

NOTICE OF PUBLIC MEETING

VILLAGE OF HARRISON, CALUMET (& OUTAGAMIE) COUNTY, WI

NOTICE IS HEREBY GIVEN that a Village of Harrison Board Meeting will be held at the Harrison Municipal Building, W5298 State Road 114, Menasha on Tuesday, April 25, 2017 at 7:00pm. The agenda is printed below.

1. Call to Order the Village Board Meeting for April 25, 2017
2. Pledge of Allegiance
3. Swear in Village Trustees and Village President elected on April 4, 2107
4. Roll Call of Village Board
5. Correspondence or Communications from Board and Staff
 - a) Matthew Payette (Calumet Co. Planning, Zoning, and Land Information)
6. Public Comments

Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.
7. Consent Agenda
 - a) Minutes 04/11/17
 - b) Payment of Bills and Claims
 - c) 6 Month Class "B" for Harrison Athletic Season
 - d) Renew Bartender Licenses for Harrison Athletic Season- Robert Fredericks, Brenda Marquardt, Lois Fredericks, Kevin Lambie, Rebecca Schaefer, Rebecca Mader, Michael Mader
 - e) New Bartender License for Harrison Athletic Season- Brenda Stumpf
8. Items removed from Consent Agenda (if any)
9. Appointments
 - a) Zoning Board of Appeals: Citizen 3-year term
 - b) Plan Commission: Town Resident 3-year term
 - c) Plan Commission: Village Board Representative 2-year term
 - d) Fire Commission: Citizen 5-year term
 - e) Weed Commissioner: 1-year term
10. Unfinished Business from Previous Meetings for Consideration or Action
 - a) Pave Noe Road Pond Trail
 - b) Harrison's Participation in Garners Creek Stormwater Utility
11. New Business for Consideration or Action
 - a) Annual Off-Premise Sign Inventory presented by Paul Birschbach
 - b) Preliminary Plat- Kimberly Heights- Dercks DeWitt LLC
 - c) Roadway Acceptance- Parker Court- Parker Farms 3
12. Reports of Ad Hoc Committees and Departments
 - a) Village Manager's Report
 - b) Public Works Director's Report
 - c) Fire Chief's Report
 - d) Sheriff Department's Monthly Log
13. Future Agenda Items
14. Closed Session: The Village Board will meet in closed session pursuant to Wis. State Stats. §19.85 (1)(e) to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business whenever competitive or bargaining reasons require a closed session in regards to property on Manitowoc Road and the extension of BlackOak St. The Village Board may reconvene into open session pursuant to section 19.85(2) of the Wisconsin Statutes for possible action on the closed session.
15. Adjournment

Agenda is posted at Harrison Municipal Building and www.harrison-wi.org. Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

Jennifer Weyenberg, Village Clerk
Posted April 21, 2017

Jennifer Weyenberg

From: Matthew Payette <Payette.Matthew@co.calumet.wi.us> on behalf of calumetreycles <calumetreycles@co.calumet.wi.us>
Sent: Wednesday, April 05, 2017 12:00 PM
To: Carie Krause; City of New Holstein Clerk; Cheryl Heller; Chuck Schneider; Clerk Brillion; Dan Voss; Village of Hilbert; Doug Koffarnus; Town of Woodville; City of Chilton; Janene VanHoorn; Jennifer Weyenberg; Karen Jannette; LeAnne Karls; Lisa Averkamp; Lori Beck; City of Brillion; Town of Rantoul; Sharon Allen; Sherwood; Todd Schwartz
Cc: Mary Kohrell; Anthony Reali; Cindi Goebel
Subject: Volunteers Needed for Electronics Recycling Events

Hi Local Government contacts:

Our 2017 electronics recycling programs are taking place in May and June and we need volunteers to assist with the events:

- Wednesday, May 24, 2:00 to 6:00 pm, Chilton Public Works building
- Wednesday, June 8, 2:00 to 6:00 pm Harrison Town/Village Hall

Since the electronics recycling events are a local government project for which additional DNR grant funding, your support on May 24 and June 7 would be appreciated and very much need.

Can you please share this with others in your office or community who might make good candidates to assist? Anyone wishing to volunteer should call or email me and let me know their preferred time. Thank you!

Matt Payette
Director, Calumet County
Planning, Zoning and Land Information Dept
P: 920-849-1442, ext 200
payette.matthew@co.calumet.wi.us

**VILLAGE OF HARRISON
BOARD MEETING MINUTES
04/11/2017**

A regular meeting of the Village of Harrison was called to order on Tuesday, April 11, 2017 at 7:00pm in the Harrison Municipal Building with President Jim Salm presiding. After the Pledge of Allegiance was recited, the Clerk called the roll.

Board present: President Jim Salm, Trustees Joe Sprangers, Tyler Moore, Kevin Hietpas, and Tamra Nelson

Board excused: Trustees Dave La Shay and Buddy Lisowe

Staff present: Public Works Director Bob Kesler, Clerk Jennifer Weyenberg, Village Manager Travis Parish

Correspondence or Communications from Board and Staff

a) Sherwood Pride Lioness Club donation- the club donated \$1,000 towards the Harrison Fire and Rescue equipment needs.

b) Mike Huss request for soccer fields- he submitted a letter of support that the Village purchase additional acres for soccer fields. They have lost one full-sized field at Kimberly's Memorial Park and another one at Combined Locks Memorial Park.

Other: Village Manager Travis Parish shared an invitation from the Calumet County Unit of Wisconsin Towns Association to attend their meeting on April 20th at the Harrison Municipal Building.

Public Comments

Marv Pohl, W5557 Hickory Dr, requested that something be done regarding the drainage problems in his area. This has been a long-standing issue. It was suggested that the Public Works Committee review the issues.

Consent Agenda

a) Minutes 03/28/17

b) Agreement to place fence in the easement- Nicholas Curry- N9087 Lilac Rd

Motion: Trustee Nelson with second by Trustee Hietpas to approve the consent agenda, with the correction to the minutes.

Appointments

None

Unfinished Business from Previous Meetings for Consideration or Action

a) Town of Buchanan to purchase limited number of yard waste stickers

Motion #1: Trustee Nelson to carry forward the matter to another meeting once more information is gathered. Motion withdrawn.

Motion #2: Trustee Sprangers and second by Trustee Moore to deny the request from the Town of Buchanan.

Discussion: Buchanan requested that Harrison sell a limited number of stickers to their residents. Staff recommended selling 30 stickers at a cost of \$25.00/ea. A snapshot of operating costs showed \$80k in expenses and \$1925 in revenue in the past year, and the board didn't think Harrison should help another community when we are already losing money on the program.

Vote: Motion to deny carried 5-0.

New Business for Consideration or Action

- a) Transfer the Sweet Pea- Midway Rd dry pond to Village (Ben Plauss, W5914 Sweet Pea)

Motion: Trustee Moore and second by Trustee Sprangers to authorize the Village Manager to gain title to dry pond located at W5909 Sweet Pea Dr in order to ensure maintenance of the stormwater facility.

Discussion: The previous owner wished to keep control of the pond and maintain it. He no longer owns the property and the new owner has asked the Village to take it over.

Vote: Motion carried 5-0.

- b) Review Eastshore Humane Assoc. Animal Control Services

Motion: Trustee Sprangers and second by Trustee Moore to approve the Eastshore animal control services.

Discussion: The Town/Village has a long history of contracting for services with Eastshore.

Vote: Motion to approve carried 5-0.

- c) Transfer Drainage Easement from Woodland School and Mike Hagens to the Village (Joe Harvey, Kimberly School District)

Motion: Trustee Nelson and second by Trustee Hietpas to approve authorize the Village Manager to gain title to drainage easement in order to maintain the drainage way.

Discussion: None.

Vote: Motion carried 5-0.

- d) Resolution V2017-04 Concrete Streets Policy

Motion: Trustee Nelson and second by Trustee Moore to approve Res. V2017-04 Concrete Streets Policy

Discussion: Staff met with the Village of Kimberly about the benefits of concrete vs. asphalt roads- Kimberly hopes to have all of their roads concrete by 2018. Staff also met with a rep. from the WI Concrete Assoc. to discuss the specifications required for concrete. The Public Works Committee determined it would be beneficial and cost effective to require concrete streets in all new subdivisions and street reconstructions whenever possible. Concerns were raised about how to handle subdivisions that have ditches.

Vote: Motion to approve failed on a roll call vote with Trustees Sprangers, Moore, and Hietpas voting against and President Salm and Trustee Nelson voting in favor.

e) Pave Noe Road Trail

Motion: President Salm and second by Trustee Moore to look into costs and liabilities and bring back to the next meeting.

Discussion: There have been requests for the Village to pave the trail around the pond; however, it is a Garners Creek pond. Staff attended their meeting to discuss the option of paving and Garners Creek did not support doing so, but would allow the Village to do so if the board felt it was appropriate. There is no cost estimate for the paving.

Vote: Motion to bring back to a future meeting carried 5-0.

f) Authorize Staff to Get Quotes for New Logo

Motion: Trustee Nelson and second by Trustee Moore to authorize staff to get quotes.

Discussion: The Village continues to operate with an in-house designed logo and we don't have professional letterhead, envelopes, or business cards.

Motion: Motion carried 5-0.

g) Review MS4 Permit

Motion: None- this was for review only.

h) Ord V17-06 Amending Sec. 4-26 of the Code of Ordinances- Temporary Alcohol Sales

Motion: Trustee Nelson and second by Trustee Moore to approve the ordinance.

Discussion: Staff requested that the Village Clerk be allowed to grant picnic licenses for recurring applicants who are in good standing and for events that stay the same year to year.

Vote: Motion to approve carried 5-0.

Reports of Ad Hoc Committees and Departments

Village Manager's Report

Village Clerk's Report

Public Works Director's Report

Planner's Report

Fire Chief's Report

Sheriff Department Monthly Log

All reports are on file with the Clerk

Future Agenda Items

Trustee Moore reported that someone from DuTriRun may attend a future meeting to provide an update on future events; Trustees requested that a representative from ChickenFest attend a future board meeting.

There being no other business, a motion was made by Trustee Moore and a second by Trustee Hietpas to adjourn at 8:55pm. Motion carried 5-0.

Jennifer Weyenberg, Village Clerk

Dated April 11, 2017

Approved April 25, 2017

4/17/2017 9:21 AM

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ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/17/2017

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
5228	4/17/2017	WISCONSIN- DSPS APRIL 18 '17 COURSE @ HARRISON BUILDING	
100-09-53311-305-000		Hwy Dept - Training Expenses APRIL 18 '17 COURSE @ HARRISON BUILDING	330.00
		Total	330.00
		Grand Total	330.00

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/17/2017
Thru:

From Account:
Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND	330.00
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Total Expenditure from all Funds	330.00
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4/17/2017 9:21 AM

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Posting Date: 4/17/2017

THE BUSINESS BANK-GENRL CHECKNG

Dated From: 4/17/2017

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		330.00
	Total Expenditure - Fund # 100	330.00	
	Total	330.00	330.00

3/27/2017 2:59 PM

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 3/27/2017

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
5181	3/27/2017	INVESTORS COMMUNITY BANK	
	April 1, 2017	Loan Payment	
100-00-57220-000-000		Capital Outlay - Parks	51,416.25
	April 1, 2017	Loan Payment	
		Total	51,416.25
		Grand Total	51,416.25

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ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 3/27/2017

From Account:

Thru:

Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND

51,416.25

Total Expenditure from all Funds

51,416.25

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Posting Date: 3/27/2017

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 3/27/2017

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		51,416.25
	Total Expenditure - Fund # 100	51,416.25	
	Total	51,416.25	51,416.25

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/10/2017 From Account:
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
5182	4/10/2017	ADVANCED DISPOSAL COMMERICAL TRASH DUMPSTER FOR MARCH	
100-00-53620-000-000		Refuse and Garbage Collection COMMERICAL TRASH DUMPSTER FOR MARCH	79.00
100-00-53635-000-000		Recycling Collection COMMERICAL RECYCLING DUMPSTER for MAR	54.00
100-00-53620-000-000		Refuse and Garbage Collection FUEL FEE	0.00
100-00-53620-000-000		Refuse and Garbage Collection RES TRASH 90 GALLON CARTS for MAR	28,501.16
100-00-53635-000-000		Recycling Collection LANDFILL TAX	0.00
100-00-53635-000-000		Recycling Collection RES RECYCLING SINGLE STREAM MAR	13,856.50
100-00-53620-000-000		Refuse and Garbage Collection REPLACEMENT CART(S)	0.00
100-00-53620-000-000		Refuse and Garbage Collection FALL PICK UP	0.00
100-00-53620-000-000		Refuse and Garbage Collection BULKY ITEM PICKUP	0.00
100-00-53620-000-000		Refuse and Garbage Collection RESID RECYCLE	0.00
Total			42,490.66
5183	4/10/2017	AMERICAN MESSAGING U1860083RD	
100-09-53311-900-000		Hwy Dept - Road Maintenance U1860083RD	55.20
Total			55.20
5184	4/10/2017	ANDERS AUTO PARTS, INC 03/29/17	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance 03/29/17 001016351	32.21
Total			32.21
5185	4/10/2017	BATTERIES PLUS BULBS #508 FIRE DEPT BATTERIES	

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/10/2017 From Account:
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
100-06-52200-400-000		Fire Dept - Supplies	77.76
		FIRE DEPT BATTERIES	
		508-269738	
		Total	77.76
5186	4/10/2017	BAY COMMUNICATIONS, INC fire department supplies	
100-06-52200-400-000		Fire Dept - Supplies	522.12
		fire department supplies	
		Total	522.12
5187	4/10/2017	BRAD WELHOUSE Steel toe boot reimbursement	
100-09-53311-400-000		Hwy Dept - Supplies	157.49
		Steel toe boot reimbursement	
		Total	157.49
5188	4/10/2017	CALUMET COUNTY TREASURER ABSENTEE ENVELOPES	
100-00-51440-400-000		Elections - Supplies	40.60
		ABSENTEE ENVELOPES	
		Total	40.60
5189	4/10/2017	CALUMET COUNTY TREASURER-HIGHWAY DEPARTMENT SNOWPLOW BLADES	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	9,916.51
		SNOWPLOW BLADES	
		Total	9,916.51
5190	4/10/2017	FABICK RENTS REPLACE BULBS IN SHOP- LIFT RENTAL	
100-09-53311-505-000		Hwy Dept - Building Maint	281.50
		REPLACE BULBS IN SHOP- LIFT RENTAL	
		456456	
		Total	281.50
5191	4/10/2017	FRANKS RADIO SERVICE INC ANTENNAS	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	67.00
		ANTENNAS	
		107147	
		Total	67.00

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Dated From: 4/10/2017 From Account:
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
5192	4/10/2017	GAT SUPPLY, INC	
	FROM 04/10/2017		
100-09-53311-700-000		Hwy Dept - Equip Maintenance	649.00
	FROM 04/10/2017	312950-1	
100-09-53311-400-000		Hwy Dept - Supplies	169.33
	FROM 04/06/2017	312901-1	
		Total	818.33
5193	4/10/2017	GOLD CROSS AMBULANCE SERVICE	
		first responders supplies	
100-08-52300-000-000		1st Responders - Operating Exp	110.70
		first responders supplies 3232	
		Total	110.70
5194	4/10/2017	HERRLING CLARK LAW FIRM LTD	
		services through 03/21/17- VILLAGE ONLY	
100-00-51300-000-000		Legal	14,035.50
		services through 03/21/17- VILLAGE ONLY 14283.03	
		Total	14,035.50
5195	4/10/2017	Hydroclean Equipment, Inc	
		5-GAL ASALT	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	58.00
		5-GAL ASALT IN00012287	
		Total	58.00
5196	4/10/2017	INTERSTATE BATTERY OF GREEN BAY	
	FROM 04/05/17		
100-09-53311-400-000		Hwy Dept - Supplies	39.85
	FROM 04/05/17	90115869	
		Total	39.85
5197	4/10/2017	KAATS WATER CONDITIONING INC.	
		CHARGES THROUGH 03/21/2017	
100-09-53311-400-000		Hwy Dept - Supplies	60.21
		CHARGES THROUGH 03/21/2017	
		Total	60.21
5198	4/10/2017	LANGE ENTERPRISES, INC	
		POST REFLECTORS	

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Dated From: 4/10/2017 From Account:
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
100-09-53315-902-000		Hwy Dept - Signs	645.04
		POST REFLECTORS	
		61333	
		Total	645.04
5199 4/10/2017 LISOWE OIL FROM 03/28/17			
100-09-53311-700-000		Hwy Dept - Equip Maintenance	1,358.75
		FROM 03/28/17	
		2459	
		Total	1,358.75
5200 4/10/2017 MCMAHON CONCEPT PLAN			
100-09-53311-000-000		Hwy Dept - Engineer/Consultant	3,593.40
		CONCEPT PLAN	
		0905539	
100-09-53311-000-000		Hwy Dept - Engineer/Consultant	784.90
		SW CORNER MIDWAY AND LP	
		0905538	
		Total	4,378.30
5201 4/10/2017 MENARDS-APPLETON EAST FROM 04/03/17			
100-09-53311-505-000		Hwy Dept - Building Maint	12.98
		FROM 04/03/17	
		12995	
100-09-53311-901-000		Hwy Dept - Ditching/Grading	18.15
		NORTHSHORE AT AUGUSTA PLACE	
		12623	
		Total	31.13
5202 4/10/2017 MGD INDUSTRIAL CORPORATION SUPPLIES FROM 03/22/2017			
100-09-53311-400-000		Hwy Dept - Supplies	739.43
		SUPPLIES FROM 03/22/2017	
		153286	
		Total	739.43
5203 4/10/2017 MIKE NETT steel toe boot reimbursement '17			
100-09-53311-400-000		Hwy Dept - Supplies	162.74
		steel toe boot reimbursement '17	
		Total	162.74
5204 4/10/2017 MIKE'S ELECTRIC CHANGE BALLAST IN LUNCH ROOM			

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Dated From: 4/10/2017 From Account:
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Check Nbr	Check Date	Payee	Amount
100-09-53311-505-000		Hwy Dept - Building Maint	108.90
		CHANGE BALLAST IN LUNCH ROOM 09959	
		Total	108.90
5205	4/10/2017	MIRSBERGER SALES & SERVICE, INC 2017 PJ	
100-09-57324-000-000		Capital Outlay - Hwy. Equip	2,595.00
		2017 PJ 11671	
100-09-57324-000-000		Capital Outlay - Hwy. Equip	3,119.00
		2018 PJ 11520	
		Total	5,714.00
5206	4/10/2017	N.E.W. PRINTING SPRING NEWSLETTER 2017	
100-02-51400-800-005		Gen. Admin - Newsltr & Postage	1,161.37
		SPRING NEWSLETTER 2017 121803	
		Total	1,161.37
5207	4/10/2017	NATHAN HABERMAN OVERPAYMENT ON TAXES- REISSUED SECOND	
100-00-21070-000-000		Overpayments Payable	1,236.00
		OVERPAYMENT ON TAXES- REISSUED SECOND	
		Total	1,236.00
5208	4/10/2017	News Publishing Co., Inc. Account 99128366 ABSENTEE VOTING	
100-00-51440-600-000		Elections - Publications	142.26
		Account 99128366 ABSENTEE VOTING	
		Total	142.26
5209	4/10/2017	OFFICE DEPOT CREDIT PLAN BALANCE THROUGH 03/14/17	
100-02-51400-400-000		Gen. Admin - Supplies	976.00
		BALANCE THROUGH 03/14/17	
		Total	976.00
5210	4/10/2017	PIONEER RESCUE & OUTFITTERS, LLC OPERATIONS LEVEL ROPES COURSE	
100-06-52200-305-000		Fire Dept - Training/Mem	1,000.00
		OPERATIONS LEVEL ROPES COURSE 1212	

Dated From: 4/10/2017 From Account:
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total 1,000.00
5211	4/10/2017	PRAXAIR DISTRIBUTION, INC	
	03/21/17		
100-09-53311-700-000		Hwy Dept - Equip Maintenance	25.91
	03/21/17	76686661	
			Total 25.91
5212	4/10/2017	RIESTERER & SCHNELL, INC Chilton	
	FROM 04/05/17		
100-09-53311-700-000		Hwy Dept - Equip Maintenance	250.32
	FROM 04/05/17	1151000	
			Total 250.32
5213	4/10/2017	SCHAEFFERS MFG CO	
	FROM 03/29/17		
100-09-53311-700-000		Hwy Dept - Equip Maintenance	620.36
	FROM 03/29/17	708200-INV1	
			Total 620.36
5214	4/10/2017	SHERWOOD WATER & SEWER	
		ACCOUNT NUMBER 000-3050-00 STATION 60	
100-06-52200-500-023		Fire Station 60 - Water/Sewer	176.70
		ACCOUNT NUMBER 000-3050-00 STATION 60	
100-06-52200-500-023		Fire Station 60 - Water/Sewer	517.59
		ACCOUNT NUMBER 000-3055-00 TOWN	
			Total 694.29
5215	4/10/2017	SHORT ELLIOT HENDRICKSON, INC	
		MS4 COMPLIANCE	
100-00-56600-000-000		Subdivision - Erosion Control	587.00
		MS4 COMPLIANCE 329687	
100-00-52400-200-000		Inspections - Grade Checks	2,772.00
		GRADE CHECKS 329688	
			Total 3,359.00
5216	4/10/2017	SPECTRUM- 4901	
		Service period 03/24-04/23	
100-02-51400-400-006		Gen. Admin - Service Contracts	145.72
		Service period 03/24-04/23	

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THE BUSINESS BANK-GENRL CHCKNG

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Check Nbr	Check Date	Payee	Amount
			Total 145.72
5217	4/10/2017	SPECTRUM- 5101 Service period 03/23-04/22	
100-02-51400-400-006		Gen. Admin - Service Contracts Service period 03/23-04/22	101.59
			Total 101.59
5218	4/10/2017	SPECTRUM- 6401 Acc 606836401 service period 04/08-05/07	
100-02-51400-400-006		Gen. Admin - Service Contracts Acc 606836401 service period 04/08-05/07	499.76
			Total 499.76
5219	4/10/2017	STUMPF EXCAVATING & TRUCKING pump holding tanks 004/03/2017	
100-09-53311-505-000		Hwy Dept - Building Maint pump holding tanks 004/03/2017 7054	240.00
			Total 240.00
5220	4/10/2017	SUPERIOR CHEMICAL CORPORATION AEROSOL CANS	
100-09-53311-400-000		Hwy Dept - Supplies AEROSOL CANS 155012	524.69
			Total 524.69
5221	4/10/2017	TECC Security Systems, Inc. TROUBLE SHOOT NORTH SHOP DOOR	
100-09-53311-505-000		Hwy Dept - Building Maint TROUBLE SHOOT NORTH SHOP DOOR 42316	107.00
			Total 107.00
5222	4/10/2017	THE UNIFORM SHOP clothing for fire station	
100-06-52200-400-000		Fire Dept - Supplies clothing for fire station 264813	47.95
			Total 47.95
5223	4/10/2017	THEDACARE AT WORK PHYSICAL DOT	

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THE BUSINESS BANK-GENRL CHCKNG

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Check Nbr	Check Date	Payee	Amount
100-09-53311-306-000		Hwy Dept - CDL/Testing	84.00
		PHYSICAL DOT	
		221767	
		Total	84.00
5224	4/10/2017	WAVERLY SANITARY DISTRICT	
		Account 000-2781-00	
100-07-52200-500-023		Fire Station 70 - Water/Sewer	26.20
		Account 000-2781-00	
		Total	26.20
5225	4/10/2017	WELLS FARGO FINANCIAL LEASING	
		COVERAGE PERIOD 03/17-04/16	
100-02-51400-400-006		Gen. Admin - Service Contracts	575.69
		COVERAGE PERIOD 03/17-04/16	
		5003822929	
		Total	575.69
5226	4/10/2017	WI DEPT OF JUSTICE	
		Account # G2028	
100-02-51400-400-000		Gen. Admin - Supplies	154.00
		Account # G2028	
		Total	154.00
5227	4/10/2017	WI STATE LAB OF HYGIENE	
		WELL TEST	
100-09-53311-505-000		Hwy Dept - Building Maint	29.00
		WELL TEST	
		497958	
		Total	29.00
		Grand Total	93,903.04

4/11/2017 12:19 PM

Check Register - Full Report - ALL
ALL Checks

Page: 9
ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/10/2017
Thru:

From Account:
Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND	93,903.04
Total Expenditure from all Funds	93,903.04

4/11/2017 12:19 PM

Check Posting Control Report

Page: 1

ALL Checks

ACCT

Posting Date: 4/10/2017

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/10/2017

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		93,903.04
	Total Expenditure - Fund # 100	93,903.04	
	Total	93,903.04	93,903.04

4/19/2017 1:15 PM

Check Register - Full Report - ALL

Page: 1

ALL Checks

ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/19/2017

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
5229	4/19/2017	BIRSCHBACH INSPECTION SERVICE, LLC Building Inspections MARCH 2017	
100-00-52400-000-000		Building Inspector - Contract Building Inspections MARCH 2017	4,092.00
Total			4,092.00
5230	4/19/2017	CALUMET COUNTY TREASURER TAX SOFTWARE BILLING	
100-04-51500-400-000		Treasurer - Supplies TAX SOFTWARE BILLING	135.00
Total			135.00
5231	4/19/2017	CARDMEMBER SERVICE ACCT 4798 5100 5742 3846	
100-09-53311-400-000		Hwy Dept - Supplies ACCT 4798 5100 5742 3846	326.50
Total			326.50
5232	4/19/2017	CITY OF APPLETON CALL A RIDE 2016	
100-00-54600-000-000		Fox Valley Transit Call a Ride CALL A RIDE 2016 236540	185.00
Total			185.00
5233	4/19/2017	JEFF FUNK REIMBURSEMENT FOR BOOTS	
100-09-53311-400-000		Hwy Dept - Supplies REIMBURSEMENT FOR BOOTS	170.00
Total			170.00
5234	4/19/2017	MCPMAHON ANNEXATION MAP- VILLAGE ONLY OWES	
100-09-53311-000-000		Hwy Dept - Engineer/Consultant ANNEXATION MAP- VILLAGE ONLY OWES 0905765	417.60
100-09-53311-000-000		Hwy Dept - Engineer/Consultant DESCRIPTION AND MAP 0905767	8,566.80
100-09-53311-000-000		Hwy Dept - Engineer/Consultant HOELZEL, SUNRISE MEADOWS, NORTSHORE WDS 0905707	9,077.80
100-09-57330-000-000		Capital Outlay - Road Projects CAPITAL IMPROVEMENTS 0905699	2,773.25

4/19/2017 1:15 PM

Check Register - Full Report - ALL

Page: 2

ALL Checks

ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/19/2017

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
100-09-53311-000-000		Hwy Dept - Engineer/Consultant	543.50
		HAZELNUT 0905706	
Total			21,378.95
5235 4/19/2017 MIKE'S ELECTRIC DISCONNECT TIME CLOCK AT STATION 60			
100-09-53311-505-000		Hwy Dept - Building Maint	56.95
		DISCONNECT TIME CLOCK AT STATION 60 10010	
Total			56.95
5236 4/19/2017 SUPERIOR VISION INSURANCE OFFICE VISION INSURANCE for MAY			
100-02-51400-200-000		Gen. Admin - Benefits	81.90
		OFFICE VISION INSURANCE for MAY IA619621	
100-09-53311-200-000		Hwy Dept - Benefits	112.80
		SHOP- VISION INSURANCE for MAY IA619621	
Total			194.70
5237 4/19/2017 TECC Security Systems, Inc. REPLACE BATTERIES IN SYSTEM			
100-09-53311-505-000		Hwy Dept - Building Maint	326.95
		REPLACE BATTERIES IN SYSTEM 42452	
Total			326.95
5238 4/19/2017 ULTIMATE CLEANING LIMITED MAY 2017 SERVICES			
100-02-51400-400-006		Gen. Admin - Service Contracts	245.21
		MAY 2017 SERVICES 1641	
Total			245.21
5239 4/19/2017 WISCONSIN MEDIA billing period 03/01-03/31			
100-02-51400-800-000		Gen. Admin - Publications	109.97
		billing period 03/01-03/31 0000437707	
Total			109.97
Grand Total			27,221.23

4/19/2017 1:15 PM

Check Register - Full Report - ALL
ALL Checks

Page: 3
ACCT

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/19/2017
Thru:

From Account:
Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND	27,221.23
Total Expenditure from all Funds	27,221.23

4/19/2017 1:15 PM

Check Posting Control Report

Page: 1

ALL Checks

ACCT

Posting Date: 4/19/2017

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/19/2017

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		27,221.23
	Total Expenditure - Fund # 100	27,221.23	
	Total	27,221.23	27,221.23

RENEWAL ALCOHOL BEVERAGE LICENSE APPLICATION

Submit to municipal clerk. Read instructions on reverse side.

For the license period beginning: May 2017 ending: Oct 2017
(MM DD YYYY) (MM DD YYYY)

TO THE GOVERNING BODY of the: Town of } Harrison
 Village of }
 City of }

County of Calumet Aldermanic Dist. No. _____ (if required by ordinance)

CHECK ONE Individual Partnership Limited Liability Company
 Corporation Nonprofit Organization

Complete A or B. All must complete C.

A. Individual or Partnership:
 Full Name(s) (Last, First and Middle Name) _____ Home Address _____ Post Office & Zip Code _____

B. Full Name of Corporation/Nonprofit Organization/Limited Liability Company ▶ Harrison Athletic Assoc
 Address of Corporation/Limited Liability Company (if different from licensed premises) ▶ Hwy 114 - State Park Rd
 All Officer(s) Director(s) and Agent of Corporation and Members/Managers and Agent of Limited Liability Company:
 Title Name (Inc. Middle Name) Home Address Post Office & Zip Code

President/Member _____
 Vice President/Member _____
 Secretary/Member _____
 Treasurer/Member _____
 Agent ▶ Same as 2016 -> Becky Mader
 Directors/Managers _____

C. 1. Trade Name ▶ Harrison Athletic Assoc Business Phone Number 989-1835
 2. Address of Premises ▶ Hwy 114 - State Park Rd. Post Office & Zip Code ▶ Menasha 54952

3. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? Yes No
 4. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, consumption, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) Pavilion

5. Legal description (omit if street address is given above): _____

6. a. Since filing of the last application, has the named licensee, any member of a partnership licensee, or any member, officer, director, manager or agent for either a limited liability company licensee, corporation licensee, or nonprofit organization licensee been convicted of any offenses (excluding traffic offenses not related to alcohol) for violation of any federal laws, any Wisconsin laws, any laws of other states, or ordinances of any county or municipality? If yes, complete reverse side Yes No
 b. Are charges for any offenses presently pending (excluding traffic offenses not related to alcohol) against the named licensee or any other persons affiliated with this license? If yes, explain fully on reverse side Yes No

7. Except for questions 6a and 6b, have there been any changes in the answers to the questions as submitted by you on your last application for this license? If yes, explain. Yes No

8. Was the profit or loss from the sale of alcohol beverages for the previous year reported on the Wisconsin Income or Franchise Tax return of the licensee? If not, explain. Yes No

9. Does the applicant understand they must hold a Wisconsin Seller's Permit? [phone (608) 266-2776] Yes No

10. Does the applicant understand that alcohol beverage invoices must be kept at the licensed premises for 2 years from the date of invoice and made available for inspection by law enforcement? Yes No

11. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor? Yes No

Applicant's WI Seller's Permit No.: FEIN Number: <u>456-000216253-0251-0139882</u>	
LICENSE REQUESTED ▶	
TYPE	FEE
<input type="checkbox"/> Class A beer	\$
<input checked="" type="checkbox"/> Class B beer	\$ <u>WAIVED</u>
<input type="checkbox"/> Class C wine	\$
<input type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class A liquor (cider only)	\$ N/A
<input type="checkbox"/> Class B liquor	\$
<input type="checkbox"/> Reserve Class B liquor	\$
<input type="checkbox"/> Class B (wine only) winery	\$
Publication fee	\$
TOTAL FEE	\$ <u>Waived</u>

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), members/managers of Limited Liability Companies must sign.)

SUBSCRIBED AND SWORN TO BEFORE ME
 this _____ day of _____, 20____

(Clerk/Notary Public)
 My commission expires _____

[Signature] President
(Officer of Corporation/Member/Manager of Limited Liability Company /Partner/Individual)
[Signature] Treasurer
(Officer of Corporation/Member/Manager of Limited Liability Company /Partner)
[Signature] Secretary
(Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

TO BE COMPLETED BY CLERK

Date received and filed with municipal clerk <u>4/10/17</u>	Date reported to council/board <u>4/25/17</u>	Date license granted
License number issued	Date license issued	Signature of Clerk / Deputy Clerk



**APPLICATION FOR LICENSE TO SERVE
FERMENTED MALT BEVERAGES AND
INTOXICATING LIQUORS**

Village of Harrison, Wisconsin Town of Harrison, Wisconsin

To the Board of the Village of Harrison, WI or Town of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2018, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: Brenda Marguardt First Name: Brenda Middle I: J
Street Address: W2589 Manca City: Kaukauna Zip: 54130
Day Phone: 920 205 6805 Evening Phone: _____
Date of Birth: 4-11-70 Where will you be working?: HAA
Driver's License Number: M626-0707-0631-09

Do you currently hold or have held an operator's license within the last 2 years? YES / NO

If yes, please list the municipality which issued your license: Village of Harrison

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date
DWI	Calumet	6/2013

WITNESS SIGNATURE:

Subscribed and sworn to before me this 13 day of March 2017/18.


Applicant Signature

3/13/17
Date Rm

Witness Signature

Witness Address: _____

Office Use Only: \$25.00

Background Check

Reported to the Board:

Course Completion



APPLICATION FOR LICENSE TO SERVE FERMENTED MALT BEVERAGES AND INTOXICATING LIQUORS

Village of Harrison, Wisconsin Town of Harrison, Wisconsin

To the Board of the Village of Harrison, WI or Town of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2018, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: Mader First Name: Michael Middle I: J
Street Address: 18580 City m City: Menasha Zip: 54952
Day Phone: 920-378-4202 Evening Phone: _____
Date of Birth: 1-1-52 Where will you be working?: HAA
Driver's License Number: M360-5505-2001-00

Do you currently hold or have held an operator's license within the last 2 years? **YES** NO

If yes, please list the municipality which issued your license: Village of Harrison

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date

WITNESS SIGNATURE:

Subscribed and sworn to before me this _____ day
of _____ 2017/18.

X Michael Mader 3-14-17 Rm
Applicant Signature Date

Witness Signature

Witness Address: _____

Office Use Only: \$25.00

Background Check

Reported to the Board:

Course Completion



**APPLICATION FOR LICENSE TO SERVE
FERMENTED MALT BEVERAGES AND
INTOXICATING LIQUORS**

Village of Harrison, Wisconsin Town of Harrison, Wisconsin

To the Board of the Village of Harrison, WI or Town of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2018, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: Schaefel First Name: Rebecca Middle I: J
Street Address: W4982 GOLF Course City: Sherwood Zip: 54169
Day Phone: 920 810-0151 Evening Phone: 920-810-0151
Date of Birth: 8-5-59 Where will you be working?: H.A.A ballpark
Driver's License Number: S160-7305-9785-01

Do you currently hold or have held an operator's license within the last 2 years? YES NO

If yes, please list the municipality which issued your license: Town of Harrison

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date

WITNESS SIGNATURE:

Subscribed and sworn to before me this 14 day
of March 2017/18.

X Rebecca Schaefer 3-14-18
Applicant Signature Date Rm

Witness Signature

Witness Address: _____

Office Use Only: \$25.00

Background Check

Reported to the Board:

Course Completion



APPLICATION FOR LICENSE TO SERVE FERMENTED MALT BEVERAGES AND INTOXICATING LIQUORS

Village of Harrison, Wisconsin Town of Harrison, Wisconsin

To the Board of the Village of Harrison, WI or Town of Harrison, WI:

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I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: Mader First Name: Rebecca Middle I: L
Street Address: 178580 City M City: Menasha Zip: 54952
Day Phone: 920-989-1476 Evening Phone: _____
Date of Birth: 1-11-52 Where will you be working?: HAA
Driver's License Number: M360-7325-2511-07

Do you currently hold or have held an operator's license within the last 2 years? YES NO

If yes, please list the municipality which issued your license: Village of H. Ibert
Town of Harrison

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date

WITNESS SIGNATURE:

Subscribed and sworn to before me this _____ day
of _____ 2017/18.

X Rebecca Mader 3-14-17 Rm
Applicant Signature Date

Witness Signature

Witness Address: _____

Office Use Only: \$25.00

Background Check

Reported to the Board: _____

Course Completion



APPLICATION FOR LICENSE TO SERVE FERMENTED MALT BEVERAGES AND INTOXICATING LIQUORS

Village of Harrison, Wisconsin Town of Harrison, Wisconsin

To the Board of the Village of Harrison, WI or Town of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2018, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: Lambie First Name: Kevin Middle I: L
Street Address: 2520 S Lawe St City: Appleton Zip: 54915
Day Phone: 920 716-6996 Evening Phone: 920 716-6996
Date of Birth: 7/5/64 Where will you be working?: HAA Ballpark
Driver's License Number: L 510-5126-4245-02

Do you currently hold or have held an operator's license within the last 2 years? YES / NO
If yes, please list the municipality which issued your license: Village of Harrison

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date

WITNESS SIGNATURE:

Subscribed and sworn to before me this _____ day
of _____ 2017/18.

X [Signature] 3/14/17
Applicant Signature Date Rm

Witness Signature _____

Witness Address: _____

Office Use Only: \$25.00 Background Check
Reported to the Board: Course Completion



APPLICATION FOR LICENSE TO SERVE FERMENTED MALT BEVERAGES AND INTOXICATING LIQUORS

Village of Harrison, Wisconsin Town of Harrison, Wisconsin

To the Board of the Village of Harrison, WI or Town of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2018, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: FREDERICKS First Name: LOIS Middle I: C
Street Address: N8124 STOMMEL RD City: SHERWOOD Zip: 54169
Day Phone: (920) 989-1074 Evening Phone: 989-1074
Date of Birth: 1-5-44 Where will you be working?: H.A.A.
Driver's License Number: F636-5234-4505-08

Do you currently hold or have held an operator's license within the last 2 years? YES / NO
If yes, please list the municipality which issued your license: Willage
TOWN OF HARRISON

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.)
Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date

WITNESS SIGNATURE:

Subscribed and sworn to before me this _____ day
of _____ 2017/18.

X Lois Fredericks 3/14/17
Applicant Signature Date RM

Witness Signature

Witness Address: _____

Office Use Only: \$25.00 Background Check
Reported to the Board: Course Completion



APPLICATION FOR LICENSE TO SERVE FERMENTED MALT BEVERAGES AND INTOXICATING LIQUORS

Village of Harrison, Wisconsin Town of Harrison, Wisconsin

To the Board of the Village of Harrison, WI or Town of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2018, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: Fredericks First Name: Robert Middle I: A.
Street Address: 11260 Main St. City: Appleton WI. Zip: 54915
Day Phone: 920-213-1990 Evening Phone: 920-213-1990
Date of Birth: 3/12/66 Where will you be working?: Harrison Athletic Assoc.
Driver's License Number: F636-7616-6092-06

Do you currently hold or have held an operator's license within the last 2 years? YES / NO

If yes, please list the municipality which issued your license: Village of Harrison

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date

WITNESS SIGNATURE:

Subscribed and sworn to before me this _____ day
of _____ 2017/18.

X Robert A. Fredericks 3/14/17
Applicant Signature Date Rm

Witness Signature

Witness Address: _____

Office Use Only: \$25.00 Background Check
Reported to the Board: Course Completion



APPLICATION FOR LICENSE TO SERVE FERMENTED MALT BEVERAGES AND INTOXICATING LIQUORS

Village of Harrison, Wisconsin Town of Harrison, Wisconsin

To the Board of the Village of Harrison, WI or Town of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2018, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: Stumpf First Name: Brenda Middle I: L
Street Address: 17879 Ridgeview Ct City: Sherwood Zip: 54169
Day Phone: 920-850-6623 Evening Phone: -
Date of Birth: 7-17-70 Where will you be working?: HAA
Driver's License Number: 5351-0727-0757-08

Do you currently hold or have held an operator's license within the last 2 years? YES NO

If yes, please list the municipality which issued your license: Village of Sherwood

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date

WITNESS SIGNATURE:

Subscribed and sworn to before me this _____ day
of _____ 2017/18.

X Brenda Stumpf
Applicant Signature

3-14-17
Date

Rm

Witness Signature

Witness Address: _____

Office Use Only: \$25.00

Background Check

Reported to the Board:

Course Completion



VILLAGE OF HARRISON

TOWN OF HARRISON

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Date:

April 25, 2017

Title:

Plan Commission Appointment
Zoning Board of Appeals Appointment

Issue:

Should the Village Board appoint members to the Plan Commission and Zoning Board of Appeals?

Background and Additional Information:

Every April the Village Board must appoint/reappoint members to the Plan Commission and Zoning Board of Appeals for terms that expire on April 30th. Typically, citizen member terms are 3-years in accordance with state statutes and Board representative terms match their Board terms.

Budget/Financial Impact:

None

Recommended Action:

Staff recommends the Village Board make the following appointments:

- Reappoint Tom Capper to Zoning Board of Appeals (3-year term – May 1, 2017-April 30, 2020)
- Reappoint Jerry Bartlein to Plan Commission (3-year term – May 1, 2017-April 30, 2020)
- Plan Commission Village Board representative – currently Kevin Hietpas (term to match Board term)

Attachments:

- None



VILLAGE OF HARRISON

TOWN OF HARRISON

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: April 25th, 2017

Title:

Request to pave Noe Rd. Pond Trail.

Issue:

Should the Village pave the Noe Rd. Pond Trail?

Background and Additional Information:

At a previous Village Board meeting, a resident had requested that the Noe Rd. Pond Trail be paved to match the other trails around the park. Since this is a Garners Creek pond, the Village Board asked staff to contact the Garners Creek Stormwater Utility to see if they would be willing to pave the trail around the pond.

The Garners Creek commission stated that they would be willing to allow the Village of Harrison to pave and maintain the trail if the Village Board felt that it was appropriate.

Village staff, as directed by the board, has included a proposed estimate for the cost of an asphalt 8' trail around the Noe Rd. pond.

Budget/Financial Impact:

Cost of construction is approximately \$35,836.53. This item has not been budgeted for.

Recommended Motion:

Motion to approve paving of trail around the Noe Rd. pond.

Attachments:

Cost estimate.

Recreational Immunity information.

**Village of Harrison
 Recreation Trail Construction
 Preliminary Schedule of Costs
 McM No. H0006-9-17-00485**

Noe Road Pond Asphalt Recreation Trail:

Length = 1,286 Lin Ft
 Width (asphalt) = 8 Ft
 HMA Pavement = 3 inches
 Base Aggregate Dense = 12 inches

Item	Description	Quantity	Unit	Unit Cost	Total Cost
1	Fine grading and compaction of aggregate base	1572	S.Y.	\$ 1.50	\$ 2,357.67
2	3-inch HMA pavement (8' width)	226	TONS	\$ 85.00	\$ 19,238.56
3	Lawn restoration	1,572	S.Y.	\$ 4.50	\$ 7,073.00
Subtotal =					\$ 28,669.23
4	Engineering & Contingencies	25%			\$ 7,167.31
Total =					\$ 35,836.53

Note: Existing aggregate trail width is 10-feet

WISCONSIN'S RECREATIONAL IMMUNITY STATUTE: HOW MUCH PROTECTION DOES IT OFFER?

By: Claire Silverman, Legal Counsel

Many Wisconsin municipalities own property used to provide residents and visitors with opportunities for recreation. These include municipal parks, playgrounds, pools, beaches, golf courses, tennis courts, skating rinks, hills used for sledding, skateboard parks, and paths and trails used for various activities like biking, running, walking, rollerblading, skiing, and snowmobiling. Municipal officials often inquire whether the municipality or its officials are exposed to liability for injuries that occur while people are engaged in these various activities on municipal property. Generally speaking, the answer is no.

Section 895.52, commonly referred to as Wisconsin's "recreational immunity" statute, provides property owners, including municipal governments, with immunity against liability for any injury to a person engaged in a recreational activity on the owner's property. Although the statute provides broad immunity to municipal property owners, it is not absolute. There are statutory exceptions and some significant cases interpreting the law as it pertains to municipalities and other governmental bodies that a municipality must be aware of. This legal comment attempts to explain the general protections offered by the recreational immunity statute, as well as its limitations.

STATUTORY PURPOSE AND COVERAGE

The legislature enacted Wis. Stat. sec. 895.52 at the same time that it repealed Wisconsin's first recreational use statute because judicial interpretation had created a number of exceptions which rendered the statute ineffective.¹ In enacting the current statute, the legislature expressly stated that it intended to overrule any previous Wisconsin supreme court decisions interpreting the predecessor to 895.52, if the decision was more restrictive than or inconsistent with the provisions of the new act.

The recreational immunity statute was enacted to "limit the liability of property owners toward others who use their property for recreational activities under circumstances in which the owner does not derive more than a minimal pecuniary benefit."² To that end, sec. 895.52, Stats., provides that no owner, officer, employee or agent of an owner owes to any person who enters the owner's property³ to engage in recreational activity:

1. A duty to keep the property safe for recreational activities;
2. a duty to inspect the property; or
3. a duty to give warning of an unsafe condition, use or activity on the property.

The statute further provides that "no owner and no officer, employee or agent of an owner is liable for the death of, any injury⁴ to, or any death or injury caused by, a person engaging in a recreational activity on the owner's property or for any death or injury resulting from an attack by a wild animal."

There are two statutory exceptions. Section 895.52(4) provides that the statute does not limit the liability of a municipality or any of its agencies or of an officer, employee, or agent for either of the following:

1. A death or injury that occurs on property of which a governmental body is the owner at any event for which the owner charges an admission fee *for spectators*;
2. death or injury caused by a malicious act or by a malicious failure to warn against an unsafe condition of which an officer, employee, or agent of a governmental body knew, which occurs on property designated by the governmental body for recreational activities.

Conduct is "malicious" when it is the result of hatred, ill will, or revenge, or is undertaken when insult or injury is intended.⁵

STATUTORY DEFINITIONS AND TERMS

Most of the specific terms used in sec. 895.52, Stats., are defined within the statute. "Owner" is defined as "a person, including a governmental body... that owns, leases or occupies property" or that "has a recreational agreement with another owner." The term "governmental body" includes a "municipal governing body, agency, board, commission, committee, council, department" or a formally constituted subunit of any such body.

Of all the terms used in sec. 895.52, "recreational activity" has spawned the most litigation. The statute broadly defines "recreational activity" as "any outdoor activity undertaken for the purpose of exercise, relaxation or pleasure, including practice or instruction in any such activity." Importantly, the term excludes any organized team sport activity sponsored by the owner of the property on which the activity takes place. In enacting the statute, the legislature provided an extensive list of the kinds of activities that are meant to be included within the term but noted that it was impossible to specify every activity which might constitute a recreational activity.⁶ Where substantially similar circumstances or activities exist, the legislature intended that sec. 895.52 be liberally construed in favor of property owners to protect them from liability.⁷

(CONTINUED ON PAGE 26)

RECREATIONAL IMMUNITY (CONTINUED)

SIGNIFICANT COURT DECISIONS

Over the years, the recreational immunity statute has spawned litigation. This litigation has involved, among other issues, whether the recreational immunity afforded by the statute is affected when municipalities undertake to provide services they are not obliged to undertake, like supervision, which are then performed inadequately; whether someone was engaged in recreational activity when the injury or death in question occurred; and the limits of the organized sports exception. Although space constraints prevent a comprehensive discussion of the case law interpreting the statute, it's worth noting a few things.

For the most part, the courts have been mindful of the recreational immunity statute's underlying purpose of encouraging property owners to open property to recreational users and, in light of the legislature's clear attempt to overrule judicially created exceptions to the predecessor statute, have not wavered in situations where application of the statute appears harsh because of alleged municipal negligence. The courts have

held that a municipality does not lose the protection of the recreational immunity statute by undertaking an obligation that it need not take, such as providing some sort of supervision of recreational activities on municipal property, and performing in a manner that's alleged to be negligent.⁸

The courts have had more difficulty, however, drawing the line between recreational and non-recreational activities in varied fact situations. The Wisconsin Supreme Court has said that it continues to be frustrated in its efforts to state a test that can be applied easily because of the "seeming lack of basic underlying principles in the statute."⁹ This difficulty makes it harder to predict with certainty, what the outcome will be in a given case. In determining whether someone is engaged in a recreational activity or not, the courts have held that the injured person's subjective assessment of the activity is pertinent, but not controlling. A court must consider the nature of the property, the nature of the owner's activity, and the reason the injured person is on the property. A court should consider the totality of circumstances surrounding the activity, including the intrinsic nature, purpose, and consequences of the




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RECREATIONAL IMMUNITY (CONTINUED)

activity. A court should apply a reasonable person standard to determine whether the person entered the property to engage in a recreational activity. Finally, a court should consider whether the activity in question was undertaken in circumstances substantially similar “to the circumstances of recreational activities set forth in the statute.”¹⁰

In some cases, the issue has been whether the intrinsic nature of the activity is commercial rather than recreational so that the recreational immunity statute might be held inapplicable. Profit earned by a governmental body does not, in itself, convert a recreational event into a commercial one for purposes of the recreational use statute.¹¹

Other court decisions with significance for municipalities involve cases where the courts have interpreted the exclusion from the definition of “recreational activity” of any organized team sport activity sponsored by the owner of the property on which the activity takes place. In *Hupf v. City of Appleton*,¹² a participant in a recreational softball league sued the city, alleging negligence, after he was struck in the eye by a softball while leaving the city park. The court held that the City was the “sponsor” of the softball league within the meaning of the recreational immunity statute, even if the city did not have a profit motive, where the city took team registrations, maintained the grounds, and provided umpires, scoreboards, bases, and softballs. As further evidence of the City’s sponsorship, the court looked to a exculpatory contract signed by participants releasing the city from any damage claims and referring to the city Parks and Recreation department or the school district as “sponsoring” the league.

The City argued that because Hupf was injured while leaving the park and not while participating in the organized sport, the exclusion didn’t apply. The court rejected that argument, holding that although a walk in the park for the purpose of exercise, relaxation, or pleasure is an activity for which the owner is immune, “the legislature did not intend to create a corridor of immunity from the ball field to the parking lot when the walk is inextricably connected to a non-immune activity.” The court noted that this same logic applies equally when someone is engaged in a recreational activity that is covered by the statute, so that a momentary diversion such as going to the bathroom or taking a brief break from a recreational activity does not remove the protection of the recreational immunity statute.

In another case involving the organized sport exclusion, the Wisconsin Supreme Court held that the exception from landowner immunity extends not only to participants, but to spectators as well.¹³

CONCLUSION

Wisconsin’s recreational immunity statute, sec. 895.52, Stats., provides municipalities with broad immunity against liability for any injury to a person engaged in a recreational activity on municipal property. While the immunity is broad, it is not absolute. Municipal officials and municipal attorneys should be aware of statutory exceptions and case law interpretations that might expose a municipality to potential liability so that the municipality can secure the requisite insurance or implement measures to avoid such liability.

Liability 390R1

¹ See 1983 Wis. Act 418, repealing sec. 29.68 which was created in 1963.

² 1983 Wis. Act 418, sec. 1.

³ “Property” means real property and buildings, structures and improvements thereon, and the waters of the state. Section 895.52(1)(f), Stats.

⁴ “Injury” means an injury to a person or property. Section 895.52(1)(b), Stats.

⁵ *Ervin v. City of Kenosha*, 159 Wis.2d 464, 464 N.W.2d 654 (1991)

⁶ “Recreational activity” “includes hunting, fishing, trapping, camping, picnicking, exploring caves, nature study, bicycling, horseback riding, bird-watching, motorcycling, operating an all-terrain vehicle or utility terrain vehicle, operating a vehicle, as defined in s. 340.01(74) on a road designated under s. 23.115, recreational aviation, ballooning, hang gliding, hiking, tobogganing, sledding, sleigh riding, snowmobiling, skiing, skating, water sports, sight-seeing, rock-climbing, cutting or removing wood, climbing observation towers, animal training, harvesting the products of nature, sport shooting and any other outdoor sport, game or educational activity.” Sec. 895.52(1)(g), Stats.

⁷ 1983 Wis. Act 418, sec. 1.

⁸ See *Johnson v. City of Darlington*, 160 Wis.2d 418, 466 N.W.2d 233 (Ct. App. 1991) and *Ervin v. City of Kenosha*, 159 Wis.2d 464, 464 N.W.2d 654 (1991). But cf. *Linville v. City of Janesville*, 184 Wis.2d 705, 516 N.W.2d 427 (1994), where a vehicle was accidentally driven into a municipal pond while the occupants were looking at a fishing spot, and the paramedics allegedly were slow to respond or alleged to be negligent in other respects. Wisconsin Supreme Court held that sec. 895.52, Stats., did not afford the municipality immunity for injuries sustained by the recreational land users. The court reasoned that the claims were based on allegedly negligent emergency rescue services provided by the municipality which were unrelated to the municipality’s ownership of the recreational land or were based on the allegedly negligent actions of municipal employees whose employment was unrelated to the recreational land.

⁹ *Auman v. School Dist. of Stanley-Boyd*, 2001 WI 125, 248 Wis.2d 548, 635 N.W.2d 762.

¹⁰ *Id.*

¹¹ *Fischer v. Doylestown Fire Dept.*, 199 Wis.2d 83, 543 N.W.2d 575 (Ct. App. 1995). But cf. *Silingo v. Village of Mukwonago*, 156 Wis.2d 536, 458 N.W.2d 379 (Ct. App. 1990).

¹² *Hupf v. City of Appleton*, 165 Wis.2d 215, 477 N.W.2d 69 (Ct. App. 1991).

¹³ *Meyer v. School District of Colby*, 226 Wis.2d 704, 595 N.W.2d 339 (1999) (school district was not immune from liability when spectator watching a high school sponsored football game was injured when the bleachers broke under her as she descended following the football game. Although watching a high school football game is a recreational activity, and the school district had not charged spectators admission to watch the game, the organized team sport activity exception to the recreational use statute extends to spectators who are not participants and whose injuries do not arise out of team sport activity or the actions of participants in that activity).

DID YOU KNOW?

197 municipalities have administrator positions, 88 of which are purely administrators and 109 of which combine the position with other titles.

VILLAGE BOARD MEETING**VILLAGE OF HARRISON**

Date: April 25th, 2017

Title:

Discuss Harrison's participation in the Garners Creek Stormwater Utility

Issue:

Should the Village continue to participate in the Garners Creek Stormwater Utility?

Background and Additional Information:

The Garners Creek watershed lies within the municipal boundaries of seven communities, Village of Harrison, Town of Harrison, City of Appleton, City of Kaukauna, Village of Kimberly, Village of Combined Locks and the Town of Buchanan.

The Village of Harrison, Village of Combined Locks and Town of Buchanan created the Garners Creek Stormwater Utility in 1998 to address flooding issues due to urbanization in their communities. Each community collects stormwater fees and sends them to the Utility. In the past, the Utility has used these fees to construct the regional stormwater ponds. The fees are also used for stream restoration projects in Buchanan and Combined Locks. Harrison currently contributes approximately \$226,000 to the Garners Creek Stormwater Utility.

A meeting between all the communities was held on April 19, 2017 to discuss the future of the Garners Creek Stormwater Utility and what role, if any, it may serve in helping the Village of Harrison achieve its mandated stormwater goals.

If the Village chooses to not participate in the Garners Creek Stormwater Utility, the \$226,000 being sent to Garners Creek could be used to fund stormwater, drainage, and sump pump projects in the Village of Harrison. Those funds could be used to construct regional facilities in areas outside of Garners Creek, like the Lake Winnebago watershed or a future regional pond north of the proposed lift station.

Budget/Financial Impact:

Increase in local funding of approximately \$226,000.00.

Recommended Motion:

Motion to authorize Village Manager to inform Garners Creek Stormwater Utility of its intentions with regards to the Garners Creek Stormwater Utility.

Attachments:

None.

Garners Creek Storm Water Utility History, Objectives & Future Role



PHIL KLEMAN, EIT, CPESC
NICK VANDE HEY, P.E., CPESC
April 19, 2017



GARNERS CREEK STORM WATER UTILITY
HISTORY, OBJECTIVES & FUTURE ROLE

Overview

- Stormwater Regulatory Background
 - Municipal Stormwater Permit
 - Total Maximum Daily Loads (TMDL's)
- Utility History & Objectives
- Garners Creek TMDL Analysis
- Future Role of Utility

Stormwater Regulatory Background

- **Federal**
 - 1987 - Clean Water Act Amendment
 - 1990 - EPA Phase I Regulation
 - 1999 - EPA Phase II Regulation
- **Wisconsin – Phase II**
 - 2002 - NR 151 Performance Standards
 - 2004 - NR 216 Municipal Permit
 - 2006 - Municipal Permit Application
 - 2014 - Municipal Permit Renewals & New Permits



Municipal Stormwater Permit

- Public Education & Outreach
- Public Involvement & Participation
- Illicit Discharge Detection & Elimination
- Construction Site Pollution Control
- Post-Construction Site Storm Water Management
- Municipal Pollution Prevention
- Stormwater Quality Management

Municipal Stormwater Permit

- Member communities received original Municipal Stormwater Permit from DNR in Dec, 2006
 - Developed urban areas
 - Achieve 20% sediment reduction by 2008
 - Achieve 40% sediment reduction by 2013
- 2011 - Wisconsin Act 32
 - Removed 40% sediment reduction requirement
 - 20% sediment reduction remained
 - Maintain existing best management practices (BMPs)
- DNR renewed Municipal Stormwater Permit in May, 2014
 - Written TMDL plan & tabular summary due March 31, 2018

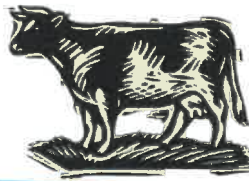
Federal Clean Water Act – Section 303(d)



- US Environmental Protection Agency (EPA) requires each state to identify impaired water bodies that do not meet designated uses
- States need to establish priority rankings for waters on the impaired lists and develop Total Maximum Daily Loads (TMDLs) for these waters.
- Each state needs to identify the pollutants causing the water body impairment

Total Maximum Daily Load (TMDL)

- Maximum amount of a pollutant that a water body can receive and still meet water quality standards
- TMDL = Nonpoint Allocation + Point Allocation

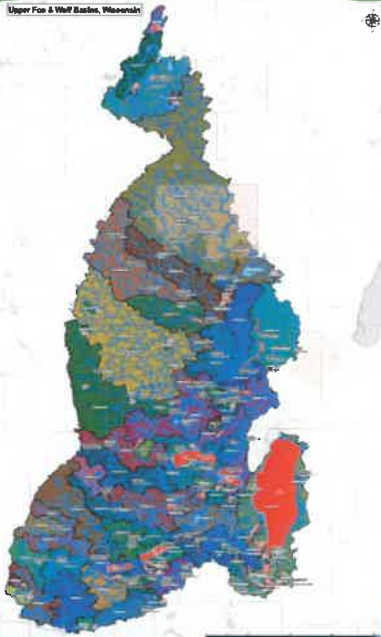


Lower Fox River Basin TMDL

- Approved by US Environmental Protection Agency on May 18, 2012
- Phosphorus & Sediment Pollutants
- Includes following Sub-Watersheds:
 - Fox River
 - Garners Creek
 - Kankapot Creek
 - Plum Creek



Upper Fox & Wolf Basins, Wisconsin



Source: DNR

Upper Fox River & Wolf River Basin TMDL

- Wisconsin DNR developing TMDL - Anticipated in 2017
- US Environmental Protection Agency needs to review & approve – Anticipated by late 2017 or early 2018
- Phosphorus & Sediment Pollutants
- Includes Lake Winnebago Sub-Watershed



Sediment Pollutant
Lower Fox River
Green Bay, WI



**Phosphorus Pollutant
Lower Fox River
Kimberly, WI**

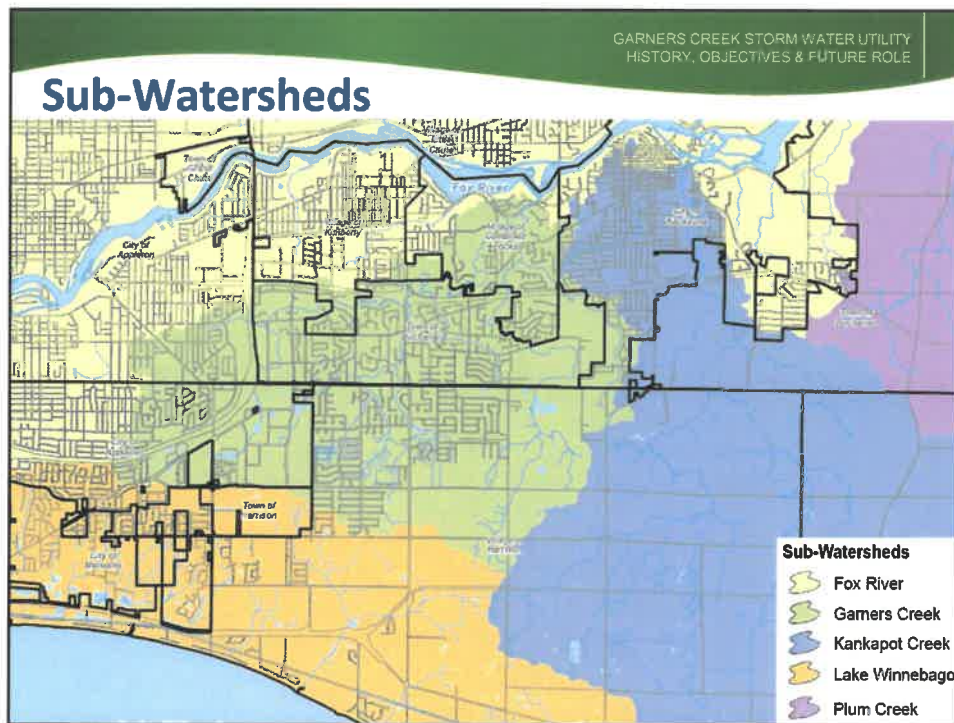
TMDL Allocations

- Municipal & Industrial Wastewater Permits
- Municipal, Industrial, and Construction Site Stormwater Permits
- CAFO Permits and Other Agriculture



TMDL's & Municipal Stormwater Permit

- TMDL phosphorus & sediment reductions implemented thru Municipal Stormwater Permit
- TMDL pollutant reductions to be achieved & reported for each sub-watershed within a community (not a community-wide average)
- Each member community has multiple sub-watersheds within their municipal boundary



TMDL Pollutant Reduction Requirements

TMDL Name	Sub-Watershed	TMDL Phosphorus (TP) Reduction Required	TMDL Sediment (TSS) Reduction Required	Buchanan	Combined Locks	Harrison
Lower Fox River	Fox River	41%	72%	X	X	
Lower Fox River	Garners Creek	69%	60%	X	X	X
Lower Fox River	Kankapot Creek	41%	52%	X		X
Lower Fox River	Plum Creek	41%	52%	X		
Upper Fox River	Lake Winnebago	TBD	TBD			X

TMDL Compliance Schedule

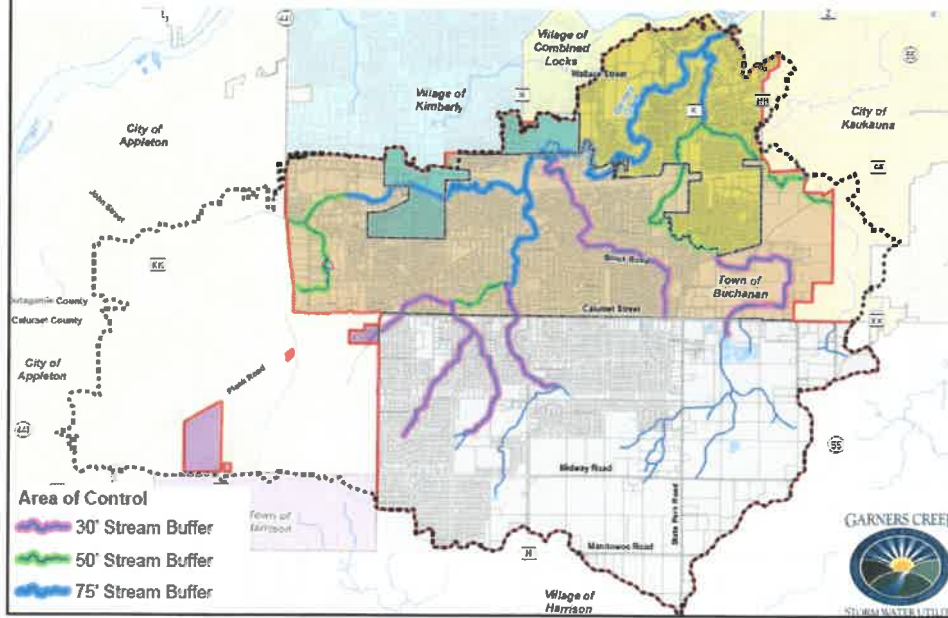
- Current Municipal Stormwater Permit requires a proposed schedule be included with TMDL plan & tabulation (due March 31, 2018 - LFR TMDL)
- DNR guidance states a compliance schedule is expected to be added to Municipal Stormwater Permit after TMDL planning is completed
- Municipal Stormwater Permit is renewed every 5 years & scheduled to be reissued in 2019 or 2020

Garners Creek Storm Water Utility

- Joint utility created in 1998
 - \$96 per Equivalent Runoff Unit (ERU)
 - 2016 Schedule of Charges: \$736,272
- Original members
 - Town of Buchanan
 - Village of Combined Locks
 - Town of Harrison
- Original Purpose / Objectives
 - Stream Erosion
 - Peak Flow Rates/Flood Control



Area of Control

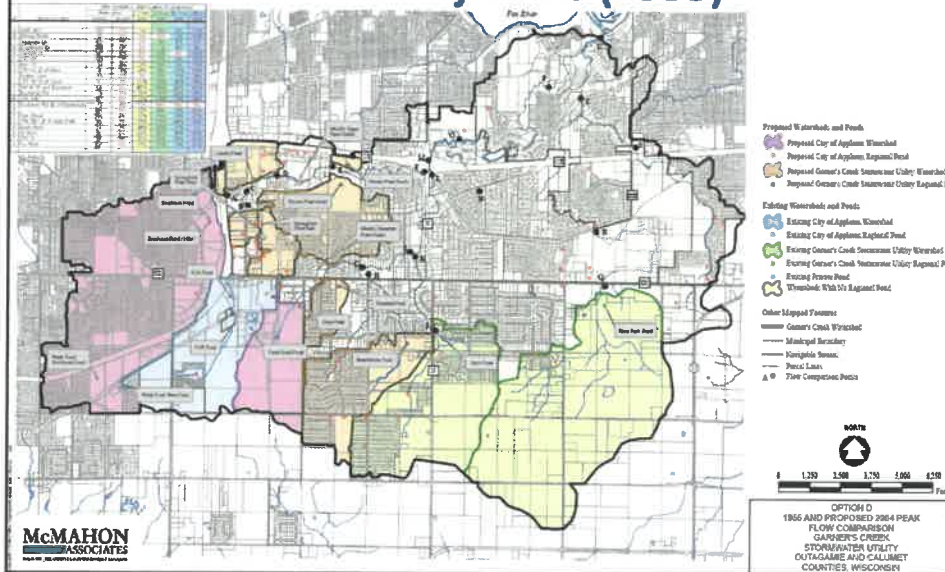


Area of Control - Stream Bank Restoration

- Property owners along Garners Creek request to be added to the Utility's project ranking list
- Utility typically constructs a stream bank erosion control project annually
- Projects stabilize stream banks and reduce amount of sediment transported downstream



2004 – Peak Flow Objective (1955)



Garners Creek Storm Water Utility

- From 2008-2015, Utility continued to construct regional stormwater ponds to achieve the 1955 peak flow objective & improve water quality within watershed.
- Utility currently owns, operates and maintains 8 regional stormwater ponds
- In 2015, Utility completed a TMDL pollutant analysis for the Garners Creek Watershed to assist member communities with Municipal Stormwater Permit compliance.

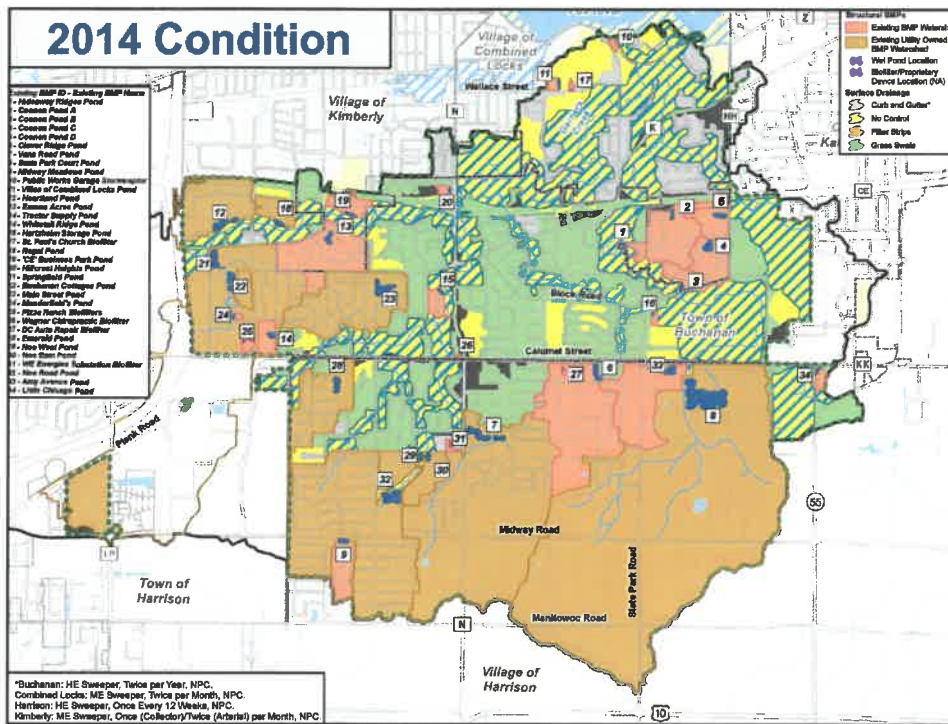


Historical Timeline



Garners Creek TMDL Analysis

Sub-Watershed	Phosphorus TMDL reduction required	Sediment TMDL reduction required
Garners Creek	69%	60%
Municipality	2014 Phosphorus reduction provided	2014 Sediment reduction provided
T. Buchanan	57%	67%
V. Combined Locks	21%	26%
T. Harrison	42%	43%
V. Harrison	59%	77%
V. Kimberly	44%	55%
Study Area Total:	52%	65%



Utility Owned Regional Ponds

Pond Name	Urban Area (acres)	TSS Reduction (%)	TSS Reduction (lbs/yr)	TP Reduction (%)	TP Reduction (lbs/yr)
Heartland Pond	66	85%	21,876	67%	39
Regal Pond	19	86%	4,418	72%	10
Springfield Pond	180	63%	32,150	48%	67
Main Street Pond	121	95%	21,282	73%	65
Emerald Pond	66	87%	10,937	65%	32
Vans Road Pond	209	81%	31,289	59%	91
State Park Ct Pond	233	84%	18,049	61%	73
Noe Road Pond	339	86%	57,579	62%	149
Totals:	1,232		197,581		525

54% of TMDL TSS Reduction Required 34% of TMDL TP Reduction Required

Garners Creek TMDL Analysis

Sub-Watershed	Phosphorus TMDL reduction required	Sediment TMDL reduction required
Garners Creek	69%	60%

Alternative	Phosphorus Removal (%)	Sediment Removal (%)	Capital Costs	Excess Sediment Load (lbs)
1	69%	77%	\$5.2 million	102,530
2	69%	74%	\$3.9 million	85,815
3	69%	71%	\$1.8 million	190,088

Other Utility Costs

- Debt repayment
- Operation & Maintenance of Regional Ponds
 - Approximately \$70,000 per year for O&M (8 ponds)
 - Dredging likely needed at Vans Road Pond within next 5 years (Estimated Cost = \$50,000 - \$150,000)

Moving Forward – Discussion Items

- Define role of Utility moving forward
- DNR is requesting an inter-governmental agreement to identify roles / partners
 - Identify the responsibilities of Utility & member communities as it relates to water quality goals within Garners Creek sub-watershed
 - Identify how water quality credits are allocated
 - Utility owned ponds
 - Community owned or private ponds with maintenance authority
 - Grass Swales / Street Sweeping
 - Identify how excess sediment reduction is distributed to member communities?
 - Schedule of Charges, Baseline Loading, etc.

Questions





VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Date:

April 25, 2017

Title:

Preliminary Plat for Kimberly Heights

Issue:

Should the Village Board approve the Preliminary Plat for Kimberly Heights?

Background and Additional Information:

The developers, Dercks DeWitt LLC, have submitted a preliminary plat called Kimberly Heights for a new 96-lot subdivision. This subdivision is located along County N north of Schmidt Road. The subdivision is planned for two phases. Phase 1 will consist of lots along Hoelzel Way and Touchdown Drive. Phase 2 will consist of lots 41-96. Stormwater management is expected to be accomplished through a combination of using the Van’s Road regional stormwater pond (off-site) and several detention ponds within the subdivision.

Budget/Financial Impact:

None

Recommended Action:

The Plan Commission recommends approval of the Preliminary Plat for Kimberly Heights with the following conditions:

1. A zoning map amendment (rezoning) shall be submitted to rezone the property from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1].
2. A “12’ Utility Easement” shall be granted to include the Village of Harrison and Darboy Sanitary District as a Grantee for the purposes of maintenance, repair, and/or replacement of sanitary or water infrastructure and access thereto.
3. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
4. All lots shall have a storm sewer lateral provided for sump pump discharge.
5. All drainageways, drainage easement, and associated infrastructure shall be installed, graded and seeded prior to roadway acceptance.
6. All utilities, including but not limited to, sanitary sewer, water, storm sewer, gas, electric, cable, phone, shall be installed prior to roadway acceptance.
7. The Village Board shall accept the roadway in a graveled state prior to issuance of building permits and zoning permits.
8. All other improvements, including but not limited to, curb & gutter, concrete paving, sidewalks, shall be installed prior to issuance of building permits or zoning permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.

9. All comments from the Village engineer shall be included in the Plan Commission discussion and decision.
10. Typical Street Section to be in accordance with the Village of Harrison Standard Specifications Manual for Concrete Streets.
11. High-back, integral concrete curb shall be utilized rather than the mountable curb.
12. Wetland determinations and/or studies shall be provided to the Village.
13. A note shall be added to the plat indicating access control to County N and Schmidt Road.
14. A note shall be added to the final plat indicating that the Village of Harrison will assess all lots for street improvements, including but not limited to, curb & gutter, concrete pavement, and sidewalks.
15. Location of all sidewalk curb ramps shall be approved by Harrison staff.
16. A grading/drainage stormwater management plan and erosion control plan shall be reviewed and approved by the Village engineer and Village staff.
17. Final utility and street plans shall be reviewed and approved by the Village Engineer and Village staff prior to approval of the Final Plat and prior to utility and street construction.
18. Benchmarks shall be established on all hydrant tag bolts.
19. All environmental corridors shall be clearly identified and setback lines to be indicated.
20. Temporary turn-around to be provided on dead-end streets longer than 150-feet.
21. A 25-foot easement for a landscaping berm and plantings shall be added to the final plat. Details on the berm design and plantings shall be indicated in the final plans.
22. Grading/Drainage Plan shall identify elevations of ground at the foundation.
23. The Stormwater Management Plan shall also be approved by Garner's Creek Stormwater Utility for the portion of the subdivision that will be utilizing the Van's Road Pond.
24. All road names shall be approved by the Appleton Post Office, the Village of Harrison, and Calumet County E911.
25. The size of the pipe associated with existing MH M is different on the draft Preliminary Plat than on the Topographic Survey (Sheet 1.5).
26. The number should be updated for the recently completed CSM associated with Lot 2 to the east.
27. Temporary cul-de-sac easements may be desirable for emergency vehicles and snow plowing, etc.
28. Vision corner easement(s) are recommended.
29. Restricting direct vehicular access to Schmidt Road and CTH N.
30. A drainage easement along Lots 15-17 outside of the proposed plat shall be obtained in order to complete the drainage improvements.
31. Streetlights at County N/Hoelzel Way and Schmidt Road/Touchdown Drive shall be installed.
32. A fee in lieu of parkland dedication and fee in lieu of trail construction shall be negotiated and made part of the Development Agreement.
33. The Appleton Post Office has concerns with the Victory Lane street name.
34. A note shall be added to the plat that no buildings, structures, landscaping, or grading activities shall occur within the drainage easement along Lots 15-35 & 58-66.
35. The plan should verify that the terms of the existing drainage and utility easements in the Sunrise Meadows II and Memory Meadows plats accommodate construction of the storm sewer connection north of proposed Lot 12.

36. Easements should be incorporated to address construction and drainage through the adjacent property to the east (Lot 2 of recent CSM).
37. The plan should indicate information on the wetlands shown, including who performed the delineation, when completed, width of protective areas, and when/if concurrence was received, if applicable.
38. Grading is proposed in the wetlands shown along the north property boundary and will require application for a permit or exemption.
39. A 100-year overflow is proposed between Lots 12 and 13. An overflow section detail is provided that is essentially a 1 ft. deep, 10 ft. wide bottom ditch. No preliminary calculations are provided for the ditch, and it is unclear what the proposed ditch grades are or if proposed flows will be contained in the easement. The easement likely should at least meet the 30 ft. minimum.
40. Preliminary calculations should also be submitted for the drainage easements behind Lots 15-24, 25-35, and 58-66 to verify that the proposed widths will contain the anticipated flows and that localized flooding along the north property line is addressed.
41. A 100-year storm high water elevation of 779.1' is shown north of proposed Lots 12 and 13. We recommend that the proposed garage floors and adjacent grades are a minimum 2 ft. above all proposed high water elevations, along the north boundary, detention areas, and drainage swales/overflows.
42. Several storm sewer manholes along Hoelzel Way and the easement between Lots 11 and 12 are recommended to be larger based on the proposed pipe sizes.
43. The storm sewer manhole detail does not reflect the tracer wire placement per Village standards. The detail also does not reflect that some of the storm sewer manholes require larger structures.
44. The storm manholes, catch basins and yard drains do not reflect a minimum 12 in. sump per Village standards.

Attachments:

- Preliminary Plat
- Sewer & Water Feasibility Plan
- Aerial Map

Calumet County, WI

Legend

- Address Point
- ▭ County Boundary
- ▭ Wisconsin Water
- ▭ Other Counties
- Unincorporated Community
- ▭ Town Boundary
- ▭ Point of Interest
- ▭ Parcel Boundary
- ▭ Property Hook
- ▭ PLSS Section
- ▭ State Parks
- ▭ County Parks
- ▭ Lake
- ▭ River and Stream
- ▭ Major Roads
- ▭ Local Roads
- ▭ Local Roads
- ▭ Municipal Streets
- ▭ Trail
- ▭ Railroad

Color 2014

- Redband_1
- Greenband_2
- Blueband_3



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author:	
Date Printed:	04/01/17 2:58 PM
Sources:	




LEGEND

- Overhead Electric Lines
- Sanitary Sewer
- Storm Sewer
- Underground Gas Line
- Underground Telephone
- Wellhead
- Culvert
- Index Contour
- Intermediate Contour
- Sanitary MH / Tank / Base
- Clean Out / Curb Stop / Pull Box
- Storm Manhole
- Inlet
- Water MH / Well
- Hydrant
- Utility Valve
- Utility Pole
- Light Pole / Signal
- Telephone Pedestal
- Deciduous Tree
- Coniferous Tree
- Bush / Hedge
- Benchmark
- 1/2" Rebar Found
- 3/2" Rebar Found
- 1" Iron Pipe Found
- Witness Monument
- Government Corner
- Recorded As
- Asphalt Pavement
- Concrete Pavement

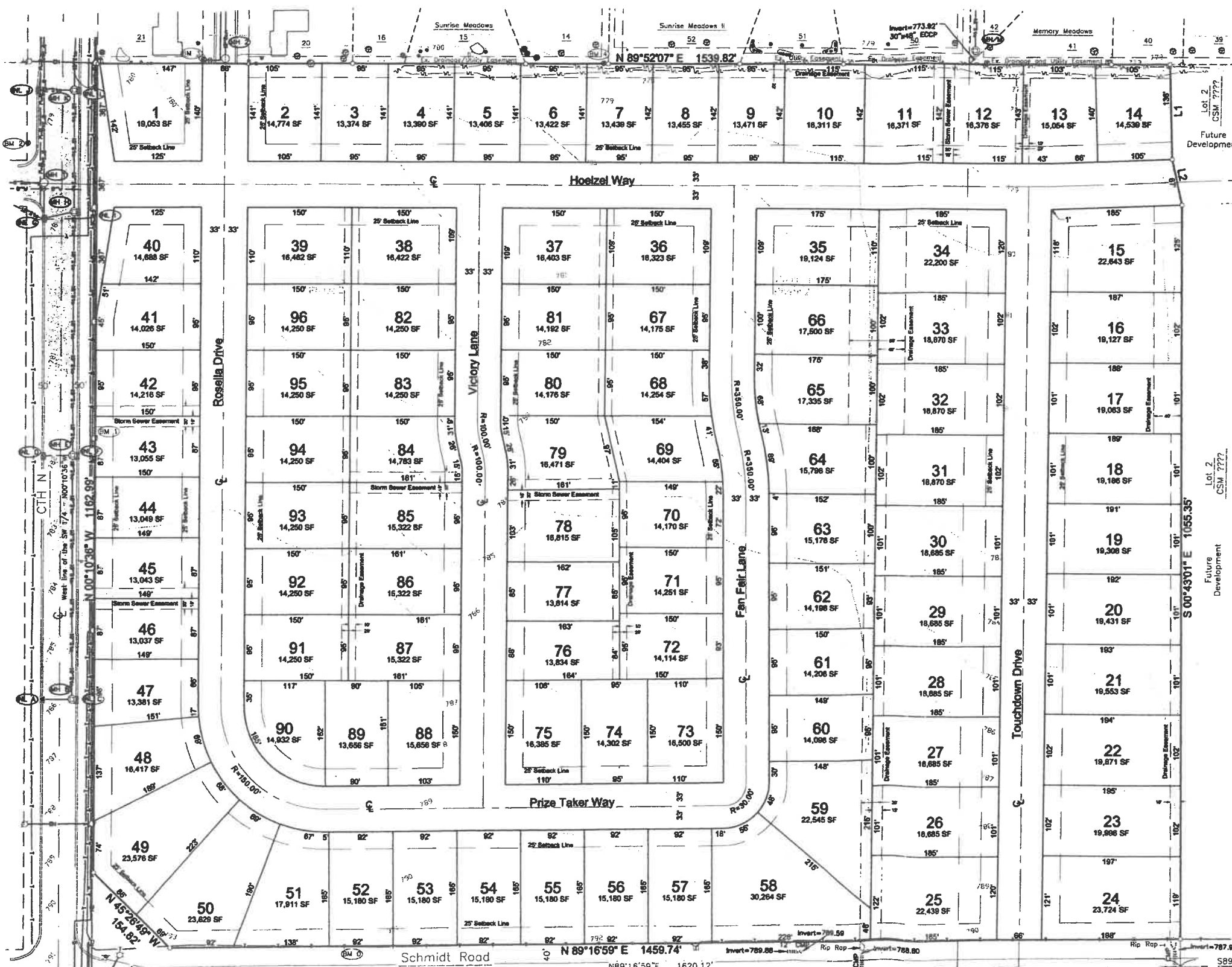
Line	Bearing	Length
L1	S 02°16'47" E	136.28'
L2	S 12°59'32" E	67.17'

Preliminary Plat of Kimberly Heights

All of Lot 1 of Certified Survey Map No. _____ and being part of the SW 1/4 of the SW 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

LOCATION MAP

SW 1/4 SEC 2, T 20 N, R 18 E,
VILLAGE OF HARRISON,
CALUMET COUNTY, WI



Sanitary Structures

Structure #	Rim	Inv	Size	Material	Direction
MH 1	779.40	766.70	8"	PVC	S
		766.70	8"	PVC	W
MH 2	778.98	769.98	8"	PVC	N
		769.98	8"	PVC	S
MH 3	778.74	752.94	10"	PVC	N
		752.94	10"	PVC	S

Storm Structures

Structure #	Rim	Inv	Size	Material	Direction
INL A	785.29	781.49	12"	RCP	E
MH B	785.72	779.82	12"	RCP	W
		779.82	12"	RCP	S
		778.42	18"	RCP	N
INL C	785.38	779.48	12"	RCP	W
INL D	781.38	777.58	12"	RCP	E
MH E	781.71	776.91	12"	RCP	W
		776.91	12"	RCP	E
		776.71	18"	RCP	S
INL F	781.34	776.84	12"	RCP	W
INL G	779.49	775.99	12"	RCP	NW
		775.99	12"	RCP	NE
MH H	779.81	775.91	12"	RCP	SW
		775.91	12"	RCP	E
		775.11	18"	RCP	S
INL I	779.45	776.15	12"	RCP	W
INL J	778.36	775.06	12"	RCP	E
MH K	778.83	774.53	12"	RCP	W
		774.53	12"	RCP	E
		773.73	18"	RCP	S
		773.73	18"	RCP	N
INL L	778.47	774.97	12"	RCP	W
MH M	777.56	772.96	48"	RCP	S
		762.06	48"	RCP	N
INL N	778.10	774.80	12"	PVC	E
INL O	778.12	774.12	12"	PVC	W
		774.12	12"	PVC	N
		774.12	12"	PVC	E

BENCHMARKS (NAVD88)

- BM 0 Disk in Concrete (DE7720) N. R/W of Belmont Rd. Elev 791.73
- BM 1 RR Spike in P. Pole #71-0855 E. R/W of City Hwy "N" Elev 785.24
- BM 2 Fire Hydrant, Top Bolt NW Quad of City Hwy "N"/Hoelzel Way Int. Elev 782.37
- BM 3 Fire Hydrant, Top Bolt End of Rosella Dr. Elev 780.85
- BM 4 "X" in Concrete Elec. Pedestal s600' East of Rosella Dr. Elev 778.16
- BM 5 "X" in Concrete Elec. Pedestal s730' West of Dusty Dr. Elev 778.60

Davel Engineering, Inc. provides no guarantee to the accuracy of the data provided. User of said data assumes all risks associated with said use and releases Davel Engineering, Inc. from any and all liabilities and damages resulting from said use.

SUPPLEMENTARY DATA

Total Area = 1,889,418 SF 45.2116 acres
 R/W Area = 386,357 SF 8.8761 acres
 Net Area = 1,574,061 SF 36.1355 acres
 Number of Lots = 50
 Average lot size = 16,000 SF
 Typical lot dimension = 95' x 170'
 Linear feet of Proposed Street = 6,268 LF
 Existing zoning = AG - General Agriculture
 Proposed zoning = RS-1 - Single Family Residential (Suburban)
 Approving Authorities
 Village of Harrison
 Calumet County
 Department of Administration

Setbacks Per Code:

- Front Yard: 25 feet
- Side Yard: 7.5 feet
- Rear Yard: 25 feet
- Stream Setback: 50 feet

NOTES:

- All linear measurements have been made to the nearest one hundredth of a foot
- All angular measurements have been made to the nearest 20 seconds and computed to the nearest half seconds.
- Utility and Drainage Easements will be shown on Final Plat

SURVEYOR'S CERTIFICATE

I, James R. Sehoff, hereby certify that this Preliminary Plat is a correct representation of all existing land divisions and features, and that I have complied with the preliminary plat requirements for the city/village/county.

James R. Sehoff, P.L.S. No. S-2692
 Date: 4 APR 2017



Bearings are referenced to the S.A. of the SW 1/4 Section 2 T20N, R18E assumed to bear N89°16'59"E based on the Calumet County Coordinate System.



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 CIVIL ENGINEERING CONSULTANTS

1811 Racine Street, Menasha, WI 54952
 Ph: 920-991-1868 Fax: 920-830-8595
 www.davel.com

Kimberly Heights

Village of Harrison,
Calumet County, WI

For: Dercks DeWitt, LLC



Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Derby Joint Sanitary District #1.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Harrison.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

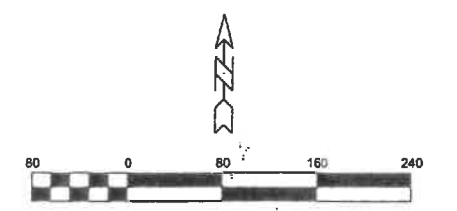
The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

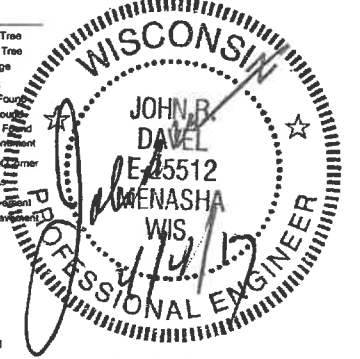
Sanitary sewer and storm sewer laterals to be SCH 40 PVC and water laterals to be SDR9 PE.



LEGEND

- | | | | | | |
|-------|-------------------------|---|-----------------------------------|---|------------------------|
| —OH— | Overhead Electric Lines | ○ | Sanitary MH / Tank / Base | ⊗ | Deciduous Tree |
| —San— | Sanitary Sewer | ○ | Clean Out / Curb Stop / Pull Box | ⊗ | Coniferous Tree |
| —Sto— | Storm Sewer | ○ | Storm Manhole Inlet | ⊗ | Bush / Hedge |
| —UG— | Underground Gas Line | ○ | Water MH / Well | ⊗ | Benchmark |
| —UT— | Underground Telephone | ○ | Hydrant | ⊗ | 3/4" Rubber Footing |
| —W— | Wetlands | ○ | Utility Valve | ⊗ | 3/4" Iron Pipe Fitting |
| —C— | Culvert | ○ | Utility Pole | ⊗ | Witness Monument |
| —I— | Index Contour | ○ | Light Pole / Signal | ⊗ | Government Marker |
| —M— | Intermediate Contour | ○ | Telephone Pedestal | ⊗ | Recorded As-Built |
| —SS— | Proposed Storm Sewer | ○ | Proposed Sanitary Manhole | ⊗ | Asphalt Paving |
| —SS— | Proposed Sanitary Sewer | ○ | Proposed Storm Manhole | ⊗ | Concrete Paving |
| —W— | Proposed Water Main | ○ | Proposed Curb Inlet | ⊗ | Proposed Reducer |
| —C— | Proposed Contour | ○ | Proposed Catch Basin / Yard Drain | ⊗ | Proposed Plug |
| —C— | Proposed Swale | ○ | Proposed Hydrant | ⊗ | Proposed Water MH |
| —C— | Proposed Culvert | ○ | Proposed 45' Band | ⊗ | Proposed Tee |
| | | ○ | Proposed 22.5' Band | ⊗ | Proposed Cross |
| | | ○ | Proposed Curb Stop | ⊗ | Proposed 90° Band |
| | | ○ | | ⊗ | Proposed 45' Band |
| | | ○ | | ⊗ | Proposed 22.5' Band |

SHEET INDEX:	
Sheet	Page
Sewer Feasibility Plan	1.1
Drainage and Grading Plan - North	1.2
Drainage and Grading Plan - South	1.3
Topographic Survey	1.5
Construction Details	2.1
Sewer & Water Details	2.3
Sewer Feasibility Details	2.4



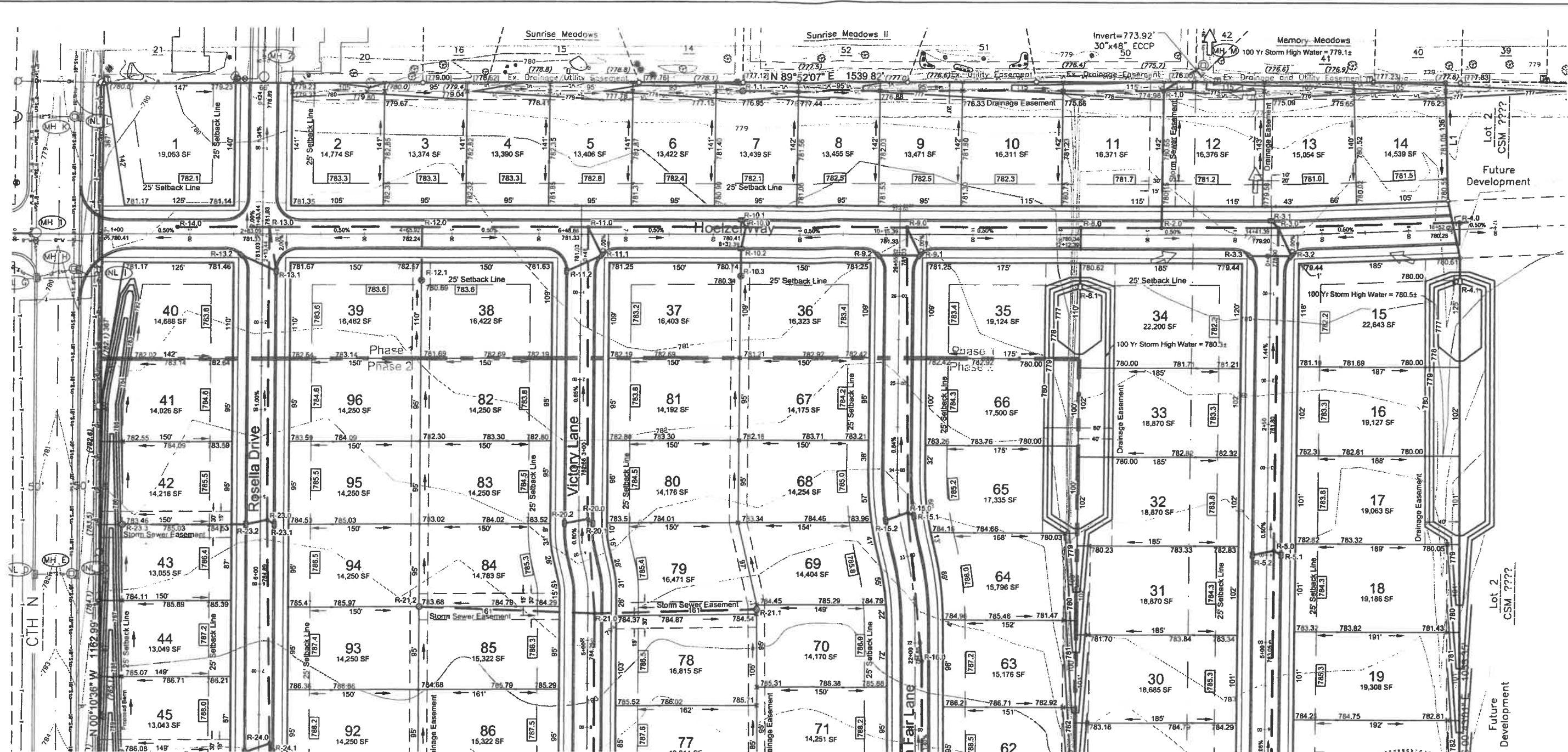
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SEWER & WATER FEASIBILITY PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
HARRISON PLANNING

1811 Racine Street Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-830-9595
www.davel.pro

Project Number: 4773



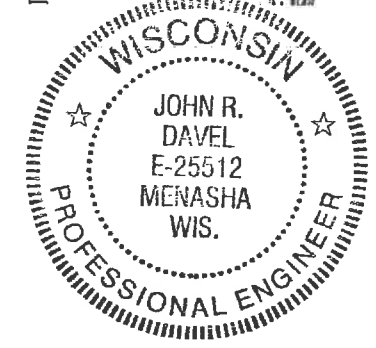
(See Sheet 1.3)

LEGEND	
—OH—	Overhead Electric Lines
—S—S—	Sanitary Sewer
—S*—S*	Storm Sewer
—G—G—	Underground Gas Line
—T—T—	Underground Telephone
—W—W—	Wetlands
—C—C—	Culvert
—E—E—	Index Contour
—E*—E*	Intermediate Contour
—P—P—	Proposed Storm Sewer
—C—C—	Proposed Contour
—S—S—	Proposed Swale
—C—C—	Proposed Culvert
—G—G—	Adjacent Plat Grade
—E—E—	Prop. Lot Corner Elevation
—E*—E*	Proposed Spot Elevation
—E—E—	Existing Grade
○	Sanitary MH / Tank / Base
○	Clean Out / Curb Stop / Pull Box
○	Storm Manhole
○	Inlet
○	Water MH / Well
○	Hydrant
○	Utility Valve
○	Utility Pole
○	Light Pole / Signal
○	Telephone Pedestal
○	Proposed Storm Manhole
○	Proposed Curb Inlet
○	Prop. Catch Basin / Yard Drain
○	Proposed Endwall
○	Proposed Rip Rap
○	Prop. Drainage Direction
○	Prop. Garage Floor Elev.
○	100 Yr. Overland Flow Path
○	Deciduous Tree
○	Coniferous Tree
○	Bush / Hedge
○	Benchmark
○	1/2" Rebar Found
○	3/4" Rebar Found
○	1" Iron Pipe Found
○	Witness Monument
○	Government Corner
○	Recorded As
○	Asphalt Pavement
○	Concrete Pavement

BENCHMARKS (NAVD88)

BM 0	Disk in Concrete (DE7729) N. R/W of Schmidt Rd Elev 791.73
BM 1	RR Spike in P. Pole #71-2855 E. R/W of City Hwy "N" Elev 785.24
BM 2	Fire Hydrant, Tag Bolt NW Quad of City Hwy "N"/Hoelzel Way Int. Elev 782.37
BM 3	Fire Hydrant, Tag Bolt End of Rosella Dr. Elev 780.55
BM 4	"X" in Concrete Elec. Pedestal +500' East of Rosella Dr. Elev 779.16
BM 5	"X" in Concrete Elec. Pedestal +730' West of Dusty Dr. Elev 778.90

- NOTES:**
- Permanent Benchmark shall be set on all new fire hydrants within the subdivision.
 - Regional storm water treatment is provided by the Vans Road Pond for this subdivision.
 - 2.23 Acre-Feet of Storm Water storage is provided in the rear of lots 15-24, 25-35, and 58-66 to attenuate the increase in runoff from this subdivision so as not to make flooding more frequent or severe along the north property line.
 - Two watersheds totaling 78.6 acres exist south of Manitowoc Road that flow north through this subdivision.
 - The area of this subdivision is 45 acres



DRAINAGE PLAN CERTIFICATION:
I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of the Calumet County Subdivision Ordinance and the requirements of the Village of Harrison.

John R. Davel, P.E. E-25512 Date 4/4/11

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1811 Racine Street, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-930-8898
www.davel.pro

PRELIMINARY DRAINAGE & GRADING PLAN - NORTH

Kimberly Heights
Village of Harrison, Calumet County, WI
For: Dercks DeWitt, LLC

PRELIMINARY 1/01/2008

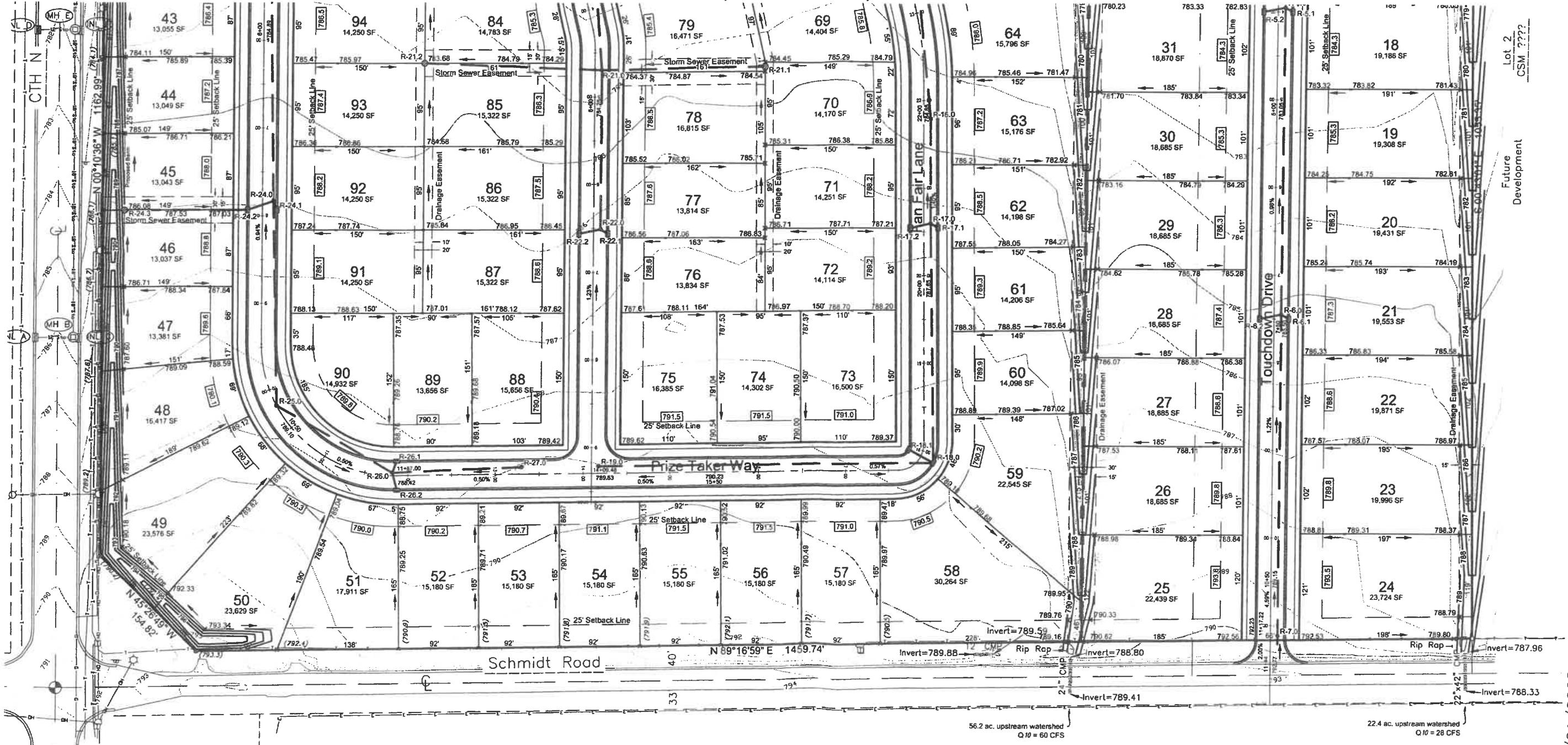
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Author:	???
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LEGEND

- | | | | | | |
|------|-------------------------|---|----------------------------------|---|--------------------|
| —DH— | Overhead Electric Lines | ○ | Sanitary MH / Tank / Base | ⊕ | Deciduous Tree |
| —S— | Sanitary Sewer | ○ | Clean Out / Curb Stop / Pull Box | ⊕ | Coniferous Tree |
| —S— | Storm Sewer | ○ | Storm Manhole | ⊕ | Bush / Hedge |
| —G— | Underground Gas Line | ○ | Inlet | ⊕ | Benchmark |
| —T— | Underground Telephone | ○ | Water MH / Well | ⊕ | 1/2" Rebar Found |
| —W— | Wetlands | ○ | Hydrant | ⊕ | 3/4" Rebar Found |
| —C— | Culvert | ○ | Utility Valve | ⊕ | 1" Iron Pipe Found |
| —E— | Index Contour | ○ | Utility Pole | ⊕ | Witness Monument |
| —S— | Intermediate Contour | ○ | Light Pole / Signal | ⊕ | Government Corner |
| — | Proposed Storm Sewer | ○ | Telephone Pedestal | ⊕ | Recorded As |
| — | Proposed Contour | ○ | Proposed Storm Manhole | ⊕ | Asphalt Pavement |
| — | Proposed Storm Sewer | ○ | Proposed Curb Inlet | ⊕ | Concrete Pavement |
| — | Proposed Storm Sewer | ○ | Prop. Catch Basin / Yard Drain | ⊕ | |
| — | Proposed Storm Sewer | ○ | Proposed Easement | ⊕ | |
| — | Proposed Storm Sewer | ○ | Proposed Rip Rap | ⊕ | |
| — | Proposed Storm Sewer | ○ | Prop. Lot Corner Elevation | ⊕ | |
| — | Proposed Storm Sewer | ○ | Proposed Spot Elevation | ⊕ | |
| — | Proposed Storm Sewer | ○ | Existing Grade | ⊕ | |
| — | Proposed Storm Sewer | ○ | 100 Yr Overland Flow Path | ⊕ | |



(See Sheet 1.2)



Future Development
Lot 2
CSM ????

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1811 Racine Street, Menasha, WI 54952
Ph: 920-991-1888 Fax: 920-930-8655
www.davel.pro

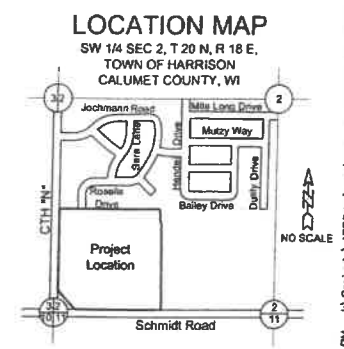
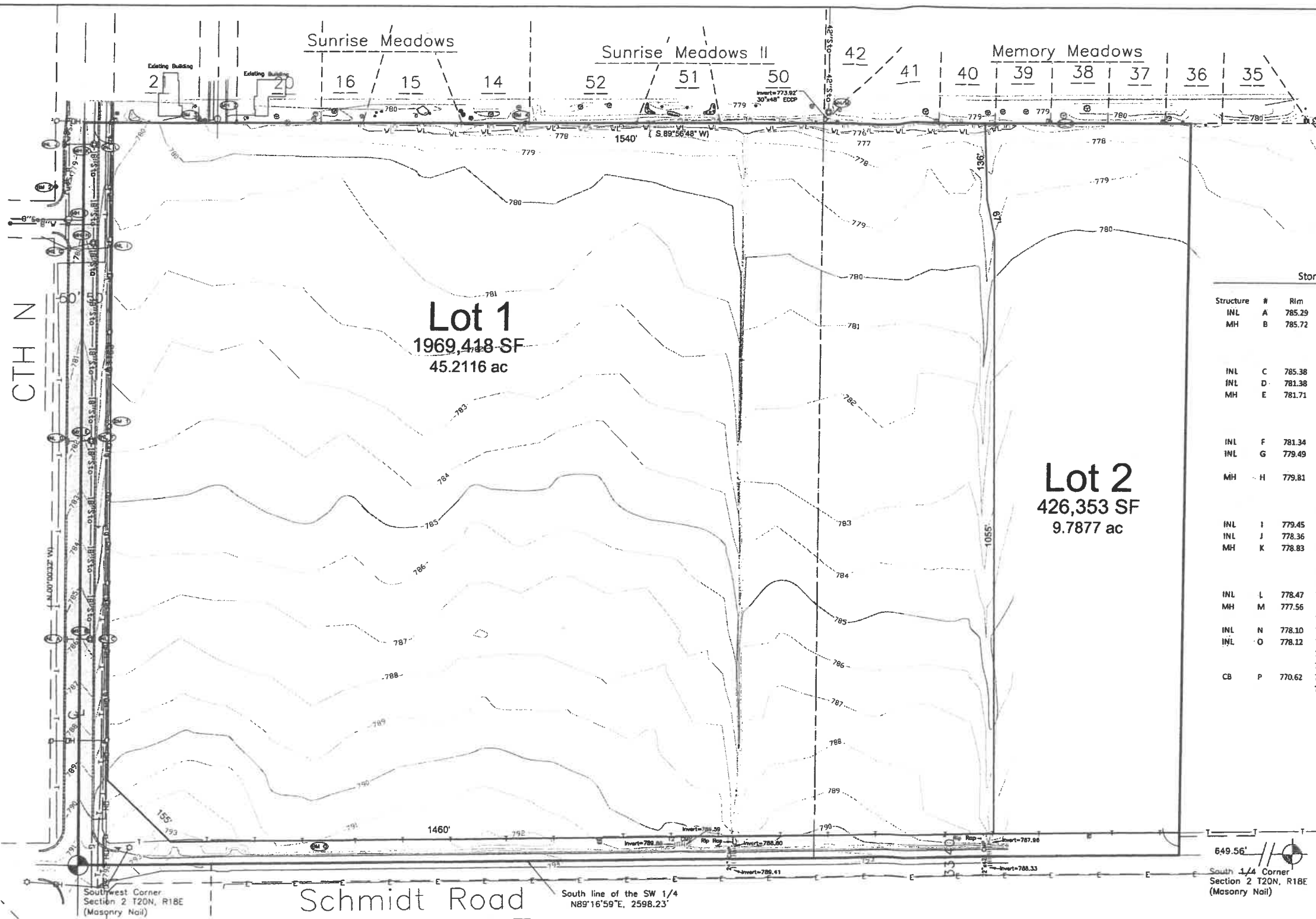
PRELIMINARY DRAINAGE & GRADING PLAN - SOUTH

Kimberly Heights
Village of Harrison, Calumet County, WI
For: Dercks DeWitt, LLC

PRELIMINARY 1/01/2008

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Author:	???
Last Saved by:	katie
Page:	

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Storm Structures						
Structure #	Rim	Inv	Size	Material	Direction	
INL A	785.29	781.49	12"	RCP	E	
MH B	785.72	779.82	12"	RCP	E	
		779.82	12"	RCP	W	
		778.42	18"	RCP	S	
		778.42	18"	RCP	N	
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INL D	781.38	777.58	12"	RCP	E	
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MH H	779.81	775.91	12"	RCP	SW	
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		775.11	18"	RCP	S	
		775.11	18"	RCP	N	
INL I	779.45	776.15	12"	RCP	W	
INL J	778.36	775.06	12"	RCP	E	
MH K	778.83	774.53	12"	RCP	W	
		774.53	12"	RCP	E	
		773.73	18"	RCP	S	
		773.73	18"	RCP	N	
INL L	778.47	774.97	12"	RCP	W	
MH M	777.56	772.36	48"	RCP	S	
		762.06	42"	RCP	N	
INL N	778.10	774.80	12"	PVC	E	
INL O	778.12	774.12	12"	PVC	W	
		774.12	12"	PVC	N	
		774.12	12"	PVC	E	
CB P	770.62	760.12	42"	PVC	N	
		760.12	42"	PVC	S	

BENCHMARKS (NAVD88)	
BM 0	Disk in Concrete (DE7729) N. RW of Schmidt Rd. Elev 791.73
BM 1	RR Spike in P. Pole #71-2855 E. RW of Cty Hwy "W" Elev 785.24
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BM 3	Fire Hydrant, Tag Bot End of Rosella Dr. Elev 780.55
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		766.70	8"	PVC	N	
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		769.98	8"	PVC	S	
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LEGEND			
—DH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base
—U—	Utility Guy Wire	⊕	Clean Out / Curb Stop / Pot Box
—S—	Sanitary Sewer	⊕	Storm Manhole
—S to	Storm Sewer	⊕	Inlet
—E—	Underground Electric	⊕	Catch Basin / Yard Drain
—G—	Underground Gas Line	⊕	Water MH / Well
—T—	Underground Telephone	⊕	Hydrant
—V—	Water Main	⊕	Utility Valve
—VL—	Wetlands	⊕	Utility Meter
—V—	Tree Line	⊕	Utility Pole
—C—	Culvert	⊕	Light Pole / Signal
—I—	Index Contour	⊕	Guy Wire
—IC—	Intermediate Contour	⊕	Ex Spot Elevation
⊕	Electric Pedestal	⊕	Gas Regulator
⊕	Telephone Pedestal	⊕	Sign
⊕	Deciduous Tree	⊕	Coniferous Tree
⊕	Bush / Hedge	⊕	Marsh
⊕	Soil Boring	⊕	Benchmark
⊕	Asphalt Pavement	⊕	Concrete Pavement
⊕	Gravel		



NOTES

This topographic survey was performed during winter conditions. Utility and ground features shown on this map are indicated based on what was observed at the time. Utility markings and existing features may have been covered by snow and/or ice and may not be shown on this map.

Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

This is not a boundary survey.

SURVEYOR'S CERTIFICATE

I, James R Sehoff, hereby certify that I have surveyed this property and this topographical map is a true representation thereof and shows the size and location of the property and the location of all apparent roadways. I hereby certify that said topographical survey and map were made in accordance with acceptable professional standards and that the information contained thereon is, to the best of my knowledge, information and belief, a true and accurate representation thereof.

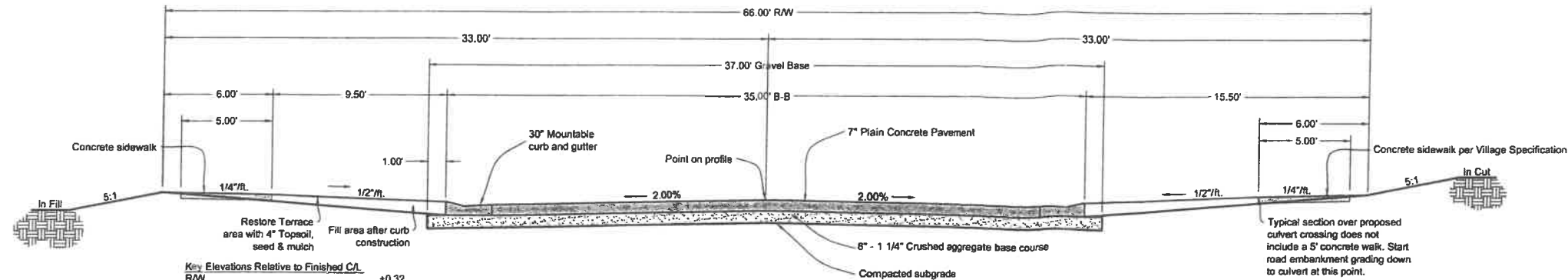
James R Sehoff, Wisconsin Professional Land Surveyor No. S-2692 Date

Apr 04, 2017 - 04:09 PM J:\Projects\4773Topo\Drawn\4773Topo-Plan.dwg
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 CIVIL ENGINEERING CONSULTANTS
 181 Racine Street, Menasha, WI 54952
 Ph: 920-981-1888 Fax: 920-930-8885
 www.davel.com

TOPOGRAPHIC SURVEY

Kimberly Heights
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

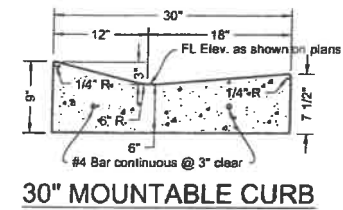
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Key Elevations Relative to Finished C/L

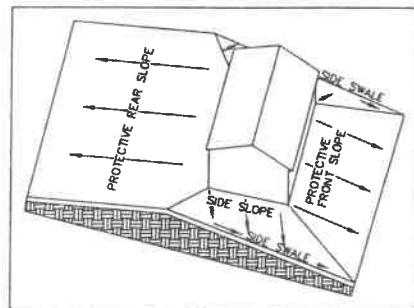
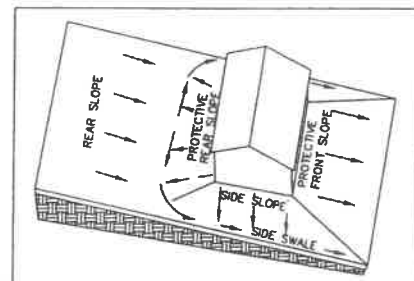
R/W	+0.32
Gutter Flowline	-0.43
Binder course	-0.15
Gravel grade @ C/L	-0.29
Subgrade @ C/L	-1.29

TYPICAL STREET SECTION
66' Right of Way (Emily Lane, Parker Way, Mase Court)



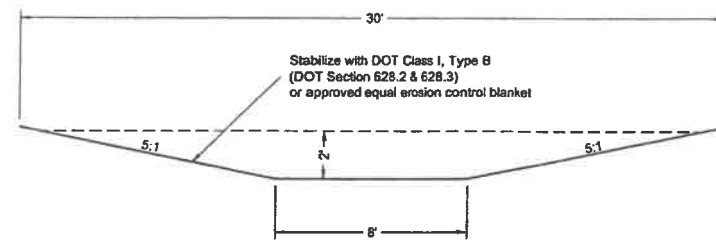
30" MOUNTABLE CURB

Typical section over proposed culvert crossing does not include a 5' concrete walk. Start road embankment grading down to culvert at this point.

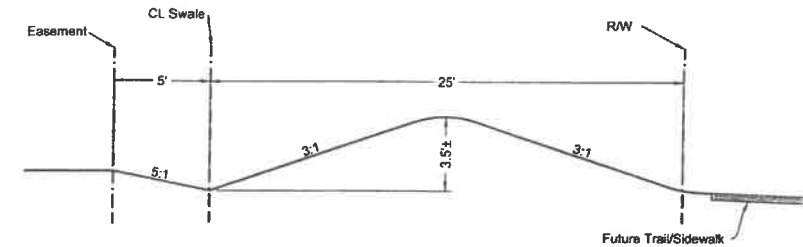


HOUSE ELEVATIONS:

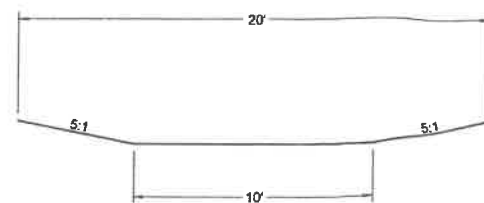
The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.



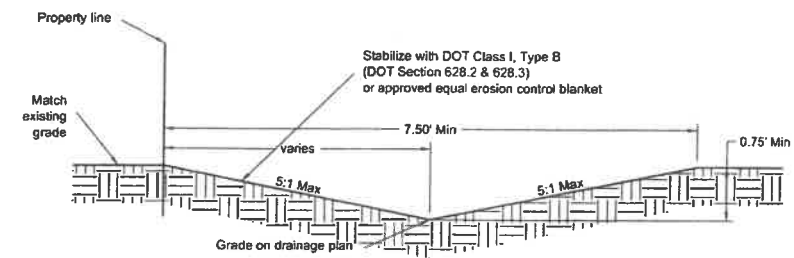
CHANNEL SECTION
Lots 25-35, 58-66, 15-24



LANDSCAPE BERM SECTION
Lots 40-50



100 YEAR OVERFLOW SECTION
Lots 12-13



TYPICAL DRAINAGE SWALE SECTION
Lots 2-14

NOTE:
Mat should extend to top of bank or 18" vertically, whichever is less.

4/4/2017 3:51 PM J:\Projects\4773eng.dwg\Civil 3D\4773eng.dwg Printed by: katie

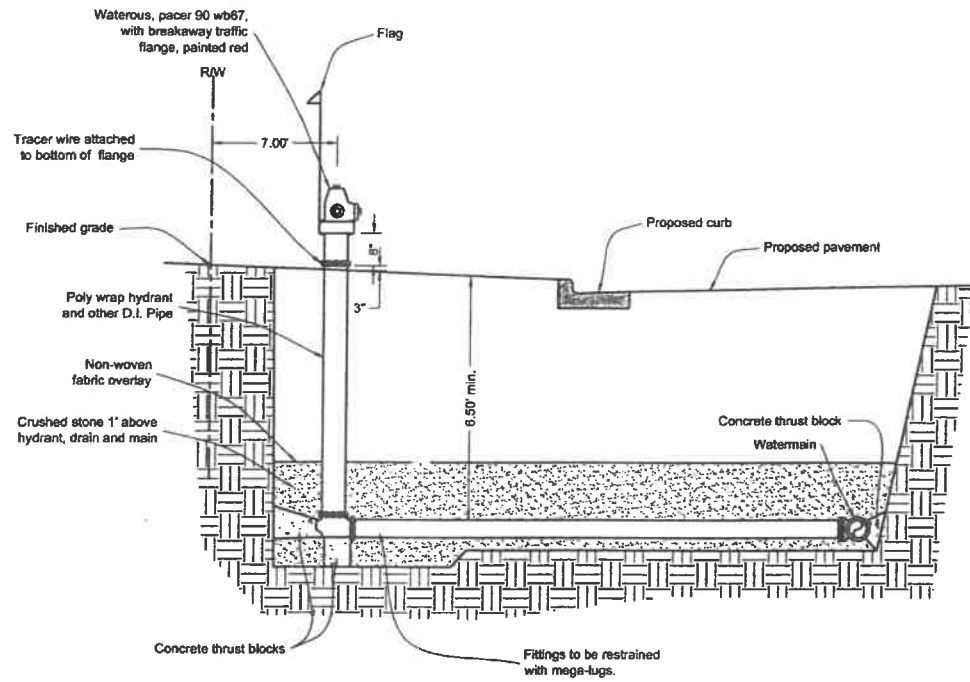
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
181 Racine Street Wausau, WI 54982
Ph: 920-991-1866 Fax: 920-930-8595
www.davel.pro

CONSTRUCTION DETAILS

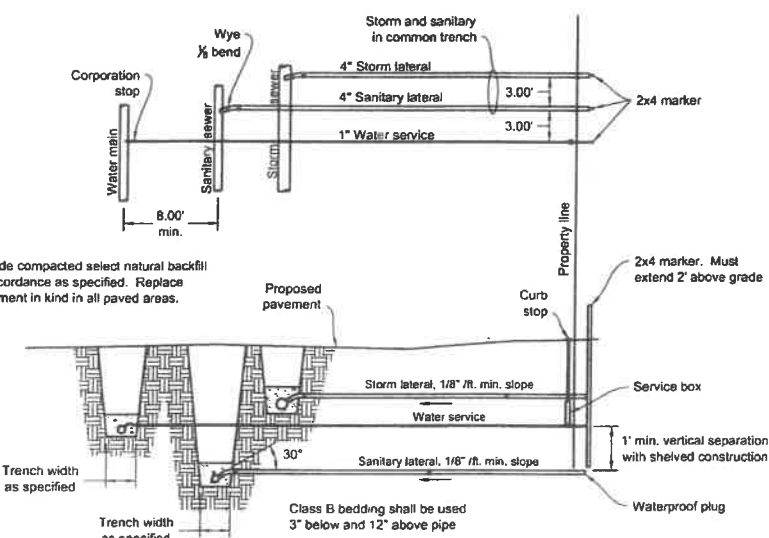
Kimberly Heights
Village of Harrison, Calumet County, WI
For: Dercks DeWitt, LLC

PRELIMINARY 1/01/2008

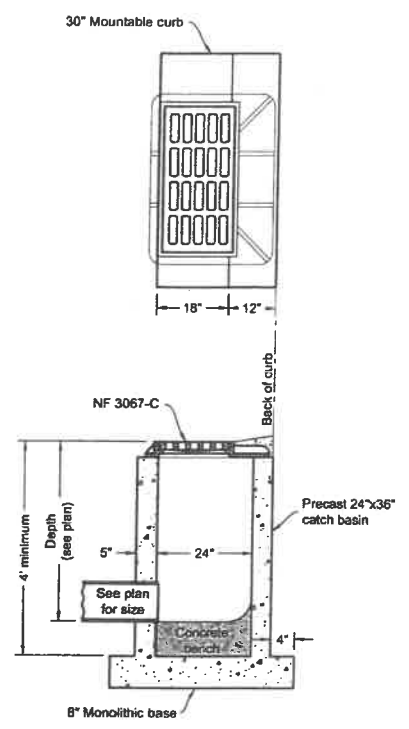
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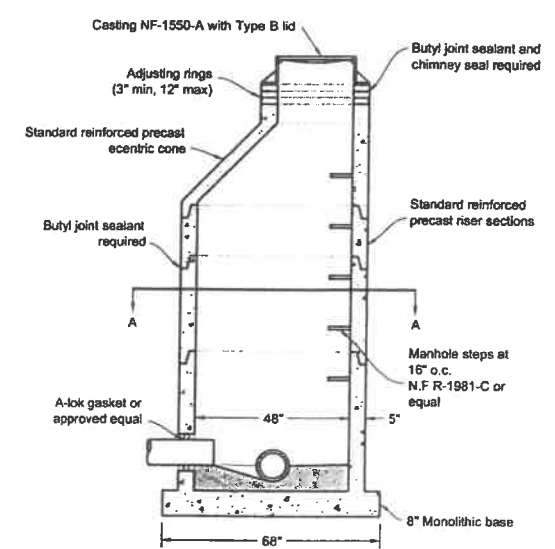
HYDRANT DETAIL



LATERAL DETAIL

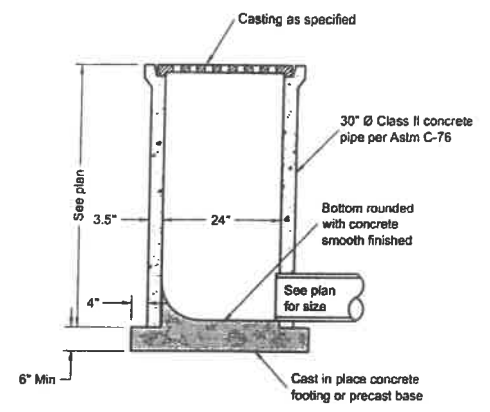


CURB INLET DETAIL

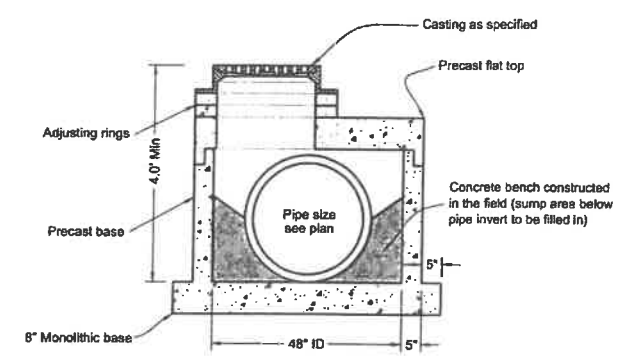


SECTION A-A

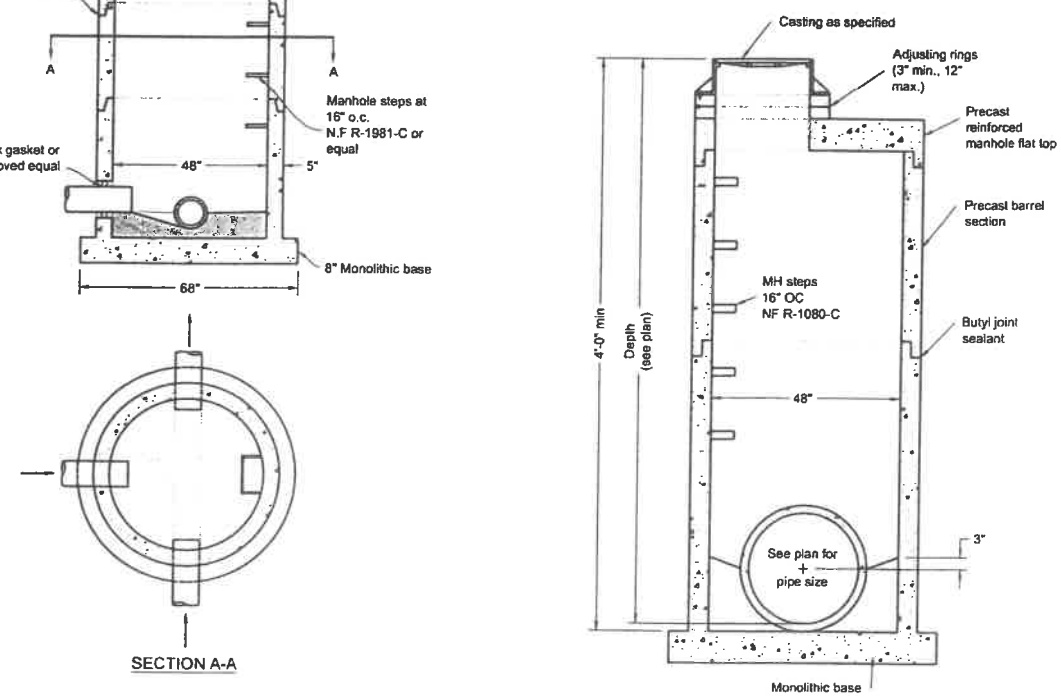
SANITARY MANHOLE



YARD DRAIN DETAIL



SHALLOW STORM MANHOLE



STANDARD STORM MANHOLE

STORM SEWER PIPE SUMMARY

US	DS	US Inv	DS Inv	Length	Slope	Size (in)	Node	Phase	2-Year Hydrograph	Flow (cfs)	Capacity (cfs)	Velocity (ft/sec)
R-1.0	Ex MH	763.10	762.56	54	0.0100	36	0.00	1	51	60.37	72.26	10.2
R-1.1	R-1.0	770.27	765.43	484	0.0100	8	0.00	1	29	1.15	1.31	3.8
R-2.0	R-1.0	764.67	763.10	157	0.0100	36	0.00	1	50	66.10	72.26	10.2
R-3.0	R-2.0	765.74	765.07	134	0.0050	30	0.00	1	49	21.37	31.42	6.4
R-3.1	R-3.0	772.95	772.84	11	0.0100	12	0.00	1	6	2.97	3.86	4.9
R-3.2	R-3.0	772.94	772.58	36	0.0100	12	0.00	1	6	2.97	3.86	4.9
R-3.3	R-3.2	773.42	772.94	48	0.0100	12	0.00	1	6	2.97	3.86	4.9
R-4.0	R-3.0	767.18	766.14	209	0.0050	24	0.00	1	33	9.98	17.33	5.5
R-4.1	R-4.0	778.72	775.30	71	0.0200	18	0.00	1	33	9.98	16.09	9.1
R-4.1 stub	R-4.0	767.83	767.78	10	0.0050	15	0.00	1	6	4.45	4.95	4.0
R-6.0	R-3.0	770.24	768.54	370	0.0100	18	0.00	1	36	9.88	11.38	8.4
R-5.1	R-5.0	776.31	776.26	10	0.0050	12	0.00	1	7	1.45	2.73	3.5
R-5.2	R-5.0	776.31	776.18	25	0.0050	12	0.00	1	36	1.45	2.73	3.5
R-6.0	R-5.0	774.29	770.44	350	0.0110	15	0.00	1	36	7.09	7.34	6.0
R-6.1	R-6.0	779.28	779.21	10	0.0050	12	0.00	1	8	1.51	2.73	3.5
R-6.2	R-6.0	779.28	779.13	25	0.0050	12	0.00	1	8	1.51	2.73	3.5
R-7.0	R-6.0	777.96	774.29	387	0.0100	15	0.00	1	34	4.50	7.00	5.7
R-7.0 stub	R-7.0	778.01	777.96	10	0.0050	15	0.00	1	34	4.50	4.95	4.0
R-8.0	R-2.0	765.13	764.67	92	0.0050	36	0.00	1	48	44.73	51.09	7.2
R-8.1	R-8.0	777.30	776.86	71	0.0200	30	0.00	1	32	24.96	62.84	12.8
R-9.0	R-8.0	766.13	765.13	200	0.0050	36	0.00	1	47	41.12	51.09	7.2
R-9.1	R-9.0	774.76	774.58	36	0.0050	12	0.00	1	11	1.23	2.73	3.5
R-9.2	R-9.1	775.00	774.76	48	0.0050	12	0.00	1	11	1.23	2.73	3.5
R-10.0	R-9.0	767.85	766.93	188	0.0060	30	0.00	1	48	31.68	34.42	7.0
R-10.1	R-10.0	774.17	774.12	10	0.0050	12	0.00	1	15	1.64	2.73	3.5
R-10.2	R-10.0	774.16	774.04	25	0.0050	12	0.00	1	15	1.64	2.73	3.5
R-10.3	R-10.2	775.76	774.50	32	0.0400	8	0.00	1	27	1.77	2.82	7.5
R-11.0	R-10.0	768.55	767.85	181	0.0050	30	0.00	1	45	26.89	31.42	6.4
R-11.1	R-11.0	774.76	774.58	36	0.0050	12	0.00	1	16	1.46	2.73	3.5
R-11.2	R-11.1	774.98	774.76	45	0.0050	12	0.00	1	16	1.46	2.73	3.5
R-12.0	R-11.0	769.90	768.95	191	0.0050	24	0.00	1	44	14.04	17.33	5.5
R-12.1	R-12.0	775.87	773.43	61	0.0400	8	0.00	1	18	2.18	2.62	7.5
R-13.0	R-12.0	770.78	769.90	175	0.0050	24	0.00	1	41	14.59	17.33	5.5
R-13.1	R-13.0	775.06	774.80	51	0.0050	12	0.00	1	22	1.62	2.73	3.5
R-13.2	R-13.1	775.28	775.06	45	0.0050	12	0.00	1	22	1.62	2.73	3.5
R-14.0	R-13.0	773.17	772.11	105	0.0100	8	0.00	1	n/a	0.00	1.31	3.8
R-15.0	R-9.0	771.46	767.63	327	0.0120	15	0.00	2	38	7.32	7.67	6.2
R-15.1	R-15.0	777.39	777.35	8	0.0050	12	0.00	2	12	1.22	2.73	3.5
R-15.2	R-15.0	777.39	777.25	27	0.0050	12	0.00	2	12	1.22	2.73	3.5
R-16.0	R-15.0	774.75	771.88	172	0.0180	12	0.00	2	37	4.88	5.18	6.9
R-17.0	R-16.0	778.68	774.75	119	0.0180	12	0.00	2	37	4.88	4.88	6.2
R-17.1	R-17.0	780.40	780.35	10	0.0050	12	0.00	2	13	1.04	2.73	3.5
R-17.2	R-17.0	780.40	780.28	25	0.0050	12	0.00	2	13	1.04	2.73	3.5
R-18.0	R-17.0	782.10	780.46	273	0.0080	12	0.00	2	14	2.80	2.99	3.8
R-18.1	R-18.0	782.26	782.10	33	0.0050	12	0.00	2	14	1.40	2.73	3.5
R-19.0	R-18.0	783.90	782.36	385	0.0040	8	0.00	2	n/a	0.00	0.83	2.4
R-20.0	R-11.0	774.24	769.55	335	0.0140	15	0.00	2	43	8.05	8.28	6.7
R-20.1	R-20.0	778.94	778.90	8	0.0050	12	0.00	2	17	1.22	2.73	3.5
R-20.2	R-20.0	778.93	778.80	27	0.0050	12	0.00	2	17	1.22	2.73	3.5
R-21.0	R-20.0	776.88	774.49	109	0.0220	12	0.00	2	42	5.70	5.72	7.3
R-21.1	R-21.0	779.84	777.05	186	0.0150	10	0.00	2	28	1.96	2.91	5.3
R-21.2	R-21.0	779.04	777.02	202	0.0100	10	0.00	2	20	1.96	2.37	4.4
R-22.0	R-21.0	778.70	776.88	182	0.0100	12	0.00	2	18	2.18	3.88	4.9
R-22.1	R-22.0	778.84	778.89	10	0.0050	12	0.00	2	18	1.09	2.73	3.5
R-22.2	R-22.0	778.93	778.81	25	0.0050	12	0.00	2	18	1.09	2.73	3.5
R-23.0	R-13.0	774.54	771.18	336	0.0100	18	0.00	2	40	11.34	11.38	6.4
R-23.1	R-23.0	777.90	777.91	10	0.0050	12	0.00	2	23	1.18	2.73	3.5
R-23.2	R-23.0	777.95	777.83	25	0.0050	12	0.00	2	23	1.18	2.73	3.5
R-23.3	R-23.2	778.86	777.95	141	0.0050	12	0.00	2	25	0.87	2.73	3.5
R-24.0	R-23.0	778.77	774.74	268	0.0150	15	0.00	2	39	8.42	8.57	7.0
R-24.1	R-24.0	780.57	780.52	11	0.0050	12	0.00	2	24	1.03	2.73	3.5
R-24.2	R-24.0	780.57	780.42	30	0.0050	12	0.00	2	24	1.03	2.73	3.5
R-24.3	R-24.2	781.27	780.57	141	0.0050	12	0.00	2	26	0.96	2.73	3.5
R-25.0	R-24.0	780.32	778.77	222	0.0070	15	0.00	2	21	5.62	5.88	4.8
R-26.0	R-25.0	781.39	780.32	153	0.0070	15	0.00	2	21	5.62	5.88	4.8
R-26.1	R-26.0	782.18	782.09	14	0.0080	12	0.00	2	21	2.81	2.99	3.8
R-28.2	R-26.0	782.17	782.05	20	0.0080	12	0.00	2	21	2.81	2.99	3.8
R-27.0	R-26.0	782.80	781.86	148	0.0050	8	0.00	2	n/a	0.00	0.93	2.7

*Contractor shall field verify all existing infrastructure and notify Engineer of any discrepancy.
 Total = 7,952
 Phase 1 = 3,970
 Phase 2 = 3,983

STORM SEWER STRUCTURE SUMMARY

Structure	Phase	Street	Station	Offset	Type	Size	Cover	Final Rim	Plan Rim	Invert	Final Depth	Plan Depth
R-1.0	1	Hoetzel			MH (80)	60" ID	R-4340-D	774.90	774.90	763.10	11.80	11.80
R-1.1	1	Hoetzel			Yard Drain	24" ID	R-4340-B	778.95	776.95	770.27	6.68	6.68
R-2.0	1	Hoetzel			MH (80)	60" ID	R-1550-B	779.55	779.55	764.67	14.88	14.88
R-3.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	779.07	778.07	765.74	13.33	13.33
R-3.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	778.78	778.78	772.95	5.83	5.83
R-3.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	778.78	778.78	772.94	5.82	5.82
R-3.3	1	Hoetzel			Inlet	3x2" ID	R-3067-C	778.77	778.77	773.42	5.35	5.35
R-4.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	780.06	780.06	767.18	12.88	12.88
R-4.1	1	Hoetzel			Endwall							
R-5.0	1	Touchdown			MH (48)	48" ID	R-1550-B	782.37	782.37	770.24	12.13	12.13
R-5.1	1	Touchdown			Inlet	3x2" ID	R-3067-C	782.13	782.13	776.31	5.82	5.82
R-5.2	1	Touchdown			Inlet	3x2" ID	R-3067-C	782.13	782.13	778.31	5.82	5.82
R-6.0	1	Touchdown			MH (48)	48" ID	R-1550-B	785.20	785.20	774.29	11.00	11.00
R-6.1	1	Touchdown			Inlet	3x2" ID	R-3067-C	785.08	785.08	779.28	5.82	5.82
R-6.2	1	Touchdown			Inlet	3x2" ID	R-3067-C	785.08	785.08	779.28	5.82	5.82
R-7.0	1	Touchdown			MH (48)	48" ID	R-1550-B	791.82	791.82	777.96	13.86	13.86
R-8.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	780.13	780.13	765.13	15.00	15.00
R-8.1	1	Hoetzel			Endwall							
R-9.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	781.13	781.13	766.13	15.00	15.00
R-9.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.58	780.58	774.76	5.82	5.82
R-9.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.58	780.58	775.00	5.58	5.58
R-10.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	780.28	780.28	767.65	12.63	12.63
R-10.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	779.99	779.99	774.17	5.82	5.82
R-10.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	779.99	779.99	774.18	5.83	5.83
R-10.3	1	Hoetzel			Yard Drain	24" ID	R-4340-B	780.84	780.84	775.78	5.08	5.08
R-11.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	781.13	781.13	768.55	12.58	12.58
R-11.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.58	780.58	774.78	5.82	5.82
R-11.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.79	780.79	774.58	5.81	5.81
R-12.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	782.08	782.08	769.90	12.18	12.18
R-12.1	1	Hoetzel			Yard Drain	24" ID	R-4340-B	780.69	780.69	775.87	4.82	4.82
R-13.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	781.19	781.19	770.78	10.41	10.41
R-13.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.88	780.88	775.06	5.82	5.82
R-13.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.79	780.79	775.28	5.51	5.51



VILLAGE OF HARRISON

TOWN OF HARRISON

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Date:

April 25, 2017

Title:

Road Acceptance – Parker Court – Parker Farms 3

Issue:

Should the Village Board accept Parker Court in a graveled state?

Background and Additional Information:

As part of the subdivision approval process, the Village Board must accept new roadways prior to issuance of zoning permits or building permits. The developer of the Parker Farms 3 subdivision is requesting the Village Board accept Parker Court in a graveled state. The roadway acceptance will allow permits to be issued.

Budget/Financial Impact:

None

Recommended Action:

Staff recommends acceptance of Parker Court in a graveled state with the following conditions:

1. All draineways, easements, and terraces must be graded and seeded and inspected by the Public Works Department prior to issuance of zoning/building permits.
2. All utilities (sewer, water, storm, gas, electric, cable, phone) must be installed and proof of payment submitted prior to issuance of zoning/building permits.
3. A silt fence at ROW line of Parker Court and Jochmann Drive shall be installed prior to issuance of zoning/building permits.

Attachments:

- Parker Farms 3 Plat

APRIL 25, 2017
PUBLIC WORKS REPORT

- **Park bathrooms**
 - **Holes patched**
 - **Walls and floors repainted**
 - **Light fixtures repaired or replaced**
 - **Picnic table repairs done**
 - **Everything is ready for Run Away Shoe Race**

- **Road maintenance bids for chip seal and rubberized crack filler opened on April 20th 9am**

- **Paving bids to be opened on April 26th at 9am**

- **We have been working on removal of snow and ice equipment, getting trucks and summer equipment ready to start our summer work**

- **Sign replacement and fixing damaged and broken posts**

- **Clean Sweep to be held at Harrison shop April 22nd**

- **Compost site opened April 15, 2017**

- **Did our MSHA Training April 18, 2017**
 - **All 7 passed certification**

- **We will be working on building remainder of Sonny Drive as weather permits**

HARRISON MARCH 2016

HARRISON	821	824	825	826	820	829	832	833	834	835	836	838	839	840	TOTAL	MARCH	COMPLAINTS:
HOURS WORKED	16.3	4.2	22.4	6.5	3	10.3	8.8	9.3	15	26.4	14.2	7.5	19.2	15	178.1	HOURS WORKED	WELFARE CHECK
DAILY MILES	205	66	298	80	28	144	167	255	119	338	223	102	320	122	2467	DAILY MILES	HARRASSMENT
COMPLAINT HRS	1.3	0.9	2.2	0.3		0.4		0.8	0.3	1	0.3		1.1	0.9	9.5	COMPLAINT HRS	DAMAGE
FOLLOW UP HRS	0.6												0.1		0.7	FOLLOW UP HRS	ANIMAL
ACCIDENT INV HRS						1		0.6			0.8				2.4	ACCIDENT INV HRS	SUSPICIOUS VEHICLE
ACC FOLLOW UP HRS															0	ACC FOLLOW UP HRS	HAZARD
AGENCY ASSIST HRS													0.1	0.2	0.3	AGENCY ASSIST HRS	ICE RESCUE
SHERIFF COMPL. INV.	2	1	4	1		1		2	1	2	2		2	3	21	SHERIFF COMPL. INV.	ORDINANCE
SHERIFF FOLLOW UP	1									1			1		2	SHERIFF FOLLOW UP	CIVIL
SHERIFF ASSIST						1						2			4	SHERIFF ASSIST	911 HANG UP
REPORT ACCIDENT								1			1				3	REPORT ACCIDENT	SUSPICIOUS SITUATION
NONREPORTABLE															1	NONREPORTABLE	
ACCIDENT FOLLOW UP								1							0	ACCIDENT FOLLOW UP	
ACCIDENT ASSIST															0	ACCIDENT ASSIST	
AGENCY ASSISTS	1												1	1	3	AGENCY ASSISTS	CITATIONS:
CITIZEN ASSIST															0	CITIZEN ASSIST	SPEED
MOTORIST ASSIST			3					4	1		1				9	MOTORIST ASSIST	PAC
PROPERTY CHECKS			1										1		2	PROPERTY CHECKS	IMPROPER STOP
ARRESTS															0	ARRESTS	NO PROOF OF INSURANCE
WARRANT ATTEMPT							1			1	1		4		11	WARRANT ATTEMPT	VIOLATE GDL
TRAFFIC CITS.	3		1												0	TRAFFIC CITS.	NO INSURANCE
ORD. CITS.															0	ORD. CITS.	
JUV ALCOHOL CITS.															0	JUV ALCOHOL CITS.	
O. W. I. ARRESTS															0	O. W. I. ARRESTS	AGENCY ASSIST
WRITTEN WARNINGS	11	1	1	1		2	4	2		5	4	1	3	1	35	WRITTEN WARNINGS	APPLETON PD
15 DAYS	2	1	1			1				4			3		12	15 DAYS	STATE PATROL
PARKING CITS.						1	3								4	PARKING CITS.	OUTAGAMIE CO SHERIFF
HOUSE ALARM															0	HOUSE ALARM	
BUSINESS ALARM	1							1							2	BUSINESS ALARM	
ALARM ASSIST															0	ALARM ASSIST	
AMB. ASSIST			2												3	AMB. ASSIST	
FIRE ASSIST			1												1	FIRE ASSIST	