

NOTICE OF MEETING TO ADJOURN BOARD OF REVIEW TO A LATER DATE

VILLAGE OF HARRISON, CALUMET (& OUTAGAMIE) COUNTY, WI

NOTICE IS HEREBY GIVEN that the Board of Review for the Village of Harrison will meet on the 30th day of May, 2017 at 7:00pm at the Harrison Municipal Building, W5298 Hwy 114, Menasha, for the purpose of calling the Board of Review into session during the thirty day period beginning on the 2nd Monday of May, pursuant to §70.47(1), Wis. Stats.

1. Call to Order
2. Roll Call of BOR Members

Due to the fact the assessment roll is not completed at this time, the Board of Review will be adjourned until the 18th day of July, 2017 from 10:00am to noon. Pursuant to §70.45, Wis. Stats, the 2017 assessment roll will be available for examination at an Open Book session to be held from 4:00-6:00pm on June 29, 2017 at the Harrison Municipal Building, W5298 Hwy 114, Menasha. Instructional material about assessment and Board of Review procedures will be available at that time as well as information on how to file an objection and the Board of Review proceedings under Wisconsin law.

3. Adjournment

NOTICE OF PUBLIC MEETING

VILLAGE OF HARRISON, CALUMET (& OUTAGAMIE) COUNTY, WI

NOTICE IS HEREBY GIVEN that a Village of Harrison Board Meeting will be held at the Harrison Municipal Building, W5298 State Road 114, Menasha on Tuesday, May 30, 2017 immediately following the board of review adjournment. The agenda is printed below.

1. Call to Order the Village Board Meeting for May 30, 2017
2. Pledge of Allegiance
3. Roll Call of Village Board
4. Correspondence or Communications from Board and Staff
5. Public Comments

Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.

6. Consent Agenda
 - a) Minutes from 05/09/17
 - b) Payment of Bills and Claims
 - c) Discharge of Firearms Application- Jim Bodway, W6673 Manitowoc Rd
 - d) Annual contracts with McMahon for maintenance of Amy Ave & Lakeview Ponds
7. Items removed from Consent Agenda (if any)

8. Appointments
9. Unfinished Business from Previous Meetings for Consideration or Action
 - a) Preliminary Plat- Kimberly Heights- Dercks DeWitt LLC
 - b) Request to have Committee meet with Village of Sherwood (Trustee Hietpas)
10. New Business for Consideration or Action
 - a) Fence in Drainage Easement- W6437 Cherrybark Circle
 - b) Ordinance V17-07 Comprehensive Plan Amendment- BelGioioso Cheese, Inc.
 - c) Ordinance V17-08 Zoning Map Amendment- BelGioioso Cheese, Inc.
 - d) Village Signage off Hwy 441
11. Reports of Ad Hoc Committees and Departments
12. Future Agenda Items
13. Closed Session: The Village Board will meet in closed session pursuant to Wis. State Stats. §19.85 (1)(e) to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business whenever competitive or bargaining reasons require a closed session in regards to (a) a request from a local business for a loan from the Village; and (b) purchasing land on Manitowoc Road. The Village Board may reconvene into open session pursuant to section 19.85(2) of the Wisconsin Statutes for possible action on the closed session.
14. Adjournment

Agenda posted at Harrison Municipal Building and www.harrison-wi.org. Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting. As such, a quorum of the Town Board, Plan Commission, Zoning Board of Appeals, or Committee of the Whole may be in attendance. However, the only business to be conducted is for the Town Board.

Jennifer Weyenberg, WCMC
Village Clerk
Posted May 26, 2017

**VILLAGE OF HARRISON
BOARD MEETING MINUTES
05/9/2017**

A regular meeting of the Village of Harrison was called to order on Tuesday, May 9, 2017 at 7:00pm in the Harrison Municipal Building with President Jim Salm presiding. After the Pledge of Allegiance was recited, the President called the roll.

Board present: President Jim Salm, Trustees Joe Sprangers, Buddy Lisowe, Tyler Moore, Kevin Hietpas, Dave La Shay, and Tamra Nelson

Staff present: Village Manager Travis Parish, Public Works Director Bob Kesler, Planner Mark Mommaerts

Correspondence or Communications from Board and Staff

Trustee Hietpas stated that the park plan meeting went well but he heard from several residents that they would have liked to have a later meeting time.

Public Comments

Marv Pohl, W5557 Hickory Dr, asked if the Public Works Committee had a recommendation on the drainage problems in his area.

Consent Agenda

- a) Operator License for Ellen Schmalz (Waverly Beach)
 - b) Agreement with Lamers Realty, Inc. to pave Harrisville Court
- Motion: Trustee Moore with second by Trustee Sprangers to approve the consent agenda as printed and circulated. Motion carried 7-0.

Appointments

- a) 2-year term to Garner's Creek Stormwater Utility: President Salm nominated Trustee Sprangers. Trustee La Shay moved to close nominations. Motion: President Salm with second by Trustee Hietpas to approve Trustee Sprangers for a 2-year term. Motion carried 7-0.

Unfinished Business from Previous Meetings for Consideration or Action

- a) Preliminary Plat- Kimberly Heights- Dercks DeWitt LLC: Staff did not meet with the Calumet County Highway Commissioner regarding a trail along County N. Motion: Trustee Lisowe with second by Trustee Moore to hold over to next meeting. Motion carried 7-0.

New Business for Consideration or Action

- a) ChickenFest Information and Funding Request for 2017: Dennis Sweere of the Kiwanis Club presented the event schedule and stated that there will not be an additional funding request. No action was taken.
- b) 2017 Asphalt Paving Bid:

Motion: Trustee Sprangers with second by Trustee La Shay to award bid to NEA for 2017 asphalt paving program. Motion carried 7-0.

- c) 2017 Chip Seal Program Bid: Discussion about the quality of work from Scott Construction occurred. Motion: Trustee La Shay with second by Trustee Sprangers to award to Scott Construction for 2017 chip seal program in the amount of \$242,416.55 and alternate for \$6,676.50. Roll call vote was taken, motion carried 4-3 with Trustees Sprangers, Hietpas, La Shay and President Salm voting aye and Trustees Lisowe, Moore and Nelson voting naye.
- d) 2017 Crack Seal Program Bid: Motion: Trustee Moore with second by Trustee Lisowe to award to Precision Sealcoating for \$.91/lb for a total quantity of 219,780 lbs in amount of \$200,000. Roll call vote was taken, motion carried 7-0.
- e) Lease agreement to farm Village property: Discussion: Trustee Sprangers wanted to amend the expiration date from May 1st to April 1st in paragraph #2. Motion: Trustee Lisowe with second by Trustee Moore to approve lease agreement with Hugo Wittmann. Motion carried 7-0.
- f) Provide Stipend to Fire Department/EMS Deputy Chiefs for Phones: Discussion: There was general discussion regarding open records retention and personal property damage with personal phones. Motion: Trustee Lisowe with second by Trustee Nelson to get two Deputy Chiefs and EMS Deputy Chief smartphones for \$.01 or \$50 rugged phone. Motion carried 6-0-1, Trustee Moore abstained.
- g) Request to have Committee meet with Village of Sherwood (requested by Trustee Hietpas): Motion: Trustee Lisowe with second by Trustee Sprangers to hold over to next meeting for Village Board to think about agenda items for meeting with Sherwood. Motion carried 7-0.
- h) Review Subdivision Policy (requested by Trustee Nelson): Discussion: Trustee Nelson wants to develop a plan for future park locations and trails. Motion: Trustee Lisowe with second by Trustee La Shay to develop a park plan with the park committee to send to the Plan Commission to recommend to the Village Board for parks and trails. Motion carried 7-0.
- i) Sump Pump Discharge on Willow Lane (requested by Trustee Lisowe): Trustee Lisowe commented on the sump pump discharge issues. No action was taken.

Reports of Ad Hoc Committees and Departments

- a) Report from Jay Bowers- Update on Kaukauna Youth Baseball: Jay Bowers, Kaukauna Youth Baseball, distributed a layout from Point of Beginning (POB) for four baseball fields, concession stands, parking, playgrounds and stormwater ponds. He also stated that they have about \$1.3 million in contributions towards the project. Dave Schmalz, McMahan Associates, stated that Certified Survey Map for land purchase can be prepared and that the DOT will be consulted regarding an access to Hwy 55.

Future Agenda Items

Trustee Lisowe wanted to discuss signage on Hwy 441 for Harrison.

Closed Session: Motion: Trustee La Shay with second by Trustee Lisowe to meet in closed session pursuant to Wis. State Stats. §19.85 (1)(e) to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business whenever competitive or bargaining reasons require a closed session in regards to (a) a development project with Toonen Companies; and (b) acquiring land for the BlackOak Street extension.

Discussion: None

Vote: Roll Call vote carried with Sprangers, Lisowe, Moore, Salm, Hietpas, Nelson and La Shay voting “aye”.

Motion was made by Trustee Moore and a second by Trustee Lisowe to adjourn at 9:46pm.
Motion carried 7-0.

Mark Mommaerts, AICP
Jennifer Weyenberg, Village Clerk (excused)
Dated May 10, 2017

4/25/2017 2:30 PM

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/25/2017 From Account:
Thru: 4/25/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
5240	4/25/2017	AMERICAN PLANNING ASSOCIATION 2017 Planning Dues	
100-01-51101-301-000		Planning - Dues 2017 Planning Dues	450.00
		135940-1742	
		Total	450.00
5241	4/25/2017	BOBCAT PLUS T770 T4 BOBCAT COMPACT TRUCK LOADER	
100-09-57324-000-000		Capital Outlay - Hwy. Equip T770 T4 BOBCAT COMPACT TRUCK LOADER	75,822.00
		EG05756	
		Total	75,822.00
5242	4/25/2017	BURKHART HEISDORF INSURANCE Work Comp Audit	
100-00-51933-000-000		Insurance - Workers Comp. Work Comp Audit	3,274.00
		252911	
		Total	3,274.00
5243	4/25/2017	CALUMET COUNTY REGISTER OF DEEDS RECORDING FEES	
100-01-51101-400-000		Planning - Supplies RECORDING FEES	30.00
		Total	30.00
5244	4/25/2017	CORPORATE NETWORK SOLUTIONS, INC computer equipment- office	
100-02-51400-400-000		Gen. Admin - Supplies computer equipment- office	405.00
		52034	
		Total	405.00
5245	4/25/2017	J.F. AHERN CO FROM 04/11/17	
100-06-52200-700-000		Fire Dept - Equip Maintenance FROM 04/11/17	197.45
		194924	
		Total	197.45
5246	4/25/2017	MCPMAHON AMY AVE POND AND LAKEVIEW POND	
100-00-53441-100-000		Pond Maint. and Illicit Disch. AMY AVE POND AND LAKEVIEW POND	231.86
		0905842	

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/25/2017 From Account:
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Check Nbr	Check Date	Payee	Amount
			Total 231.86
5247	4/25/2017	MODERN BUSINESS MACHINES OVERAGE ON CONTRACT	
100-02-51400-400-006		Gen. Admin - Service Contracts OVERAGE ON CONTRACT	1,140.21
		IN185461	
			Total 1,140.21
5248	4/25/2017	OFFICE DEPOT CREDIT PLAN BALANCE THROUGH 04/14/17	
100-02-51400-400-000		Gen. Admin - Supplies BALANCE THROUGH 04/14/17	725.71
			Total 725.71
5249	4/25/2017	ROCKET INDUSTRIAL ORDER FROM 04/21/17	
100-09-53311-505-000		Hwy Dept - Building Maint ORDER FROM 04/21/17	46.36
		IN00103401	
			Total 46.36
5250	4/25/2017	SPECTRUM- 4901 Service period 04/24-05/23	
100-02-51400-400-006		Gen. Admin - Service Contracts Service period 04/24-05/23	148.15
			Total 148.15
5251	4/25/2017	SPECTRUM- 5101 Service period 04/23-05/22	
100-02-51400-400-006		Gen. Admin - Service Contracts Service period 04/23-05/22	103.22
			Total 103.22
5252	4/25/2017	VILLAGE OF SHERWOOD LOWER CLIFF FISHING CLUB BOAT RAMP PERMI	
100-01-51101-400-000		Planning - Supplies LOWER CLIFF FISHING CLUB BOAT RAMP PERMI	25.00
			Total 25.00
5253	4/25/2017	W.S. DARLEY & CO GLOVES PLUS FREIGHT	

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Dated From: 4/25/2017 From Account:
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Check Nbr	Check Date	Payee	Amount
100-06-52200-400-000		Fire Dept - Supplies	65.05
		GLOVES PLUS FREIGHT	
		17282695	
		Total	65.05
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5254	4/25/2017	WELLS FARGO FINANCIAL LEASING	
		COVERAGE PERIOD 04/17-05/17	
100-02-51400-400-006		Gen. Admin - Service Contracts	575.69
		COVERAGE PERIOD 04/17-05/17	
		5003895630	
		Total	575.69
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5255	4/25/2017	WEST BEND MUTUAL	
		Clerk's Bond for Notary	
100-02-51400-400-000		Gen. Admin - Supplies	20.00
		Clerk's Bond for Notary	
		NOW2343870	
		Total	20.00
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		Grand Total	83,259.70

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Dated From: 4/25/2017 From Account:
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Amount

Total Expenditure from Fund # 100 - GENERAL FUND	83,259.70
Total Expenditure from all Funds	83,259.70

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Posting Date: 4/25/2017

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 4/25/2017

Thru: 4/25/2017

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		83,259.70
	Total Expenditure - Fund # 100	83,259.70	
	Total	83,259.70	83,259.70

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/09/2017 From Account:
Thru: Thru Account:

Check Nbr	Check Date	Payee	Amount
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5266	5/09/2017	ACCURATE APPRAISAL, LLC 2017 photos, interior inspections, data	
100-05-51500-000-000		Assessor - Contract 2017 photos, interior inspections, data ACCAPP2017-2	10,000.00
Total			10,000.00

5267	5/09/2017	ADVANCED DISPOSAL COMMERICAL TRASH DUMPSTER FOR APRIL	
100-00-53620-000-000		Refuse and Garbage Collection COMMERICAL TRASH DUMPSTER FOR APRIL	79.00
100-00-53635-000-000		Recycling Collection COMMERICAL RECYCLING DUMPSTER for APRIL	54.00
100-00-53620-000-000		Refuse and Garbage Collection FUEL FEE	0.00
100-00-53620-000-000		Refuse and Garbage Collection RES TRASH 90 GALLON CARTS for APRIL	28,551.49
100-00-53635-000-000		Recycling Collection LANDFILL TAX	0.00
100-00-53635-000-000		Recycling Collection RES RECYCLING SINGLE STREAM APRIL	13,991.00
100-00-53620-000-000		Refuse and Garbage Collection REPLACEMENT CART(S)	0.00
100-00-53620-000-000		Refuse and Garbage Collection FALL PICK UP	0.00
100-00-53620-000-000		Refuse and Garbage Collection BULKY ITEM PICKUP	175.00
100-00-53620-000-000		Refuse and Garbage Collection RESID RECYCLE	0.00
Total			42,850.49

5268	5/09/2017	ANDERS AUTO PARTS, INC FROM 04/07/17	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 04/07/17 001016985	56.69
Total			56.69

5269	5/09/2017	APPLETON TROPHY & ENGRAVING DEAN VANDERHEIDEN, BRUCE MEYERHOFER	
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Check Nbr	Check Date	Payee	Amount
100-06-52200-400-000		Fire Dept - Supplies	376.00
		DEAN VANDERHEIDEN, BRUCE MEYERHOFER 73170	
		Total	376.00
5270	5/09/2017	BRAD WELHOUSE REIMBURSEMENT FOR PURCHASE @ AUTO SOURCE	
100-09-53311-400-000		Hwy Dept - Supplies	39.25
		REIMBURSEMENT FOR PURCHASE @ AUTO SOURCE	
		Total	39.25
5271	5/09/2017	CALUMET COUNTY TREASURER BURKE BUSHING BLADE	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	221.29
		BURKE BUSHING BLADE	
		Total	221.29
5272	5/09/2017	CARSTENS ACE HARDWARE FROM 04/25/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	20.28
		FROM 04/25/17 147616	
		Total	20.28
5273	5/09/2017	D & D EQUIPMENT FROM 04/13/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	56.41
		FROM 04/13/17 CJ87826	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	2.98
		FROM 04/06/17 CJ87345	
		Total	59.39
5274	5/09/2017	FAST SIGNS RED H STICKERS 2017- SECOND ORDER OF 500	
100-02-51400-400-000		Gen. Admin - Supplies	446.50
		RED H STICKERS 2017- SECOND ORDER OF 500 A101156	
		Total	446.50
5275	5/09/2017	FOX VALLEY TECHNICAL COLLEGE inv tpb0000403833/ fy 16-17	
100-06-52200-305-000		Fire Dept - Training/Mem	235.36
		inv tpb0000403833/ fy 16-17	

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Check Nbr	Check Date	Payee	Amount
			Total 235.36
5276	5/09/2017	GAT SUPPLY, INC SHIPPED 04/12/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance SHIPPED 04/12/17	49.95
			Total 49.95
5277	5/09/2017	GRUETT'S 5" CHANNEL IRON	
100-09-53311-700-000		Hwy Dept - Equip Maintenance 5" CHANNEL IRON	74.00
			Total 74.00
5278	5/09/2017	JFTCO, Inc. INVOICE FROM 04/05/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance INVOICE FROM 04/05/17	189.56
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 04/06/17	34.89
			Total 224.45
5279	5/09/2017	KAATS WATER CONDITIONING INC. CHARGES THROUGH 04/18/17	
100-09-53311-400-000		Hwy Dept - Supplies CHARGES THROUGH 04/18/17	46.83
			Total 46.83
5280	5/09/2017	KARLS MECHANICAL CONTRACTORS, INC. FROM 03/13/17 HALL FURNACE	
100-09-53311-505-000		Hwy Dept - Building Maint FROM 03/13/17 HALL FURNACE	244.51
			Total 244.51
5281	5/09/2017	LANGE ENTERPRISES, INC ROAD NAME SIGN PLATES	
100-09-53315-902-000		Hwy Dept - Signs ROAD NAME SIGN PLATES	1,886.55
			Total 1,886.55

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Check Nbr	Check Date	Payee	Amount	
5282	5/09/2017	LISOWE OIL		
FROM 04/07/17				
100-09-53311-700-000		Hwy Dept - Equip Maintenance	1,340.06	
		FROM 04/07/17	19781	
100-09-53311-600-030		Hwy Dept - Fuel	366.11	
		FROM 04/07/17	19782	
			Total	1,706.17
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5283	5/09/2017	MCMAHON		
Storm mapping				
100-00-53441-000-000		Storm Sewer Maintenance	2,237.50	
		Storm mapping	0905893	
100-00-53441-000-000		Storm Sewer Maintenance	1,205.15	
		grant application	0905915	
100-00-53441-000-000		Storm Sewer Maintenance	817.60	
		stormwater permit MS4	0905914	
			Total	4,260.25
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5284	5/09/2017	MENARDS-APPLETON EAST		
FROM 04/17/17				
100-09-53311-400-000		Hwy Dept - Supplies	114.28	
		FROM 04/17/17	13791	
100-09-53311-400-000		Hwy Dept - Supplies	10.49	
		FROM 04/19/17	13905	
100-09-53311-400-000		Hwy Dept - Supplies	1.88	
		FROM 04/20/17	13959	
			Total	126.65
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5285	5/09/2017	MGD INDUSTRIAL CORPORATION		
SUPPLIES FROM 04/12/17				
100-09-53311-400-000		Hwy Dept - Supplies	67.93	
		SUPPLIES FROM 04/12/17	153522	
100-09-53311-400-000		Hwy Dept - Supplies	213.57	
		FROM 04/06/17	153496	
			Total	281.50
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5286	5/09/2017	OUTAGAMIE COUNTY		
inclusion in the Appleton Post Crescent				
100-00-51440-600-000		Elections - Publications	20.18	
		inclusion in the Appleton Post Crescent	114171	

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/09/2017
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Check Nbr	Check Date	Payee	Amount
			Total 20.18
5287	5/09/2017	POSTMASTER Postage for Certified Mail- Diedrich	
100-02-51400-400-005		Gen. Admin - Postage Postage for Certified Mail- Diedrich	1,428.47
			Total 1,428.47
5288	5/09/2017	RENNERTS TROUBLE SHOOT SHIFT ISSUE	
100-06-52200-600-000		Fire Dept - Vehicle Maint. TROUBLE SHOOT SHIFT ISSUE 36994	136.74
			Total 136.74
5289	5/09/2017	SPECTRUM- 6401 Acc 606836401 service period 05/08-06/07	
100-02-51400-400-006		Gen. Admin - Service Contracts Acc 606836401 service period 05/08-06/07	499.76
			Total 499.76
5290	5/09/2017	STUMPF EXCAVATING & TRUCKING pump holding tanks 04/17/17	
100-09-53311-505-000		Hwy Dept - Building Maint pump holding tanks 04/17/17 7072	240.00
			Total 240.00
5291	5/09/2017	SUPERIOR CHEMICAL CORPORATION POLYMER GREASE	
100-09-53311-400-000		Hwy Dept - Supplies POLYMER GREASE 156318	219.75
			Total 219.75
5292	5/09/2017	WAVERLY SANITARY DISTRICT Account 000-2781-00	
100-07-52200-500-023		Fire Station 70 - Water/Sewer Account 000-2781-00	30.91
			Total 30.91
5293	5/09/2017	WI DEPT OF AGRICULTURE, TRADE CONSUMER PROTECT weights and measures contract	

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/09/2017

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Thru Account:

Check Nbr	Check Date	Payee	Amount
100-02-51400-400-006		Gen. Admin - Service Contracts	400.00
		weights and measures contract 115-0000004947	
		Total	400.00
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5294	5/09/2017	WI DEPT OF JUSTICE	
		Account # G2028	
100-02-51400-400-000		Gen. Admin - Supplies	77.00
		Account # G2028	
		Total	77.00
<hr/>			
5295	5/09/2017	WIL-KIL PEST CONTROL	
		Fire Station 70	
100-02-51400-400-006		Gen. Admin - Service Contracts	40.00
		Fire Station 70 3109537	
100-02-51400-400-006		Gen. Admin - Service Contracts	77.75
		Village Hall 3108927	
100-02-51400-400-006		Gen. Admin - Service Contracts	40.00
		Fire Station 60 3109536	
		Total	157.75
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5296	5/09/2017	WINNEBAGO PEST CONTROL LLC	
		application 06/06/17	
100-09-53311-505-000		Hwy Dept - Building Maint	182.00
		application 06/06/17 6315	
		Total	182.00
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		Grand Total	66,598.67

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/09/2017

From Account:

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Amount

Total Expenditure from Fund # 100 - GENERAL FUND

66,598.67

Total Expenditure from all Funds

66,598.67

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ACCT

Posting Date: 5/09/2017

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/09/2017

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		66,598.67
	Total Expenditure - Fund # 100	66,598.67	
	Total	66,598.67	66,598.67

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/24/2017 From Account:
Thru: 5/24/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
5297	5/24/2017	5 ALARM GLOVES	
100-06-52200-400-000		Fire Dept - Supplies GLOVES	548.00
		167031-1	
		Total	548.00
5298	5/24/2017	APPLETON AWNING SHOP REWORK COVER FOR 1999 PUMPER	
100-06-52200-600-000		Fire Dept - Vehicle Maint. REWORK COVER FOR 1999 PUMPER	136.90
		42633	
		Total	136.90
5299	5/24/2017	AYRES ASSOCIATES MANITOWOC RD PARK PLAN	
100-09-53311-000-000		Hwy Dept - Engineer/Consultant MANITOWOC RD PARK PLAN	3,196.96
		168739	
		Total	3,196.96
5300	5/24/2017	BIRSCHBACH INSPECTION SERVICE, LLC Building Inspections APRIL 2017	
100-00-52400-000-000		Building Inspector - Contract Building Inspections APRIL 2017	7,660.00
		Total	7,660.00
5301	5/24/2017	CARDMEMBER SERVICE ACCT 4798 5100 5742 3846	
100-09-53311-400-000		Hwy Dept - Supplies ACCT 4798 5100 5742 3846	260.46
		Total	260.46
5302	5/24/2017	CARSTENS ACE HARDWARE TARPS	
100-06-52200-400-000		Fire Dept - Supplies TARPS	95.31
		148455	
		Total	95.31
5303	5/24/2017	CORPORATE NETWORK SOLUTIONS, INC SYMANTEC SUBSCRIPTION	
100-02-51400-400-000		Gen. Admin - Supplies SYMANTEC SUBSCRIPTION	431.00
		52591	

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Dated From: 5/24/2017 From Account:
Thru: 5/24/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-02-51400-400-000		Gen. Admin - Supplies	490.00
		MICROSOFT OFFICE 365	52592
		Total	921.00
5304	5/24/2017	Department of Administration KENNETH DIEDRICH	
100-09-53311-000-000		Hwy Dept - Engineer/Consultant	2,350.00
		KENNETH DIEDRICH	
		Total	2,350.00
5305	5/24/2017	GAT SUPPLY, INC SHIPPED 04/24/17	
100-09-53311-400-000		Hwy Dept - Supplies	139.00
		SHIPPED 04/24/17	313744-1
100-09-53311-400-000		Hwy Dept - Supplies	188.00
		6 FT NANO-LOK LADDER	313781-1
		Total	327.00
5306	5/24/2017	GRUETT'S 4 X 10 EXPANDED METAL	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	138.00
		4 X 10 EXPANDED METAL	22696P
		Total	138.00
5307	5/24/2017	HEARTLAND BUSINESS SYSTEMS DOMAIN RENEWAL	
100-02-51400-400-006		Gen. Admin - Service Contracts	135.00
		DOMAIN RENEWAL	HBS00544722
		Total	135.00
5308	5/24/2017	J.F. AHERN CO FROM 04/24/2017	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	833.95
		FROM 04/24/2017	196626
100-06-52200-700-000		Fire Dept - Equip Maintenance	410.25
		FROM 04/24/2017	196646
		Total	1,244.20
5309	5/24/2017	KIWANIS CLUB OF DARBOY, INC. CHICKENFEST 2017 FIREWORKS SPONSORSHIP	

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/24/2017 From Account:
Thru: 5/24/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-00-55200-120-000		Parks - Recreation Programs CHICKENFEST 2017 FIREWORKS SPONSORSHIP	3,000.00
		Total	3,000.00
5310	5/24/2017	L & S TRUCK CENTER TRUCK #14	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance TRUCK #14 244975	43.65
		Total	43.65
5311	5/24/2017	LISOWE OIL FROM 05/09/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 05/09/17 19977	1,465.08
100-09-53311-600-030		Hwy Dept - Fuel FROM 05/09/17 19978	385.52
		Total	1,850.60
5312	5/24/2017	MENARDS-APPLETON EAST FROM 04/27/17	
100-09-53311-900-000		Hwy Dept - Road Maintenance FROM 04/27/17 14408	57.79
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 05/02/17 14670	29.94
		Total	87.73
5313	5/24/2017	MGD INDUSTRIAL CORPORATION FROM 04/24/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 04/24/17 153799	77.59
		Total	77.59
5314	5/24/2017	MIKE'S ELECTRIC CHANGE LIGHT AT COMMUNITY PARK	
100-00-55200-000-000		Parks - Maint. and Utilities CHANGE LIGHT AT COMMUNITY PARK 10035	232.94
		Total	232.94
5315	5/24/2017	MONROE TRUCK EQUIPMENT, INC TRUCK 14	

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/24/2017 From Account:
Thru: 5/24/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	212.10
		TRUCK 14 773448	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	919.27
		CAT LOADER PLOW 772772	
		Total	1,131.37
<hr/>			
5316	5/24/2017	NICK LASZEWSKI	
		REIMBURSEMENT FOR PURCHASE- BOOK	
100-06-52200-400-000		Fire Dept - Supplies	71.39
		REIMBURSEMENT FOR PURCHASE- BOOK	
100-06-52200-400-000		Fire Dept - Supplies	80.00
		TRAINING AT FVTC REIMBURSEMENT	
		Total	151.39
<hr/>			
5317	5/24/2017	NOTT COMPANY	
		FROM 04/24/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	56.08
		FROM 04/24/17 2844408-00	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	35.00
		FROM 05/03/17 2852063-00	
		Total	91.08
<hr/>			
5318	5/24/2017	PRAXAIR DISTRIBUTION, INC	
		FROM 04/21/17	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	27.62
		FROM 04/21/17 77093401	
		Total	27.62
<hr/>			
5319	5/24/2017	SHIELD SOLUTIONS, LLC	
		FREIGHT CHARGES	
100-06-52200-400-000		Fire Dept - Supplies	73.44
		FREIGHT CHARGES 11651	
		Total	73.44
<hr/>			
5320	5/24/2017	SPECTRUM- 4901	
		Service period 05/24-06/23	
100-02-51400-400-006		Gen. Admin - Service Contracts	145.95
		Service period 05/24-06/23	
		Total	145.95

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/24/2017 From Account:

Thru: 5/24/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
5321	5/24/2017	SPECTRUM- 5101	
		Service period 05/23-06/22	
100-02-51400-400-006		Gen. Admin - Service Contracts	101.69
		Service period 05/23-06/22	
		Total	101.69
5322	5/24/2017	SPRANGERS ELECTRIC	
		ROAD CROSSING COUNTY KK	
100-09-53315-902-000		Hwy Dept - Signs	144.90
		ROAD CROSSING COUNTY KK 5714	
		Total	144.90
5323	5/24/2017	STAMPS.COM	
		Ref #64686201524582005 For Account	
100-02-51400-800-005		Gen. Admin - Newsltr & Postage	1,500.00
		Ref #64686201524582005 For Account 64686201524927325	
		Total	1,500.00
5324	5/24/2017	STUMPF EXCAVATING & TRUCKING	
		pump holding tanks 05/01/17	
100-09-53311-505-000		Hwy Dept - Building Maint	240.00
		pump holding tanks 05/01/17 7095	
		Total	240.00
5325	5/24/2017	SUPERIOR VISION INSURANCE	
		OFFICE VISION INSURANCE for JUNE	
100-02-51400-200-000		Gen. Admin - Benefits	81.90
		OFFICE VISION INSURANCE for JUNE IA629557	
100-09-53311-200-000		Hwy Dept - Benefits	112.80
		SHOP- VISION INSURANCE for JUNE IA629557	
		Total	194.70
5326	5/24/2017	TOWN OF BUCHANAN	
		PICNIC TABLES PLUS MISC CLEANING SUPPLIE	
100-00-55200-000-000		Parks - Maint. and Utilities	1,340.85
		PICNIC TABLES PLUS MISC CLEANING SUPPLIE 1243	
		Total	1,340.85
5327	5/24/2017	ULTIMATE CLEANING LIMITED	
		JUNE 2017 SERVICES	

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/24/2017 From Account:
Thru: 5/24/2017 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-02-51400-400-006	5/24/2017	Gen. Admin - Service Contracts	245.21
		JUNE 2017 SERVICES	1653
		Total	245.21
<hr/>			
5328	5/24/2017	W.S. DARLEY & CO	
		RATCHETS FROM 05/02/2017	
100-06-52200-400-000	5/24/2017	Fire Dept - Supplies	87.74
		RATCHETS FROM 05/02/2017	17284653
		Total	87.74
<hr/>			
5329	5/24/2017	WISCONSIN MEDIA	
		billing period 04/01-04/30	
100-02-51400-800-000	5/24/2017	Gen. Admin - Publications	797.00
		billing period 04/01-04/30	0000523154
		Total	797.00
<hr/>			
		Grand Total	28,578.28

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THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/24/2017 From Account:
Thru: 5/24/2017 Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND	28,578.28
Total Expenditure from all Funds	28,578.28

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ACCT

Posting Date: 5/24/2017

THE BUSINESS BANK-GENRL CHCKNG

Dated From: 5/24/2017

Thru: 5/24/2017

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	General Checking - Payroll		28,578.28
	Total Expenditure - Fund # 100	28,578.28	
	Total	28,578.28	28,578.28



Discharge of Firearms Application

Owner mailing address: W6673 MANITOWOC RD

Jim BODWAY own 90 contiguous acres of land
(name) (# of acres)

within the Town of Harrison or Village of Harrison, located at:

W6673 MANITOWOC RD MCHASHA, WI. 54952
(address or description of property)

I acknowledge as the land owner, I

- am the only one who can give non-family members permission to fire or discharge firearms on the land.
- must request a waiver annually.
- that the waiver can be revoked for a violation of WI State Statute Chapter 167 or Chapter 941 relative to the use of firearms.

Jim Bodway
Authorized Signature (Land Owner)

5-26-17
Date

BOARD ACTION: <input type="checkbox"/> Approve <input type="checkbox"/> Deny _____ <i>date of meeting</i>
Copy to:
Land owner _____ Calumet County Sheriff's Department _____ Municipal Copy _____

VILLAGE BOARD MEETING**VILLAGE OF HARRISON**

Date: May 30th, 2017

Title:

Contract with McMahon Associates for operation and maintenance activities at the Amy Ave. and Lakeview Ponds.

Issue:

Should the Village entering into a maintenance agreement for the Amy Ave. and Lakeview ponds with McMahon Associates?

Background and Additional Information:

In the past, the Town/Village of Harrison has contracted with McMahon Associates for the operation and maintenance of the Amy Ave. pond and the Lakeview pond. They provide for the spraying of herbicide and the transplanting of aquatic plants as needed. They also observe the water surface elevations of the ponds and observe the sediment accumulation.

McMahon Associates, Inc. has submitted two (2) proposals to manage and maintain the ponds until the plantings are more established. The attachments contain the services that would be provided and the cost of those services.

Budget/Financial Impact:

Estimated cost \$10,900. This item has been budgeted for.

Recommended Motion:

Staff recommends a motion to approve the agreements with McMahon Associates for the operation and maintenance activities for the Amy Ave and Lakeview Pond.

Attachments:

Copy of the agreements.

Village of Harrison
Attn: Travis Parish, Village Manager
W5298 Highway '114'
Menasha, WI 54952

Date: April 26, 2017

McM. No. H0006-9-17-00403.00

PROJECT DESCRIPTION:

Manage the wetland and prairie at the Amy Avenue and Lakeview Pond, Village of Harrison, Calumet County, Wisconsin for the year 2017.

SCOPE OF SERVICES:

- McMAHON ASSOCIATES, INC. agrees to provide the following Scope Of Services for this project:
- Inspect both wetland and prairie at the stormwater management facility monthly from April to November.
 - Spot herbicide exotic/invasive species in the prairie four to five times during the spring to fall.
 - Spot herbicide exotic/invasive species (cattail, purple loosestrife, phragmites, reed canary grass and woody vegetation) in the wetland four times during the spring to fall.
 - Divide and transplant arrowhead and burred aquatic plants in the pond to enhance the erosion protection, ecological, aesthetic and stormwater treatment components of the wetlands (Lakeview Pond in May and June).
 - Inform the Village of muskrat trapping needs based on field observations.

SPECIAL TERMS: (Refer Also To General Terms & Conditions - Attached)

The Village of Harrison agrees that the Project Description, Scope Of Services and Compensation sections contained in this Agreement, pertaining to this project or any addendum thereto, are considered confidential and proprietary, and shall not be released or otherwise made available to any third party, prior to the execution of this Agreement, without the expressed written consent of the McMahon Group of Companies.

COMPENSATION: (Does Not Include Permit Or Approval Fees)

McMAHON Associates, Inc. agrees to provide the Scope Of Services described above for the following compensation:

- Rates Per Attached Fee Schedule | Estimated At:
 - ▼ Amy Avenue Pond \$1,000 - \$1,900
 - ▼ Lakeview Pond..... \$3,000 - \$3,900

COMPLETION SCHEDULE:

- McMAHON Associates, Inc. agrees to complete this project as follows:
- The services will be provided for the year 2017.

ACCEPTANCE:

The General Terms & Conditions And The Scope Of Services (Defined In The Above Agreement) Are Accepted, and McMAHON Associates, Inc. Is Hereby Authorized To Proceed With The Services.

The Agreement Fee Is Firm For Acceptance Within Sixty (60) Days From Date Of This Agreement.

VILLAGE OF HARRISON

Wisconsin

By: _____

(Authorized Signature)

Title: _____

Date: _____

McMAHON ASSOCIATES, INC.

Neenah, Wisconsin

By: _____



Stuart A. Boerst, P.S.S., P.H.

Title: _____

Associate / Senior Ecologist

Date: _____

April 26, 2017

Please Return One Copy For Our Records

Street Address: 1445 McMAHON DRIVE - NEENAH, WI 54956

Mailing Address: P.O. Box 1025 - NEENAH, WI 54957-1025

PH 920-751-4200 ▪ FX 920-751-4284 ▪ WWW.MCMGRP.COM



McMAHON ASSOCIATES, INC. GENERAL TERMS & CONDITIONS

1. McMAHON ASSOCIATES, INC. (hereinafter referred to as 'McMAHON') will bill the Owner monthly with net payment due in 30-days. Past due balances shall be subject to a service charge at a rate of 1.0% per month. In addition, McMAHON may, after giving 48-hours notice, suspend service under any Agreement until the Owner has paid in full all amounts due for services rendered and expenses incurred. These expenses include service charges on past due invoices, collection agency fees and attorney fees incurred by McMAHON to collect all monies due McMAHON. McMAHON and Owner hereby acknowledge that McMAHON has and may exercise lien rights on subject property.
 2. The stated fees and Scope Of Services constitute our best estimate of the fees and tasks required to perform the services as defined. This Agreement, upon execution by both parties hereto, can be amended only by written instrument signed by both parties. For those projects involving conceptual or process development services, activities often cannot be fully defined during initial planning. As the project progresses, facts uncovered may reveal a change in direction, which may alter the Scope. McMAHON will promptly inform the Owner in writing of such situations so changes in this Agreement can be negotiated, as required.
 3. The stipulated fee is firm for acceptance by the Owner for 60-days from date of Agreement publication.
 4. Costs and schedule commitments shall be subject to re-negotiation for delays caused by the Owner's failure to provide specified facilities or information, or for delays caused by unpredictable occurrences, including without limitation, fires, floods, riots, strikes, unavailability of labor or materials, delays or defaults by suppliers of materials or services, process shutdowns, acts of God or the public enemy, or acts or regulations of any governmental agency. Temporary delay of services caused by any of the above, which results in additional costs beyond those outlined, may require re-negotiation of this Agreement.
 5. Reimbursable expenses incurred by McMAHON in the interest of the project including, but not limited to, equipment rental will be billed to the Owner at cost plus 10% and sub-consultants at cost plus 12%. When McMAHON, subsequent to execution of an Agreement, finds that specialized equipment must be purchased to provide special services, the cost of such equipment will be added to the agreed fee for professional services only after the Owner has been notified and agrees to these costs.
 6. McMAHON will maintain insurance coverage in the following amounts:

Worker's Compensation	Statutory
General Liability	
Bodily Injury - Per Incident / Annual Aggregate.....	\$1,000,000 / \$2,000,000
Automobile Liability	
Bodily Injury.....	\$1,000,000
Property Damage	\$1,000,000
Professional Liability Coverage	\$2,000,000
- If the Owner requires coverage or limits in addition to the above stated amounts, premiums for additional insurance shall be paid by the Owner. McMAHON's liability to Owner for any indemnity commitments, reimbursement of legal fees, or for any damages arising in any way out of performance of our contract is limited to \$1,000,000.
7. The Owner agrees to provide such legal, accounting and insurance counseling services as may be required for the project for the Owner's purpose. All unresolved claims, disputes and other matters in question between the Owner and McMAHON shall be submitted to mediation, if an agreement cannot be reached by Owner and McMAHON.
 8. Termination of this Agreement by the Owner or McMAHON shall be effective upon 7-days written notice to the other party. The written notice shall include the reasons and details for termination; payment is due as stated in paragraph 1. If the Owner defaults in any of the Agreements entered into between McMAHON and the Owner, or if the Owner fails to carry out any of the duties contained in these terms and conditions, McMAHON may, upon 7-days written notice, suspend its services without further obligation or liability to the Owner unless, within such 7-day period, the Owner remedies such violation to the reasonable satisfaction of McMAHON.
 9. Re-use of any documents or AutoCAD representations pertaining to this project by the Owner for extensions of this project or on any other project shall be at the Owner's risk and the Owner agrees to defend, indemnify and hold harmless McMAHON from all claims, damages and expenses, including attorneys' fees arising out of such re-use of the documents or AutoCAD representations by the Owner or by others acting through the Owner.
 10. Purchase Orders - In the event the Owner issues a purchase order or other instrument related to the Engineer's services, it is understood and agreed that such document is for Owner's internal accounting purposes only and shall in no way modify, add to or delete any of the terms and conditions of this Agreement. If the Owner does issue a purchase order, or other similar instrument, it is understood and agreed that the Engineer shall indicate the purchase order number on the invoice(s) sent to the Owner.
 11. McMAHON will provide all services in accordance with generally accepted professional practices. McMAHON will not provide or offer to provide services inconsistent with or contrary to such practices nor make any other warranty or guarantee, expressed or implied, nor to have any Agreement or contract for services subject to the provisions of any uniform commercial code. Similarly, McMAHON will not accept those terms and conditions offered by the Owner in its purchase order, requisition or notice of authorization to proceed, except as set forth herein or expressly accepted in writing. Written acknowledgment of receipt, or the actual performance of services subsequent to receipt, of any such purchase order, requisition or notice of authorization to proceed is specifically deemed not to constitute acceptance of any terms or conditions contrary to those set forth herein.
 12. McMAHON intends to serve as the Owner's professional representative for those services, as defined in this Agreement, and to provide advice and consultation to the Owner as a professional. Any opinions of probable project costs, approvals and other decisions made by McMAHON for the Owner are rendered on the basis of experience and qualifications, and represent our professional judgment.
 13. This Agreement shall not be construed as giving McMAHON the responsibility or authority to direct or supervise construction means, methods, techniques, sequence or procedures of construction selected by Contractors or Subcontractors, or the safety precautions and programs incident to the work of the Contractors or Subcontractors.
 14. The Owner shall be responsible for maintenance of the structure, or portions of the structure, which have been completed and have been accepted for its intended use by the Owner. All structures are subject to wear and tear, and environmental and man-made exposures. As a result, all structures require regular and frequent monitoring and maintenance to prevent damage and deterioration. Such monitoring and maintenance is the sole responsibility of the Owner. McMAHON shall have no responsibility for such issues or resulting damages.

FEE SCHEDULE - 2017

McMAHON ASSOCIATES, INC. | NEENAH, WISCONSIN FEBRUARY 27, 2017

LABOR CLASSIFICATION	HOURLY RATE
Senior Project Manager	\$157.00
Senior Planning	\$157.00
Project Manager - I	\$146.00
Project Manager - II	\$131.00
Professional Administrative Services	\$110.00
Vice President / Surveyor	\$134.00
Senior Surveyor	\$102.00
Surveyor	\$92.00
Surveyor Assistant - I	\$83.00
Surveyor Assistant - II	\$74.00
Surveyor Apprentice	\$52.00
Senior Electrical Engineer	\$142.00
Senior Project Engineer	\$136.00
Project Engineer - I	\$129.00
Project Engineer - II	\$112.00
Project Engineer - III	\$109.00
Project Engineer - IV	\$95.00
Project Engineer - V	\$82.00
Senior Engineering Technician - I	\$108.00
Senior Engineering Technician - II	\$98.00
Engineering Technician - I	\$90.00
Engineering Technician - II	\$75.00
Engineering Technician - III	\$66.00
Environmental Specialist - I	\$95.00
Environmental Specialist - II	\$73.00
Environmental Specialist - III	\$69.00
Plumbing Designer Technician	\$95.00
Erosion Control Technician	\$72.00
Senior Landscape Architect	\$157.00
Senior Architect - I	\$160.00
Senior Architect - II	\$145.00
Architect	\$126.00
Architectural Designer	\$102.00
Architectural Designer - III	\$77.00
Architectural Intern - I	\$114.00
Architectural Intern - II	\$105.00
Architectural Intern - III	\$89.00
Architectural Intern - IV	\$49.00
Senior Ecologist	\$146.00
Senior Hydrogeologist	\$156.00
Senior G.I.S. Specialist	\$119.00
G.I.S. Specialist - I	\$77.00
G.I.S. Specialist - II	\$72.00
G.I.S. Technician	\$63.00
Environmental Scientist - I	\$142.00
Environmental Scientist - II	\$72.00
Environmental Scientist - III	\$67.00
Public Finance Specialist	\$110.00
Senior Draftsperson	\$103.00
Draftsperson	\$87.00
Draftsperson - I	\$76.00
Draftsperson - II	\$65.00
Graphic Designer	\$83.00
Grant Administrator	\$64.00
Senior Administrative Assistant	\$77.00
Administrative Assistant	\$63.00
Intern	\$49.00
On-Site Project Representative	\$63.00
Principal	\$208.00
Professional Witness Services	\$285.00

Services subcontracted will be billed to the Owner at invoice cost plus 12%.

Use of special equipment, such as computers, television and sewer cleaning devices, soil density testers, flow meters, samplers, dippers, etc., will be charged to the project per the standard Equipment Rate Schedule, which is available upon request.

This Fee Schedule is subject to revisions due to labor rate adjustments and interim staff or corporate changes.

CORPORATE HEADQUARTERS

Street Address:
1445 McMAHON DRIVE
NEENAH, WI 54956

Mailing Address:
P.O. BOX 1025
NEENAH, WI 54957-1025

Ph 920.751.4200 | Fax 920.751.4284

Email: MCM@MCMGRP.COM
Web: WWW.MCMGRP.COM

REIMBURSABLE EXPENSES SCHEDULE - 2017

McMAHON ASSOCIATES, INC. | NEENAH, WISCONSIN FEBRUARY 27, 2017

DESCRIPTION RATE

REIMBURSABLE EXPENSES:

Commercial Travel	1.1 of Cost
Delivery & Shipping	1.1 of Cost
Meals & Lodging	1.1 of Cost
Review & Submittal Fees	1.1 of Cost
Outside Consultants	1.12 of Cost
Photographs & Models	1.1 of Cost
Misc. Reimbursable Expenses & Project Supplies	1.1 of Cost

REIMBURSABLE UNITS:

Large Format Paper Copies:

Black & White:

▪ Up To 24" x 30"	\$0.60/Sheet
▪ 24" x 36"	\$0.70/Sheet
▪ 30" x 42"	\$1.00/Sheet
▪ 36" x 48"	\$1.35/Sheet

Color:

▪ Color - 17" x 22"	\$5.00/sheet
▪ Color - 22" x 34"	\$10.00/sheet
▪ Color - 24" x 36"	\$10.00/Sheet
▪ Color - 36" x 48"	\$20.00/Sheet

Photocopy Charges - Black & White	\$0.07/Image
Photocopy Charges - Color / 8½" x 11"	\$0.45/Image
Photocopy Charges - Color / 8½" x 14" and 11" x 17"	\$0.75/Image
Computer Time	\$10.00/Hour
Computer Time - AutoCAD	\$15.00/Hour
Mileage	\$.60/Mile
Mileage - Truck/Van	\$0.85/Mile
All-Terrain Vehicle	\$60.00/Day
Global Positioning System (GPS)	\$21.00/Hour
Global Positioning System (GPS) Mobilization	\$100/Each
Hand-Held Global Positioning System (GPS)	\$15.00/Hour
Robotic Total Station	\$20.00/Hour
Survey Hubs	\$0.30/Each
Survey Lath	\$0.50/Each
Survey Paint	\$4.50/Can
Survey Ribbon	\$2.00/Roll
Survey Rebars - 1¼"	\$10.00/Each
Survey Rebars - ¾"	\$3.00/Each
Survey Rebars - 5/8"	\$2.50/Each
Survey Iron Pipe - 1"	\$2.75/Each
Survey Plastic or Fiberglass Fence Post - 1"	\$2.50/Each
Survey Steel Fence Post - 1"	\$4.00/Each
Landscaping Spikes	\$1.00/Each

CORPORATE HEADQUARTERS

Street Address:
1445 McMAHON DRIVE
NEENAH, WI 54956

Mailing Address:
P.O. BOX 1025
NEENAH, WI 54957-1025

Ph 920.751.4200 | Fax 920.751.4284

Email: MCM@MCMGRP.COM
Web: WWW.MCMGRP.COM

Village of Harrison
Attn: Travis Parish, Village Manager
W5298 Highway '114'
Menasha, WI 54952

Date: April 26, 2017

McM. No. H0006-9-17-00406.00

PROJECT DESCRIPTION:

Provide or coordinate Operation & Maintenance (O&M) activities at the Amy Avenue and Lakeview Ponds, Village of Harrison, Calumet County, Wisconsin for the year 2017 in accordance with the O&M plans.

SCOPE OF SERVICES:

McMAHON ASSOCIATES, INC. agrees to provide the following Scope Of Services for this project:

RETENTION POND MAINTENANCE SCOPE OF SERVICES

- Monthly (And After ½ Inch or Greater Storm Events)
 - ▼ Remove accumulated debris and litter from pond inlets, outlets, trash racks, storm inlets, culverts, and retention pond.
 - ▼ Observe water surface elevations in pond.
 - ▼ Observe algae growth within deep open waters. Discuss algae control options with the Village if problems persist.
 - ▼ Observe dry weather discharges at pond inlets and outlets. Contact the Village to report any potential illicit discharge concerns.
 - ▼ Observe sediment accumulation in pond.
 - ▼ Prepare report with photographs of observations and maintenance activities.
 - ▼ Report items that require additional maintenance to Village.
- Quarterly
 - ▼ Identify areas of poor vegetative cover and density.
 - ▼ Identify embankment slumping problems.
 - ▼ Identify rill erosion and slumping problems along moderate to steep slopes.
 - ▼ Identify shoreline erosion and slumping problems.
 - ▼ Identify channel erosion and slumping problems.
 - ▼ Identify scour erosion at pond inlets and outlets.
 - ▼ Identify animal burrow holes and sink holes.
 - ▼ Identify settlement along earth embankments, storm sewer and culverts.
 - ▼ Identify undesirable tree and woody vegetation growth along embankments that may compromise the embankment's structural integrity and/or the pond's liner.
 - ▼ Coordinate with subcontractors to perform maintenance and/or repair work, if necessary. Any work in excess of \$500 would require Village approval.
- Annually
 - ▼ Observe emergency spillway, pond outlet structures, trash racks, pond inlet structures, culverts, storm sewer and channels for undesirable conditions. Report any concerns including pipe joint separation, deterioration, or cracks.
- Continual
 - ▼ Investigate and respond to concerns from the general public through the Village regarding pond maintenance.

SCOPE OF SERVICES:

Items Not Included In The Scope Of Services:

The following is not intended to be a comprehensive list. It is intended to highlight general areas not included in the Scope of Services.

- Removal of sediment in retention pond.
- Mowing.

SPECIAL TERMS: (Refer Also To General Terms & Conditions - Attached)

The Village of Harrison agrees that the Project Description, Scope Of Services and Compensation sections contained in this Agreement, pertaining to this project or any addendum thereto, are considered confidential and proprietary, and shall not be released or otherwise made available to any third party, prior to the execution of this Agreement, without the expressed written consent of the McMahon Group of Companies.

COMPENSATION: (Does Not Include Permit Or Approval Fees)

McMAHON Associates, Inc. agrees to provide the Scope Of Services described above for the following compensation:

- Rates Per Attached Fee Schedule
 - ▼ Amy Avenue Pond \$1,500 - \$2,400
 - ▼ Lakeview Pond..... \$1,500 - \$2,700

COMPLETION SCHEDULE:

McMAHON Associates, Inc. agrees to complete this project as follows:

- These services will be provided for the year 2017.

ACCEPTANCE:


The General Terms & Conditions And The Scope Of Services (Defined In The Above Agreement) Are Accepted, and McMAHON Associates, Inc. Is Hereby Authorized To Proceed With The Services.

The Agreement Fee Is Firm For Acceptance Within Sixty (60) Days From Date Of This Agreement.

VILLAGE OF HARRISON
Wisconsin

By: _____
 (Authorized Signature)
 Title: _____
 Date: _____

McMAHON ASSOCIATES, INC.
Neenah, Wisconsin

By: 
 Stuart A. Boerst, P.S.S., P.H.
 Title: Associate / Senior Ecologist
 Date: April 26, 2017

Please Return One Copy For Our Records
 Street Address: 1445 McMAHON DRIVE - NEENAH, WI 54956
 Mailing Address: P.O. Box 1025 - NEENAH, WI 54957-1025
 PH 920-751-4200 ▪ FX 920-751-4284 ▪ WWW.MCMGRP.COM

1. McMAHON ASSOCIATES, INC. (hereinafter referred to as 'McMAHON') will bill the Owner monthly with net payment due in 30-days. Past due balances shall be subject to a service charge at a rate of 1.0% per month. In addition, McMAHON may, after giving 48-hours notice, suspend service under any Agreement until the Owner has paid in full all amounts due for services rendered and expenses incurred. These expenses include service charges on past due invoices, collection agency fees and attorney fees incurred by McMAHON to collect all monies due McMAHON. McMAHON and Owner hereby acknowledge that McMAHON has and may exercise lien rights on subject property.
2. The stated fees and Scope Of Services constitute our best estimate of the fees and tasks required to perform the services as defined. This Agreement, upon execution by both parties hereto, can be amended only by written instrument signed by both parties. For those projects involving conceptual or process development services, activities often cannot be fully defined during initial planning. As the project progresses, facts uncovered may reveal a change in direction, which may alter the Scope. McMAHON will promptly inform the Owner in writing of such situations so changes in this Agreement can be negotiated, as required.
3. The stipulated fee is firm for acceptance by the Owner for 60-days from date of Agreement publication.
4. Costs and schedule commitments shall be subject to re-negotiation for delays caused by the Owner's failure to provide specified facilities or information, or for delays caused by unpredictable occurrences, including without limitation, fires, floods, riots, strikes, unavailability of labor or materials, delays or defaults by suppliers of materials or services, process shutdowns, acts of God or the public enemy, or acts or regulations of any governmental agency. Temporary delay of services caused by any of the above, which results in additional costs beyond those outlined, may require re-negotiation of this Agreement.
5. Reimbursable expenses incurred by McMAHON in the interest of the project including, but not limited to, equipment rental will be billed to the Owner at cost plus 10% and sub-consultants at cost plus 12%. When McMAHON, subsequent to execution of an Agreement, finds that specialized equipment must be purchased to provide special services, the cost of such equipment will be added to the agreed fee for professional services only after the Owner has been notified and agrees to these costs.
6. McMAHON will maintain insurance coverage in the following amounts:

Worker's Compensation	Statutory
General Liability	
Bodily Injury - Per Incident / Annual Aggregate.....	\$1,000,000 / \$2,000,000
Automobile Liability	
Bodily Injury.....	\$1,000,000
Property Damage	\$1,000,000
Professional Liability Coverage	\$2,000,000
- If the Owner requires coverage or limits in addition to the above stated amounts, premiums for additional insurance shall be paid by the Owner. McMAHON's liability to Owner for any indemnity commitments, reimbursement of legal fees, or for any damages arising in any way out of performance of our contract is limited to \$1,000,000.
7. The Owner agrees to provide such legal, accounting and insurance counseling services as may be required for the project for the Owner's purpose. All unresolved claims, disputes and other matters in question between the Owner and McMAHON shall be submitted to mediation, if an agreement cannot be reached by Owner and McMAHON.
8. Termination of this Agreement by the Owner or McMAHON shall be effective upon 7-days written notice to the other party. The written notice shall include the reasons and details for termination; payment is due as stated in paragraph 1. If the Owner defaults in any of the Agreements entered into between McMAHON and the Owner, or if the Owner fails to carry out any of the duties contained in these terms and conditions, McMAHON may, upon 7-days written notice, suspend its services without further obligation or liability to the Owner unless, within such 7-day period, the Owner remedies such violation to the reasonable satisfaction of McMAHON.
9. Re-use of any documents or AutoCAD representations pertaining to this project by the Owner for extensions of this project or on any other project shall be at the Owner's risk and the Owner agrees to defend, indemnify and hold harmless McMAHON from all claims, damages and expenses, including attorneys' fees arising out of such re-use of the documents or AutoCAD representations by the Owner or by others acting through the Owner.
10. Purchase Orders - In the event the Owner issues a purchase order or other instrument related to the Engineer's services, it is understood and agreed that such document is for Owner's internal accounting purposes only and shall in no way modify, add to or delete any of the terms and conditions of this Agreement. If the Owner does issue a purchase order, or other similar instrument, it is understood and agreed that the Engineer shall indicate the purchase order number on the invoice(s) sent to the Owner.
11. McMAHON will provide all services in accordance with generally accepted professional practices. McMAHON will not provide or offer to provide services inconsistent with or contrary to such practices nor make any other warranty or guarantee, expressed or implied, nor to have any Agreement or contract for services subject to the provisions of any uniform commercial code. Similarly, McMAHON will not accept those terms and conditions offered by the Owner in its purchase order, requisition or notice of authorization to proceed, except as set forth herein or expressly accepted in writing. Written acknowledgment of receipt, or the actual performance of services subsequent to receipt, of any such purchase order, requisition or notice of authorization to proceed is specifically deemed not to constitute acceptance of any terms or conditions contrary to those set forth herein.
12. McMAHON intends to serve as the Owner's professional representative for those services, as defined in this Agreement, and to provide advice and consultation to the Owner as a professional. Any opinions of probable project costs, approvals and other decisions made by McMAHON for the Owner are rendered on the basis of experience and qualifications, and represent our professional judgment.
13. This Agreement shall not be construed as giving McMAHON the responsibility or authority to direct or supervise construction means, methods, techniques, sequence or procedures of construction selected by Contractors or Subcontractors, or the safety precautions and programs incident to the work of the Contractors or Subcontractors.
14. The Owner shall be responsible for maintenance of the structure, or portions of the structure, which have been completed and have been accepted for its intended use by the Owner. All structures are subject to wear and tear, and environmental and man-made exposures. As a result, all structures require regular and frequent monitoring and maintenance to prevent damage and deterioration. Such monitoring and maintenance is the sole responsibility of the Owner. McMAHON shall have no responsibility for such issues or resulting damages.

FEE SCHEDULE - 2017

McMAHON ASSOCIATES, INC. | NEENAH, WISCONSIN FEBRUARY 27, 2017

LABOR CLASSIFICATION	HOURLY RATE
Senior Project Manager	\$157.00
Senior Planning	\$157.00
Project Manager - I	\$146.00
Project Manager - II	\$131.00
Professional Administrative Services	\$110.00
Vice President / Surveyor	\$134.00
Senior Surveyor	\$102.00
Surveyor	\$92.00
Surveyor Assistant - I	\$83.00
Surveyor Assistant - II	\$74.00
Surveyor Apprentice	\$52.00
Senior Electrical Engineer	\$142.00
Senior Project Engineer	\$136.00
Project Engineer - I	\$129.00
Project Engineer - II	\$112.00
Project Engineer - III	\$109.00
Project Engineer - IV	\$95.00
Project Engineer - V	\$82.00
Senior Engineering Technician - I	\$108.00
Senior Engineering Technician - II	\$98.00
Engineering Technician - I	\$90.00
Engineering Technician - II	\$75.00
Engineering Technician - III	\$66.00
Environmental Specialist - I	\$95.00
Environmental Specialist - II	\$73.00
Environmental Specialist - III	\$69.00
Plumbing Designer Technician	\$95.00
Erosion Control Technician	\$72.00
Senior Landscape Architect	\$157.00
Senior Architect - I	\$160.00
Senior Architect - II	\$145.00
Architect	\$126.00
Architectural Designer	\$102.00
Architectural Designer - III	\$77.00
Architectural Intern - I	\$114.00
Architectural Intern - II	\$105.00
Architectural Intern - III	\$89.00
Architectural Intern - IV	\$49.00
Senior Ecologist	\$146.00
Senior Hydrogeologist	\$156.00
Senior G.I.S. Specialist	\$119.00
G.I.S. Specialist - I	\$77.00
G.I.S. Specialist - II	\$72.00
G.I.S. Technician	\$63.00
Environmental Scientist - I	\$142.00
Environmental Scientist - II	\$72.00
Environmental Scientist - III	\$67.00
Public Finance Specialist	\$110.00
Senior Draftsperson	\$103.00
Draftsperson	\$87.00
Draftsperson - I	\$76.00
Draftsperson - II	\$65.00
Graphic Designer	\$83.00
Grant Administrator	\$64.00
Senior Administrative Assistant	\$77.00
Administrative Assistant	\$63.00
Intern	\$49.00
On-Site Project Representative	\$63.00
Principal	\$208.00
Professional Witness Services	\$285.00

Services subcontracted will be billed to the Owner at invoice cost plus 12%.

Use of special equipment, such as computers, television and sewer cleaning devices, soil density testers, flow meters, samplers, dippers, etc., will be charged to the project per the standard Equipment Rate Schedule, which is available upon request.

This Fee Schedule is subject to revisions due to labor rate adjustments and interim staff or corporate changes.

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REIMBURSABLE EXPENSES SCHEDULE - 2017

McMAHON ASSOCIATES, INC. | NEENAH, WISCONSIN FEBRUARY 27, 2017

DESCRIPTION	RATE
REIMBURSABLE EXPENSES:	
Commercial Travel	1.1 of Cost
Delivery & Shipping	1.1 of Cost
Meals & Lodging	1.1 of Cost
Review & Submittal Fees	1.1 of Cost
Outside Consultants	1.12 of Cost
Photographs & Models	1.1 of Cost
Misc. Reimbursable Expenses & Project Supplies	1.1 of Cost

REIMBURSABLE UNITS:	
Large Format Paper Copies:	
Black & White:	
▪ Up To 24" x 30"	\$0.60/Sheet
▪ 24" x 36"	\$0.70/Sheet
▪ 30" x 42"	\$1.00/Sheet
▪ 36" x 48"	\$1.35/Sheet
Color:	
▪ Color - 17" x 22"	\$5.00/sheet
▪ Color - 22" x 34"	\$10.00/sheet
▪ Color - 24" x 36"	\$10.00/Sheet
▪ Color - 36" x 48"	\$20.00/Sheet
Photocopy Charges - Black & White	\$0.07/Image
Photocopy Charges - Color / 8½" x 11"	\$0.45/Image
Photocopy Charges - Color / 8½" x 14" and 11" x 17"	\$0.75/Image
Computer Time	\$10.00/Hour
Computer Time - AutoCAD	\$15.00/Hour
Mileage	\$.60/Mile
Mileage - Truck/Van	\$0.85/Mile
All-Terrain Vehicle	\$60.00/Day
Global Positioning System (GPS)	\$21.00/Hour
Global Positioning System (GPS) Mobilization	\$100/Each
Hand-Held Global Positioning System (GPS)	\$15.00/Hour
Robotic Total Station	\$20.00/Hour
Survey Hubs	\$0.30/Each
Survey Lath	\$0.50/Each
Survey Paint	\$4.50/Can
Survey Ribbon	\$2.00/Roll
Survey Rebars - 1¼"	\$10.00/Each
Survey Rebars - ¾"	\$3.00/Each
Survey Rebars - 5/8"	\$2.50/Each
Survey Iron Pipe - 1"	\$2.75/Each
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VILLAGE OF HARRISON

TOWN OF HARRISON

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Date:

April 25, 2017

Title:

Preliminary Plat for Kimberly Heights

Issue:

Should the Village Board approve the Preliminary Plat for Kimberly Heights?

Background and Additional Information:

The developers, Dercks DeWitt LLC, have submitted a preliminary plat called Kimberly Heights for a new 96-lot subdivision. This subdivision is located along County N north of Schmidt Road. The subdivision is planned for two phases. Phase 1 will consist of lots along Hoelzel Way and Touchdown Drive. Phase 2 will consist of lots 41-96. Stormwater management is expected to be accomplished through a combination of using the Van's Road regional stormwater pond (off-site) and several detention ponds within the subdivision.

Budget/Financial Impact:

None

Recommended Action:

The Plan Commission recommends approval of the Preliminary Plat for Kimberly Heights with the following conditions:

1. A zoning map amendment (rezoning) shall be submitted to rezone the property from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1].
2. A "12' Utility Easement" shall be granted to include the Village of Harrison and Darboy Sanitary District as a Grantee for the purposes of maintenance, repair, and/or replacement of sanitary or water infrastructure and access thereto.
3. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
4. All lots shall have a storm sewer lateral provided for sump pump discharge.
5. All drainageways, drainage easement, and associated infrastructure shall be installed, graded and seeded prior to roadway acceptance.
6. All utilities, including but not limited to, sanitary sewer, water, storm sewer, gas, electric, cable, phone, shall be installed prior to roadway acceptance.
7. The Village Board shall accept the roadway in a graveled state prior to issuance of building permits and zoning permits.
8. All other improvements, including but not limited to, curb & gutter, concrete paving, sidewalks, shall be installed prior to issuance of building permits or zoning permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.

9. All comments from the Village engineer shall be included in the Plan Commission discussion and decision.
10. Typical Street Section to be in accordance with the Village of Harrison Standard Specifications Manual for Concrete Streets.
11. High-back, integral concrete curb shall be utilized rather than the mountable curb.
12. Wetland determinations and/or studies shall be provided to the Village.
13. A note shall be added to the plat indicating access control to County N and Schmidt Road.
14. A note shall be added to the final plat indicating that the Village of Harrison will assess all lots for street improvements, including but not limited to, curb & gutter, concrete pavement, and sidewalks.
15. Location of all sidewalk curb ramps shall be approved by Harrison staff.
16. A grading/drainage stormwater management plan and erosion control plan shall be reviewed and approved by the Village engineer and Village staff.
17. Final utility and street plans shall be reviewed and approved by the Village Engineer and Village staff prior to approval of the Final Plat and prior to utility and street construction.
18. Benchmarks shall be established on all hydrant tag bolts.
19. All environmental corridors shall be clearly identified and setback lines to be indicated.
20. Temporary turn-around to be provided on dead-end streets longer than 150-feet.
21. A 25-foot easement for a landscaping berm and plantings shall be added to the final plat. Details on the berm design and plantings shall be indicated in the final plans.
22. Grading/Drainage Plan shall identify elevations of ground at the foundation.
23. The Stormwater Management Plan shall also be approved by Garner's Creek Stormwater Utility for the portion of the subdivision that will be utilizing the Van's Road Pond.
24. All road names shall be approved by the Appleton Post Office, the Village of Harrison, and Calumet County E911.
25. The size of the pipe associated with existing MH M is different on the draft Preliminary Plat than on the Topographic Survey (Sheet 1.5).
26. The number should be updated for the recently completed CSM associated with Lot 2 to the east.
27. Temporary cul-de-sac easements may be desirable for emergency vehicles and snow plowing, etc.
28. Vision corner easement(s) are recommended.
29. Restricting direct vehicular access to Schmidt Road and CTH N.
30. A drainage easement along Lots 15-17 outside of the proposed plat shall be obtained in order to complete the drainage improvements.
31. Streetlights at County N/Hoelzel Way and Schmidt Road/Touchdown Drive shall be installed.
32. A fee in lieu of parkland dedication and fee in lieu of trail construction shall be negotiated and made part of the Development Agreement.
33. The Appleton Post Office has concerns with the Victory Lane street name.
34. A note shall be added to the plat that no buildings, structures, landscaping, or grading activities shall occur within the drainage easement along Lots 15-35 & 58-66.
35. The plan should verify that the terms of the existing drainage and utility easements in the Sunrise Meadows II and Memory Meadows plats accommodate construction of the storm sewer connection north of proposed Lot 12.

36. Easements should be incorporated to address construction and drainage through the adjacent property to the east (Lot 2 of recent CSM).
37. The plan should indicate information on the wetlands shown, including who performed the delineation, when completed, width of protective areas, and when/if concurrence was received, if applicable.
38. Grading is proposed in the wetlands shown along the north property boundary and will require application for a permit or exemption.
39. A 100-year overflow is proposed between Lots 12 and 13. An overflow section detail is provided that is essentially a 1 ft. deep, 10 ft. wide bottom ditch. No preliminary calculations are provided for the ditch, and it is unclear what the proposed ditch grades are or if proposed flows will be contained in the easement. The easement likely should at least meet the 30 ft. minimum.
40. Preliminary calculations should also be submitted for the drainage easements behind Lots 15-24, 25-35, and 58-66 to verify that the proposed widths will contain the anticipated flows and that localized flooding along the north property line is addressed.
41. A 100-year storm high water elevation of 779.1' is shown north of proposed Lots 12 and 13. We recommend that the proposed garage floors and adjacent grades are a minimum 2 ft. above all proposed high water elevations, along the north boundary, detention areas, and drainage swales/overflows.
42. Several storm sewer manholes along Hoelzel Way and the easement between Lots 11 and 12 are recommended to be larger based on the proposed pipe sizes.
43. The storm sewer manhole detail does not reflect the tracer wire placement per Village standards. The detail also does not reflect that some of the storm sewer manholes require larger structures.
44. The storm manholes, catch basins and yard drains do not reflect a minimum 12 in. sump per Village standards.

Attachments:

- Preliminary Plat
- Sewer & Water Feasibility Plan
- Aerial Map

LEGEND

- Overhead Electric Lines
- Sanitary Sewer
- Storm Sewer
- Underground Gas Line
- Underground Telephone
- Wetlands
- Culvert
- Index Contour
- Intermediate Contour
- Sanitary MH / Tank / Base
- Clean Out / Curb Stop / Pull Box
- Storm Manhole
- Inlet
- Water MH / Well
- Hydrant
- Utility Valve
- Utility Pole
- Light Pole / Signal
- Telephone Pedestal
- Deciduous Tree
- Coniferous Tree
- Shrub / Hedge
- Benchmark
- 3/4" Rubber Found
- 3/4" Rubber Found
- 1" Iron Pipe Found
- Witness Monument
- Government Corner
- Recorded As
- Asphalt Pavement
- Concrete Pavement

LINE TABLE

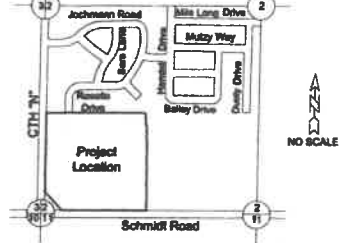
Line	Bearing	Length
L1	S 02°16'47" E	136.26'
L2	S 12°58'32" E	67.17'

Preliminary Plat of
Kimberly Heights

All of Lot 1 of Certified Survey Map No. _____ and being part of the SW 1/4 of the SW 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

LOCATION MAP

SW 1/4 SEC 2, T 20 N, R 18 E,
VILLAGE OF HARRISON,
CALUMET COUNTY, WI



Sanitary Structures

Structure #	Rim	Inv	Size	Material	Direction
MH 1	779.40	766.70	8"	PVC	S
		766.70	8"	PVC	N
		766.70	8"	PVC	N
MH 2	778.98	769.98	8"	PVC	N
		769.98	8"	PVC	S
MH 3	778.74	752.94	30"	PVC	N
		752.94	10"	PVC	S

Storm Structures

Structure #	Rim	Inv	Size	Material	Direction
INL A	785.29	781.49	12"	RCP	E
MH B	785.72	779.82	12"	RCP	E
		779.82	12"	RCP	W
		778.42	18"	RCP	S
		778.42	18"	RCP	N
INL C	785.38	779.48	12"	RCP	W
INL D	781.38	777.58	12"	RCP	E
MH E	781.71	776.91	12"	RCP	W
		776.91	12"	RCP	E
		776.71	18"	RCP	S
		776.71	18"	RCP	N
INL F	781.34	776.84	12"	RCP	W
INL G	779.49	775.99	12"	RCP	NW
		775.99	12"	RCP	NE
MH H	779.81	775.91	12"	RCP	SW
		775.91	12"	RCP	E
		775.11	18"	RCP	S
		775.11	18"	RCP	N
INL I	779.45	776.15	12"	RCP	W
INL J	778.36	775.06	12"	RCP	E
MH K	778.83	774.53	12"	RCP	W
		774.53	12"	RCP	E
		773.73	18"	RCP	S
		773.73	18"	RCP	N
INL L	778.47	774.97	12"	RCP	W
MH M	777.56	772.36	48"	RCP	S
		762.06	48"	RCP	N
INL N	778.10	774.80	12"	PVC	E
INL O	778.12	774.12	12"	PVC	W
		774.12	12"	PVC	N
		774.12	12"	PVC	E

BENCHMARKS (NAVD88)

- BM 0: Disk in Concrete (DE7729) N. RW of Schmitt Rd. Elev. 781.73
- BM 1: NW Spike in P. Pole #71-2855 E. RW of City Hwy "N" Elev. 785.24
- BM 2: Fire Hydrant, Tag Bolt NW Quad of City Hwy "W/Hoelzel Way rd. Elev. 782.57
- BM 3: Fire Hydrant, Tag Bolt East of Rosetta Dr. Elev. 780.85
- BM 4: "X" in Concrete Elec. Pedestal #607 East of Rosetta Dr. Elev. 778.98
- BM 6: "X" in Concrete Elec. Pedestal #730 West of Dusty Dr. Elev. 778.80

Davel Engineering, Inc. provides no guarantee to the accuracy of the data provided. User of said data assumes all risks associated with said use and releases Davel Engineering, Inc. from any and all liabilities and damages resulting from said use.

SUPPLEMENTARY DATA

- Total Area = 1,899,418 SF 45.2116 acres
- RAW Area = 395,357 SF 9.0781 acres
- Net Area = 1,504,061 SF 36.1335 acres
- Number of Lots = 90
- Average lot size = 16,000 SF
- Typical lot dimension = 96' x 170'
- Lineal feet of Proposed Street = 6,268 LF
- Existing zoning = AG - General Agriculture
- Proposed zoning = RS-1 - Single Family Residential (Suburban)
- Approving Authorities: Village of Harrison, Calumet County

- Setbacks Per Code: Front Yard: 25 feet, Side Yard: 7.5 feet, Rear Yard: 25 feet, Stream Setback: 50 feet

NOTES:

- All linear measurements have been made to the nearest one hundredth of a foot
- All angular measurements have been made to the nearest 20 seconds and computed to the nearest half second.
- Utility and Drainage Easements will be shown on Final Plat

SURVEYOR'S CERTIFICATE

I, James R. Sehnoff, hereby certify that this Preliminary Plat is a correct representation of all existing land divisions and features, and that I have complied with the preliminary plat requirements for the City of Harrison, Wisconsin.

James R. Sehnoff, P.L.S., No. S-2682 Date: **4 APR 2017**



Bearings are referenced to the S.A. of the SW 1/4 Section 2 T20N, R18E assumed to bear N89°16'59"E based on the Calumet County Coordinate System.

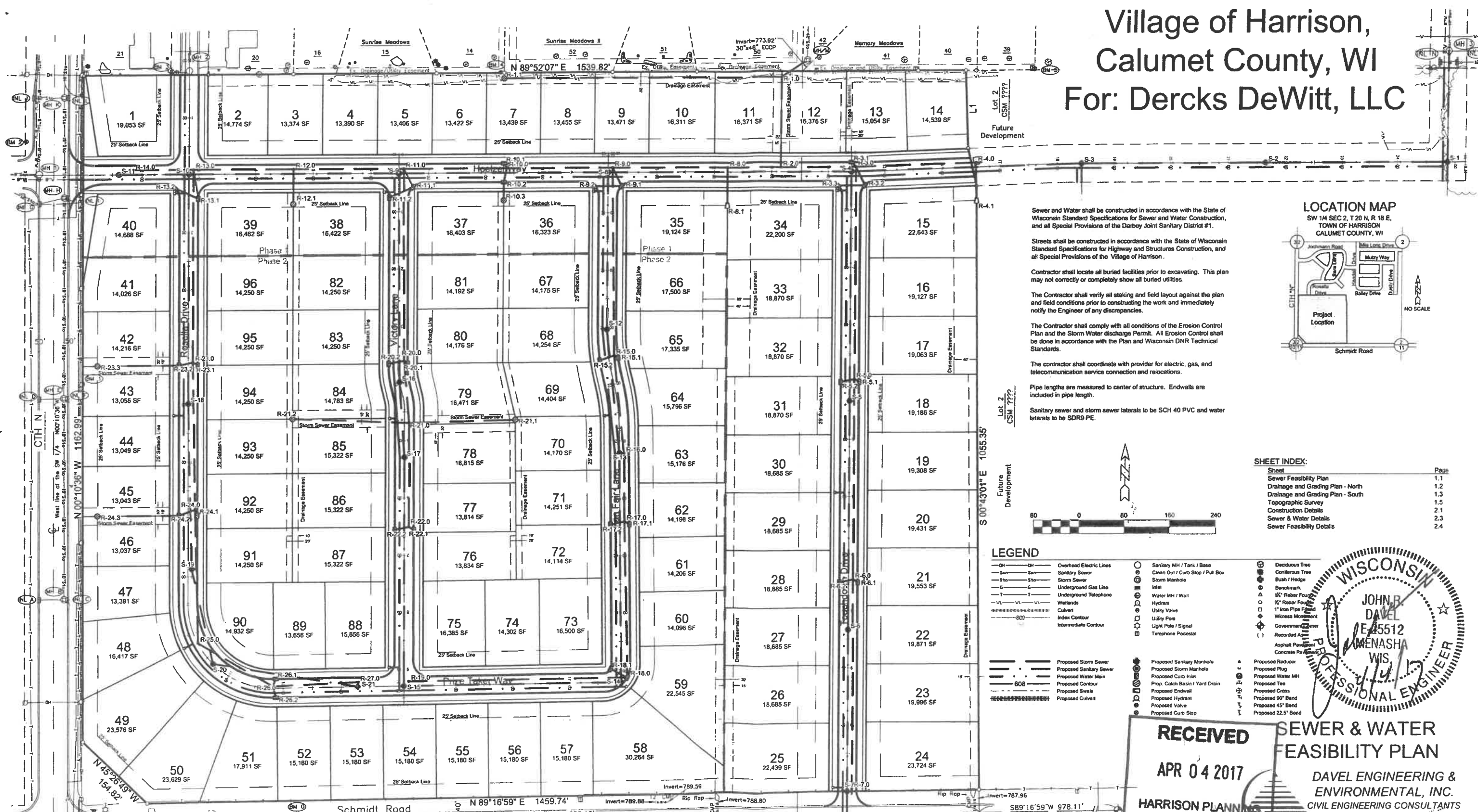
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DAVEL ENGINEERING & ENVIRONMENTAL, INC.
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1811 Racine Street, Menasha, WI 54952
Ph: 920-961-1856 Fax: 920-830-8595
www.davel.com

Kimberly Heights

Village of Harrison,
Calumet County, WI
For: Dercks DeWitt, LLC



Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Darby Joint Sanitary District #1.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Harrison.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

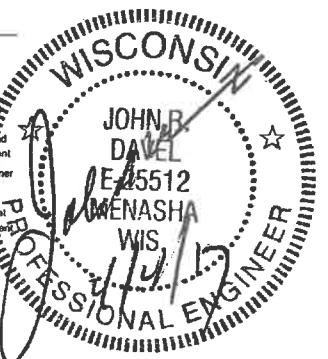
Sanitary sewer and storm sewer laterals to be SCH 40 PVC and water laterals to be SDR9 PE.



Sheet	Page
Sewer Feasibility Plan	1.1
Drainage and Grading Plan - North	1.2
Drainage and Grading Plan - South	1.3
Topographic Survey	1.5
Construction Details	2.1
Sewer & Water Details	2.3
Sewer Feasibility Details	2.4

LEGEND

- Overhead Electric Lines
- Sanitary Sewer
- Storm Sewer
- Underground Gas Line
- Underground Telephone
- Wetlands
- Culvert
- Index Contour
- Intermediate Contour
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Water Main
- Proposed Contour
- Proposed Swale
- Proposed Culvert
- Sanitary MH / Tank / Base
- Clean Out / Curb Step / Pull Box
- Storm Manhole
- Inlet
- Water MH / Well
- Hydrant
- Utility Valve
- Utility Pole
- Light Pole / Signal
- Telephone Pedestal
- Deciduous Tree
- Coniferous Tree
- Bush / Hedge
- Benchmark
- 1/2" Rebar Foot
- 3/4" Rebar Foot
- 1" Iron Pipe Foot
- Wireless Monument
- Government Corner
- Recorded As
- Asphalt Paving
- Concrete Paving
- Proposed Reducer
- Proposed Plug
- Proposed Water MH
- Proposed Tee
- Proposed Cross
- Proposed 90° Bend
- Proposed 45° Bend
- Proposed 22.5° Bend



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APR 04 2017

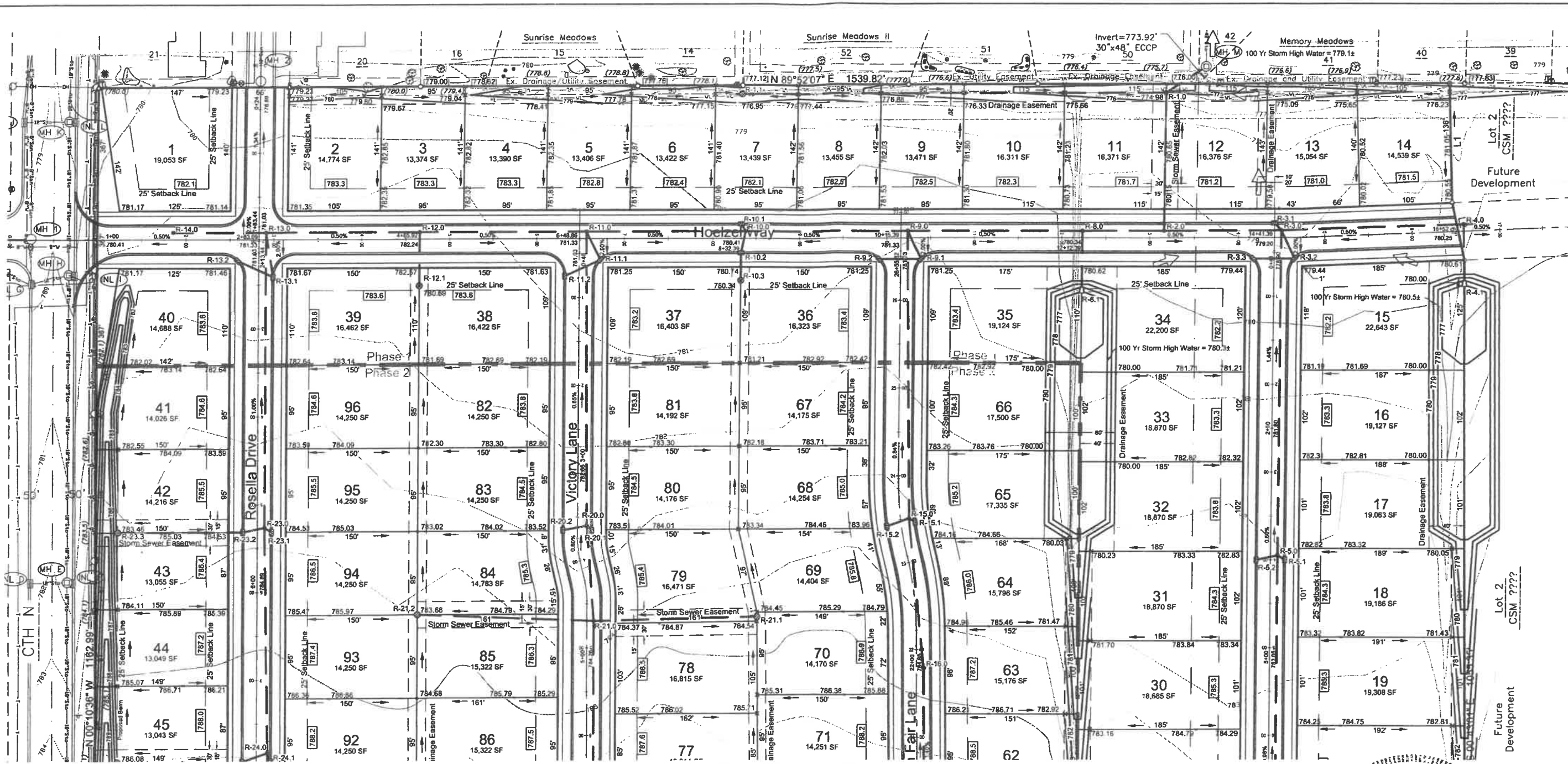
SEWER & WATER FEASIBILITY PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.

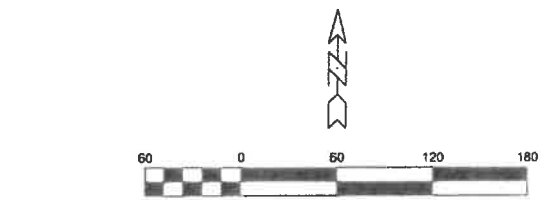
HARRISON PLANNING

CIVIL ENGINEERING CONSULTANTS

1811 Racine Street, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-830-9595
www.davel.pro



(See Sheet 1.3)



LEGEND

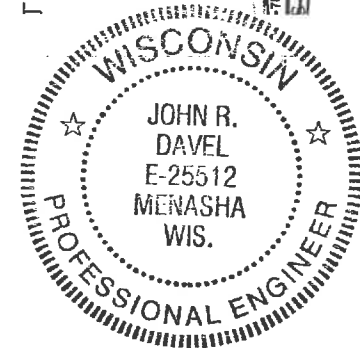
—○—○—	Overhead Electric Lines	○	Sanitary MH / Tank / Base	○	Deciduous Tree
—S—S—	Sanitary Sewer	○	Clean Out / Curb Stop / Pull Box	○	Coniferous Tree
—S—S—	Storm Sewer	○	Storm Manhole	○	Bush / Hedge
—G—G—	Underground Gas Line	○	Inlet	○	Benchmark
—T—T—	Underground Telephone	○	Water MH / Well	○	1/2" Rebar Found
—V—V—	Wetlands	○	Hydrant	○	3/4" Rebar Found
—C—C—	Culvert	○	Utility Valve	○	1" Iron Pipe Found
—D—D—	Index Contour	○	Utility Pole	○	Witness Monument
—E—E—	Intermediate Contour	○	Light Pole / Signal	○	Government Corner
—	Proposed Storm Sewer	○	Telephone Pedestal	○	Recorded As
—	Proposed Contour	○	Proposed Storm Manhole	○	Asphalt Pavement
—	Proposed Swale	○	Proposed Curb Inlet	○	Concrete Pavement
—	Proposed Culvert	○	Prop. Catch Basin / Yard Drain	○	
—	Adjacent Plat Grade	○	Proposed Rip Rap	○	
—	Prop. Lot Corner Elevation	○	Prop. Drainage Direction	○	
—	Proposed Spot Elevation	○	Prop. Garage Floor Elevation	○	
—	Existing Grade	○	100 Yr. Overland Flow Path	○	

BENCHMARKS (NAVD88)

BM 0	Disk In Concrete (DE7720)	N. R/W of Schmidt Rd.	Elev 791.73
BM 1	RR Spike in P. Pole #71-2855	E. R/W of Cty Hwy "N"	Elev 785.24
BM 2	Fire Hydrant, Tag Bolt	NW Quad of Cty Hwy "N" / Hoelzel Way Int.	Elev 782.37
BM 3	Fire Hydrant, Tag Bolt	End of Rosella Dr.	Elev 780.55
BM 4	"X" in Concrete Elec. Pedestal	±500' East of Rosella Dr.	Elev 779.18
BM 5	"X" in Concrete Elec. Pedestal	±730' West of Dusty Dr.	Elev 778.90

NOTES:

- Permanent Benchmark shall be set on all new fire hydrants within the subdivision.
- Regional storm water treatment is provided by the Vans Road Pond for this subdivision.
- 2.25 Acre-Feet of Storm Water storage is provided in the rear of lots 15-24, 25-35, and 58-59 to attenuate the increase in runoff from this subdivision so as not to make flooding more frequent or severe along the north property line.
- Two watersheds totaling 78.6 acres exist south of Manitowoc Road that flow north through this subdivision.
- The area of this subdivision is 45 acres



DRAINAGE PLAN CERTIFICATION:
 I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of the Calumet County Subdivision Ordinances and the requirements of the Village of Harrison.
 John R. Davel, P.E. E-25512 Date 4/4/17

PRELIMINARY 1/01/2008

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 CIVIL ENGINEERING CONSULTANTS
 1611 Racine Street, Menasha, WI 54952
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 www.davelinc.com

PRELIMINARY DRAINAGE & GRADING PLAN - NORTH

Kimberly Heights
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

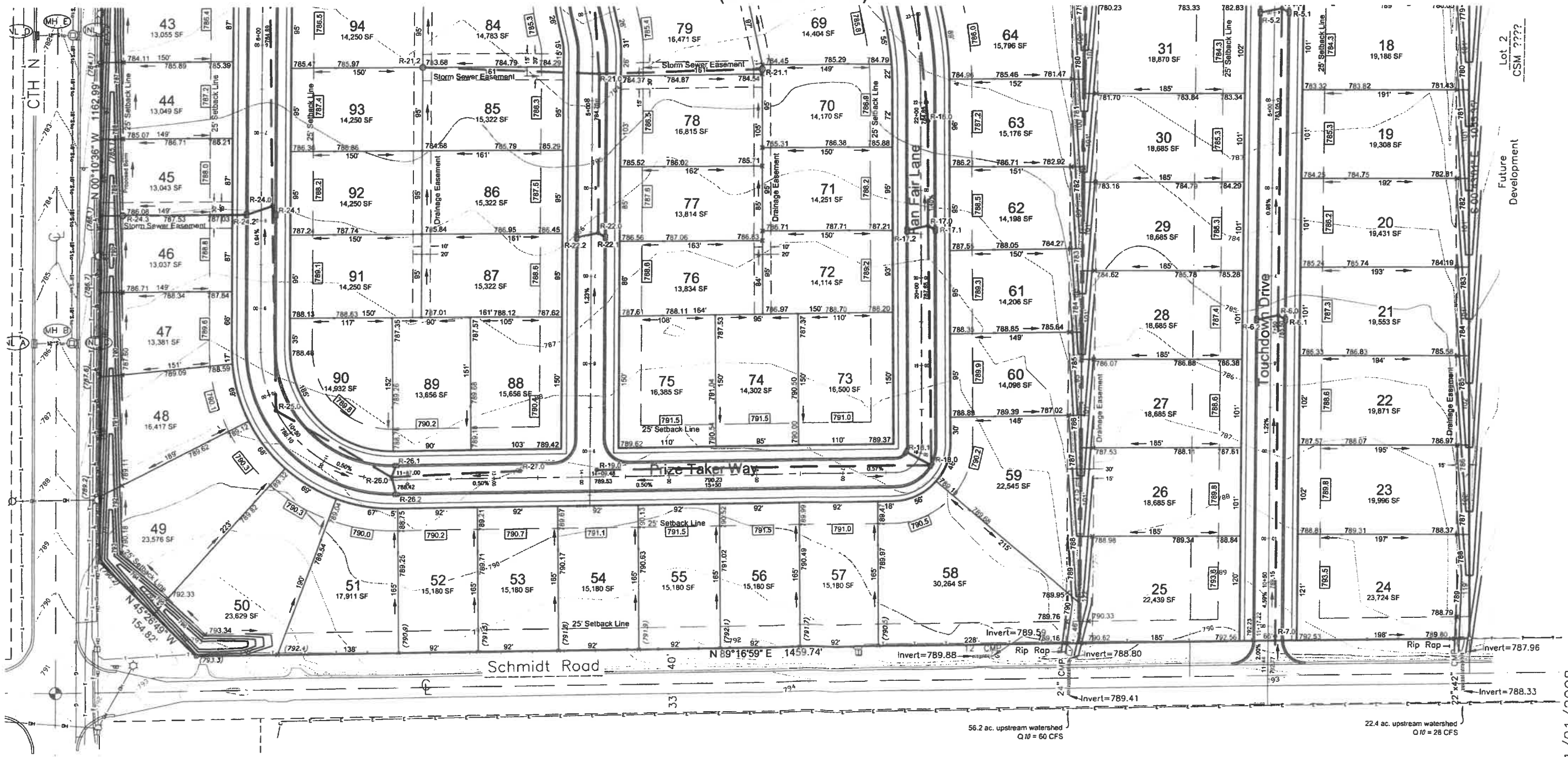
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Date: 04/4/2017
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 Author: ???
 Last Saved by: katie
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- LEGEND**
- OH— Overhead Electric Lines
 - San— Sanitary Sewer
 - Sto— Storm Sewer
 - G— Underground Gas Line
 - T— Underground Telephone
 - VL— Wetlands
 - C— Culvert
 - 600— Index Contour
 - 15— Intermediate Contour
 - Proposed Storm Sewer
 - 608 Proposed Contour
 - Proposed Swale
 - Proposed Culvert
 - Adjacent Plat Grade
 - 608.73 Prop. Lot Corner Elevation
 - 608.73 Proposed Spot Elev.
 - x (608.7) Existing Grade
 - Sanitary MH / Tank / Base
 - Clean Out / Curb Stop / Pull Box
 - Storm Manhole
 - Inlet
 - Water MH / Wall
 - Hydrant
 - Utility Valve
 - Utility Pole
 - Light Pole / Signal
 - Telephone Pedestal
 - Proposed Storm Manhole
 - Proposed Curb Inlet
 - Prop. Catch Basin / Yard Drain
 - Proposed Endwall
 - Proposed Rip Rap
 - Prop. Drainage Direction
 - Prop. Garage Floor Elev.
 - Existing Grade
 - 100 Yr Overtand Flow Path
 - Deciduous Tree
 - Coniferous Tree
 - Bush / Hedge
 - Benchmark
 - 1/4" Rebar Found
 - 3/4" Rebar Found
 - 1" Iron Pipe Found
 - Witness Monument
 - Government Corner
 - Recorded As
 - Asphalt Pavement
 - Concrete Pavement



(See Sheet 1.2)



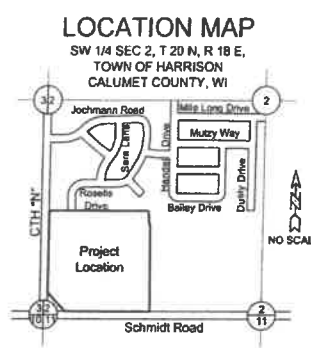
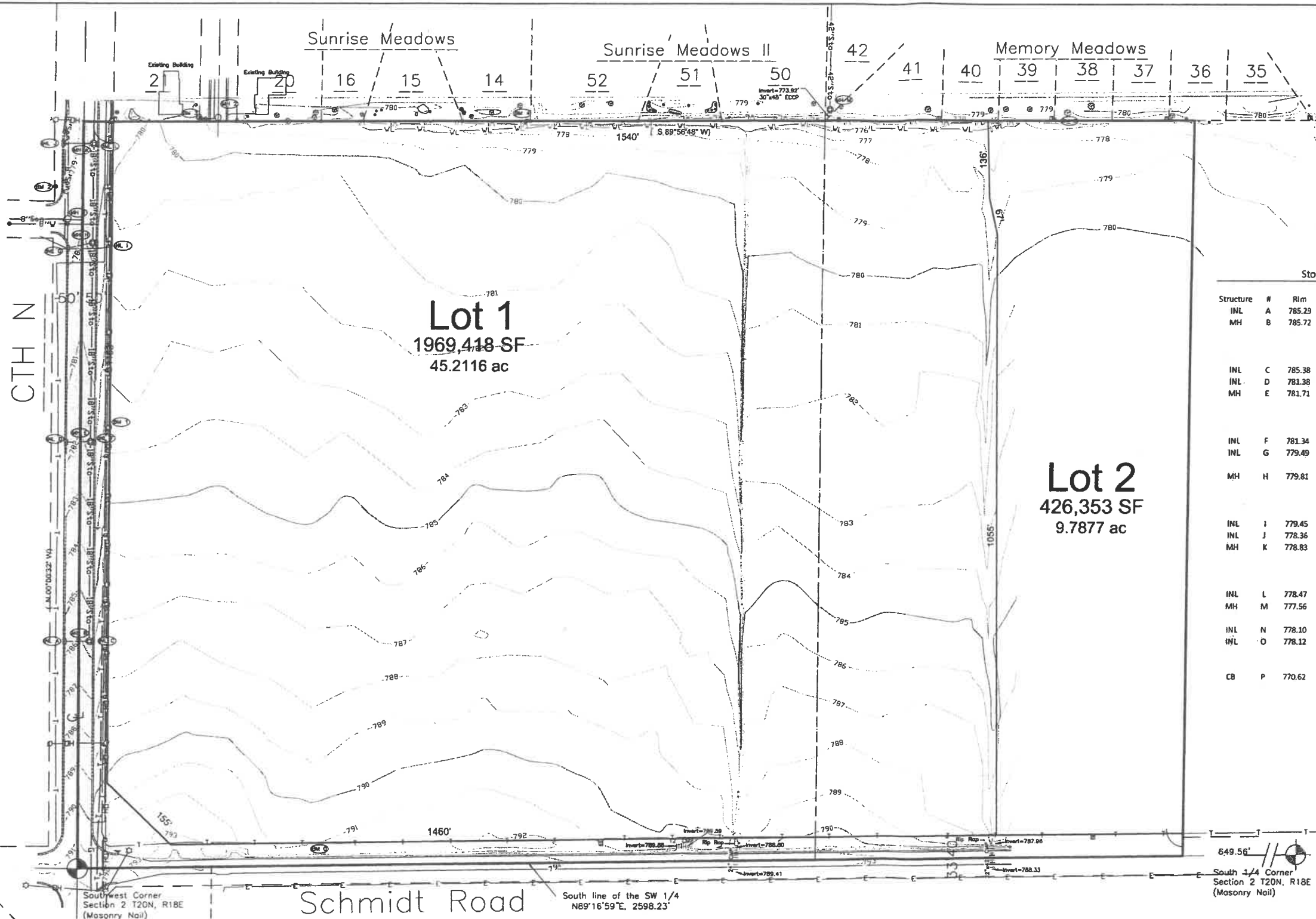
PRELIMINARY 1/01/2008

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 CIVIL ENGINEERING CONSULTANTS
 1511 Racine Street, Menasha, WI 54952
 Ph: 920-981-1888 Fax: 920-930-9595
 www.davelinc.com

PRELIMINARY DRAINAGE & GRADING PLAN - SOUTH

Kimberly Heights
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

Date: 04/4/2017
 Filename: 4773eng.dwg
 Author: ???
 Last Saved by: katie
 Page: 1



Storm Structures						
Structure #	Rim	Inv	Size	Material	Direction	
INL A	785.29	781.49	12"	RCP	E	
MH B	785.72	779.82	12"	RCP	E	
		779.82	12"	RCP	W	
		778.42	18"	RCP	S	
		778.42	18"	RCP	N	
INL C	785.38	779.48	12"	RCP	W	
INL D	781.38	777.58	12"	RCP	E	
MH E	781.71	776.91	12"	RCP	W	
		776.91	12"	RCP	E	
		776.71	18"	RCP	S	
		776.71	18"	RCP	N	
INL F	781.34	776.84	12"	RCP	W	
INL G	779.49	775.99	12"	RCP	NW	
MH H	779.81	775.99	12"	RCP	NE	
		775.91	12"	RCP	SW	
		775.91	12"	RCP	E	
		775.11	18"	RCP	S	
		775.11	18"	RCP	N	
INL I	779.45	776.15	12"	RCP	W	
INL J	778.36	775.06	12"	RCP	E	
MH K	778.83	774.53	12"	RCP	W	
		774.53	12"	RCP	E	
		773.73	18"	RCP	S	
		773.73	18"	RCP	N	
INL L	778.47	774.97	12"	RCP	W	
MH M	777.56	772.36	48"	RCP	S	
		762.06	42"	RCP	N	
INL N	778.10	774.80	12"	PVC	E	
INL O	778.12	774.12	12"	PVC	W	
		774.12	12"	PVC	N	
		774.12	12"	PVC	E	
CB P	770.62	760.12	42"	PVC	N	
		760.12	42"	PVC	S	

BENCHMARKS (NAVD88)						
BM 0	Disk In Concrete (DE7729)	N. R/W of Schmidt Rd.	Elev	791.73		
BM 1	RR Spike In P. Pole #71-2855	E. R/W OF Cty Hwy "N"	Elev	785.24		
BM 2	Fire Hydrant Tag Bolt	NW Quad of Cty Hwy "N"/Hoelzel Way Int.	Elev	782.37		
BM 3	Fire Hydrant Tag Bolt	End of Rosalia Dr.	Elev	780.65		
BM 4	"X" in Concrete Elec. Pedestal	±500' East of Rosalia Dr.	Elev	779.16		
BM 5	"X" in Concrete Elec. Pedestal	±730' West of Dusky Dr.	Elev	778.90		

Sanitary Structures						
Structure #	Rim	Inv	Size	Material	Direction	
MH 1	779.40	766.70	8"	PVC	S	
		766.70	8"	PVC	W	
		766.70	8"	PVC	N	
MH 2	778.98	769.98	8"	PVC	N	
		769.98	8"	PVC	S	
MH 3	778.74	752.94	10"	PVC	N	
		752.94	10"	PVC	S	

LEGEND			
—EH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base
—San—	Sanitary Sewer	○	Catch Basin / Yard Drain
—S to	Storm Sewer	○	Water MH / Well
—E—	Underground Electric	○	Hydrant
—G—	Underground Gas Line	○	Utility Valve
—T—	Underground Telephone	○	Utility Meter
—W—	Water Main	○	Utility Pole
—WL—	Wetlands	○	Light Pole / Signal
—TL—	Traseline	○	Guy Wire
—C—	Culvert	○	Electric Pedestal
—IC—	Index Contour	○	Telephone Pedestal
—IM—	Intermediate Contour	○	Gas Regulator
		○	Sign
		○	Deciduous Tree
		○	Coniferous Tree
		○	Bush / Hedge
		○	Marsh
		○	Soil Boring
		○	Benchmark
		○	Asphalt Pavement
		○	Concrete Pavement
		○	Gravel
		+	Ex Spot Elevation



NOTES

This topographic survey was performed during winter conditions. Utility and ground features shown on this map are indicated based on what was observed at the time. Utility markings and existing features may have been covered by snow and/or ice and may not be shown on this map.

Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

This is not a boundary survey.

SURVEYOR'S CERTIFICATE

I, James R. Sehoff, hereby certify that I have surveyed this property and this topographical map is a true representation thereof and shows the size and location of the property and the location of all apparent roadways. I hereby certify that said topographical survey and map were made in accordance with acceptable professional standards and that the information contained thereon is, to the best of my knowledge, information and belief, a true and accurate representation thereof.

James R. Sehoff, Wisconsin Professional Land Surveyor No. S-2692 Date

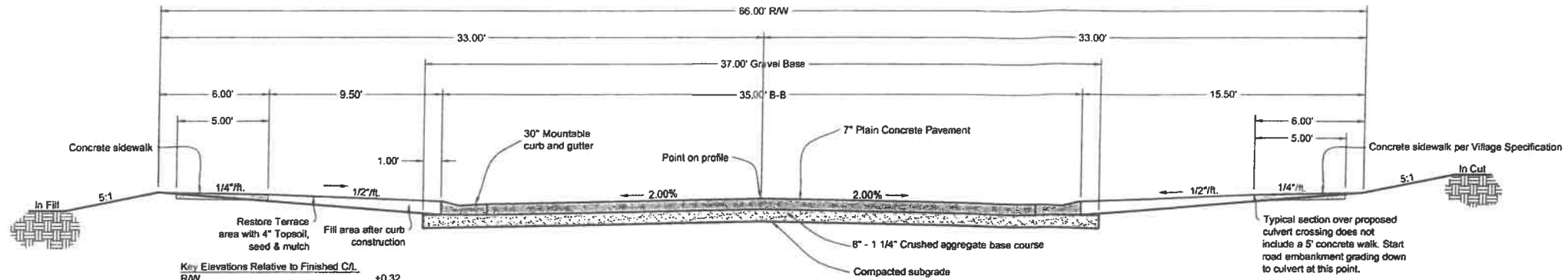
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 1611 Racine Street, Menasha, WI 54952
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 www.daveinc.com

TOPOGRAPHIC SURVEY

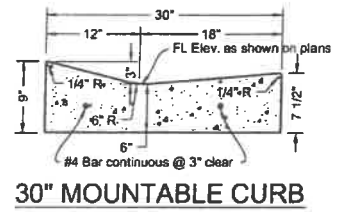
Kimberly Heights
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

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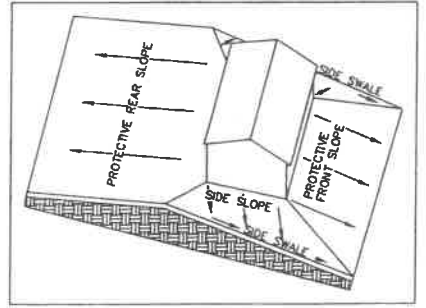
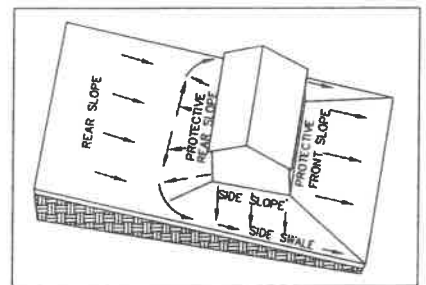


Key Elevations Relative to Finished C/L	
RAW	+0.32
Gutter Flowline	-0.43
Binder course	-0.15
Gravel grade @ C/L	-0.29
Subgrade @ C/L	-1.29

TYPICAL STREET SECTION
66' Right of Way (Emily Lane, Parker Way, Mase Court)

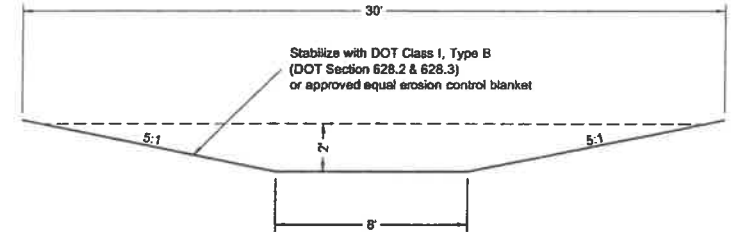


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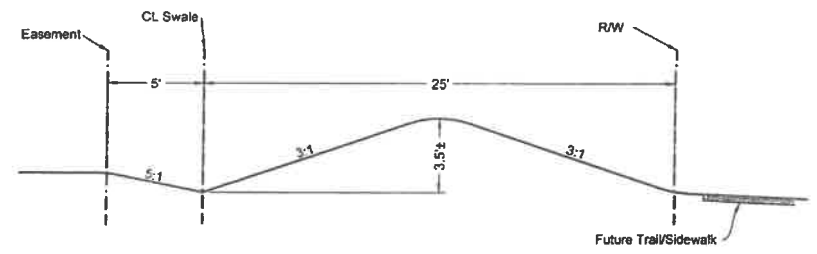


HOUSE ELEVATIONS:

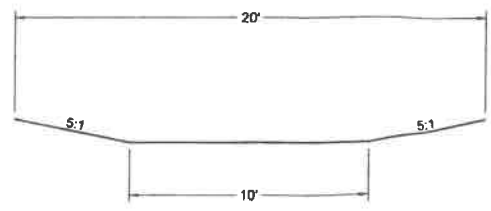
The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.



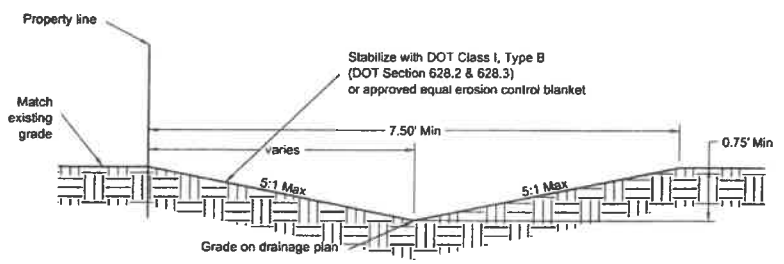
CHANNEL SECTION
Lots 25-35, 58-66, 15-24



LANDSCAPE BERM SECTION
Lots 40-50



100 YEAR OVERFLOW SECTION
Lots 12-13



TYPICAL DRAINAGE SWALE SECTION
Lots 2-14

NOTE:
Mat should extend to top of bank or 18\"/>

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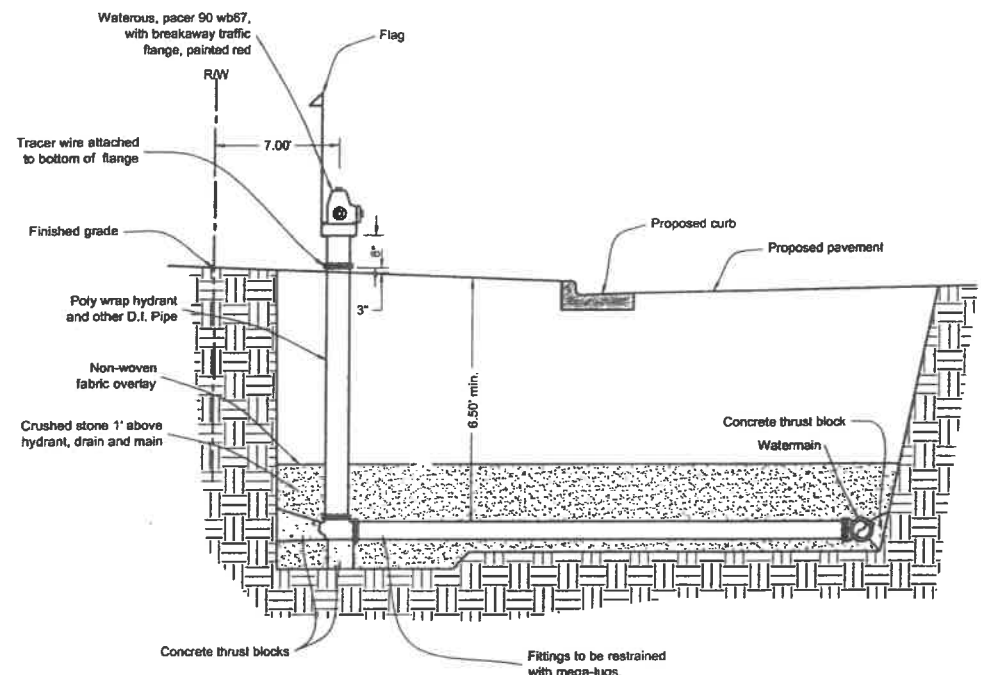
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1811 Buchas Street, Verona, WI 54982
Ph: 920-897-1888 Fax: 920-897-9595
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CONSTRUCTION DETAILS

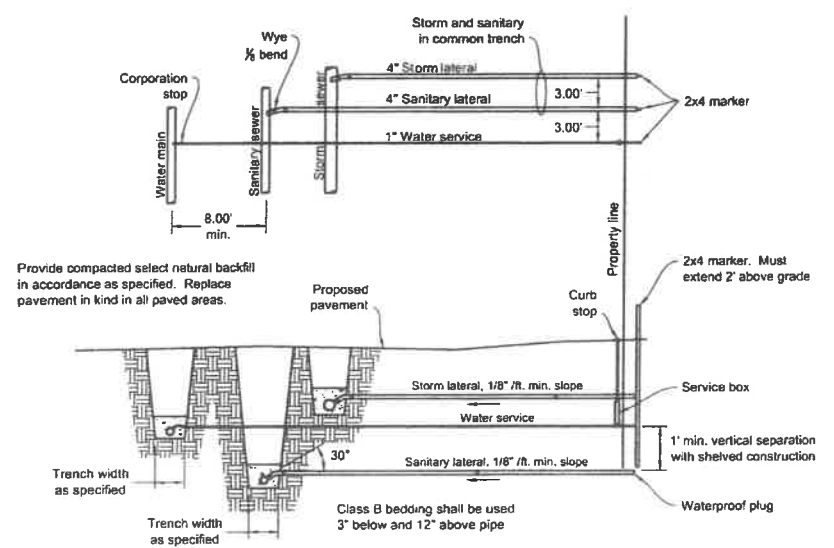
Kimberly Heights
Village of Harrison, Calumet County, WI
For: Dercks DeWitt, LLC

PRELIMINARY 1/01/2008

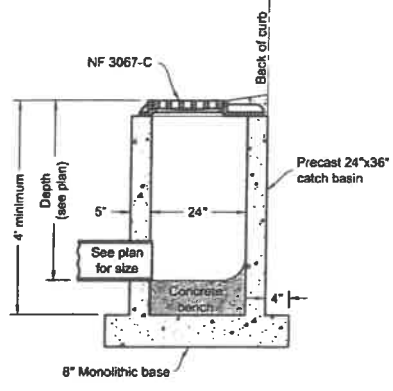
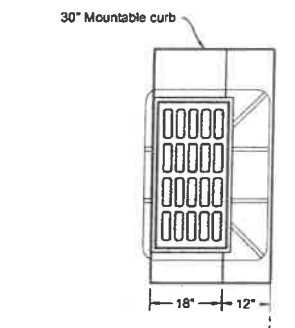
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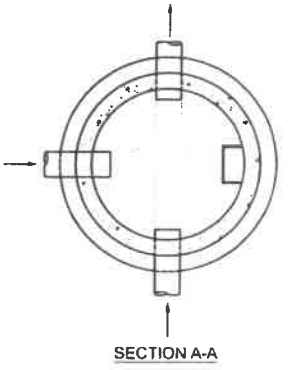
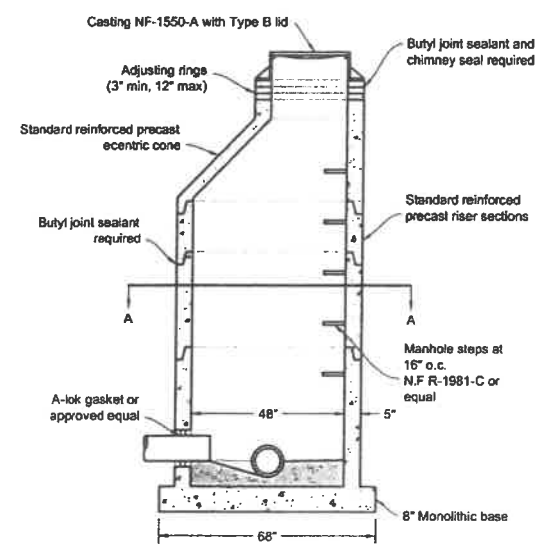
HYDRANT DETAIL



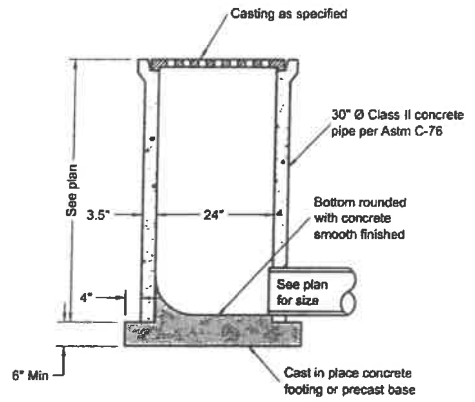
LATERAL DETAIL



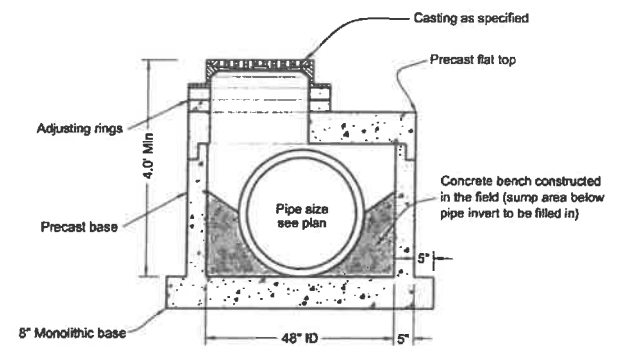
CURB INLET DETAIL



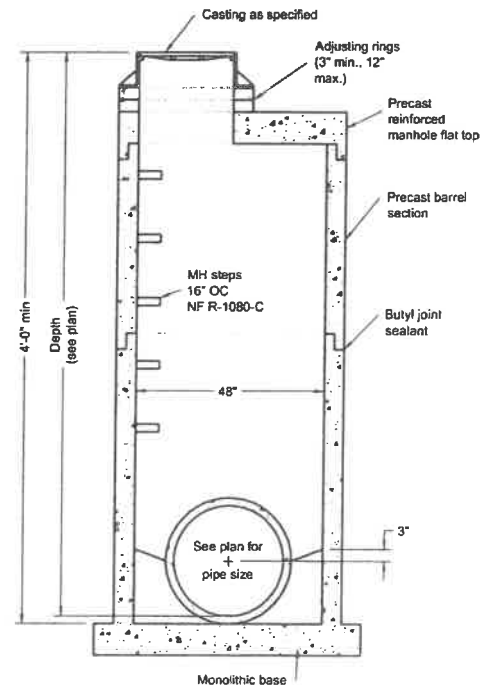
SANITARY MANHOLE



YARD DRAIN DETAIL



SHALLOW STORM MANHOLE



STANDARD STORM MANHOLE

STORM SEWER PIPE SUMMARY

Reach	US Inv	DS Inv	Length	Slope	Size (in)	Node Drop	Phase	2-Year Hydrograph	Flow (cfs)	Capacity (cfs)	Velocity (ft/s)
R-1.0	763.10	762.36	54	0.0100	36	0.00	1	51	69.37	72.26	10.2
R-1.1	770.27	765.43	484	0.0100	8	0.00	1	29	1.15	1.31	3.6
R-2.0	764.67	763.10	157	0.0100	36	0.00	1	50	68.10	72.26	10.2
R-3.0	765.74	765.07	134	0.0050	30	0.00	1	49	21.37	31.42	6.4
R-3.1	772.95	772.84	11	0.0100	12	0.00	1	6	2.97	3.88	4.9
R-3.2	772.94	772.58	36	0.0100	12	0.00	1	6	2.97	3.86	4.9
R-3.3	773.42	772.94	48	0.0100	12	0.00	1	6	2.97	3.88	4.9
R-4.0	767.18	766.14	209	0.0050	24	0.00	1	33	9.88	17.33	5.5
R-4.1	776.72	775.30	71	0.0200	18	0.00	1	33	9.88	18.08	9.1
R-4.2	767.53	767.78	10	0.0050	15	0.00	1	6	4.45	4.95	4.0
R-5.0	770.24	766.54	370	0.0100	18	0.00	1	36	9.88	11.38	6.4
R-5.1	776.31	776.26	10	0.0050	12	0.00	1	7	1.45	2.73	3.5
R-5.2	776.31	776.18	25	0.0050	12	0.00	1	35	1.45	2.73	3.5
R-5.3	774.29	770.44	350	0.0110	15	0.00	1	35	7.09	7.34	6.0
R-6.1	779.26	779.21	10	0.0050	12	0.00	1	8	1.51	2.73	3.5
R-6.2	779.26	779.13	25	0.0050	12	0.00	1	8	1.51	2.73	3.5
R-7.0	777.96	774.29	367	0.0100	15	0.00	1	34	4.50	7.00	5.7
R-7.1	778.01	777.96	10	0.0050	15	0.00	1	34	4.50	4.95	4.0
R-8.0	765.13	764.67	92	0.0050	36	0.00	1	48	44.73	51.09	7.2
R-8.1	777.30	775.89	71	0.0200	30	0.00	1	32	24.96	62.84	12.8
R-9.0	768.13	765.13	200	0.0050	36	0.00	1	47	41.12	51.09	7.2
R-9.1	774.76	774.58	36	0.0050	12	0.00	1	11	1.23	2.73	3.5
R-9.2	775.00	774.76	48	0.0050	12	0.00	1	11	1.23	2.73	3.5
R-10.0	767.65	766.53	188	0.0090	30	0.00	1	46	31.66	34.42	7.0
R-10.1	774.17	774.12	10	0.0050	12	0.00	1	15	1.64	2.73	3.5
R-10.2	774.17	774.04	25	0.0050	12	0.00	1	15	1.64	2.73	3.5
R-10.3	775.76	774.50	32	0.0400	8	0.00	1	27	1.77	2.92	7.5
R-11.0	768.55	767.85	181	0.0050	30	0.00	1	45	26.89	31.42	6.4
R-11.1	774.76	774.58	36	0.0050	12	0.00	1	16	1.46	2.73	3.5
R-11.2	774.98	774.76	45	0.0050	12	0.00	1	16	1.46	2.73	3.5
R-12.0	769.90	768.95	191	0.0050	24	0.00	1	44	14.04	17.33	5.5
R-12.1	775.87	773.43	61	0.0400	8	0.00	1	18	2.18	2.62	7.5
R-12.2	770.78	769.90	175	0.0050	24	0.00	1	41	14.59	17.33	5.5
R-13.1	775.06	774.80	51	0.0050	12	0.00	1	22	1.62	2.73	3.5
R-13.2	775.28	775.06	45	0.0050	12	0.00	1	22	1.62	2.73	3.5
R-14.0	773.17	772.11	105	0.0100	8	0.00	1	n/a	0.00	1.31	3.8
R-15.0	771.45	767.53	327	0.0120	15	0.00	2	38	7.32	7.67	6.2
R-15.1	777.39	777.35	8	0.0050	12	0.00	2	12	1.22	2.73	3.5
R-15.2	777.39	777.25	27	0.0050	12	0.00	2	12	1.22	2.73	3.5
R-15.3	774.75	774.66	172	0.0180	12	0.00	2	37	4.88	5.18	6.8
R-16.0	778.86	774.75	119	0.0180	12	0.00	2	37	4.88	4.88	6.2
R-17.1	780.40	780.35	10	0.0050	12	0.00	2	13	1.04	2.73	3.5
R-17.2	780.40	780.28	25	0.0050	12	0.00	2	13	1.04	2.73	3.5
R-18.0	782.10	780.45	273	0.0080	12	0.00	2	14	2.80	2.99	3.8
R-18.1	782.26	782.10	33	0.0050	12	0.00	2	14	1.40	2.73	3.5
R-18.0	783.90	782.36	385	0.0040	8	0.00	2	n/a	0.00	0.83	2.4
R-20.0	774.24	769.55	335	0.0140	15	0.00	2	43	8.05	8.28	6.7
R-20.1	778.94	776.90	8	0.0050	12	0.00	2	17	1.22	2.73	3.5
R-20.2	776.93	776.90	27	0.0050	12	0.00	2	17	1.22	2.73	3.5
R-21.0	776.88	774.49	109	0.0220	12	0.00	2	42	5.70	5.72	7.3
R-21.1	779.84	777.05	186	0.0150	10	0.00	2	28	1.96	2.81	5.3
R-21.2	779.04	777.02	202	0.0100	10	0.00	2	20	1.90	2.87	4.4
R-22.0	778.70	776.88	182	0.0100	12	0.00	2	18	2.18	3.86	4.9
R-22.1	779.94	778.89	10	0.0050	12	0.00	2	18	1.08	2.73	3.5
R-22.2	779.93	779.81	25	0.0050	12	0.00	2	18	1.09	2.73	3.5
R-23.0	774.54	771.18	336	0.0100	18	0.00	2	40	11.34	11.38	6.4
R-23.1	777.96	777.91	10	0.0050	12	0.00	2	23	1.16	2.73	3.5
R-23.2	777.95	777.83	25	0.0050	12	0.00	2	23	1.16	2.73	3.5
R-23.3	778.66	777.95	141	0.0050	12	0.00	2	25	0.67	2.73	3.5
R-24.0	778.77	774.74	268	0.0150	15	0.00	2	39	8.42	8.57	7.0
R-24.1	780.57	780.52	11	0.0050	12	0.00	2	24	1.03	2.73	3.5
R-24.2	780.57	780.42	30	0.0050	12	0.00	2	24	1.03	2.73	3.5
R-24.3	781.27	780.57	141	0.0050	12	0.00	2	26	0.96	2.73	3.5
R-25.0	780.32	778.77	222	0.0070	15	0.00	2	21	5.62	5.66	4.8
R-25.1	781.39	780.32	153	0.0070	15	0.00	2	21	5.62	5.86	4.8
R-26.1	782.16	782.09	14	0.0060	12	0.00	2	21	2.81	2.99	3.8
R-26.2	782.17	782.05	20	0.0060	12	0.00	2	21	2.81	2.99	3.8
R-27.0	782.80	781.86	148	0.0050	8	0.00	2	n/a	0.00	0.93	2.7

STORM SEWER STRUCTURE SUMMARY

Structure	Phase	Street	Station	Offset	Type	Size	Cover	Final Rim	Plan Rim	Final Invert	Final Grade	Plan Depth
R-1.0	1	Hoetzel			MH (60)	80" ID	R-4349-D	774.90	774.90	763.10	11.80	11.80
R-1.1	1	Hoetzel			Yard Drain	24" ID	R-4340-B	778.95	776.95	770.27	6.68	6.68
R-2.0	1	Hoetzel			MH (60)	80" ID	R-1550-B	779.55	779.55	764.67	14.88	14.88
R-3.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	779.07	779.07	765.74	13.33	13.33
R-3.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	778.78	778.78	772.95	5.83	5.83
R-3.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	778.76	778.76	772.94	5.82	5.82
R-3.3	1	Hoetzel			Inlet	3x2" ID	R-3067-C	778.77	778.77	773.42	5.35	5.35
R-4.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	780.06	780.06	767.18	12.88	12.88
R-4.1	1	Hoetzel			Endwall					776.72		
R-5.0	1	Touchdown			MH (48)	48" ID	R-1550-B	782.37	782.37	770.24	12.13	12.13
R-5.1	1	Touchdown			Inlet	3x2" ID	R-3067-C	782.13	782.13	776.31	5.82	5.82
R-5.2	1	Touchdown			Inlet	3x2" ID	R-3067-C	782.13	782.13	776.31	5.82	5.82
R-5.0	1	Touchdown			MH (48)	48" ID	R-1550-B	785.29	785.29	774.29	11.00	11.00
R-6.1	1	Touchdown			Inlet	3x2" ID	R-3067-C	785.08	785.08	779.26	5.82	5.82
R-6.2	1	Touchdown			Inlet	3x2" ID	R-3067-C	785.08	785.08	779.26	5.82	5.82
R-7.0	1	Touchdown			MH (48)	48" ID	R-1550-B	791.82	791.82	777.96	13.86	13.86
R-8.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	780.13	780.13	765.13	15.00	15.00
R-8.1	1	Hoetzel			Endwall					0.00	777.30	
R-9.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	781.13	781.13	768.13	15.00	15.00
R-9.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.58	780.58	774.76	5.82	5.82
R-9.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.58	780.58	775.00	5.58	5.58
R-10.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	780.28	780.28	767.65	12.63	12.63
R-10.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	779.99	779.99	774.17	5.82	5.82
R-10.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	779.99	779.99	774.16	5.83	5.83
R-10.3	1	Hoetzel			Yard Drain	24" ID	R-4340-B	780.84	780.84	775.75	5.08	5.08
R-11.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	781.13	781.13	768.55	12.58	12.58
R-11.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.58	780.58	774.76	5.82	5.82
R-11.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.78	780.78	774.98	5.81	5.81
R-12.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	782.08	782.08	769.90	12.18	12.18
R-12.1	1	Hoetzel			Yard Drain	24" ID	R-4340-B	780.69	780.69	775.87	4.62	4.62
R-13.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	781.19	781.19	770.78	10.41	10.41
R-13.1	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.88	780.88	775.06	5.82	5.82
R-13.2	1	Hoetzel			Inlet	3x2" ID	R-3067-C	780.79	780.79	775.28	5.51	5.51
R-14.0	1	Hoetzel			MH (48)	48" ID	R-1550-B	780.86	780.86	773.17	7.51	7.51
R-15.0	2	Fan Fair			MH (48)	48" ID	R-1550-B	783.39	783.39	771.45	11.93	11.93
R-15.1	2	Fan Fair			Inlet	3x2" ID	R-3067-C	783.21	783.21	777.39	5.82	5.82
R-15.2	2	Fan Fair			Inlet	3x2" ID	R-3067-C	783.21	783.21	777.39	5.82	5.82
R-16.0	2	Fan Fair			MH (48)	48" ID	R-1550-B	784.90	784.90	774.75	10.24	10.24
R-17.0	2	Fan Fair			MH (48)	48" ID	R-1550-B	786.65	786.65	776.68	9.99	9.99
R-17.1	2	Fan Fair										



VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:
Mark J. Mommaerts, AICP, Planner

Date:
May 30, 2017

Title:
Agreement to Place Fence in Drainage Easement – Robert & Laurie Lindberg – W6437
Cherrybark Circle

Issue:
Should the Village Board approve the placement of a fence in a drainage easement?

Background and Additional Information:

The property owner at W6437 Cherrybark Circle is requesting permission to place fence within a drainage easement along the rear (south side) of the property. The property is Lot 12 of the Oakwood Estates subdivision. There is a 30-foot storm sewer, utility & drainage easement along the south side of the property. This easement captures runoff from the subdivision and conveys it into the storm sewer system.

There is an existing fence on the property. Initially, a fence permit was issued to install 6-foot, solid fence along the sides of the property outside of the easement areas, as seen in the aerial image. Later, a fence permit was issued to enclose the south side, again the fence was kept out of the easement area. The property owner wishes to move the existing 6-foot high, solid fence on the south side easement line to a line approximately 10-feet into the easement. There is currently a row of shrubs within the easement and the property owner wishes to move the fence to the south side of the shrubs so that the shrubs are within the fenced area.

The zoning ordinance requires approval from the easement holder prior to issuance of a zoning permit for the fence. In this case, WE Energies will have to grant approval for the utility easement and the Village Board must decide if a fence is allowed in the easement as it is also a storm sewer and drainage easement.

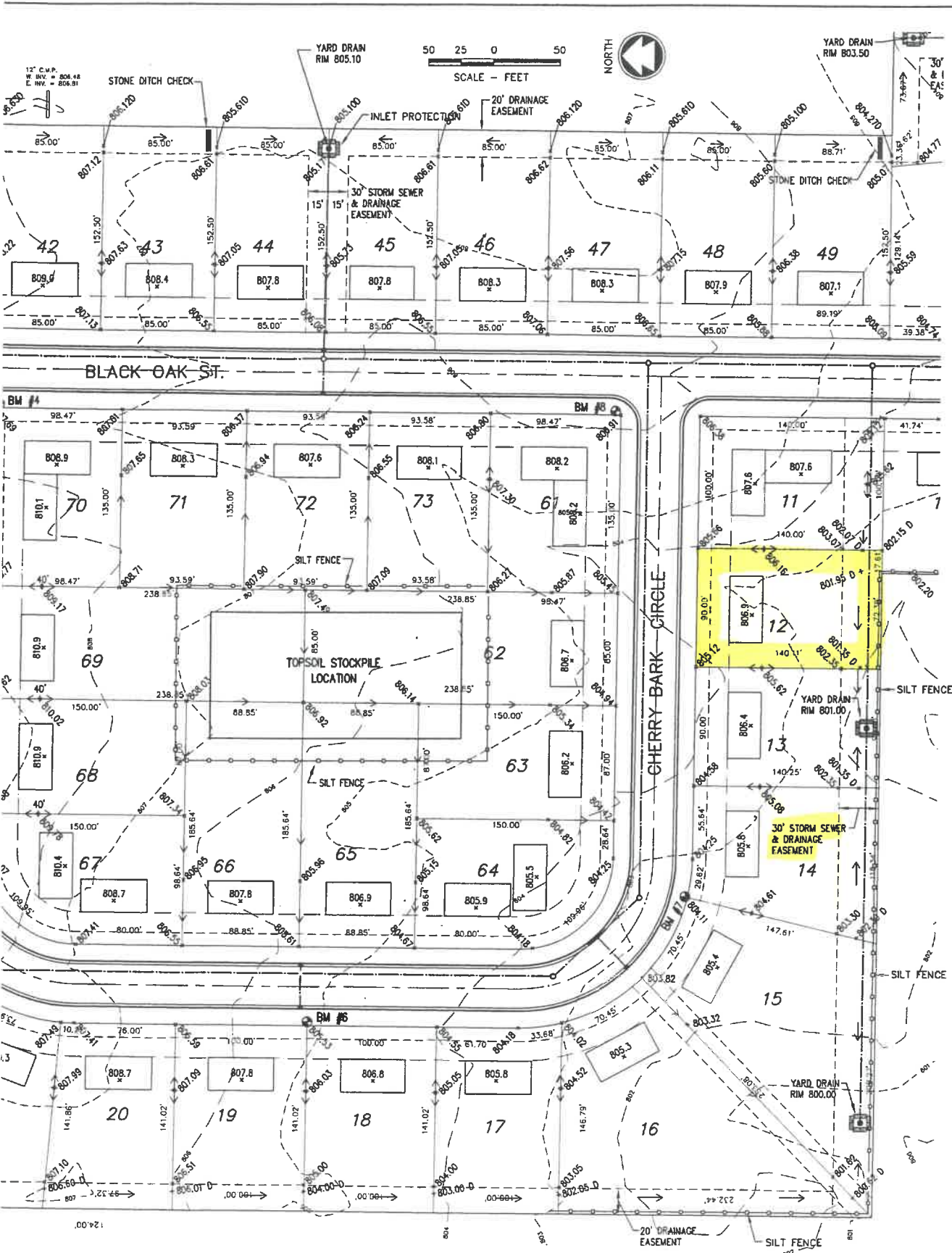
Recommended Action:

Staff recommends the Village Board deny the request to place a fence in the easement as this is a major drainage swale that conveys runoff from the subdivision.

- If a fence is approved within the easement, staff recommends that the standard Permission to Occupy Drainage Easement Agreement be signed and recorded with the Calumet County Register of Deeds prior to a fence permit being issued.

Attachments:

- Subdivision Drainage Plan
- Aerial Image
- Photos



REVISION

DATE

NO.

McMAHON ASSOCIATES

ENGINEERS ARCHITECTS PLANNERS PROJECT MANAGERS

1400 S. WOODROW DRIVE, WISCONSIN, WI 53088

TEL: (262) 751-4200 FAX: (262) 751-4284

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DESIGNED	LR
DRAWN	KRH
CHECKED	ORB

**STREET AND UTILITY CONSTRUCTION
OAKWOOD ESTATES - TOWN OF HARRISON
DRAINAGE AND EROSION CONTROL PLAN**

SCALE	1" = 50'
DATE	MAY, 2005
PROJECT NO.	G0886-930147

SHEET NO.	D1
FILE NO.	CAD

BM	DESCRIPTION	ELEVATION	LOCATION
8	HYD. TAG BOLT	808.92	BLACK OAK ST & CHERRY BARK CIRCLE-SOUTH (LOT 61)
9	HYD. TAG BOLT	804.32	BLACK OAK ST & DOGWOOD LN (LOT 5)
10	HYD. TAG BOLT	805.06	DOGWOOD LN (LOT 53)
11	HYD. TAG BOLT	802.23	DOGWOOD LN (LOT 7)
12	HYD. TAG BOLT	799.96	BLACK OAK ST (LOT 1/2)
13	HYD. TAG BOLT	799.64	BLACK OAK ST & WOODLAND RD

5/24/17

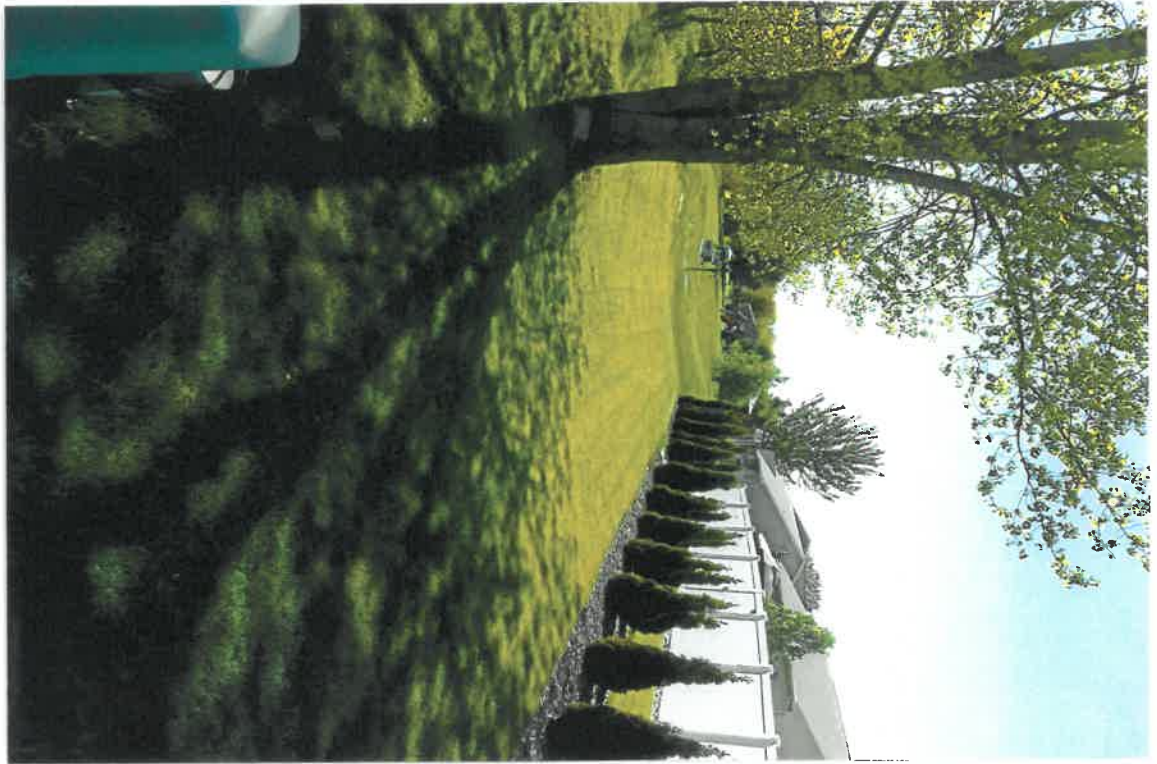
I would like the Board to consider letting me move the white vinyl fence to the other side of the row of bushes.

So the bushes would be on the inside of the current fence.

Thank you
Robert and Laurie
Lindberg
6437 Cherrybank
Circle

731-3511 - 110-11714







VILLAGE BOARD MEETING

From:

Mark J. Mommaerts, AICP, Planner

Date:

May 30, 2017

Title:

Ordinance V17-07 - Comprehensive Plan Amendment – BelGioioso Cheese, Inc.

Issue:

Should the Village Board approve Ordinance V17-07, amending the Comprehensive Plan Future Land Use Map?

Background and Additional Information:

The applicant, BelGioioso Cheese, Inc., is looking to purchase approximately 9.8-acres of property adjacent to their current whey production facility at N8495 Hwy 55. The purpose is to expand the facility in the future. Ultimately, the applicant wishes to rezone the subject property to industrial and manufacturing, which is the same as the land where the facility is located. However, any rezoning must be in compliance with the Comprehensive Plan, which is the reason for the request.

The applicant, with permission from the current property owner, is requesting an amendment to the Comprehensive Plan Future Land Use Map in order to change the Ag, Vacant, Undeveloped designation to an Industrial designation.

Budget Impacts:

- None.

Recommended Action:

The Plan Commission is recommending approval of the Comprehensive Plan Future Land Use Map amendment from Ag, Vacant, Undeveloped to Industrial pursuant to adoption of Plan Commission Resolution 2017-02..

Attachments:

- Aerial Map
- Future Land Use Map
- Resolution PC2017-02

Calumet County, WI

Legend

- Address Point
- County Boundary
- Wisconsin Water
- Other Counties
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad

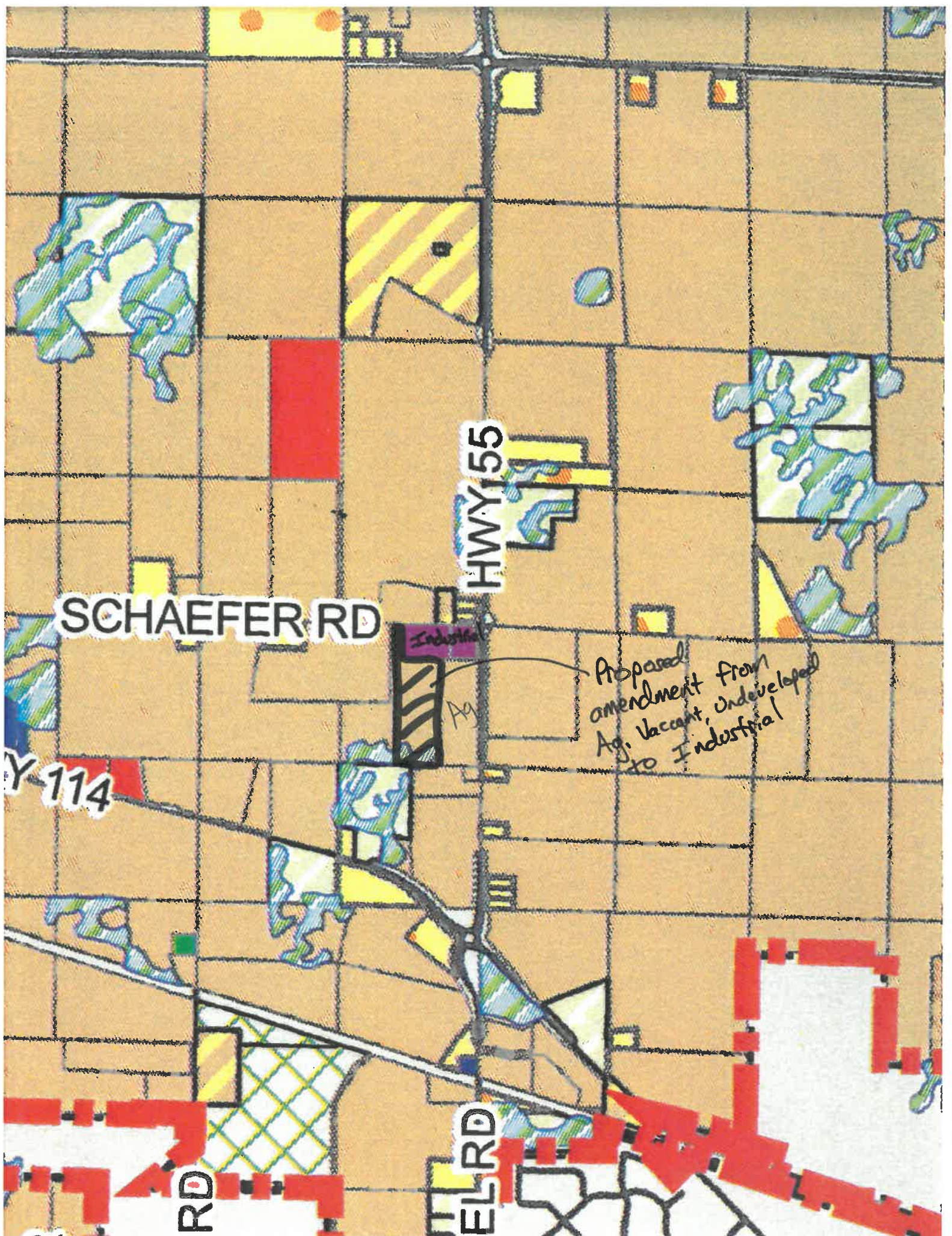
- Color 2014
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3



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Author:	
Date Printed:	08/21/17 12:11 PM
Sources:	





SCHAEFER RD

HWY 55

RD 114

EL RD

Proposed amendment from Ag. Vacant, undeveloped to Industrial

Industrial
Ag



VILLAGE OF HARRISON

TOWN OF HARRISON

May 24, 2017

Francesca Elfner
VP Whey Operations
BelGioioso Cheese, Inc.
4200 Main Street
Green Bay, WI 54311
(via email)

RE: Plan Commission Advisory Recommendation Letter – BelGioioso Cheese

Dear Ms. Elfner:

This letter is to inform you that on May 23, 2017 the Plan Commission recommended approval of your Comprehensive Plan Amendment request from Vacant, Undeveloped, Agricultural to Industrial to the Village Board for the property described in the Public Hearing Notice. The Plan Commission also recommended approval of your Zoning Map Amendment (Rezoning) request from General Agricultural [AG] to Industrial & Manufacturing [IM] to the Village Board for the property described in the Public Hearing Notice. The basis for approval of the Map Amendment (Rezoning) request is that it will comply with Harrison's Comprehensive Plan future land use map designation of Industrial, if the Comprehensive Plan Amendment is approved.

The Village Board will review both requests at their meeting on May 30, 2017 at 7:00pm at the Harrison Municipal Building. If you have any questions, please contact me at 920-989-1062 or email me at mmommaerts@harrison-wi.org.

Sincerely,

Mark J. Mommaerts, AICP
Planner

cc: Dean Peters, property owner (via email)

PLAN COMMISSION RESOLUTION 2017-02

**TO RECOMMEND TO THE VILLAGE BOARD AN AMENDMENT TO THE
HARRISON COMPREHENSIVE PLAN**

WHEREAS, the Harrison Plan Commission received an application from BelGioioso Cheese, Inc. to amend the Comprehensive Plan Future Land Use Map for the following area from Ag, Vacant, Undeveloped to Industrial:

Lot 1 of CSM #3200, being part of the NE1/4 of the NE1/4 of Sec. 24, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin; and

WHEREAS, the proposed amendment is attached to the Resolution as "Exhibit A"; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on these amendments, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

NOW, THEREFORE BE IT RESOLVED, the Harrison Plan Commission recommends to the Village Board the adoption of the amendment from Ag, Vacant, Undeveloped to Industrial for the property described as Lot 1 of CSM #3200, being part of the NE1/4 of the NE1/4 of Sec. 24, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

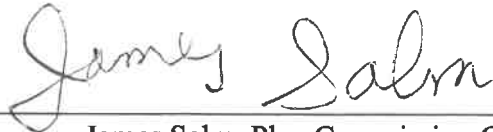
to the Harrison Comprehensive Plan as illustrated in Exhibit A.

Approved this 23rd day of May, 2017

Motion for adoption by: Lincoln

Seconded by: Fochs

Vote Aye: 5 Nay: 0



James Salm, Plan Commission Chair



Attest: Mark J. Mommaerts, AICP, Harrison Planner

ORDINANCE V17-07

AN ORDINANCE ADOPTING AMENDMENTS TO THE COMPREHENSIVE PLAN FOR THE VILLAGE OF HARRISON, WISCONSIN.

WHEREAS, the Harrison Plan Commission received an application from BelGioioso Cheese, Inc. to amend the Comprehensive Plan Future Land Use Map to change the land use designations of the following described property from Ag, Vacant, Undeveloped to Industrial:

Lot 1 of CSM #3200, being part of the NE1/4 of the NE1/4 of Sec. 24, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin; and

WHEREAS, the proposed amendment is attached as “Exhibit A”; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on this amendment, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

WHEREAS, the Plan Commission recommended approval of the amendment by adoption of Plan Commission Resolution #2017-02.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet & Outagamie Counties, Wisconsin, that Section 109-2 of the Code of Ordinances is amended to add the following:

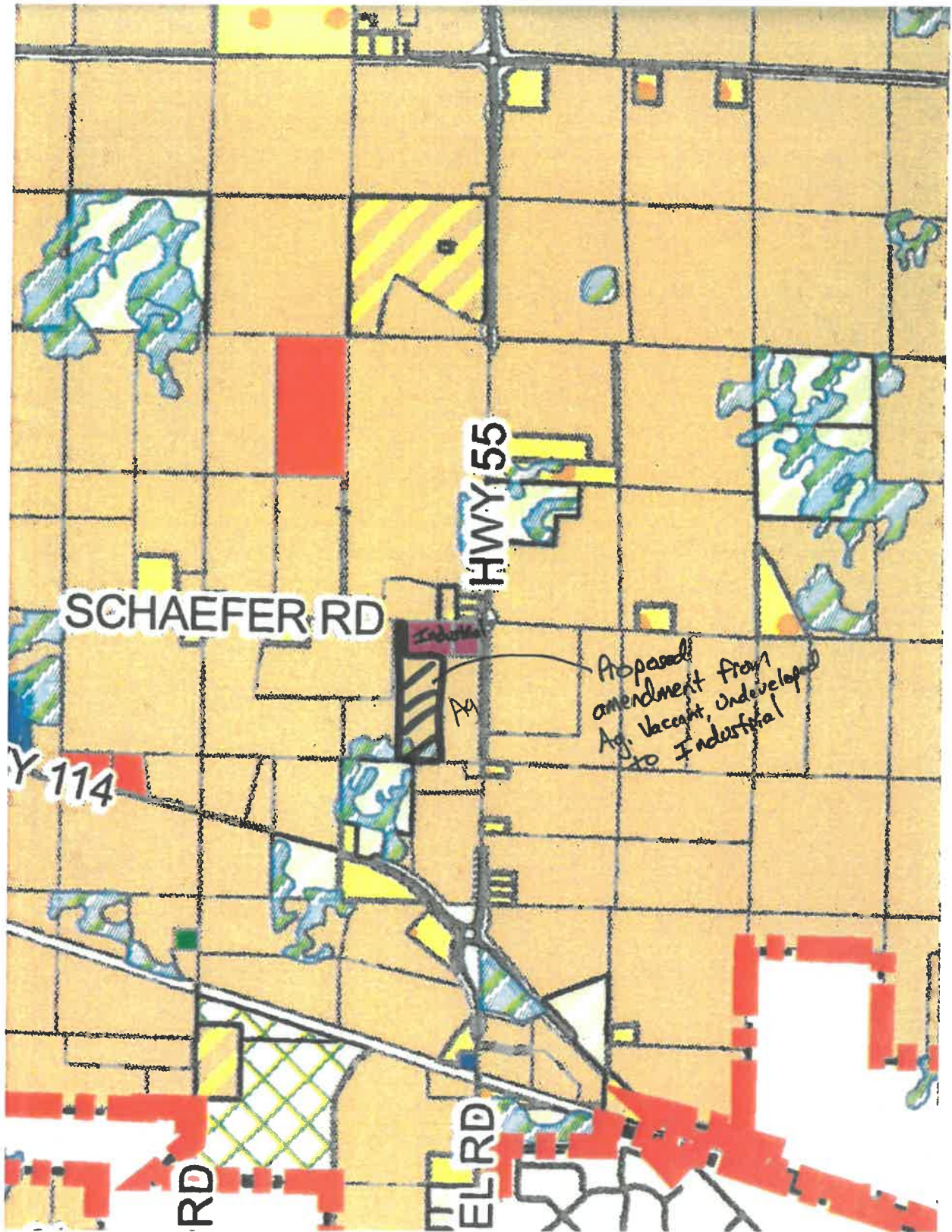
- 5) The Village Board of the Village of Harrison, Wisconsin, does, by enactment of this ordinance, formally adopt amendments to the Harrison Comprehensive Plan, pursuant to section 66.1001(4)(c) of the Wisconsin Statutes as recommended by Plan Commission Resolution #2017-02.

Adopted by the Village Board of the Village of Harrison, Wisconsin this 30th day of May, 2017.

James Salm, Village President

Attest: Jennifer Weyenberg, Village Clerk

Exhibit A





VILLAGE BOARD MEETING

From:

Mark J. Mommaerts, AICP, Planner

Date:

May 30, 2017

Title:

Ordinance V17-08 – Zoning Map Amendment – BelGioioso Cheese, Inc.

Issue:

Should the Village Board adopt Ordinance V17-08 approving a Zoning Map Amendment?

Background and Additional Information:

The applicant, BelGioioso Cheese, Inc., is looking to purchase approximately 9.8-acres of property adjacent to their current whey production facility at N8495 Hwy 55. The purpose is to expand the facility in the future.

The applicant, with permission from the current property owner, is requesting an amendment to the Zoning Map in order to rezone from General Agricultural [AG] to Industrial & Manufacturing [IM].

Budget Impact:

- None.

Recommended Action:

The Plan Commission recommends approval of zoning map amendment from General Agricultural [AG] to Industrial & Manufacturing [IM] if the Comprehensive Plan Amendment (Ordinance V17-07) is approved.

Attachments:

- Aerial Map
- Zoning Map

Calumet County, WI

Legend

- Address Point
 - ▭ County Boundary
 - ▭ Wisconsin Water
 - ▭ Other Counties
 - Unincorporated Community
 - ▭ Town Boundary
 - ▭ Point of Interest
 - ▭ Parcel Boundary
 - ▭ Property Hook
 - ▭ PLSS Section
 - ▭ State Parks
 - ▭ County Parks
 - ▭ Lake
 - ▭ River and Stream
 - ▭ Major Roads
 - ▭ Local Roads
 - ▭ Local Roads
 - ▭ Municipal Streets
 - ▭ Trail
 - ▭ Railroad
- Color 2014
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3



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Author:
Date Printed: 09/12/17 12:11 PM
Source:





VILLAGE OF HARRISON

TOWN OF HARRISON

May 24, 2017

Francesca Elfner
VP Whey Operations
BelGioioso Cheese, Inc.
4200 Main Street
Green Bay, WI 54311
(via email)

RE: Plan Commission Advisory Recommendation Letter – BelGioioso Cheese

Dear Ms. Elfner:

This letter is to inform you that on May 23, 2017 the Plan Commission recommended approval of your Comprehensive Plan Amendment request from Vacant, Undeveloped, Agricultural to Industrial to the Village Board for the property described in the Public Hearing Notice. The Plan Commission also recommended approval of your Zoning Map Amendment (Rezoning) request from General Agricultural [AG] to Industrial & Manufacturing [IM] to the Village Board for the property described in the Public Hearing Notice. The basis for approval of the Map Amendment (Rezoning) request is that it will comply with Harrison's Comprehensive Plan future land use map designation of Industrial, if the Comprehensive Plan Amendment is approved.

The Village Board will review both requests at their meeting on May 30, 2017 at 7:00pm at the Harrison Municipal Building. If you have any questions, please contact me at 920-989-1062 or email me at mmommaerts@harrison-wi.org.

Sincerely,

Mark J. Mommaerts, AICP
Planner

cc: Dean Peters, property owner (via email)

ORDINANCE V17-08

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON
OFFICIAL ZONING MAP.**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on May 23, 2017; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Industrial & Manufacturing [IM]:

Lot 1 of CSM #3200, being part of the NE1/4 of the NE1/4 of Sec. 24, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 30th day of May, 2017.

James Salm, Village President

Attest: Jennifer Weyenberg, Clerk

Exhibit A – Zoning Map

Zoning Map Village of Harrison Town of Harrison Calumet County Wisconsin

Legend

	Subject Property		Village of Harrison
	Town of Harrison		Railroads
	Streams		RoadCenterline
	AG General Agriculture		Local Roads
	RS-1 Single-Family Residential (Suburban)		County Highway
	RS-2 Single-Family Residential (Traditional)		State Highway
	RT Two-Family Residential		US Highway
	RM Multiple-Family Residential		Parcels
	CH Neighborhood Commercial		
	COR Office & Retail Commercial		
	CC Community Commercial		
	BP Business Park		
	IM Industrial & Manufacturing		
	NIC Natural & Conservancy		
	MHO Mobile Home Overlay		
	PDD Planned Development Overlay		
	SHO Shoreland Overlay*		
	SWO Shoreland-Wetland Overlay*		

* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

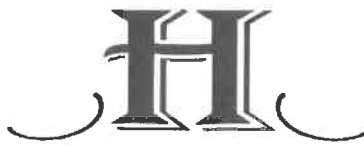
This map was created by:
Village of Harrison
Planning & Zoning Commission
March 29, 2017
500 WISCONSIN
WISCONSIN 530 889-1002
Adopted: July 27, 2016
Effective: March 29, 2017
Current as of: March 29, 2017



0 200 400 800 1,200 1,600 Feet

Calumet County will remain the sole provider of all geographic information.





VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Date:

May 30, 2017

Title:

Village Signage on Hwy 441

Issue:

Should the Village Board authorize staff to pursue working with the DOT to get Village signs placed on Hwy 441?

Background and Additional Information:

At the last couple of meetings, Village Board members have inquired about signage for the Village being placed on Hwy 441. Staff requested information from the DOT regarding the placement of "Harrison Next Exit" signs and directional signs around the County KK exit. The DOT responded that there would be room on the Hwy 441 Northbound side between Oneida Street and County KK, however there is not room on the Southbound side due to proximity of the College Avenue ramp. The Village would be responsible for the costs associated with the manufacturing and installation of the sign on Hwy 441 and 2 signs at the ramps of County KK.

Budget/Financial Impact:

\$5,000-\$10,000, these are unbudgeted.

Recommended Action:

Attachments:

- Email from Eric Sikorsi, DOT Engineer



Mark Mommaerts

From: Sikorski, Eric - DOT <Eric.Sikorski@dot.wi.gov>
Sent: Monday, May 15, 2017 3:24 PM
To: Mark Mommaerts
Subject: RE: Potential Hwy 441 Sign

Hello Mark

I am a traffic engineer with WisDOT and took a look at your request for Village signing on 441.

The Department has policies on supplemental signing along freeways. Your municipality does qualify for signing. As part of the policy, the requester (Village of Harrison) is responsible for costs associated with the manufacturing and installation of requested signs.

Signs required for your request would be the Harrison Next exit signs on 441 as well as directional signing on the CTH KK ramp.

After looking at the 441 corridor, there would be room on 441 Northbound between Oneida Street and CTH KK to place a sign, however there is no room for a sign on 441 Southbound due to the close proximity of the College Avenue entrance ramp.

Please let me know if Harrison would like to pursue this and I can get an estimate of costs for the signs. I need to have our sign department develop a detail and then I can get an estimate. I would anticipate somewhere between \$5000 and \$10,000 for one (1) large sign on 441 NB and two signs at the ramps of CTH KK.

Eric Sikorski, PE

WisDOT Traffic Engineer
Wisconsin Department of Transportation
Northeast Region
Phone: (920) 492-4161
Eric.sikorski@dot.wi.gov
wisconsindot.gov

From: Frewerd, Michael - DOT
Sent: Thursday, May 11, 2017 1:05 PM
To: Sikorski, Eric - DOT <Eric.Sikorski@dot.wi.gov>
Subject: FW: Potential Hwy 441 Sign

Eric,

Could you please look into our policies and see if there is a possibility for Harrison to get signage on 441.

Thanks,
Mike

HARRISON APRIL 2017

	821	824	825	826	828	829	832	833	834	835	836	838	839	TOTAL	APRIL	COMPLAINTS:	24
HARRISON	821	824	825	826	828	829	832	833	834	835	836	838	839	TOTAL	APRIL	COMPLAINTS:	24
HOURS WORKED	36.1	10	15.2	9.3	3	13.6	18.2	13.1	17.9	25.8	8.9	19.1	2	192.2	HOURS WORKED	TRAFFIC	1
DAILY MILES	504	145	187	199	20	184	242	231	211	357	140	235	53	2708	DAILY MILES	VEHICLE DAMAGE	1
COMPLAINT HRS	9.5		0.4				0.3	2.3	5	0.6	0.4			18.5	COMPLAINT HRS	THEFT	1
FOLLOW UP HRS	3.9						0.3							4.2	FOLLOW UP HRS	RECKLESS DRIVING	1
ACCIDENT INV HRS		0.5												0.5	ACCIDENT INV HRS	PARKING	1
ACC FOLLOW UP HRS														0	ACC FOLLOW UP HRS	SEXUAL	1
AGENCY ASSIST HRS														0	AGENCY ASSIST HRS	JUVENILE	4
SHERIFF COMPL. INV.	11		2				2	3	4	1	1			24	SHERIFF COMPL. INV.	CHILD CUSTODY	1
SHERIFF FOLLOW UP	2						1							3	SHERIFF FOLLOW UP	FRAUD	1
SHERIFF ASSIST														0	SHERIFF ASSIST	BATTERY	1
REPORT ACCIDENT		1												1	REPORT ACCIDENT	HAZARD	3
NONREPORTABLE														0	NONREPORTABLE	SUSPICIOUS PERSON	1
ACCIDENT FOLLOW UP														0	ACCIDENT FOLLOW UP	NOISE	1
ACCIDENT ASSIST														0	ACCIDENT ASSIST	911 HANG UP	1
AGENCY ASSISTS														0	AGENCY ASSISTS	ANIMAL	1
CITIZEN ASSIST														0	CITIZEN ASSIST	SUSPICIOUS VEHICLE	3
MOTORIST ASSIST	1											2		3	MOTORIST ASSIST	SUSPICIOUS SITUATION	1
PROPERTY CHECKS				2								9		11	PROPERTY CHECKS		
ARRESTS						1			1					2	ARRESTS	ARRESTS:	
WARRANT ATTEMPT														0	WARRANT ATTEMPT	OWI - 1ST	1
TRAFIC CTS.	2	4	3			1	1	6		1			1	19	TRAFIC CTS.	WARRANT	1
ORD. CTS.														0	ORD. CTS.	JUVENILE - DC	1
JUV ALCOHOL CTS.														0	JUV ALCOHOL CTS.		
O. W. I. ARRESTS			1											1	O. W. I. ARRESTS		
WRITTEN WARNINGS	4	4	3			3	15	5		10	2	5	1	52	WRITTEN WARNINGS	CITATIONS:	
15 DAYS	2					3	3			3				11	15 DAYS	OPERATE W/O PROOF OF INSURANCE	2
PARKING CTS.			3							1				3	PARKING CTS.	INATTENTIVE DRIVING	1
HOUSE ALARM														1	HOUSE ALARM	SPEED	12
BUSINESS ALARM														0	BUSINESS ALARM	VIOLATION OF GDL RESTRICTIONS	1
ALARM ASSIST														0	ALARM ASSIST	OWI - 1ST	1
AMB. ASSIST							1							2	AMB. ASSIST	NON-REGISTRATION	1
FIRE ASSIST														0	FIRE ASSIST	FAIL TO STOP AT STOP SIGN	1



Harrison Fire Rescue

Fire Station 60 • Fire Station 70 • EMS



AFTER ACTION REPORT

Incident Type: Structure Fire

Incident Date: 05/10/2017

Report Date: 05/22/2017

Report Author: Chief Amos Mikkelson

Summary:

On Wednesday, May 10, 2017, at 1:34 AM, a fire in a garage at N7916 State Park Road, Village of Sherwood, was reported to Harrison Fire Rescue. The first Engine, 65, arrived on scene at 1:48 AM and found the home to appear fully involved in fire. The incident commander, Deputy Chief Mike Brantmeier, (ID# 269), immediately upgraded the incident, using MABAS, to a “working still” which brings two additional Engines from neighboring departments. Calumet County Dispatch dispatched an Engine from Stockbridge and an Engine from Hilbert. The Hilbert Fire Department had one engine out of their district getting serviced, so they passed. Calumet County Dispatch then sent an Engine from Forest Junction.

Engine 65 pulled two hose lines from the truck. A 2 ½” hose line, used defensively to apply water to the roof of the structure, and a 1 ¾” hose line to apply water to the neighboring house which was starting to be damaged from the radiant heat from the fire. Engine 71 arrived next and assisted in connecting to the fire hydrant, located across the street from the fire, to Engine 65. Two hose lines, one 2 ½” and one 1 ¾”, were then taken off of Engine 71 to continue to apply water to burning portions of the home. A connection was also made to a separate hydrant for Engine 71.

The attack was very successful. Multiple accounts of the incident identified that the fire was stopped in its tracks upon the arrival of Harrison Fire Rescue. While the structure is considered a total loss, the burnt portion of the home was confined to the area of origin, the garage, and the attic. The interior of the home itself suffered severe water damage from the extinguishment of the fire, but the contents were unburned. The neighboring home damage was limited to vinyl siding damage.

Other responding apparatus included Rescue 63, Tender 75, and Brush 76.

Identified Issues:

At 8:30 pm on May 15, 2017, Harrison Fire Rescue met to perform an internal Incident Review at fire station 60. The review lasted for about 45 minutes and discussed the following concerns and lessons from the May 10, 2017 Structure Fire.



Harrison Fire Rescue

Fire Station 60 • Fire Station 70 • EMS



Response Time

From dispatch to arrival of the first Engine, thirteen minutes and twenty three seconds (13:23) elapsed. It took seven minutes for the first Engine to go enroute to the fire, leaving a response of six minutes and twenty three seconds of drive time. This property is right on the west end of the village of Sherwood and two routes were available to choose to get to the address. One route meant traveling through the Village going past High Cliff Golf Course, which is 2.7 miles, or one using 55/114 and State Park Road, which is 4.1 miles. Using a map website, Google Maps, both are identified as a seven minute drive time under normal driving conditions. Engine 65 chose the Highway 55/114 and State Park Road route and was able to save 37 seconds using emergency response. Station 70 is 4.5 miles from the incident address. Engine 70 arrived

Considering Harrison Fire Rescue members were sleeping at the time of the call, and the distance of the fire from the nearest station, 4.1 highway miles, the response time is in the normal range of our volunteer fire department. Station 70 is located 4.5 miles from the address, but very few of our responders live near the station, so the response time is increased by the amount of time it takes responders to get to the station.

Firefighter Rehab

Harrison Fire Rescue has an established Standard Operating Guideline (SOG) that specifies when our firefighters should be checked out by trained medical personnel before continuing firefighting operations. At the fire on State Park Road, an ambulance from Gold Cross was dispatched and remained on scene during most of the fire, but firefighters were not sent to them for a break or to be evaluated medically.

This was simply an oversight since the fire was being fought defensively, from the exterior of the home. Our SOG requires firefighters to be evaluated after two air bottles. Self-Contained Breathing Apparatus (SCBA's) were not being used since the firefighters were not fighting the fire from the interior of the home.

Overhaul

Harrison Fire Rescue did send firefighters into the home after the majority of the fire had been extinguished. Firefighters, after verifying the integrity of the structure and monitoring for Carbon Monoxide, entered and searched for hot spots, ensuring the fire was completely extinguished. Since the home was essentially open air, with most of the roof burned off, SCBA's were not used during this portion of the operation. This has been the accepted practice of the fire service nationwide for generations.

A discussion about recent studies and changes to SOG's on neighboring and area departments led HFR to consider modifying its current SOG to reflect the latest information available. For future fire incidents, HFR will do overhaul with full gear and SCBA's for 60 minutes after the



Harrison Fire Rescue

Fire Station 60 • Fire Station 70 • EMS



extinguishment of the fire. This will be done to prevent unnecessary exposure to synthetic material off gassing and our members breathing in potentially toxic air that we do not have the equipment to monitor.

Firefighter Injuries

Harrison Fire Rescue is proud to report that there were no injuries at the fire at N7916 State Park Road, Sherwood.

Consideration:

As the Village Board considers the timetable for the possible relocation of Fire Station 70, located at the corner of Lake Park Road and Highway 10/114, the fire at N7916 State Park Road, Sherwood, may have had less damage if the thirteen minute response time could have been shortened. A free burning fire in lightweight construction, as the fire at N7916 State Park Road, Sherwood was, will double in size every minute. Many of the homes in the Village of Harrison are constructed in a similar fashion and response times make a difference. HFR firefighters travel from the area where a new station is being considered to Station 70 before they can go to the fire. Relocation of Station 70 will improve the service delivery of Harrison Fire Rescue to the majority of residents of our communities.

Conclusion:

Harrison Fire Rescue successfully extinguished a residential structure fire that was through the roof of the home upon our arrival. Assistance in the successful extinguishment was given to Harrison Fire Rescue from Stockbridge Fire Department and Forest Junction Fire Department. The families, whose homes were involved in the fire, have both extended thanks to Harrison Fire Rescue for a job well done.



Harrison Fire Rescue

Fire Station 60 • Fire Station 70 • EMS



ACTIVITY REPORT FOR APRIL 24, THROUGH MAY 21, 2017

1. 8 Fire & Rescue calls during the date range
See After Action Report for fire on May 10, 2017 on State Park Road, Sherwood.
2. 21 First Responder calls in during the period.
3. 134 Total calls through May 21, 2017
4. On May 1, we had our meeting night. A discussion was held about bringing the department photos up to date and taking a new group photo of all department members. Additional discussions were held about the many upcoming events in Harrison that require Harrison First Responders to participate including the Backdraft Bike Tour, The High Cliff Triathlon, and Chicken Fest. There was also discussion about the upcoming training at the homes, owned by the Village of Sherwood, on Harrison Street in Sherwood, that HFR could use for training.
5. On May 8, the First Responders held their monthly meeting. The group went over all calls from April. Training was on the new personal Carbon Monoxide alarms that were purchased from the fundraising account.
6. On May 15, the Firefighters had their training night. The homes on Harrison Street were utilized to practice RIT drills. RIT stand for Rapid Intervention Team. HFR has a number of members who form a RIT committee. This committee did the planning for and led the training at the houses on Harrison Street. The turnout was excellent and the training was very successful. The feedback was that everyone enjoyed having homes to practice in.
7. On May 19, HFR responded to a fatal vehicle accident and performed extrication. Chief Mikkelson is working with Gold Cross Ambulance to schedule an Incident Stress Debriefing for early June.
8. On May 20, members of Harrison Fire Rescue held their annual Brat Fry at the Mobil station in Sherwood. The weather was fairly cooperative and the turnout was pretty good. As of the writing of this report, I do not have the final numbers to share with the Board. We did sell out of food before the end of the scheduled time.
9. On Sunday, May 21, 8 members of Harrison Fire Rescue, along with 2 members of Buchanan Fire Department, did some additional RIT training in the homes on Harrison Street in Sherwood. The training group, Brew City Fools, donated their time to our members and additional successful training was completed. Again, I cannot stress enough the enormous value Harrison Fire Rescue has been and will continue to gain from the access to these properties.