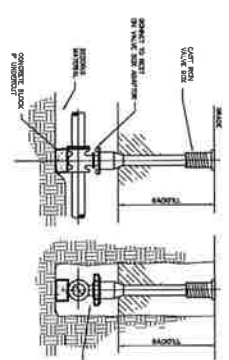
**HYDRANT DETAIL**



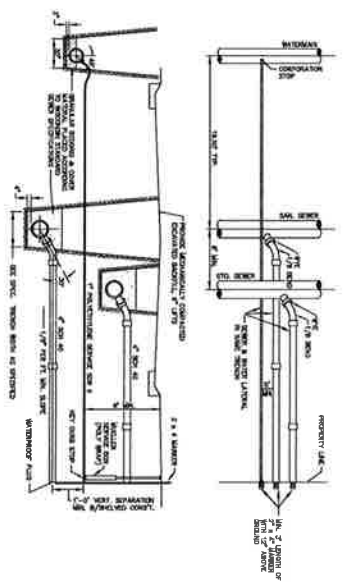
**STANDARD PRECAST SANITARY MANHOLE**



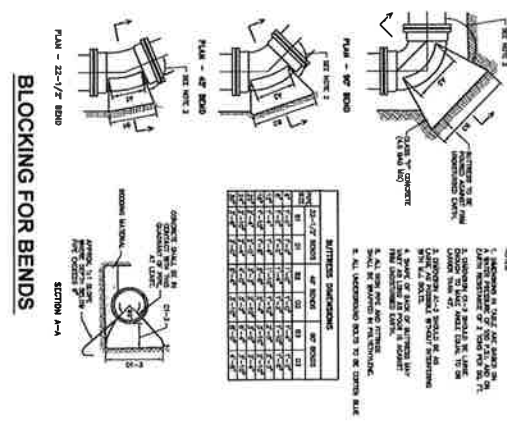
**BLOCKING FOR TEES**



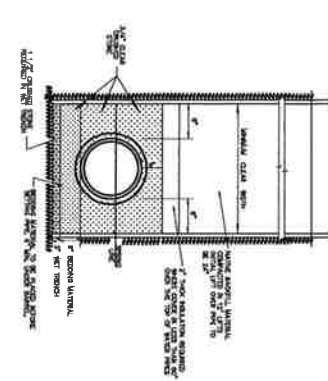
**STANDARD VALVE & VALVE BOX SETTING**



**TYPICAL CONNECTION SEWER & WATER**



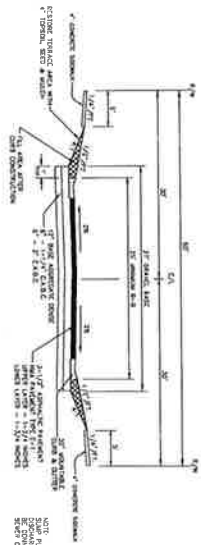
**BLOCKING FOR BENDS**



**CLASS \"B\" BEDDING FOR PVC PIPE**

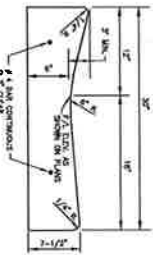
<p><b>STANDARD DETAILS</b> <b>KAMBURA ACRES II</b> VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN</p>		<p><b>Martenson &amp; Eisele, Inc.</b> 1377 Midway Road Menasha, WI 54952 www.martenson-eisele.com info@martenson-eisele.com 920 731 0381 1 800 236 0381</p>	
<p>DRAWN BY: [ ] DATE: 10-21-2018</p>	<p>FIELDWORK: [ ] DATE: 11-18-2018</p>	<p>APPROVED: [ ] REVISION: [ ]</p>	<p>EXTENDED CURB, MANHOLE POST, CONSTRUCTION SALT FENCE, ADDED INLET (E2) &amp; VOT, CLASSIFIED, 1\"/&gt; </p>

# STANDARD DETAILS: KAMBURA ACRES II

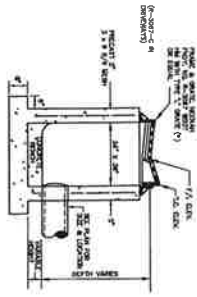
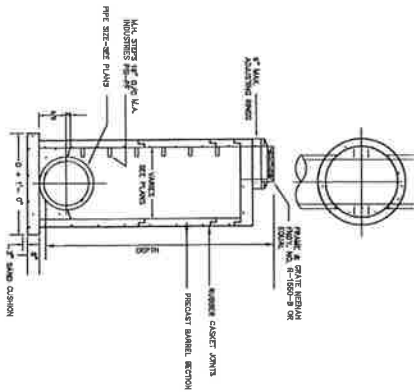


TYPICAL STREET SECTION

30" MOUNTABLE CURB & GUTTER DETAIL

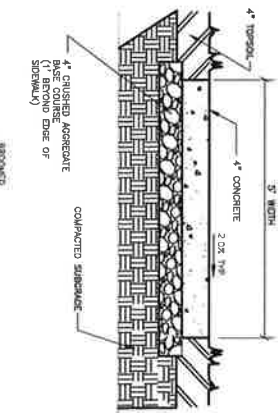
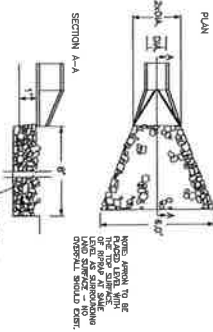


STORM SEWER M.H. DETAIL



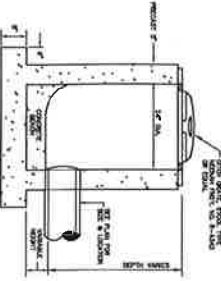
STORM SEWER INLET DETAIL

RIPRAP DETAIL

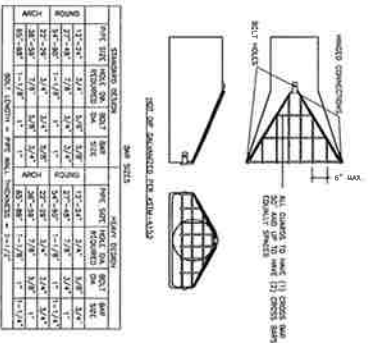


SIDEWALK DETAIL

YARD DRAIN DETAIL



SAFETY/ TRASH GUARD FOR FLARED ENDS



CONCRETE SECTION		ASPHALT SECTION	
PIPE SIZE	HEIGHT OVER PIPE	PIPE SIZE	HEIGHT OVER PIPE
18"	24"	18"	24"
24"	30"	24"	30"
30"	36"	30"	36"
36"	42"	36"	42"
42"	48"	42"	48"
48"	54"	48"	54"
54"	60"	54"	60"
60"	66"	60"	66"
66"	72"	66"	72"
72"	78"	72"	78"
78"	84"	78"	84"
84"	90"	84"	90"
90"	96"	90"	96"
96"	102"	96"	102"
102"	108"	102"	108"
108"	114"	108"	114"
114"	120"	114"	120"
120"	126"	120"	126"
126"	132"	126"	132"
132"	138"	132"	138"
138"	144"	138"	144"
144"	150"	144"	150"
150"	156"	150"	156"
156"	162"	156"	162"
162"	168"	162"	168"
168"	174"	168"	174"
174"	180"	174"	180"
180"	186"	180"	186"
186"	192"	186"	192"
192"	198"	192"	198"
198"	204"	198"	204"
204"	210"	204"	210"
210"	216"	210"	216"
216"	222"	216"	222"
222"	228"	222"	228"
228"	234"	228"	234"
234"	240"	234"	240"
240"	246"	240"	246"
246"	252"	246"	252"
252"	258"	252"	258"
258"	264"	258"	264"
264"	270"	264"	270"
270"	276"	270"	276"
276"	282"	276"	282"
282"	288"	282"	288"
288"	294"	288"	294"
294"	300"	294"	300"
300"	306"	300"	306"
306"	312"	306"	312"
312"	318"	312"	318"
318"	324"	318"	324"
324"	330"	324"	330"
330"	336"	330"	336"
336"	342"	336"	342"
342"	348"	342"	348"
348"	354"	348"	354"
354"	360"	354"	360"
360"	366"	360"	366"
366"	372"	366"	372"
372"	378"	372"	378"
378"	384"	378"	384"
384"	390"	384"	390"
390"	396"	390"	396"
396"	402"	396"	402"
402"	408"	402"	408"
408"	414"	408"	414"
414"	420"	414"	420"
420"	426"	420"	426"
426"	432"	426"	432"
432"	438"	432"	438"
438"	444"	438"	444"
444"	450"	444"	450"
450"	456"	450"	456"
456"	462"	456"	462"
462"	468"	462"	468"
468"	474"	468"	474"
474"	480"	474"	480"
480"	486"	480"	486"
486"	492"	486"	492"
492"	498"	492"	498"
498"	504"	498"	504"
504"	510"	504"	510"
510"	516"	510"	516"
516"	522"	516"	522"
522"	528"	522"	528"
528"	534"	528"	534"
534"	540"	534"	540"
540"	546"	540"	546"
546"	552"	546"	552"
552"	558"	552"	558"
558"	564"	558"	564"
564"	570"	564"	570"
570"	576"	570"	576"
576"	582"	576"	582"
582"	588"	582"	588"
588"	594"	588"	594"
594"	600"	594"	600"
600"	606"	600"	606"
606"	612"	606"	612"
612"	618"	612"	618"
618"	624"	618"	624"
624"	630"	624"	630"
630"	636"	630"	636"
636"	642"	636"	642"
642"	648"	642"	648"
648"	654"	648"	654"
654"	660"	654"	660"
660"	666"	660"	666"
666"	672"	666"	672"
672"	678"	672"	678"
678"	684"	678"	684"
684"	690"	684"	690"
690"	696"	690"	696"
696"	702"	696"	702"
702"	708"	702"	708"
708"	714"	708"	714"
714"	720"	714"	720"
720"	726"	720"	726"
726"	732"	726"	732"
732"	738"	732"	738"
738"	744"	738"	744"
744"	750"	744"	750"
750"	756"	750"	756"
756"	762"	756"	762"
762"	768"	762"	768"
768"	774"	768"	774"
774"	780"	774"	780"
780"	786"	780"	786"
786"	792"	786"	792"
792"	798"	792"	798"
798"	804"	798"	804"
804"	810"	804"	810"
810"	816"	810"	816"
816"	822"	816"	822"
822"	828"	822"	828"
828"	834"	828"	834"
834"	840"	834"	840"
840"	846"	840"	846"
846"	852"	846"	852"
852"	858"	852"	858"
858"	864"	858"	864"
864"	870"	864"	870"
870"	876"	870"	876"
876"	882"	876"	882"
882"	888"	882"	888"
888"	894"	888"	894"
894"	900"	894"	900"
900"	906"	900"	906"
906"	912"	906"	912"
912"	918"	912"	918"
918"	924"	918"	924"
924"	930"	924"	930"
930"	936"	930"	936"
936"	942"	936"	942"
942"	948"	942"	948"
948"	954"	948"	954"
954"	960"	954"	960"
960"	966"	960"	966"
966"	972"	966"	972"
972"	978"	972"	978"
978"	984"	978"	984"
984"	990"	984"	990"
990"	996"	990"	996"
996"	1002"	996"	1002"
1002"	1008"	1002"	1008"
1008"	1014"	1008"	1014"
1014"	1020"	1014"	1020"
1020"	1026"	1020"	1026"
1026"	1032"	1026"	1032"
1032"	1038"	1032"	1038"
1038"	1044"	1038"	1044"
1044"	1050"	1044"	1050"
1050"	1056"	1050"	1056"
1056"	1062"	1056"	1062"
1062"	1068"	1062"	1068"
1068"	1074"	1068"	1074"
1074"	1080"	1074"	1080"
1080"	1086"	1080"	1086"
1086"	1092"	1086"	1092"
1092"	1098"	1092"	1098"
1098"	1104"	1098"	1104"
1104"	1110"	1104"	1110"
1110"	1116"	1110"	1116"
1116"	1122"	1116"	1122"
1122"	1128"	1122"	1128"
1128"	1134"	1128"	1134"
1134"	1140"	1134"	1140"
1140"	1146"	1140"	1146"
1146"	1152"	1146"	1152"
1152"	1158"	1152"	1158"
1158"	1164"	1158"	1164"
1164"	1170"	1164"	1170"
1170"	1176"	1170"	1176"
1176"	1182"	1176"	1182"
1182"	1188"	1182"	1188"
1188"	1194"	1188"	1194"
1194"	1200"	1194"	1200"

DRAWN BY: [Signature]

DATE: 10-21-2016

SCALE: N.T.S.

COMPILED BY: [Signature]

DATE: 10-2-2016

PROJECT: VILLAGE OF HARRISON, CALLUMET COUNTY, WISCONSIN

## STANDARD DETAILS

### KAMBURA ACRES II

VILLAGE OF HARRISON, CALLUMET COUNTY, WISCONSIN

APPROVED: [Signature]

DATE: 10-21-2016

REVISIONS:

NO.	DATE	REVISION
1	10-21-2016	EXTENDED CULVERT, ADDED POST CONSTRUCTION SILT FENCE
2	11-15-2016	ADDED BELLS & VOT. CLARIFIED CUL. GO. SAC GRADES & CONTOURS
3	12-1-2016	REAR DITCH GRADES LOTS 31 & 32
4	1-10-2017	18\"/>

**Martenson & Eisele, Inc.**  
 1377 Midway Road  
 Menasha, WI 54952  
 info@martenson-eisele.com  
 920.731.0381 1.800.238.0381

Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture

EXHIBIT B

*Engineer's Cost Estimate for Improvements.*





No.	Construction Item		Estimated Quantity	Unit Price	Engineer's Estimate	Unit Price	Contractor's Bid
<b>Sanitary Sewer</b>							
1.	8" PVC Sanitary Main	LF	900.00	\$21.00	\$18,900.00	\$21.00	\$18,900.00
2.	Precast 48" Diameter Manhole	VF	46.24	\$210.00	\$9,710.40	\$210.00	\$9,710.40
3.	Manhole Casting w/ Internal Chimney Seal	Each	4.00	\$530.00	\$2,120.00	\$530.00	\$2,120.00
4.	4" PVC Sanitary Lateral (20)	LF	700.00	\$13.50	\$9,450.00	\$13.50	\$9,450.00
	<b>Sanitary Sewer Subtotal</b>				<b>\$40,180.40</b>		<b>\$40,180.40</b>
<b>Storm Sewer</b>							
1.	24" Storm Main	LF	248.00	\$38.50	\$9,548.00	\$38.50	\$9,548.00
2.	18" Storm Main	LF	630.00	\$30.95	\$19,498.50	\$30.95	\$19,498.50
3.	12" Storm Main	LF	360.00	\$20.25	\$7,290.00	\$20.25	\$7,290.00
4.	8" Storm Main	LF	155.00	\$17.25	\$2,673.75	\$17.25	\$2,673.75
5.	Precast 48" Diameter Manhole (6)	VF	30.50	\$250.00	\$7,625.00	\$250.00	\$7,625.00
6.	Manhole Casting	EA	6.00	\$350.00	\$2,100.00	\$350.00	\$2,100.00
7.	Storm Sewer Inlet w/ Casting	EA	7.00	\$1,300.00	\$9,100.00	\$1,300.00	\$9,100.00
8.	10" Storm Inlet Lead	LF	111.00	\$18.25	\$2,025.75	\$18.25	\$2,025.75
9.	Storm Sewer Yard Drain w/ Casting	EA	7.00	\$925.00	\$6,475.00	\$925.00	\$6,475.00
10.	10" Yard Drain Lead	LF	841.00	\$18.25	\$15,348.25	\$18.25	\$15,348.25
11.	4" PVC Storm Lateral (20)	LF	700.00	\$12.50	\$8,750.00	\$12.50	\$8,750.00
12.	21" x 15" Pipe Arch	LF	68.00	\$10.00	\$680.00	\$10.00	\$680.00
	<b>Storm Sewer Subtotal</b>				<b>\$91,114.25</b>		<b>\$91,114.25</b>
<b>Water Main</b>							
1.	8" PVC Water Main	LF	986.00	\$24.00	\$23,664.00	\$24.00	\$23,664.00
2.	Hydrant	EA	3.00	\$3,450.00	\$10,350.00	\$3,450.00	\$10,350.00
3.	6" Hydrant Lead	LF	9.00	\$40.00	\$360.00	\$40.00	\$360.00
4.	8" Valve	EA	5.00	\$1,500.00	\$7,500.00	\$1,500.00	\$7,500.00
5.	6" Valve	EA	3.00	\$1,050.00	\$3,150.00	\$1,050.00	\$3,150.00
6.	Service Lateral	LF	700.00	\$10.50	\$7,350.00	\$10.50	\$7,350.00
7.	Service Connection	EA	20.00	\$385.00	\$7,700.00	\$385.00	\$7,700.00
8.	Boring	LF	30.00	\$116.66	\$3,499.80	\$116.66	\$3,499.80
	<b>Water Main Subtotal</b>				<b>\$63,573.80</b>		<b>\$63,573.80</b>
<b>Street Construction</b>							
1.	Traffic Control	LS	1.00	\$500.00	\$500.00	\$500.00	\$500.00
2.	Street Excavation	LF	1,060.00	\$6.00	\$6,360.00	\$6.00	\$6,360.00
3.	Fine Grading	SY	7,590.00	\$0.60	\$4,554.00	\$0.60	\$4,554.00
4.	Stone Base	Ton	3,500.00	\$9.00	\$31,500.00	\$9.00	\$31,500.00
5.	Lot Line Grading	LF	1,860.00	\$3.60	\$6,696.00	\$3.60	\$6,696.00
	<b>Street Construction Subtotal</b>				<b>\$49,610.00</b>		<b>\$49,610.00</b>
<b>Erosion Control</b>							
1.	Install Silt Fence	LF	843.00	\$1.35	\$1,138.05	\$1.35	\$1,138.05
2.	Rock Tracking Pad	EA	1.00	\$850.00	\$850.00	\$850.00	\$850.00
3.	Inlet Protection	EA	7.00	\$95.00	\$665.00	\$95.00	\$665.00
4.	Type A Inlet Protection	EA	7.00	\$95.00	\$665.00	\$95.00	\$665.00
5.	Log Ditch Check	EA	7.00	\$99.75	\$698.25	\$99.75	\$698.25
6.	Sediment Logs	EA	7.00	\$99.75	\$698.25	\$99.75	\$698.25
7.	Sand Bag Culvert Pipe Ditch Check	EA	1.00	\$75.00	\$75.00	\$75.00	\$75.00
	<b>Erosion Control Subtotal</b>				<b>\$4,789.55</b>		<b>\$4,789.55</b>
<b>Construction Cost Total</b>					<b>\$249,268.00</b>		<b>\$249,268.00</b>
<b>Future Street Construction</b>							
1.	30" Concrete Curb & Gutter	LF	1,860.00	\$12.00	\$22,320.00	\$0.00	\$0.00
2.	1-3/4" HMA Asphaltic Concrete Pvmnt Binder	SY	3,964.00	\$5.50	\$21,802.00	\$0.00	\$0.00
3.	1-3/4" HMA Asphaltic Concrete Pvmnt Finish	SY	3,964.00	\$5.50	\$21,802.00	\$0.00	\$0.00
4.	4" Concrete Sidewalk	SF	9,300.00	\$4.00	\$37,200.00	\$0.00	\$0.00
	<b>Future Street Construction Subtotal</b>				<b>\$103,124.00</b>		<b>\$0.00</b>

**Kambura Acres II**



**Martenson & Eisele, Inc.**

Project Performa  
 Original Creation = January 25, 2017  
 Revision Date = February 3, 2017

Item	Quantity	Unit Price	Estimated	To Date
Sanitary Sewer			\$40,180.40	\$0.00
Storm Sewer			\$91,114.25	\$0.00
Water Main			\$63,573.80	\$0.00
Street Construction			\$49,610.00	\$0.00
Erosion Control			\$4,789.55	\$0.00
<b>Village Administration</b>				
Construction Observation			\$12,463.40	\$0.00
<b>Project Cost (Sanitary, Water, Storm &amp; Street)</b>			<b>\$261,731.40</b>	<b>\$0.00</b>

<b>Future Street Construction</b>				
Item	Quantity	Unit Price	Estimated	To Date
30" Concrete Curb & Gutter			\$22,320.00	\$0.00
1-3/4" HMA Asphaltic Concrete Pvmnt Binder			\$21,802.00	\$0.00
1-3/4" HMA Asphaltic Concrete Pvmnt Finish			\$21,802.00	\$0.00
4" Concrete Sidewalk			\$37,200.00	\$0.00
<b>Future Project Cost (Curb &amp; Gutter and HMA)</b>			<b>\$103,124.00</b>	<b>\$0.00</b>

<b>Total Project Cost</b>			<b>\$364,855.40</b>	<b>\$0.00</b>
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EXHIBIT C

*Financial Guarantee*

# Donald Hietpas & Sons, Inc.

## Utility Construction



P.O. Box 166  
1450 E. NORTH AVENUE  
LITTLE CHUTE, WISCONSIN 54140  
920-788-2568  
FAX 920-788-4718

2/8/2017

VILLAGE OF HARRISON  
MARK MOMMAERTS VILLAGE PLANNER

DONALD HIETPAS & SON'S WAVE ALL RIGHTS TO LIEN THE VILLAGE HARRISON OR TAKE ANY  
LEGAL ACTION AGAINST THE VILLAGE OF HARRISON IF RUSH DEVELOPMENT DOES NOT  
PAY FOR THE PHASE 11 DEVELOPMENT COST.

SINCERLY STUART HIETPAS PRESIDENT

A handwritten signature in cursive that reads "Stuart Hietpas President".





**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**  
Mark J. Mommaerts, AICP, Planner

**Date:**  
February 28, 2017

**Title:**  
Land Dedication Agreement

**Issue:**  
Should the Village Board approve a land dedication agreement to acquire property for lift station #6 and a stormwater management pond?

**Background and Additional Information:**  
The Village has been working with the Waverly Sanitary District to plan, design, and construct a sanitary sewer lift station to extend sewer service to approximately 700-acres of land between County N and S. Coop Road and between Manitowoc Road and Hwy 114. The preferred location of the lift station has been identified. The property owner, who is the developer of the Kambura Acres subdivision, is offering to deed the lift station property to the Village in exchange for some future considerations. In order to build phase 3 of the Kambura Acres subdivision, the lift station must be installed to service the area with public sewer. Future considerations include: 1) the Village not enforcing its parkland dedication requirement or any upcoming fee in lieu of parkland dedication; and 2) the Village installing “risers” on sewer mains for future lots in the Kambura Acres subdivision.

As part of the land dedication, the developer will also deed over the stormwater management pond for the subdivision to the Village. Historically, Harrison has taken ownership of stormwater ponds to ensure proper maintenance is being done in compliance with Harrison’s MS4 permit.

Closing dates will be included on the agreement once a timeline has been set with the property owner.

**Budget/Financial Impact:**  
None.

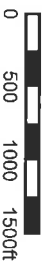
**Recommended Action:**  
Staff recommends approval of the land dedication agreement.

- Attachments:**
- Land Dedication Agreement
  - Location Map

# Calumet County, WI

## Legend

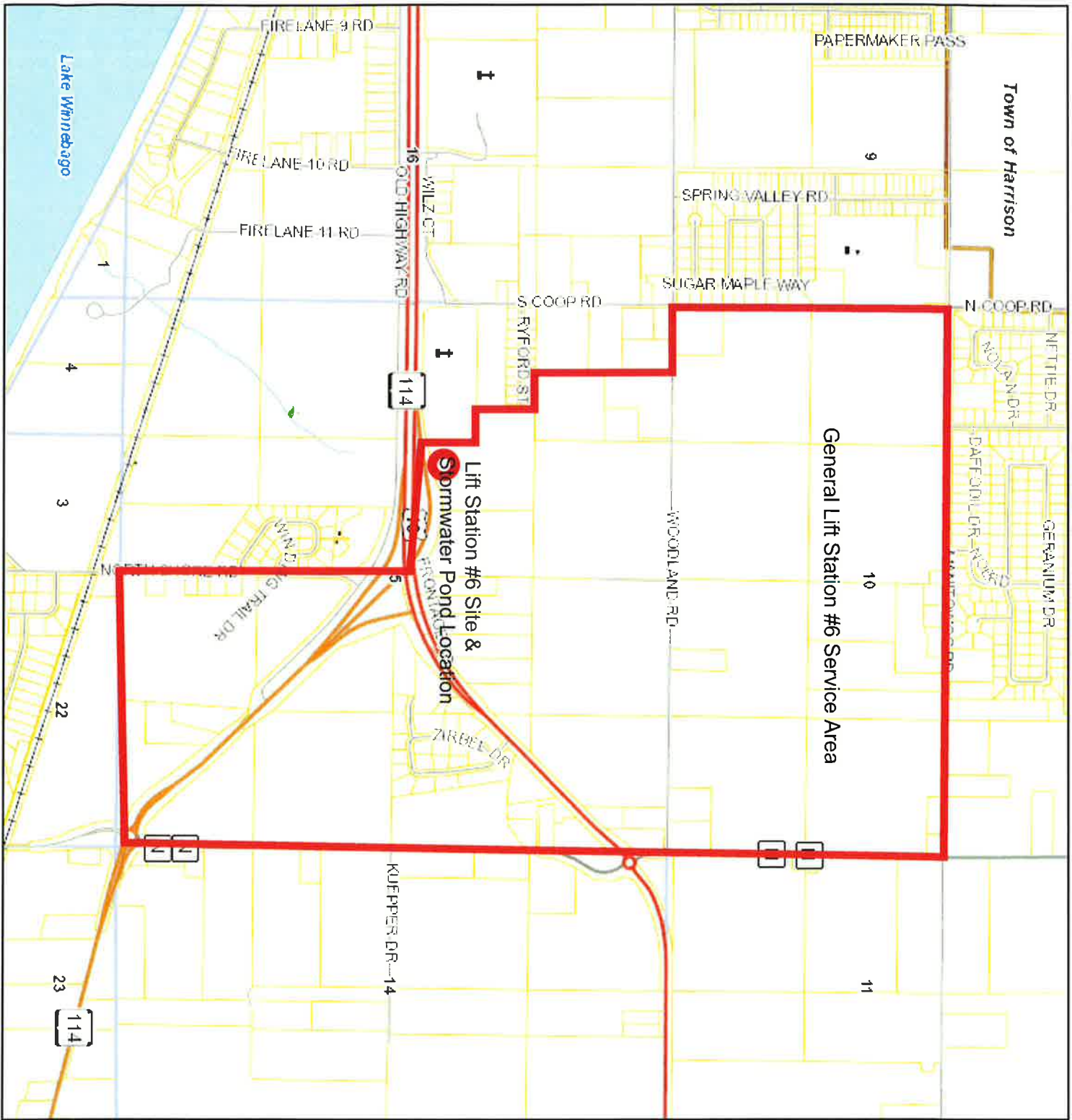
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Federal Highways
- State Highways
- County Highways
- Local Roads
- Municipal Streets
- Trail
- Railroad



**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

A-2302

Date Printed: 02/24/17 9:56 AM  
 Drawn By: [Name]



## LAND DEDICATION AGREEMENT

The parties to this Land Dedication Agreement (herein after the “Agreement”) are the Village of Harrison (hereinafter the “Village”) and Rusch Development Properties, LLC (hereinafter the “Developer”).

### RECITALS

**WHEREAS**, Developer owns land located within the Village; and,

**WHEREAS**, Developer has subdivided lands within the Village for residential purposes and plans to develop one or more additional phases of subdivided land for residential purposes in the future; and,

**WHEREAS**, the Village needs land in the proximity of Developer’s land to build a lift station to serve a future phase of Developer’s subdivision and extensive territory in the vicinity of the subdivision but located outside of the subdivision; and,

**WHEREAS**, the Village typically requires subdividers of land for residential purposes to dedicate land for park purposes or pay a fee in lieu of dedication of land for future park purposes; and,

**WHEREAS**, the Village is also in need of a stormwater pond in the proximity of the Developer’s land and Developer already has a sediment pond which would be suitable for future use as a Village stormwater pond located on said land; and,

**WHEREAS**, the Parties wish to work together in accordance with the terms stated herein.

**NOW THEREFORE**, the parties agree as follows:

- 1) Developer agrees to gift the land described in **Exhibit A** to the Village on or before \_\_\_\_\_ by warranty deed free and clear of encumbrances for use by the Village as a future lift station.
- 2) Developer shall gift certain land identified in **Exhibit B** to the Village on or before \_\_\_\_\_ by warranty free and clear of encumbrances for future use as a Village-owned stormwater pond.
- 3) When Developer subdivides phase three of the “Kambura Acres” subdivision, described in **Exhibit C**, the Village agrees not to enforce its parkland dedication ordinance with respect to said land and the Village also agrees not to require the Developer to pay a fee in lieu of parkland dedication for said land.
- 4) The Village agrees to install “risers” on any section of gravity flow sewer main located within the road right of way within a future phase of the Kambura Acres Subdivision described in **Exhibit C** to allow future lot owners to access said gravity flow line with their sewer service laterals. This requirement shall only pertain to the

roughly 20-foot deep underground influent sewer line flowing into the lift station. The effluent line flowing out of the lift station shall be pressurized and shall not be subject to the provisions of this paragraph.

- 5) Developer agrees and understands that the Village's parkland dedication requirement and the Village's fee in lieu of parkland dedication requirements are separate and distinct from the Village's park impact fee requirement. Both the parkland dedication requirement and the fee in lieu of parkland dedication requirement pertain to land for future parks. The park impact fee requirement pertains to improvements to existing or future parks (e.g. a new baseball diamond or playground). The Developer agrees and understands that although Developer will not have to comply with the parkland dedication requirement and/or the fee in lieu of parkland dedication requirement, Developer and its future lot owners may at some point in the future be subject to the park impact fee requirement, just as all similarly-situated land owners would be within the Village.
- 6) Following the gifts as outlined by this Agreement, the Village shall assume all responsibility to build, modify, and/or maintain the pond, lift station, all other related improvements constructed thereon, and the land upon which said improvements are situated.
- 7) The Parties agree and understand that a future Developers Agreement will be entered into between the Parties at such time that the Developer wishes to develop and subdivide phase three of Kambura Acres Subdivision.
- 8) The Parties acknowledge that the mutual consideration contained within this Agreement is sufficient and adequate for the promises made by each respective Party. The Parties also agree and understand that their entire agreement is contained within this Agreement and only the terms stated herein shall bind the Parties.

RUSCH DEVELOPMENT PROPERTIES, LLC

By: \_\_\_\_\_  
Wallace A. Rusch, Authorized Representative

Dated: \_\_\_\_\_

VILLAGE OF HARRISON

By: \_\_\_\_\_  
James Salm, Village President

Dated: \_\_\_\_\_



## Legal Description

### Lift Station Parcel

Part of Lot 1 of Certified Survey Map No. 1028, located in the Southeast 1/4 of the Northwest 1/4, Section 15, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, more fully described as follows:

Commencing at the West 1/4 corner of said Section 15; thence North 00 degrees 45 minutes 08 seconds East, along the West line of the Northwest 1/4 of said Section, a distance of 1142.78 feet; thence South 89 degrees 13 minutes 12 seconds East, 1451.75 feet; thence South 00 degrees 24 minutes 16 seconds West, 448.93 feet; thence 160.47 feet along an arc of a curve to the left, said curve having a radius of 130.00 feet and a chord that bears South 34 degrees 57 minutes 29 seconds East, 150.47 feet to the point of beginning; thence 30.00 feet along an arc of a curve to the left, said curve having a radius of 130.00 feet and a chord that bears South 76 degrees 55 minutes 54 seconds East, 29.93 feet; thence South 29 degrees 00 minutes 00 seconds West, 287.69 feet; thence South 76 degrees 40 minutes 07 seconds West, along the North right-of-way line of U.S.H. "10"/S.T.H. "114", a distance of 127.26 feet; thence North 00 degrees 44 minutes 09 seconds East, along the west line of the Southeast 1/4 of the Northwest 1/4 of said Section 15, a distance of 30.93 feet; thence North 42 degrees 18 minutes 33 seconds East, 347.25 feet to the point of beginning. Containing 22,066 square feet.

EXHIBIT     A

## Legal Description

### Storm Water Facility Parcel

Part of Lot 1 of Certified Survey Map No. 1028, located in the Southeast 1/4 of the Northwest 1/4, Section 15, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, more fully described as follows:

Commencing at the West 1/4 corner of said Section 15; thence North 00 degrees 45 minutes 08 seconds East, along the West line of the Northwest 1/4 of said Section, a distance of 1142.78 feet; thence South 89 degrees 13 minutes 12 seconds East, 1451.75 feet; thence South 00 degrees 24 minutes 16 seconds West, 448.93 feet; thence 190.47 feet along an arc of a curve to the left, said curve having a radius of 130.00 feet and a chord that bears South 41 degrees 34 minutes 09.0 seconds East, 173.88 feet to the point of beginning; thence 44.90 feet along an arc of a curve to the left, said curve having a radius of 130.00 feet and a chord that bears North 86 degrees 33 minutes 46.5 seconds East, 44.68 feet; thence North 76 degrees 40 minutes 07 seconds East, 89.69 feet; thence 71.24 feet along an arc of a curve to the left, said curve having a radius of 160.00 feet and a chord that bears North 63 degrees 54 minutes 48.5 seconds East, 70.65 feet; thence South 38 degrees 38 minutes 08 seconds East, 225.69 feet; thence South 86 degrees 30 minutes 48 seconds West, along the North right-of-way line of U.S.H. "10"/S.T.H. "114", a distance of 91.30 feet; thence South 59 degrees 11 minutes 09 seconds West, continuing along the North right-of-way line of U.S.H. "10"/S.T.H. "114", a distance of 107.08 feet; thence South 76 degrees 40 minutes 07 seconds West, continuing along the North right-of-way line of U.S.H. "10"/S.T.H. "114", a distance of 300.72 feet; thence North 29 degrees 00 minutes 00 seconds East, 287.69 feet to the point of beginning. Containing 70,203 square feet.

EXHIBIT     B



State Bar of Wisconsin Form 1-2003  
**WARRANTY DEED**

Document Number

Document Name

**THIS DEED**, made between Rusch Development Properties, LLC, a Wisconsin Limited Liability Company

("Grantor," whether one or more), and Village of Harrison, a Wisconsin municipal corporation,

("Grantee," whether one or more).

Grantor for a valuable consideration, conveys to Grantee the following described real estate, together with the rents, profits, fixtures and other appurtenant interests, in Calumet County, State of Wisconsin ("Property") (if more space is needed, please attach addendum):

See attached legal description.

Recording Area

Name and Return Address  
**Atty. Andrew J. Rossmeissl  
Herrling Clark Law Firm  
800 N. Lynndale Drive  
Appleton, WI 54914**

Parcel Identification Number (PIN)  
Part of 131-0000-0000000-000-0-201815-00-240A, location ID #33582

This is not homestead property.  
(~~is~~) (is not)

Exceptions to warranties:  
**Easements, restrictions, and covenants of record.**

Dated \_\_\_\_\_.

\_\_\_\_\_  
\* \_\_\_\_\_  
\_\_\_\_\_  
\* \_\_\_\_\_

**AUTHENTICATION**

Signature(s) \_\_\_\_\_

authenticated on \_\_\_\_\_.

\* \_\_\_\_\_

TITLE: MEMBER STATE BAR OF WISCONSIN  
(If not, \_\_\_\_\_  
authorized by Wis. Stat. § 706.06 )

**RUSCH DEVELOPMENT PROPERTIES, LLC**

By: \_\_\_\_\_ (SEAL)

\* **Wallace A. Rusch, authorized representative**

By: \_\_\_\_\_ (SEAL)

\* \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF WISCONSIN )  
 ) ss.  
\_\_\_\_\_ COUNTY )

Personally came before me on \_\_\_\_\_,  
the above-named Wallace A. Rusch

to me known to be the person(s) who executed the foregoing  
instrument and acknowledged the same.

\* \_\_\_\_\_

Notary Public, State of Wisconsin

My commission (is permanent) (expires: \_\_\_\_\_)

THIS INSTRUMENT DRAFTED BY:  
Atty. Andrew J. Rossmeissl, Herrling Clark Law Firm  
800 N. Lynndale Drive, Appleton, WI 54914

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATION TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

WARRANTY DEED

©2003 STATE BAR OF WISCONSIN

FORM NO. 1-2003

\*Type name below signatures.

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**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Date:**

February 28, 2017

**Title:**

Certified Survey Map - Hopfensperger

**Issue:**

Should the Village Board approve a Certified Survey Map for Ralph Hopfensperger on Schmidt Road?

**Background and Additional Information:**

The applicant is proposing a REVISED 4-lot Certified Survey Map (CSM) for the property located along Schmidt Road between State Park Road and Hwy 55 (Tax ID 39196). The property is currently zoned General Agricultural [AG]. There is an officially mapped roadway along the western portion of the property. The purpose of the CSM is to create two lots for new home development. The Plan Commission reviewed a concept last summer and commented that the future roadway could be relocated on the property. The Plan Commission reviewed a CSM at their January meeting and recommended approval to the Village Board with several conditions:

1. A note on the face of the CSM shall read, "Only Lot 2 & Lot 3 will receive building permits or zoning permits until a public road is constructed from Schmidt Road to the south line of Lot 3."
2. Schmidt Road shall be dedicated with 40-feet of width.
3. A note on the face of the CSM shall read, "All lots will have future assessments for sanitary sewer and water when available. There may be future assessments for storm sewer and roads."
4. A note on the face of the CSM shall read, "The Village of Harrison may officially map a future roadway on Lot 2 & Lot 3."

Prior to the CSM going to the Village Board for approval in January, the applicant withdrew the CSM because they wanted to revise it. The Plan Commission will review the revised CSM at their meeting on Monday, February 27<sup>th</sup>.

The differences between the two CSMs are indicated.

**Budget/Financial Impact:**

None

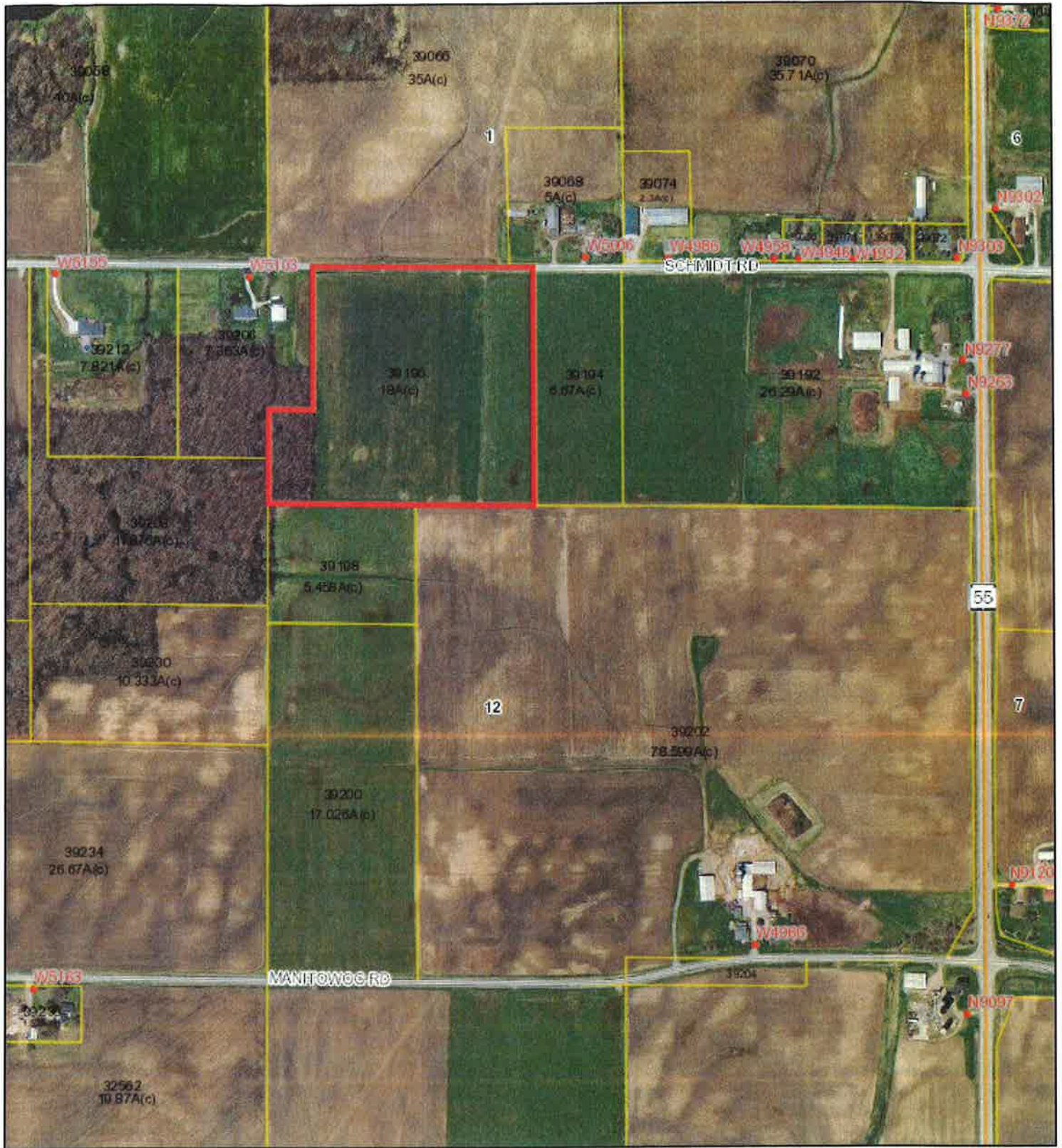
**Recommended Action:**

Staff recommends denial of the revised (February 9, 2017) Certified Survey Map due to lack of future roadway considerations. The Plan Commission will review this item at their meeting on Monday, February 27<sup>th</sup>. The Plan Commission recommendation will be provided at the meeting.

---

**Attachments:**

- Aerial Map
- Certified Survey Map – Revised dated February 9th
- Certified Survey Map – Previous Plan Commission approval dated January 23rd



**Legend**

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section



**Calumet County, WI**



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

As of:	
Classified by:	
01/17/17 10:17 AM	
Revised:	

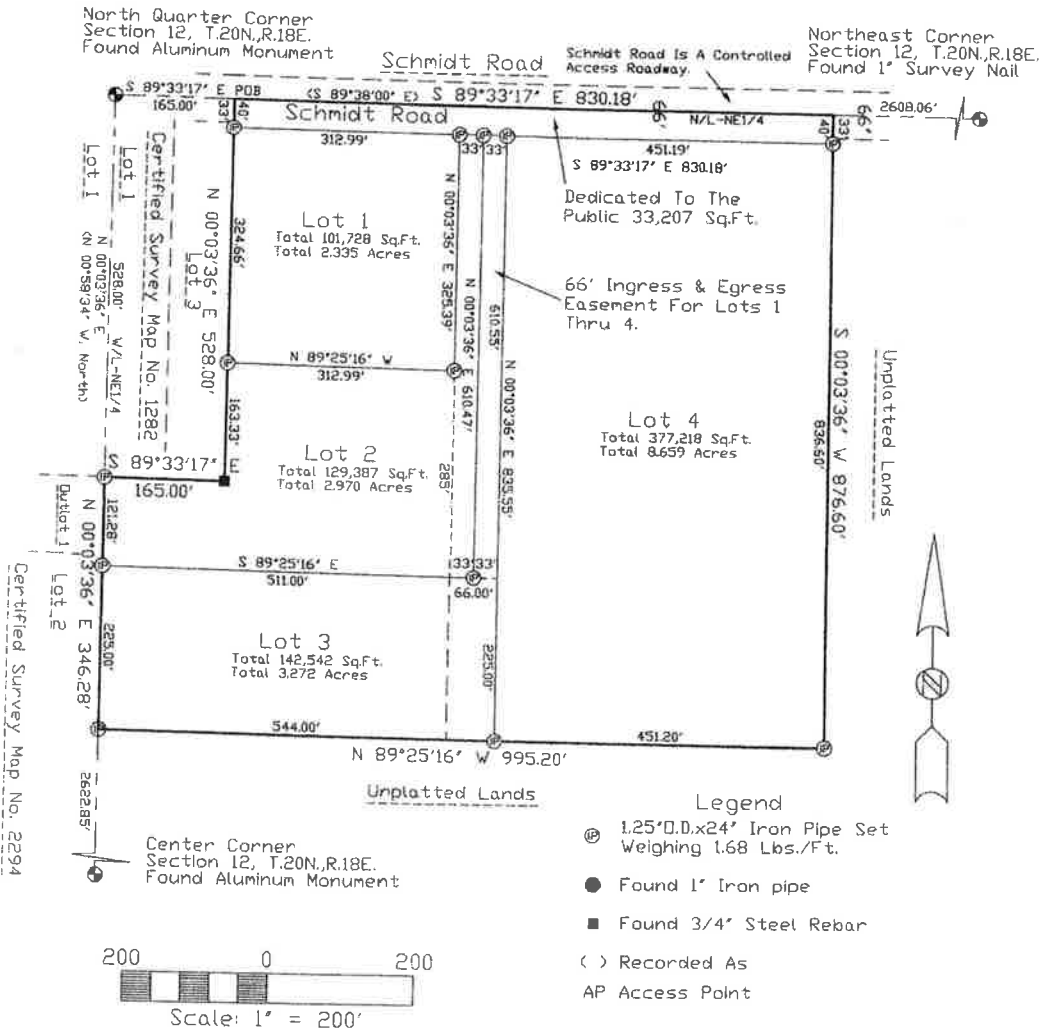
**RECEIVED**  
**FEB 09 2017**  
 HARRISON PLANNING

Sheet 1 of 3

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12,  
 TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, (FORMERLY TOWN OF  
 HARRISON), CALUMET COUNTY, WISCONSIN.

Notes: Lots 2 and 3 will receive building permits or zoning permits. There is an access easement for Lots 1 and 4 as shown the Certified Survey Map.



MAYER LAND SURVEYING  
 N 5698 LAKE SHORE DRIVE  
 HILBERT, WI. 920-439-1761

SURVEYED FOR  
 RALPH M. HOPFENSBERGER  
 N9277 STH 55  
 KAUKAUNA, WI

C:\Projcets\HopfenspergerRalph\6\csm.dwg  
 BEARINGS REFERENCED TO COUNTY  
 DATUM WEST LINE OF THE NORTHEAST  
 QUARTER BEARS NORTH 00°03'36" EAST.  
 THIS INSTRUMENT DRAFTED BY J.G. MAYER"  
 NOTEBOOK NO.44 PAGE 48.



**SURVEYOR'S CERTIFICATE**

I, James G. Mayer, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed, divided, and mapped under the direction of Ralph M. Hopfensperger, part of Northwest Quarter of the Northeast Quarter of Section 12, Township 20 North, Range 18 East, Village of Harrison, (Formerly Town of Harrison), Calumet County, Wisconsin containing 784,082 square feet or 18.0 acres of land and described as follows.

Commencing at the North Quarter Corner of Section 12, thence South 89°33'17" East a distance of 165.00 feet along the north line of the northeast quarter to the point of beginning; thence continuing South 89°33'17" East a distance of 830.18 feet along the north line to the east line of the west 20 acres of the north one-third of the northeast quarter; thence South 00°03'36" East a distance of 876.60 feet along the east line to the south line of the north one-third of the northeast quarter; thence North 89°25'16" West a distance of 995.20 feet along the south line to the west line of the northeast quarter; thence North 00°03'36" East a distance of 346.28 feet along the west line; thence South 89°33'17" East a distance of 165.00 feet; thence continuing North 00°03'36" East a distance of 528.00 feet to the point of beginning. Subject to all easements and restrictions of record. Liability hereunder is expressly limited to the cost of this survey.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division made thereof. That I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the Village of Harrison in surveying, dividing and mapping such lands.

Dated this 4th day of January, 2017.

James G. Mayer  
James G. Mayer, S-1273  
Wis. Professional Land Surveyor



**OWNER'S CERTIFICATE**

As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided mapped and dedicated as represented on the plat. I (we) also certify that this plat is required by s. 236.10 or s. 236.12 to be submitted to the following for approval or objection: Village of Harrison.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
Ralph M. Hopfensperger, Owner

\_\_\_\_\_  
Suzanne Hopfensperger, Owner

State of Wisconsin)  
Calumet County )ss

Personally came before me on the \_\_\_\_\_ day of \_\_\_\_\_, 2017, the above named owners to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires: \_\_\_\_\_

\_\_\_\_\_  
Notary Public, Calumet County, Wisconsin

**VILLAGE BOARD CERTIFICATE**

Resolved that the above certified survey map in the Village of Harrison was approved by the Village Board on this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
Village President

\_\_\_\_\_  
Village Clerk

**VILLAGE TREASURER'S CERTIFICATE**

I being the duly elected qualified and acting village treasurer of the Village of Harrison, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of \_\_\_\_\_, 2017 on any of the lands included in this Certified Survey Map.

\_\_\_\_\_  
Village Treasurer

\_\_\_\_\_  
Date

**COUNTY TREASURER'S CERTIFICATE**

I being the duly elected qualified and acting treasurer of the County of Calumet, do hereby certify the records in my office show unredeemed tax sales and no unpaid taxes or special assessments as of \_\_\_\_\_, 2017 affecting the lands included in this Certified Survey Map.

\_\_\_\_\_  
County Treasurer

\_\_\_\_\_  
Date

Notes:

This CSM is part of tax parcel no. 39196. This CSM is contained wholly within the property described in the following recorded instrument: Doc. No. 410948. The property owner of record is Ralph M. Hopfensperger, N9277 STH 55, Kaukauna WI 54130.



*James G Meyer*  
*January 4, 2017*

## Mark Mommaerts

---

**From:** Mark Mommaerts  
**Sent:** Wednesday, January 25, 2017 3:04 PM  
**To:** 'Nicole'  
**Subject:** RE: Schmidt Road

Ok. I will remove the current CSM from the Village Board agenda.

Thank you,

Mark

-----Original Message-----

**From:** Nicole [<mailto:nicole.r.smith@gmail.com>]  
**Sent:** Wednesday, January 25, 2017 2:59 PM  
**To:** Mark Mommaerts  
**Subject:** Schmidt Road

Mark,  
We do not want to move forward with the current csm that was approved for Schmidt road. I will get back to you by the end of the week to let you know if we want to seek approval for a revised version.

Thanks,  
Nicole

Sent from my iPhone

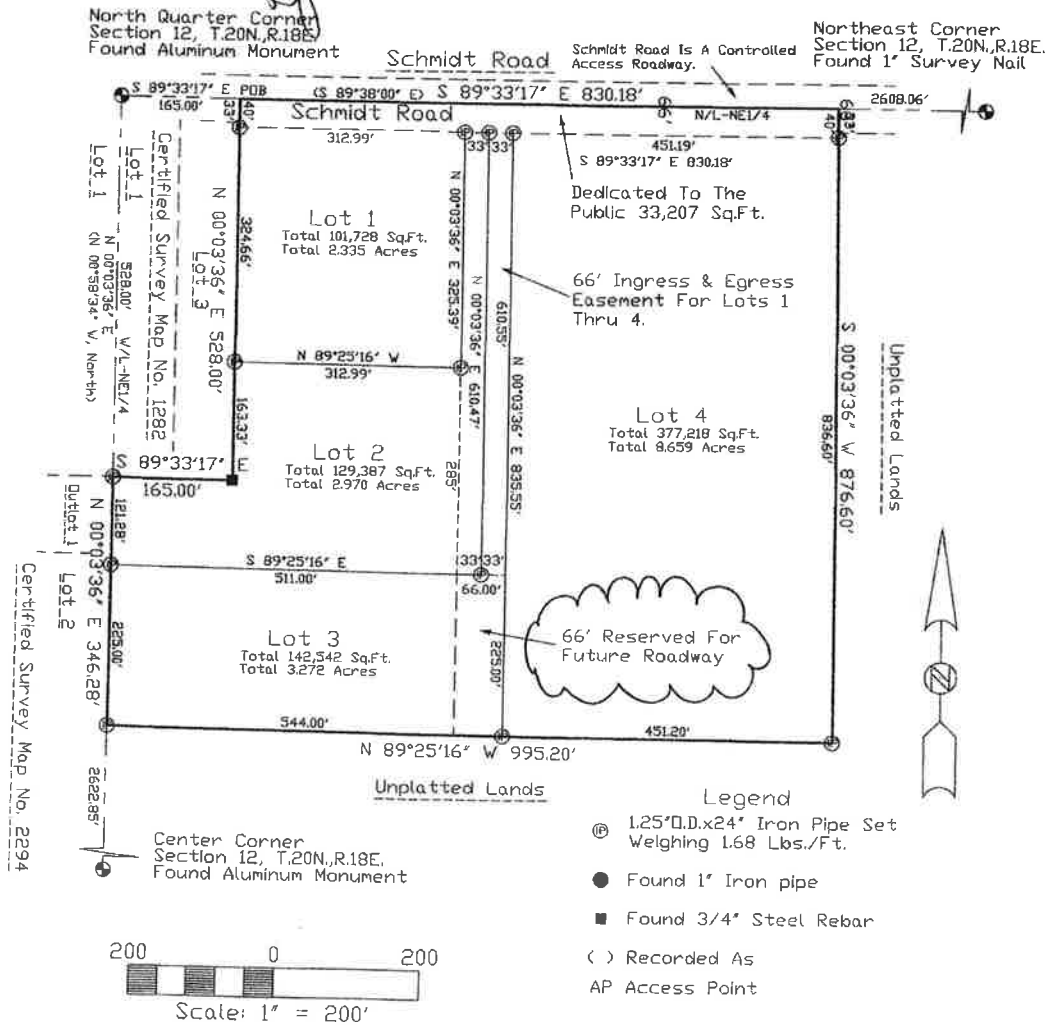
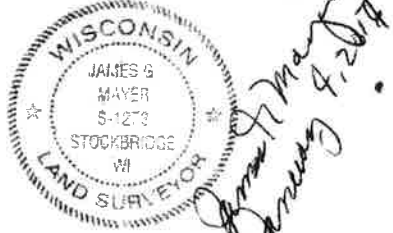
**RECEIVED**  
**JAN 23 2017**  
**HARRISON PLANNING**

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Sheet 1 of 3

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 NOTEBOOK NO.44 PAGE 48.



**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**

Jennifer Weyenberg, WCMC

**Date:**

February 24, 2017

**Title:**

Policy Guidelines for Operator Licenses

**Issue:**

Shall the Village Board set standards for the denial of operator licenses?

**Background and Additional Information:**

The State of Wisconsin has many regulations related to the selling and serving of alcohol beverages. While the licensing rules are specific in terms of who can hold an operator's license, they are more broad-based in terms of when a board can deny the request to hold an operator's license. Because the regulations do not specifically define terms such as "habitual offender" or "substantially relates to", many municipalities adopt policies to address these issues.

This policy has been written to set standards for the denial of an operator's license and ensures that denials are consistent with the criteria outlined in the policy.

**Budget/Financial Impact:**

None

**Recommended Action:**

Staff recommends denial of the claim.

**Attachments:**

- Policy Guidelines

# Village of Harrison

## Policy Guidelines for Operator Licenses

### Intent.

Any person 18 or older who is serving or selling alcohol beverages in an establishment with a Class A, B, or C license must obtain an operator's license (commonly referred to as a bartender's license), unless the person is under (a) the immediate supervision of someone with the privilege of an operator's license, (b) the approved agent of a corporation or limited liability company, (c) a person with an operator's license, or (d) a person with a manager's license. It is the responsibility of the Village Board to issue an operating license to any applicant who is qualified under state law.

All applications for operators' licenses are processed in the Office of the Village Clerk and background checks are conducted. All applications, along with the findings of those background checks, are forwarded to the Village Board and placed on the Consent Agenda for consideration. The Village President or any Trustee may request the removal of an application from the Consent Agenda for further discussion. The Village Board makes the final decision on licensing by either accepting or rejecting the application.

Because individuals granted an operator's license must act in cooperation with the Calumet Co. Sheriff's Department to enforce the alcohol beverage laws, drunk driving laws, and assist with minimizing disturbances of the peace and maintaining the safety of the community, individuals with a past history of negative or uncooperative contacts with police agencies will be scrutinized. The following guidelines have been adopted to help the board in making its decision and determining what circumstances are more likely to result in denial of a license application.

### Guidelines.

Wisconsin's Fair Employment law prohibits the denial of a license based on a pending arrest or conviction unless the record "*substantially* relates" to the licensing activity. However, the law does not specifically define this term. For the purposes of licensing, the board determines that:

there is a *substantial* relationship between the illegal purchase, use and sale of controlled substances and engaging in bartending which involves the purchase and sale of a closely regulated substance;

there is a *substantial* relationship between offenses of drunk driving & underage drinking and engaging in bartending; and that

committing law violations while under the influence of drugs or alcohol shall be considered as reasons for denial.

Subject to Wisconsin's Fair Employment Law, an applicant may not be a "habitual law offender". For the purposes of licensing, the board further determines that "habitual" refers to:

Two (2) or more offenses within the past five (5) years.

Three (3) or more offenses within the past seven (7) years.

Six (6) or more offenses within the past ten (10) years.

### Grounds for Denial.

Any person who has been convicted of a felony, unless duly pardoned, does not qualify for an operator's license.

Any person who has not truthfully and completely filled out the application does not qualify for an operator's license.

Any person who has been convicted (or charges pending) of the following does not qualify for an operator's license:

1 or more offenses within the last 5 years related to battery, sexual assault, injury by negligent use of a vehicle, hit and run, or intimidation of a witness or victim. These offenses are all considered to be crimes against other persons.

1 or more offenses within the last 5 years related to resisting or obstructing a police officer, bribery of a public employee or official, bail jumping, or perjury. These offenses are all considered to be crimes involving lack of cooperation with law enforcement.

1 or more offenses within the last 5 years of maintaining a drug trafficking place, possession with intent to manufacture, or distribution of illegal substance.

2 or more offenses within the last 5 years of possession of a controlled substance or drug paraphernalia.

2 or more offenses within the last 5 years of operating a motor vehicle while under the influence of intoxicants or drugs.

2 or more offenses within the last 5 years of open intoxicants in public places or in a motor vehicle.

2 or more offenses within the last 5 years of disorderly conduct or damage to property.

### **Applicant's Right to Appeal.**

If the application is denied by the board, the Village Clerk shall, in writing, inform the applicant of the denial, the reasons therefore, and of the opportunity to request a reconsideration of the application by the board in a closed session. Such notice must be sent by registered mail to, or served upon, the applicant at least ten days prior to the board's reconsideration of the matter. At such reconsideration hearing, the applicant may present evidence and testimony as to why the license should be granted.

If, upon reconsideration, the board again denies the application, the Village Clerk shall, in writing, inform the applicant of the reasons. An applicant who is denied any license, upon reconsideration of the matter, may apply to circuit court, pursuant to Wis. Stats. § 125.12(2)(d), for review.

### **Conclusion.**

This policy attempts to set standards for the denial of an operator's license and ensures that any denial shall be consistent with the criteria outlined above.

By: \_\_\_\_\_

**James Salm, Village President**

By: \_\_\_\_\_

**Jennifer Weyenberg, Village Clerk**

Date: \_\_\_\_\_





**MEETING MINUTES OF AD HOC PARK COMMITTEE MEETING  
VILLAGE OF HARRISON  
HARRISON MUNICIPAL BUILDING, W5298 HWY 114 MENASHA  
Tuesday, February 7th, 2017 AT 6:00 P.M.**

- 1) CALL TO ORDER – Meeting called to order at 6:02 pm.
- 2) PLEDGE OF ALLEGIANCE
- 3) ROLL CALL – Present: Wally Kussmann, Tamra Nelson, and Buddy Lisowe. Excused: Tyler Moore. Also present was Village Manager Travis Parish.
- 4) ANNOUNCEMENTS / PUBLIC COMMENTS - None
- 5) APPROVE MINUTES – Motion by Buddy Lisowe, seconded by Wally Kussmann to approve the December 6<sup>th</sup>, 2016 meeting minutes. Motion carried 3-0.
- 6) NEW BUSINESS FOR DISCUSSION AND POSSIBLE ACTION
  - a) Discuss Kaukauna Youth Baseball Facility – The Ad Hoc Park Committee discussed the opportunity presented by the Kaukauna Youth Baseball organization in building a youth baseball facility in the Village of Harrison. The organization is requesting assistance with land acquisition and road construction. Village Manager Parish presented two options for funding. The first option included a 10 yr loan in the amount of \$450,000 with yearly payments to be made by using current park impact fees. The second option included the same 10 yr loan, but with raising the park impact fees to \$1,054.00 per single family home and \$977 per multi-family dwelling. Motion by Buddy Lisowe, seconded by Tamra Nelson to recommend to the Village Board to use option 2 to purchase park land for the development of a youth baseball facility in cooperation with Kaukauna Youth Baseball contingent upon wetland delineation. Motion carried 3-0.

- b) Discuss Manitowoc Rd. Park Design – Village Manager Parish informed the committee that the Village had hired Ayres Associates to begin the park design for the Manitowoc Rd. park. The Village Planner will be meeting with them to discuss the next steps in the process.
- 7) SET NEXT MEETING DATE – Tentatively schedule for Tuesday, March 7, 2017 at 6:00 pm.
- 8) ADJOURN – Motion by Buddy Lisowe, seconded by Tamra Nelson to adjourn. Motion carried 3-0.

## **Village of Harrison**

### **Village Clerk's Report 02-28-2017**

#### **Revised Tax Bills**

Calumet County Treasurer Mike Schlaak hopes to have the revised tax bills ready by mid- March and the necessary supplies have been purchased. The additional amount due will be placed as a 'second installment' and will need to be paid to the County by July 31. It is estimated that the costs of this re-billing could be up towards \$25,000. The expenses cover the supplies, postage, and developer's time to prep the revised tax roll.

#### **Election**

The Spring primary was held Tuesday, Feb. 21. There was an approximate 5% voter turnout. Ballots have already been ordered for the April election and absentee ballots will start to be mailed out around March 14 for any persons who have a request on file.

#### **Workers Compensation Audit**

The annual workers compensation audit was conducted on Wednesday, February 21.

FEBRUARY 28, 2017  
PUBLIC WORKS REPORT

- We have gotten our allotment of the 2016-1017 salt contract. We also were lucky enough to get 200 tons from Gene Frederickson Trucking at the same ton price. This should help us make it through the season.
- The guys have been doing sign repair and replacement, working on equipment, inspecting catch basins for failure and patching potholes. We have also been steaming culverts.
- We are putting together our summer work along with servicing fire equipment.

# HARRISON JANUARY 2017

HARRISON	821	824	825	826	820	829	832	833	834	835	836	838	839	840	TOTAL	JANUARY	COMPLAINTS:
HOURS WORKED	14.5	9	17.4	6.3	7.3	23.2	19.5	9.1	12.8	17.7	2.4	19	21.2	11.5	190.9	HOURS WORKED	WELFARE CHECK
DAILY MILES	205	193	198	98	51	225	265	147	142	197	11	269	334	123	2458	DAILY MILES	NOISE
COMPLAINT HRS	2.3		2.2		0.3	7	0.8	0.1	0.3	1		3.2	2.2	0.3	19.7	COMPLAINT HRS	THEFT
FOLLOW UP HRS		0.8										0.5	0.2		1.5	FOLLOW UP HRS	COMPUTER HACKING
ACCIDENT INV HRS		0.5					0.6			1.8	1.2				4.1	ACCIDENT INV HRS	ANIMAL
ACC FOLLOW UP HRS						1.8									1.8	ACC FOLLOW UP HRS	DISTURBANCE
AGENCY ASSIST HRS							1.3			0.4					1.7	AGENCY ASSIST HRS	HAZARD
SHERIFF COMPL. INV.	3		4		1	1	2	1	1	1		3	2	1	20	SHERIFF COMPL. INV.	RECKLESS DRIVING
SHERIFF FOLLOW UP		1										2	2		5	SHERIFF FOLLOW UP	SUSPICIOUS PERSON
SHERIFF ASSIST	1												2		3	SHERIFF ASSIST	TRAFFIC
REPORT ACCIDENT		1								1					2	REPORT ACCIDENT	SUSPICIOUS VEHICLE
NONREPORTABLE							1			1	1				4	NONREPORTABLE	
ACCIDENT FOLLOW UP															0	ACCIDENT FOLLOW UP	
ACCIDENT ASSIST							1								1	ACCIDENT ASSIST	
AGENCY ASSISTS							1			1					2	AGENCY ASSISTS	ARRESTS:
CITIZEN ASSIST										1					1	CITIZEN ASSIST	WARRANT
MOTORIST ASSIST	1	1				1	1	1	1			1	2	2	11	MOTORIST ASSIST	
PROPERTY CHECKS					3							4			7	PROPERTY CHECKS	
ARRESTS									1						1	ARRESTS	CITATIONS:
WARRANT ATTEMPT	1								1						2	WARRANT ATTEMPT	NO PROOF INSURANCE
TRAFFIC CITS.			1			3	1			3		2	2		12	TRAFFIC CITS.	ANIMAL AT LARGE
ORD. CITS.												1			1	ORD. CITS.	SCHOOLBUS PASSING
JUV ALCOHOL CITS.															0	JUV ALCOHOL CITS.	DEFECTIVE TAILLIGHT
O. W. I. ARRESTS															0	O. W. I. ARRESTS	DEFECTIVE HEADLIGHT
WRITTEN WARNINGS	3	3	2			2	4	2				1	2		19	WRITTEN WARNINGS	OPERATE AFTER SUSPEN
15 DAYS	1	1					2					2	1		7	15 DAYS	TOO FAST FOR CONDITIO
PARKING CITS.										3		4			7	PARKING CITS.	
HOUSE ALARM	1														1	HOUSE ALARM	
BUSINESS ALARM		1													1	BUSINESS ALARM	AGENCY ASSIST:
ALARM ASSIST															0	ALARM ASSIST	OUTAGAME COUNTY
AMB. ASSIST	1	1					2		1						6	AMB. ASSIST	APPLETON PD
FIRE ASSIST													1		1	FIRE ASSIST	