

**NOTICE OF PUBLIC MEETING**

**DATE:** Tuesday, February 26, 2019  
**TIME:** 7:00pm  
**PLACE:** Harrison Municipal Building  
W5298 State Road 114  
Harrison, WI 54952

NOTICE IS HEREBY GIVEN that a Village of Harrison Board Meeting will be held on Tuesday, February 26, 2019 at 7:00pm. The agenda is printed below.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call of Village Board
4. Correspondence or Communications from Board and Staff
5. Public Comments  
Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.
6. Presentation from Justin Fischer, Baird
7. Consent Agenda
  - a) Payment of Bills and Claims
  - b) Minutes from 02/12/19
  - c) Operator License (expiring June 30, 2019) for Lorraine Bailey
8. Items Removed from Consent Agenda (if any)
9. Appointments
  - a) None
10. Unfinished Business from Previous Meetings for Consideration or Action
  - a) None
11. New Business for Consideration or Action
  - a) Reconsider Bud Rusch request for reimbursement for oversizing pipes (denied at the Sept. 11, 2018 meeting)

- b) Kiwanis Club of Darboy Donation
- c) Sewer & Water Request on Hwy 114 – Don Mielke
- d) Certified Survey Map – Don Mielke – Mielke Road (Tax ID 43796)
- e) Certified Survey Map – Don Mielke – Mielke Road (Tax ID 43768)
- f) Relocated Building Permit – Steven VerBust – Zirbel Drive
- g) Preliminary Plat – Hidden Pines Subdivision – Harrisville Lane
- h) Ordinance V19-01 Zoning Map Amendment – Hidden Pines Subdivision – Harrisville Lane
- i) Ordinance V19-02 Zoning Map Amendment – Amy Avenue Commercial Development – Amy Avenue
- j) Conditional Use Permit – Amy Avenue Commercial Development – Amy Avenue
- k) Preliminary Plat – Creekside Estates Subdivision – Woodland Road
- l) Ordinance V19-03 Zoning Map Amendment – Creekside Estates Subdivision – Woodland Road
- m) Resolution V2019-03 Payoff 2017 Snowplow Truck Loan

#### 12. Reports

- a) Calumet Co. Sheriff's Department
- b) Zoning Permits
- c) Harrison Fire Rescue
- d) Treasurer's Statement of Income and Expenses

#### 13. Closed Session- Jeff Marlowe of Lexington Homes; TID #1 Development Agreement (Gregorski); Hidden Pines Development Agreement, **Purchase Property (Halverson)**

Please take notice, that pursuant to Wis. Stats. §19.85(1)(e), the Board will convene in closed session to deliberate or negotiate the purchase of public property, the investment of public funds or conduct other business when competitive or bargaining reasons require a closed session.

The Board may then reconvene in open session pursuant to Wis. Stats. §19.85(2) to take action on any matter discussed in closed session or for such other purposes as are allowed by law.

#### 14. Adjournment

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

Jennifer Weyenberg, Village Clerk-Treasurer

Agenda Posted February 22, 2019 at [www.harrison-wi.org](http://www.harrison-wi.org) and Municipal Building lobby

**Amended agenda posted February 25, 2019 at 11:15am**

*Summary of Payments Approved By:*

<i>Summary of Payments:</i>	<b>January 2019</b>	
Check Register (general)		
#7460	from payroll #3	149.18
#7461-7498	posted 02/05/19	82,804.96
#7499-7520	posted 02/11/19	53,812.34
#7521-7570	from payroll #4	19,061.29
#7571-7620	posted 02/22/19	953,654.05
Check Register (tax account)		
#1166-1180	refunds	8,034.07
Direct Pay		
Verizon Wireless	pulled 01/24/19	203.55
United HealthCare	pulled 01/12/19	15,562.31
We Energies	pulled 01/25/19	4,372.09
Wisconsin Retirement	pulled 01/31/19	15,242.66
Delta Dental	pulled 02/01/19	1,410.95
Merchant's Choice	pulled 02/04/19	252.52
Reliance Standard	pulled 02/21/19	872.72
Tractor Supply	pulled 02/13/19	29.90
Payroll		
Payroll #3 net pay by direct dep	2/7/2019	25,536.31
Payroll #4 net pay by direct dep	12/27/2018	37,652.35
	<b>TOTAL</b>	<b>1,218,651.25</b>

President James Salm

Trustee Tamra Nelson

Trustee Gary Nickel

Trustee Kevin Hietpas

Trustee Tyler Moore

Trustee Buddy Lisowe

Trustee Joe Sprangers

Presented by: Jennifer Weyenberg, Clerk-Treasurer  
 Approved February 22, 2019

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ACCT

INVESTORS COMMUNITY BANK

Dated From: 1/25/2019

From Account:

Thru: 2/05/2019

Thru Account:

Check Nbr	Check Date	Payee	Amount
7461	2/05/2019	AMERICAN MESSAGING U1860083TB	
100-09-53311-900-000		Hwy Dept - Road Maintenance U1860083TB SERVICE 2/1/19-1/31/20 + FEES	263.19
			Total 263.19
7462	2/05/2019	AMOS MIKKELSON REIMBURSE BOOK PURCHASE, JAN CELL PHONE	
100-06-52200-305-000		Fire Dept - Training/Mem REIMBURSE BOOK PURCHASE 1/24/19	93.83
100-07-52200-500-022		Fire Station 70 - Telephone JANUARY CELL PHONE STIPEND	40.00
			Total 133.83
7463	2/05/2019	ARING EQUIPMENT CO INC 745831	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 1/25/19 WORK LAMPS & BULBS 745831	179.74
			Total 179.74
7464	2/05/2019	BRAD WELHOUSE REIMBURSEMENT WORK BOOTS, JAN CELL PHONE	
100-09-53311-400-000		Hwy Dept - Supplies STEEL TOE BOOT REIMBURSEMENT	157.49
100-09-53311-500-022		Hwy Dept - Telephone JANUARY CELL PHONE STIPEND	30.00
			Total 187.49
7465	2/05/2019	CALUMET COUNTY TREASURER 129005	
			Previous Year Expense
100-09-53311-903-000		Hwy Dept - Salt & Sand INV 129005 12/1 - 12/31 SNOW/ICE CONTROL	457.90
			Total 457.90
7466	2/05/2019	CARDMEMBER SERVICE ACCT 4798 5100 5742 3846	
100-02-51400-400-000		Gen. Admin - Supplies FROM 12/18 WALMART OFFICE SUPPLIES	252.22
100-02-51400-310-000		Gen. Admin - Dues FROM 1/2 WI MUNICIPAL CLERKS WMCA DUES	65.00

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Dated From: 1/25/2019  
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From Account:  
Thru Account:

Check Nbr	Check Date	Payee	Amount
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	23.20
	FROM 12/27 JX TRUCK CENTER TRUCK #10		
100-02-51400-400-000		Gen. Admin - Supplies	46.16
	FEE AND INTEREST LATE POSTING PAYMENT		
		Total	386.58
7467	2/05/2019	CHAD BOESCH	
		JANUARY CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone	30.00
		JANUARY CELL PHONE STIPEND	
		Total	30.00
7468	2/05/2019	DON JUNGEN	
		JANUARY CELL PHONE STIPEND	
100-08-52300-000-000		1st Responders - Operating Exp	30.00
		JANUARY CELL PHONE STIPEND	
		Total	30.00
7469	2/05/2019	INTERSTATE BATTERY OF GREEN BAY	
		90127304	
100-09-53311-400-000		Hwy Dept - Supplies	38.85
	FROM 1/23/19		
		90127304	
		Total	38.85
7470	2/05/2019	JEFF WISNET	
		JANUARY CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone	30.00
		JANUARY CELL PHONE STIPEND	
		Total	30.00
7471	2/05/2019	JENNIFER WEYENBERG	
		JANUARY CELL PHONE STIPEND	
100-00-51600-500-022		Municipal Bldg - Telephone	40.00
		JANUARY CELL PHONE STIPEND	
		Total	40.00
7472	2/05/2019	JOE'S POWER CENTER	
		37210	
100-06-52200-400-000		Fire Dept - Supplies	31.99
		MIX GAS CHAIN SAWS FROM 1/22/19	
		37210	

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Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total 31.99
7473	2/05/2019	JOHN FABICK TRACTOR CO C154587, C154601, C152000, C156948	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 1/11/19 CYLINDER C 154587	123.63
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 1/11/19 BEARING, RETAINER C 154601	157.53
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 1/10/19 CYLINDER (RETURNED) C 152000	117.40
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 1/15/19 CREDIT RETURN CYLINDER C 156948	-117.40
			Total 281.16
7474	2/05/2019	KAATS WATER CONDITIONING INC. ACCT 1130062	
100-09-53311-400-000		Hwy Dept - Supplies CHARGES THROUGH 1/22/19	33.45
			Total 33.45
7475	2/05/2019	KITZ & PFEIL - APPLETON 10236/2	
100-09-53311-400-000		Hwy Dept - Supplies CUST 812330 FROM 1/2/19 MAILBOX COMBO 10236/2	64.99
			Total 64.99
7476	2/05/2019	LANGE ENTERPRISES, INC 68113	
100-09-53315-902-000		Hwy Dept - Signs FROM 1/29/19 ROAD NAME SIGNS 68113	634.85
			Total 634.85
7477	2/05/2019	LISOWE OIL 24637	
100-09-53311-600-030		Hwy Dept - Fuel FROM 1/22/19 24637	1,330.42
			Total 1,330.42
7478	2/05/2019	MARK MOMMAERTS JANUARY CELL PHONE STIPEND	

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Check Nbr	Check Date	Payee	Amount
100-00-51600-500-022		Municipal Bldg - Telephone	40.00
		JANUARY CELL PHONE STIPEND	
Total			40.00

7479 2/05/2019 MCCLONE AGENCY  
257203

100-00-51938-000-000		Insurance - General and Auto	19,947.00
		AUTO AND LIABILITY 257203	
100-00-51933-000-000		Insurance - Workers Comp.	25,196.00
		WORKERS COMPENSATION 257203	
100-00-51932-000-000		Insurance - Property and Crime	2,146.00
		GOVERNMENT ENTITY CRIME 257203	
Total			47,289.00

7480 2/05/2019 MCMAHON  
912903, 912902, 912898, 912896

Previous Year Expense

100-00-57220-000-000		Capital Outlay - Parks	7,964.05
		KAUKAUNA YOUTH BASEBALL SITE 0912903	
100-09-57330-000-000		Capital Outlay - Road Projects	171.50
		NORTHSHORE WOODS MINI STORM SEWER 0912902	
100-09-57330-000-000		Capital Outlay - Road Projects	5,288.38
		RUSTIC LANE & HICKORY-LANE URBANIZATION 0912898	
100-00-57220-000-000		Capital Outlay - Parks	2,972.61
		MANITOWOC ROAD PARK 0912896	
Total			16,396.54

7481 2/05/2019 MCMAHON  
912900, 912899, 912897, 912895

100-09-57330-000-000		Capital Outlay - Road Projects	852.00
		2019 GINA DR & MICHELLE WAY MINI STORM 0912900	
100-09-57330-000-000		Capital Outlay - Road Projects	4,147.75
		2019 HOLLY & HOPFENSBERGER MINI STORM 0912899	
401-00-57200-000-000		Street Improvements - TID #1	674.80
		BLACK OAK SEWER & ROAD (SONNY TO DOGWOOD 0912897	
100-09-57330-000-000		Capital Outlay - Road Projects	674.80
		BLACK OAK SEWER & ROAD (SONNY TO DOGWOOD 0912897	
100-09-57330-000-000		Capital Outlay - Road Projects	2,762.74
		SCHMIDT RD CULVERT REPLACEMENT 0912895	
Total			9,112.09

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Check Nbr	Check Date	Payee	Amount
7482	2/05/2019	MENARDS-APPLETON EAST 54526, 54534, 54545	
100-09-53311-505-000		Hwy Dept - Building Maint FROM 1/25/19 MAILBOX 54526	58.79
100-09-53311-505-000		Hwy Dept - Building Maint FROM 1/25/19 RETURN MAILBOX 54534	-58.79
100-09-53311-505-000		Hwy Dept - Building Maint FROM 1/25/19 BUILDING SUPPLIES 54545	28.66
		Total	-28.66
7483	2/05/2019	MGD INDUSTRIAL CORPORATION 169525	
100-09-53311-400-000		Hwy Dept - Supplies FROM 1/18/19 TRUCK DRAIN 169525	576.21
		Total	576.21
7484	2/05/2019	MIKE BRANTMEIER JANUARY CELL PHONE STIPEND	
100-06-52200-500-022		Fire Station 60 - Telephone JANUARY CELL PHONE STIPEND	30.00
		Total	30.00
7485	2/05/2019	MIKE NETT JANUARY CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone JANUARY CELL PHONE STIPEND	30.00
		Total	30.00
7486	2/05/2019	MIKE'S ELECTRIC 11011	
100-09-53311-505-000		Hwy Dept - Building Maint FIX LIGHT FROM 1/22/19 11011	110.16
		Total	110.16
7487	2/05/2019	MONROE TRUCK EQUIPMENT, INC 802275	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 1/22/19 TRUCK LIGHTS 802275	131.10
		Total	131.10



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Check Nbr	Check Date	Payee	Amount
7488 134411	2/05/2019	N.E.W. PRINTING	
100-02-51400-400-000		Gen. Admin - Supplies	373.90
	ENVELOPES 1/23/19	134411	
		<b>Total</b>	<b>373.90</b>
7489 1715	2/05/2019	SCHWALBACH PAINTING & SANDBLASTING LLC	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	120.00
	FROM 1/19/19 TRUCK #20 SANDBLAST STEPS	1715	
		<b>Total</b>	<b>120.00</b>
7490 ACCOUNT 7282623	2/05/2019	SECURA INSURANCE A MUTUAL CO	
100-00-51932-000-000		Insurance - Property and Crime	15.00
		HARRISON ATHLETIC ASSOC LATE FEE	
		<b>Total</b>	<b>15.00</b>
7491 607974901011819	2/05/2019	SPECTRUM- 4901	
100-02-51400-400-006		Gen. Admin - Service Contracts	186.57
	SERVICE PERIOD 1/24-2/23		
		<b>Total</b>	<b>186.57</b>
7492 607975101011819	2/05/2019	SPECTRUM- 5101	
100-02-51400-400-006		Gen. Admin - Service Contracts	201.41
	SERVICE PERIOD 1/23-2/22		
		<b>Total</b>	<b>201.41</b>
7493 JANUARY CELL PHONE STIPEND	2/05/2019	TRAVIS PARISH	
100-00-51600-500-022		Municipal Bldg - Telephone	40.00
	JANUARY CELL PHONE STIPEND		
		<b>Total</b>	<b>40.00</b>
7494 I03065801 BG	2/05/2019	TRI CITY GLASS INC	
100-09-53311-505-000		Hwy Dept - Building Maint	507.25
	FROM 1/23/19 REKEYED DOORS & NEW KEYS	I03065801 BG	

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Check Nbr	Check Date	Payee	Amount
<b>Total</b>			<b>507.25</b>

7495 2/05/2019 VILLAGE OF HARRISON TREASURER  
VILLAGE PROPERTY TAX BILLS

100-00-24010-000-000	Due to County - Tax Apprtnmnt	30.00	
TAX ID 40124 POWTS CHARGE ON HALL			
100-00-24053-000-000	Due to Garners Creek - Taxes	48.00	
TAX ID 33394 STORMWATER CHARGES			
100-00-24053-000-000	Due to Garners Creek - Taxes	48.00	
TAX ID 33396 STORMWATER CHARGES			
100-00-41900-000-000	Other Taxes	140.00	
TAX ID 43274 K & B			
100-00-41900-000-000	Other Taxes	140.00	
TAX ID 43272 K & B			
100-00-41900-000-000	Other Taxes	688.84	
TAX ID 40606 W4476 MERBACH RD			
<b>Total</b>			<b>1,094.84</b>

7496 2/05/2019 WELLS FARGO FINANCIAL LEASING  
5005810207

100-02-51400-400-006	Gen. Admin - Service Contracts	575.69	
COVERAGE PERIOD 1/17-2/16/19 5005810207			
<b>Total</b>			<b>575.69</b>

7497 2/05/2019 WESLEY POMPA  
JANUARY CELL PHONE STIPEND

100-07-52200-500-022	Fire Station 70 - Telephone	30.00	
JANUARY CELL PHONE STIPEND			
<b>Total</b>			<b>30.00</b>

7498 2/05/2019 WISCONSIN MEDIA  
0002190965

		Previous Year Expense	
100-02-51400-800-000	Gen. Admin - Publications	578.05	
BILL PERIOD DEC 1-DEC 31 0002190965			
100-00-14500-000-000	Due from Special Purpose Dist.	559.00	
UTILITIES BILLING CLERK RECRUITMENT 0002190965			
100-00-14500-000-000	Due from Special Purpose Dist.	625.05	
UTILITIES BILLING CLERK ADVERTISING 0002190965			
<b>Total</b>			<b>1,762.10</b>

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Dated From: 1/25/2019  
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Check Nbr	Check Date	Payee	Amount
			Grand Total
			82,804.96

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INVESTORS COMMUNITY BANK

Dated From: 1/25/2019  
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From Account:  
Thru Account:

Amount

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Total Expenditure from Fund # 100 - GENERAL FUND	82,130.16
Total Expenditure from Fund # 401 - TAX INCREMENTAL DISTRICT #1	674.80
Total Expenditure from all Funds	82,804.96

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INVESTORS COMMUNITY BANK

Dated From: 1/25/2019  
Thru: 2/05/2019

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	SHARE OF CHECKING-General		82,130.16
	Total Expenditure - Fund # 100	82,130.16	
401-00-11100-000-000	SHARE OF CHECKING-TIF #1		674.80
	Total Expenditure - Fund # 401	674.80	
	Total	82,804.96	82,804.96

checks 7499-9520

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INVESTORS COMMUNITY BANK

Dated From: 2/06/2019

From Account:

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Thru Account:

Check Nbr -	Check Date	-Payee	Amount
7521 60825708	2/11/2019	AUTOMOTIVE SUPPLY- APPLETON Previous Year Expense	
100-06-52200-600-000		Fire Dept - Vehicle Maint.	21.97
		FROM 12/27/18 FLEX PIPE 060825708	
		Total	21.97
7522 60829428	2/11/2019	AUTOMOTIVE SUPPLY- APPLETON	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	28.12
		FROM 2/6/19 WINTER BLADES 060829428	
		Total	28.12
7523 BUILDING INSPECTIONS FOR JANUARY 2019	2/11/2019	BIRSCHBACH INSPECTION SERVICE, LLC	
100-00-52400-000-000		Building Inspector - Contract	5,000.00
		BUILDING INSPECTIONS FOR JANUARY 2019	
100-02-51400-400-000		Gen. Admin - Supplies	56.91
		BUILDING INSP JAN19 RAZE ORDER, CERT LTR	
		Total	5,056.91
7524 53713	2/11/2019	DINGES FIRE COMPANY	
100-08-52300-000-000		1st Responders - Operating Exp	218.18
		FROM 1/31/19 JACKETS 53713	
		Total	218.18
7525 ACCOUNT 000-2781-00	2/11/2019	HARRISON UTILITIES	
100-07-52200-500-023		Fire Station 70 - Water/Sewer	41.43
		ACCOUNT 000-2781-00	
		Total	41.43
7526 452	2/11/2019	HYDROCLEAN EQUIPMENT INC	
100-09-53311-505-000		Hwy Dept - Building Maint	59.00
		FROM 2/4/19 0000452	
		Total	59.00
7527 90127544	2/11/2019	INTERSTATE BATTERY OF GREEN BAY	

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Check Nbr	Check Date	Payee	Amount
100-09-53311-400-000	2/6/19	Hwy Dept - Supplies	12.95
		FROM 2/6/19	
		90127544	
Total			12.95
7528	2/11/2019	JARRED GERL	
		REIMBURSE TRAILER BALL & HITCH, HOSE END	
100-06-52200-400-000		Fire Dept - Supplies	124.86
		REIMBURSE TRAILER BALL & HITCH, HOSE END	
Total			124.86
7529	2/11/2019	JOE'S POWER CENTER	
		36939	
100-06-52200-400-000		Fire Dept - Supplies	19.44
		FROM 1/12/19	
		36939	
Total			19.44
7530	2/11/2019	LISOWE OIL	
		2825, 24682, 24823	
100-09-53311-600-030		Hwy Dept - Fuel	26.00
		FROM 1/28/19 HI FLO FUEL FILTER HOUSING 2825	
100-09-53311-600-030		Hwy Dept - Fuel	1,864.87
		FROM 1/28/19	
		24682	
100-09-53311-600-030		Hwy Dept - Fuel	1,464.23
		FROM 1/31/19	
		24823	
Total			3,355.10
7531	2/11/2019	MASS MUTUAL	
		FIRE DEPT RETIREMENT	
100-06-52200-210-000		Fire Dept - Retirement	32,238.00
		FIRE DEPT RETIREMENT	
100-08-52300-210-000		1st Responder - Retirement	2,388.00
		1ST RESPONDER RETIREMENT	
Total			34,626.00
7532	2/11/2019	MCPMAHON	
		0913087	
100-00-53441-200-000		Stormwater Planning	3,394.20
		UNPS STORMWATER PLANNING	
		0913087	
Total			3,394.20

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Check Nbr	Check Date	Payee	Amount
7533 169886	2/11/2019	MGD INDUSTRIAL CORPORATION	
100-09-53311-400-000		Hwy Dept - Supplies FROM 2/4/19 SUPPLIES	1,675.33
		169886	
		Total	1,675.33
7534	2/11/2019	MIKE STANONIK REIMBURSE CHAIN FOR CHAINSAW ENGINE 71	
100-06-52200-400-000		Fire Dept - Supplies REIMBURSE CHAIN FOR CHAINSAW ENGINE 71	24.21
		Total	24.21
7535	2/11/2019	NEWS PUBLISHING CO INC ACCT 99128366 AD# 430095, 430875	
100-00-51440-600-000		Elections - Publications ACCOUNT 99128366 SPRING PRIMARY	97.11
100-02-51400-400-000		Gen. Admin - Supplies ACCOUNT 99128366 PUBLIC WORKS AD	79.00
		Total	176.11
7536	2/11/2019	PACKER CITY INTERNATIONAL TRUCKS X103069719:01	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 2/4/19 TRUCK #20	697.78
		X103069719:01	
		Total	697.78
7537	2/11/2019	STUMPF EXCAVATING & TRUCKING 7554	
100-09-53311-505-000		Hwy Dept - Building Maint PUMP HOLDING TANKS 2/4/19	240.00
		7554	
		Total	240.00
7538	2/11/2019	THE UNIFORM SHOPPE OF GREEN BAY INC 284838	
100-06-52200-400-000		Fire Dept - Supplies NAME TAGS FROM 1/30/19	245.10
		284838	
		Total	245.10
7539	2/11/2019	THEDACARE AT WORK 261808	



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100-02-51400-400-006		Gen. Admin - Service Contracts	2,088.00
		EAP CONTRACT 261808	
		<b>Total</b>	<b>2,088.00</b>

7540	2/11/2019	TROY GILLIS	
		REIMBURSE REPAIR TURNOUT GEAR DRYING SYS	
		Previous Year Expense	
100-06-52200-400-000		Fire Dept - Supplies	414.65
		REIMBURSE REPAIR TURNOUT GEAR DRYING SYS	
		<b>Total</b>	<b>414.65</b>

7541	2/11/2019	VFIS	
		Pensions (500 yr fee) + (51 mem x \$15)	
100-06-52200-210-000		Fire Dept - Retirement	1,265.00
		Pensions (500 yr fee) + (51 mem x \$15)	
		<b>Total</b>	<b>1,265.00</b>

7542	2/11/2019	WI DEPT OF JUSTICE	
		ACCOUNT # G2028	
100-02-51400-400-000		Gen. Admin - Supplies	28.00
		ACCOUNT # G2028 1/1-1/31	
		<b>Total</b>	<b>28.00</b>

**Grand Total 53,812.34**

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Total Expenditure from Fund # 100 - GENERAL FUND 53,812.34

Total Expenditure from all Funds 53,812.34

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Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	SHARE OF CHECKING-General		53,812.34
	Total Expenditure - Fund # 100	53,812.34	
	Total	53,812.34	53,812.34

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7571	2/22/2019	911 RESPONSE LIGHTS LLC SO-190155	
100-06-52200-400-000		Fire Dept - Supplies BEZEL KIT FROM 1/26/19	6.00
		SO-190155	
		<b>Total</b>	<b>6.00</b>
7572	2/22/2019	ACCURATE FULL SERVICE VEHICLE CENTER 1901493, 1901794	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 2/1/19 #17 BRAKE HOSE	93.01
		1901493	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 2/14/19 #14 AIR LEAK	5,778.22
		1901794	
		<b>Total</b>	<b>5,871.23</b>
7573	2/22/2019	ADVANCED DISPOSAL B20000396118, B20000397208	
100-00-53620-000-000		Refuse and Garbage Services COMMERICAL TRASH DUMPSTER FOR JAN	82.00
100-00-53635-000-000		Recycling Services COMMERICAL RECYCLING DUMPSTER for JAN	56.00
100-00-53620-000-000		Refuse and Garbage Services FUEL FEE	0.00
100-00-53620-000-000		Refuse and Garbage Services RES TRASH 90 GALLON CARTS for JAN	31,150.56
100-00-53635-000-000		Recycling Services LANDFILL TAX	0.00
100-00-53635-000-000		Recycling Services RES RECYCLING SINGLE STREAM JAN	14,739.63
100-00-53620-000-000		Refuse and Garbage Services REPLACEMENT CART(S) -	0.00
100-00-53620-000-000		Refuse and Garbage Services FALL PICK UP	0.00
100-00-53620-000-000		Refuse and Garbage Services BULKY ITEM PICKUP -	0.00
100-00-53620-000-000		Refuse and Garbage Services RESID RECYCLE	0.00
100-00-53620-000-000		Refuse and Garbage Services COMMERCIAL TRASH DUMPSTER PARK FEB	82.00

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Check Nbr	Check Date	Payee	Amount
100-00-53635-000-000		Recycling Services COMM RECYCLING PARK FEB	40.00
100-00-53620-000-000		Refuse and Garbage Services FUEL & ENVIRONMENTAL FEES PARK 1/31/19	47.53
100-00-53620-000-000		Refuse and Garbage Services ADMIN, COMPLIANCE/IMPACT FEES PARK 1/31	16.64
		Total	46,214.36
7574	2/22/2019	AMOS MIKKELSON FEBRUARY CELL PHONE STIPEND	
100-07-52200-500-022		Fire Station 70 - Telephone FEBRUARY CELL PHONE STIPEND	40.00
		Total	40.00
7575	2/22/2019	BLUE PRINT SERVICE COMPANY 122124	
100-00-51440-400-000		Elections - Supplies ELECTION MAPS 122124	198.73
		Total	198.73
7576	2/22/2019	BRAD WELHOUSE FEBRUARY CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone FEBRUARY CELL PHONE STIPEND	30.00
		Total	30.00
7577	2/22/2019	BRETT CONRAD REIMBURSE MAILING EXPENSES FOR BANQUET	
100-06-52200-400-000		Fire Dept - Supplies REIMBURSE MAILING EXPENSES FOR BANQUET	25.14
		Total	25.14
7578	2/22/2019	CARDMEMBER SERVICE ACCT 4798 5100 5742 3846	
100-09-53311-400-000		Hwy Dept - Supplies FROM 1/18 OREILLY SHOP SUPPLIES	65.03
100-09-53311-400-000		Hwy Dept - Supplies FROM 1/28 OREILLY AUTO DIESEL 911	164.45
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 1/24 TRUCK EQUIP TRK #14 TIRE CHAIN	288.02

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100-02-51400-400-000		Gen. Admin - Supplies	45.13
		FEE AND INTEREST LATE POSTING PAYMENT	
		Total	562.63
7579	2/22/2019	CHAD BOESCH	
		FEBRUARY CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone	30.00
		FEBRUARY CELL PHONE STIPEND	
		Total	30.00
7580	2/22/2019	DON JUNGEN	
		FEBRUARY CELL PHONE STIPEND	
100-08-52300-000-000		1st Responders - Operating Exp	30.00
		FEBRUARY CELL PHONE STIPEND	
		Total	30.00
7581	2/22/2019	EZ GLIDE GARAGE DOORS & OPENERS	
		0160439-IN	
100-09-53311-505-000		Hwy Dept - Building Maint	3,300.00
		FROM 2/11/19 EZ THERM DOOR	
		0160439-IN	
		Total	3,300.00
7582	2/22/2019	FAST SIGNS	
		A114108	
100-02-51400-400-000		Gen. Admin - Supplies	574.21
		ORANGE H STICKERS 2019- QTY 1800	
		A114108	
		Total	574.21
7583	2/22/2019	FORCE AMERICA INC	
		IN001-1313168	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	9.54
		FROM 2/5/19 TRUCK #10 BATTERY	
		IN001-1313168	
		Total	9.54
7584	2/22/2019	FRANKS RADIO SERVICE INC	
		112640, 112641	
100-06-52200-400-000		Fire Dept - Supplies	2,353.40
		FROM 2/11/19 STORED VOICE PAGER	
		112640	
100-06-52200-400-000		Fire Dept - Supplies	50.00
		FROM 2/11/19 BELT CLIPS FOR PAGERS	
		112641	

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			Total 2,403.40
7585	2/22/2019	GENE FREDERICKSON TRUCKING & EXC., INC. CERTIFICATE PAYMENT #4 (RUSTIC/HICKORY) Previous Year Expense	
100-09-57330-000-000		Capital Outlay - Road Projects	203,240.41
			Total 203,240.41
7586	2/22/2019	GRUETT'S 40713P	
100-09-53311-400-000		Hwy Dept - Supplies FROM 1/10/19 STEEL 40713P	97.20
			Total 97.20
7587	2/22/2019	JASON KOSSEL REIMBURSE BOOKS MULTIPLE MBRS FOR COURSE	
100-06-52200-305-000		Fire Dept - Training/Mem REIMBURSE BOOKS MULTIPLE MBRS FOR COURSE	614.88
			Total 614.88
7588	2/22/2019	JEFF WISNET FEBRUARY CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone FEBRUARY CELL PHONE STIPEND	30.00
			Total 30.00
7589	2/22/2019	JENNIFER WEYENBERG FEBRUARY CELL PHONE STIPEND	
100-00-51600-500-022		Municipal Bldg - Telephone FEBRUARY CELL PHONE STIPEND	40.00
			Total 40.00
7590	2/22/2019	JEREMY GACKENHEIMER REIMBURSE TEXTBOOK FOR CLASS	
100-06-52200-305-000		Fire Dept - Training/Mem REIMBURSE TEXTBOOK FOR CLASS	263.55
			Total 263.55
7591	2/22/2019	JULIE BUELOW MAIL BOX REIMBURSEMENT JULIE BUELOW	

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100-09-53311-900-000		Hwy Dept - Road Maintenance MAIL BOX REIMBURSEMENT JULIE BUELOW	60.00
Total			60.00
7592	2/22/2019	KATIE YOUNG REIMBURSE COST OF EMR CLASS	
100-08-52300-000-000		1st Responders - Operating Exp REIMBURSE COST OF EMR CLASS	324.16
Total			324.16
7593	2/22/2019	KIM DOTSON CANCELLATION PARK RENTAL 6/21/19	
100-00-46722-000-000		Park Shelter Rental Fee CANCELLATION PARK RENTAL 6/21/19	30.00
Total			30.00
7594	2/22/2019	KRUCZEK CONSTRUCTION INC CERTIFICATE PAYMENT #1 (FARMERS FIELD)	
100-00-57220-000-000		Capital Outlay - Parks CERTIFICATE PAYMENT #1 (FARMERS FIELD)	129,287.50
Total			129,287.50
7595	2/22/2019	L & S TRUCK CENTER -252778-	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance TRUCK #14 FROM 2/18/19 252778	27.17
Total			27.17
7596	2/22/2019	LANGE ENTERPRISES, INC 68168	
100-09-53315-902-000		Hwy Dept - Signs FROM 2/6/19 ROAD NAME SIGNS 68168	583.26
Total			583.26
7597	2/22/2019	LISOWE OIL 24900, 24920	
100-09-53311-600-030		Hwy Dept - Fuel FROM 2/8/19 24900	1,710.35
100-09-53311-600-030		Hwy Dept - Fuel FROM 2/11/19 24920	1,674.25



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			<b>Total</b> 3,384.60
7598	2/22/2019	MARK MOMMAERTS FEBRUARY CELL PHONE STIPEND	
100-00-51600-500-022		Municipal Bldg - Telephone FEBRUARY CELL PHONE STIPEND	40.00
			<b>Total</b> 40.00
7599	2/22/2019	MGD INDUSTRIAL CORPORATION 169966	
100-09-53311-400-000		Hwy Dept - Supplies FROM 2/7/19 CAUTION TAPE, HAND CLEANER 169966	84.28
			<b>Total</b> 84.28
7600	2/22/2019	MIKE BRANTMEIER FEBRUARY CELL PHONE STIPEND	
100-06-52200-500-022		Fire Station 60 - Telephone FEBRUARY CELL PHONE STIPEND	30.00
			<b>Total</b> 30.00
7601	2/22/2019	MIKE NETT FEBRUARY CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone FEBRUARY CELL PHONE STIPEND	30.00
			<b>Total</b> 30.00
7602	2/22/2019	MONROE TRUCK EQUIPMENT, INC 803042, 803983	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 2/4/19 TRUCK #17 803042	91.97
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 2/14/19 TRUCK #20 WING VALVE 803983	307.84
			<b>Total</b> 399.81
7603	2/22/2019	MORTON SALT 5401779435, 5401781254-55, 5401789951	
100-09-53311-903-000		Hwy Dept - Salt & Sand FROM 2/12/19 BULK SAFE-T-SALT 5401779435	2,792.37
100-09-53311-903-000		Hwy Dept - Salt & Sand FROM 2/13/19 BULK SAFE-T-SALT 5401781254	7,324.75

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100-09-53311-903-000		Hwy Dept - Salt & Sand	7,035.79
	FROM 2/13/19	BULK SAFE-T-SALT 5401781255	
100-09-53311-903-000		Hwy Dept - Salt & Sand	4,327.97
	FROM 2/20/19	BULK SAFE-T-SALT 5401789951	
Total			21,480.88

7604 2/22/2019 MUNICIPAL CODE CORPORATION  
00321981

100-02-51400-400-006		Gen. Admin - Service Contracts	275.00
		ADMIN SUPPORT FEE 12/1/18-11/30/19	
Total			275.00

7605 2/22/2019 NSAH, INC  
DEVELOPMENT AGREEMENT TOONEN

401-00-56700-700-000		Grant-Toonen Development TID 1	198,866.68
		DEVELOPMENT AGREEMENT TOONEN	
Total			198,866.68

7606 2/22/2019 OMNI ASSOCIATES, INC  
N2020F18-1

Previous Year Expense

100-00-53441-100-000		Illicit Discharge Program	4,800.00
		2018 IDDE INSPECTIONS N2020F18-1	
Total			4,800.00

7607 2/22/2019 PETERS CONCRETE CO.

-CERTIFICATE OF PAYMENT #3 (BLACKOAK ST) - Previous Year Expense

100-09-57330-000-000		Capital Outlay - Road Projects	247,136.75
		CERTIFICATE OF PAYMENT #3 (BLACKOAK ST)	
Total			247,136.75

7608 2/22/2019 SCHAEFFERS MFG CO  
759189-INV1

100-09-53311-700-000		Hwy Dept - Equip Maintenance	898.15
		FROM 2/14/19 CONVERTOR FLUID 759189-INV1	
Total			898.15

7609 2/22/2019 SCOTT LAMERS CONSTRUCTION, LLC  
3814 LESS HOLD PER CALL SCOTT W/JEFF

100-00-53441-000-000		Storm Sewer Maintenance	40,128.47
		SERVICE FROM 05/08-11/30/18 LESS HOLD 3814	

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			<b>Total</b>
			40,128.47
7610	2/22/2019	SPECTRUM- 6401	
-606836401020919			
100-02-51400-400-006		Gen. Admin - Service Contracts	424.91
		ACC 606836401 SERVICE PERIOD 2/08-3/07	
			<b>Total</b>
			424.91
7611	2/22/2019	STAMPS.COM	
S1092619021			
100-02-51400-400-006		Gen. Admin - Service Contracts	39.99
		METER 7434038 SERVICE FEE 2/1-2/28	
		S1092619021	
			<b>Total</b>
			39.99
7612	2/22/2019	STUMPF EXCAVATING & TRUCKING	
7564			
100-09-53311-505-000		Hwy Dept - Building Maint	240.00
		PUMP HOLDING TANKS 2/19/19	
		7564	
			<b>Total</b>
			240.00
7613	2/22/2019	SUPERIOR VISION INSURANCE	
		OFFICE VISION INSURANCE FOR MAR 19	
100-02-51400-200-000		Gen. Admin - Benefits	49.30
		OFFICE VISION INSURANCE FOR MAR 19	
		0000242499	
100-09-53311-200-000		Hwy Dept - Benefits	95.07
		SHOP VISION INSURANCE FOR MAR 19	
		0000242499	
100-01-51101-200-000		Planning - Benefits	24.65
		PLANNER VISION INSURANCE FOR MAR 19	
		0000242499	
100-00-14500-000-000		Due from Special Purpose Dist.	95.07
		UTILITIES VISION INSURANCE FOR MAR 19	
		0000242499	
100-02-51400-200-000		Gen. Admin - Benefits	14.08
		PENNY W UTILITIES REFUNDING NEXT BILL	
		0000242499	
			<b>Total</b>
			278.17
7614	2/22/2019	TRAVIS PARISH	
		FEBRUARY CELL PHONE STIPEND.	
100-00-51600-500-022		Municipal Bldg - Telephone	40.00
		FEBRUARY CELL PHONE STIPEND	
			<b>Total</b>
			40.00

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7615	2/22/2019	ULTIMATE CLEANING LIMITED	
1910			
100-02-51400-400-006		Gen. Admin - Service Contracts	252.79
		MARCH 2019 SERVICES	
		1910	
		Total	252.79
7616	2/22/2019	VON BRIESEN & ROPER TRUSH ACCOUNT	
		VANDEHEY SETTLEMENT	
401-00-57200-000-000		Street Improvements - TID.#1	40,000.00
		VANDEHEY SETTLEMENT	
		Total	40,000.00
7617	2/22/2019	W.S. DARLEY & CO	
-17352045			
100-06-57220-000-000		Fire Dept - Capital Outlay	569.45
		FROM 2/13/19 BOOTS	
		17352045	
		Total	569.45
7618	2/22/2019	WCMA	
		2019 MEMBERSHIP DUES	
100-02-51400-310-000		Gen. Admin - Dues	165.00
		2019 MEMBERSHIP DUES	
		Total	165.00
7619	2/22/2019	WESLEY POMPA	
		FEBRUARY CELL PHONE STIPEND	
100-07-52200-500-022		Fire Station 70 - Telephone	30.00
		FEBRUARY CELL PHONE STIPEND	
		Total	30.00
7620	2/22/2019	WIL-KIL PEST CONTROL	
		3574076, 3574296, 3574297	
100-02-51400-400-006		Gen. Admin - Service Contracts	42.00
		FIRE STATION 60	
		3574296	
100-02-51400-400-006		Gen. Admin - Service Contracts	42.00
		FIRE STATION 70	
		3574297	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION #60	
		NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION 70	
		NA	

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100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		POWER SPRAY - VILLAGE HALL	
		NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	81.75
		VILLAGE HALL	
		3574076	
Total			165.75
Grand Total			953,654.05

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Total Expenditure from Fund # 100 - GENERAL FUND	714,787.37
Total Expenditure from Fund # 401 - TAX INCREMENTAL DISTRICT #1	238,866.68
Total Expenditure from all Funds	953,654.05

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100-00-11100-000-000	SHARE OF CHECKING-General		714,787.37
	Total Expenditure - Fund # 100	714,787.37	
401-00-11100-000-000	SHARE OF CHECKING-TIF #1		238,866.68
	Total Expenditure - Fund # 401	238,866.68	
	<b>Total</b>	<b>953,654.05</b>	<b>953,654.05</b>

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1166	2/05/2019	CALUMET COUNTY TREASURER OVERPAYMENT PARCEL 34278 2017 PAST DUE	
100-00-21070-000-000		Overpayments Payable OVERPAYMENT PARCEL 34278 2017 PAST DUE	2,175.89
		Total	2,175.89
1167	2/05/2019	CHELSEA OR DEREK SCHMIDT 2018 TAX REFUND PARCEL 37832	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 37832	131.97
		Total	131.97
1168	2/05/2019	GAYLE POMPA 2018 TAX REFUND PARCEL 40320	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 40320	147.93
		Total	147.93
1169	2/05/2019	JACOB ZELINSKE 2018 TAX REFUND PARCEL 40038	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 40038	260.38
		Total	260.38
1170	2/05/2019	JEFFREY OR KELLY HABER 2018 TAX REFUND PARCEL 35150	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 35150	131.97
		Total	131.97
1171	2/05/2019	KATHLEEN OR JAMES SCHUH 2018 TAX REFUND PARCEL 33608	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 33608	20.02
		Total	20.02
1172	2/05/2019	LEE COFFEY 2018 TAX REFUND PARCEL 37254	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 37254	3,071.04



2/05/2019 10:11 AM

Check Register - Full Report - ALL

Page: 2

ALL Checks  
TAX CHECKING

ACCT

Dated From:

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
			<b>Total</b> 3,071.04
1173	2/05/2019	MARYLAND OR TREVOR COLEMAN 2018 TAX REFUND PARCEL 42198	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 42198	131.97
			<b>Total</b> 131.97
1174	2/05/2019	MATTHEW OR GINA MULLEN 2018 TAX REFUND PARCEL 34906	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 34906	199.95
			<b>Total</b> 199.95
1175	2/05/2019	PAUL WISNESKI 2018 TAX REFUND PARCEL 39470	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 39470	402.74
			<b>Total</b> 402.74
1176	2/05/2019	RANDALL PREISLER OR ANDREW DUNNY 2018 TAX REFUND PARCEL 42402	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 42402	321.16
			<b>Total</b> 321.16
1177	2/05/2019	RANDALL PREISLER OR ANDREW DUNNY 2018 TAX REFUND PARCEL 42402	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 42402	759.14
			<b>Total</b> 759.14
1178	2/05/2019	RYAN OR ANDREA HINSKE 2018 TAX REFUND PARCEL 37908	
100-00-21070-000-000		Overpayments Payable 2018 TAX REFUND PARCEL 37908	131.97
			<b>Total</b> 131.97
1179	2/05/2019	STUMPF FAMILY TRUST PAUL & RUTH 2018 TAX REFUND PARCEL 39040	

2/05/2019 10:11 AM

Check Register - Full Report - ALL  
ALL Checks  
TAX CHECKING

Page: 3  
ACCT

Dated From:

From Account:

Thru:

Thru Account:

Check Nbr	Check Date	Payee	Amount
100-00-21070-000-000		Overpayments Payable	0.01
		2018 TAX REFUND PARCEL 39040	
		Total	0.01
1180	2/05/2019	TERRY OR ANN GRISSMAN	
		2018 TAX REFUND PARCEL 40364	
100-00-21070-000-000		Overpayments Payable	147.93
		2018 TAX REFUND PARCEL 40364	
		Total	147.93
		Grand Total	8,034.07

2/05/2019 10:11 AM

Check Register - Full Report - ALL  
ALL Checks  
TAX CHECKING

Page: 4  
ACCT

Dated From:  
Thru:

From Account:  
Thru Account:

Amount

---

Total Expenditure from Fund # 100 - GENERAL FUND

8,034.07

Total Expenditure from all Funds

8,034.07

2/05/2019 10:12 AM

Check Posting Control Report

Page: 1

ALL Checks

ACCT

Posting Date: 2/05/2019

TAX CHECKING

Dated From:

Thru:

Account Number	Account Code Description	Debit	Credit
100-00-11101-000-000	Tax Checking		8,034.07
	Total Expenditure - Fund # 100	8,034.07	
	<b>Total</b>	<b>8,034.07</b>	<b>8,034.07</b>

**VILLAGE OF HARRISON  
PUBLIC HEARING & BOARD MEETING MINUTES  
02/12/19**

A meeting of the Village of Harrison Board was called to order on Tuesday, February 12, 2019 at 7:00pm in the Harrison Municipal Building, W5298 State Road 114. After the Pledge of Allegiance was recited, roll call was taken.

Board present: President Jim Salm, Trustees Joe Sprangers, Buddy Lisowe, Kevin Hietpas, Gary Nickel, Tamra Nelson  
Board excused: Trustee Tyler Moore  
Staff present: Clerk Jennifer Weyenberg, Planner Mark Mommaerts, Village Manager Travis Parish

Correspondence or Communications from Board and Staff

Bud Rusch letter regarding assessments in Kambura Acres development- Mr. Rusch asked that the board reconsider its decision regarding the assessments on the curb/gutter, sidewalks and finished asphalt in the next phase of Kambura Acres. He questioned the fairness of the village's agreements with different developers.

Shaun Forslund would like to build a shed to store the holiday displays and lights in. He asked Trustee Lisowe if the village had any land available that could be used for the shed.

Consent Agenda

Payment of Bills and Claims, Minutes from 12/11/18, Operator Licenses for Mitchell Heimlich, Taylor Benz, Tina Fox, Angela Jesse, Trevor Gelhaar, Discharge of Firearms for Corey Stumpf (FL 12), Certificate of Payment #1- Farmers Field Park Storm Sewer in the amount of \$129,287.50 to Kruczek Construction, Inc., Certificate of Payment #4- Rustic Lane & Hickory Drive Urbanization in the amount of \$203,340.41 to Gene Frederickson Trucking and Excavating, Inc., Certificate of Payment #3- 2018 Storm Sewer Interceptor Construction in the amount of \$247,136.75 to Peters Concrete Co., Pay Request No. 3- Lift Station #6 in the amount of \$36,747.00 to Dorner, Inc., Change Order #1- 2018 Storm Sewer Interceptor Construction in the amount of \$24,255.63

Discussion: None

Motion: Trustee Nelson with second by Trustee Nickel to approve the consent agenda.

Vote: Motion carried 6-0.

Items Removed from Consent Agenda

None

Appointments

None

Unfinished Business from Previous Meetings for Consideration or Action

a) None

New Business for Consideration or Action

a) Res. V2019-01 Approving the Project Plan for Tax Incremental Financing District #2

Discussion: The TID will be created in the area near Hwy 55 and Highline Road/County KK. It is intended to be a mixed-use district suitable for residential, commercial and industrial uses. It will be a pay-as-you-go TID, where developers will front the money for needed infrastructure and will be reimbursed through the tax revenue generated by the development they create.

Motion: Trustee Nelson with second by Trustee Hietpas to approve Res. V2019-01.

Vote: Motion carried 6-0.

b) Res. V2019-02 Creating Tax Incremental Financing District #2

Discussion: None (tied in with the discussion on approving the project plan)

Motion: Trustee Lisowe with second by Trustee Hietpas to approve Res. V2019-02.

Vote: Motion carried 6-0.

c) Refund \$140.00 garbage charges

Discussion: (1) A house was taken down at N8222 State Park Road and the garbage charges for 2019 were on the tax bill. Staff recommends refunding the \$140 charge. (2) Advanced Disposal records show that the property at W5223 Schaefer Road has had two garbage cans and two recycling cans and therefore the owners have been paying \$280.00 on their tax bill. The property owner contacted the office in December and said they have never had two cans of each kind and requested a refund of \$140.00. The driver for Advanced Disposal confirmed that he currently only empties one can of each. The owners are requesting a refund for the prior year as well. Staff recommends approving the refund for the current year but denying the request for the prior year as Advanced Disposal's records show they delivered multiple cans at one point and we can't confirm if multiple cans were being used in prior years.

Motion: Trustee Nelson with second by Trustee Hietpas to approve the refunds of \$140.00 to N8222 State Park Road and W5223 Schaefer Road with no refund on the prior year.

Vote: Motion carried 6-0.

After the vote, the property owners of W5223 Schaefer Road still asked for a refund of the prior year and said it was unfair that their request had been denied. Trustee Hietpas then made a motion to approve the refund for the prior year. The motion did not receive a second and failed.

d) Upgrade Fire Station Lighting

Discussion: The Fire Chief is asking for authorization to spend up to \$5,000 to upgrade the lighting at both Fire Stations. The funds would be taken from the sale of the 1997 Brush Truck which was recently sold at auction for \$14,800. Consensus from the board was to discuss this request later this year at budget time and include the lighting upgrade in the 2020 capital budget.

Motion: Trustee Nickel and second by Trustee Nelson to deny the request to use \$5,000 from the sale of the Brush Truck and instead discuss the lighting upgrade at budget time.

Vote: Motion carried 5-1 with Trustee Hietpas opposed.

e) Discuss Public Works Director Job Description

Discussion: Village Manager T. Parish shared a position description with the board. The position will be responsible for the direction and supervision of the public works department and Harrison Utilities. A bachelor's degree in Engineering or Public Works related field and minimum of 5 years supervisory work experience will be required.

Motion: Trustee Nelson and second by Trustee Hietpas to approve the job description with the addition that a CDL is highly desirable.

Vote: Motion carried 6-0.

f) Facilities Study- Agreement with Integrated Public Resources

Discussion: The village has a need to construct a municipal complex which would include a new fire station and village hall. IPR has proposed to conduct a study on behalf of the village to determine future needs. Option #1 includes an assessment of current facilities and provides conceptual plans for proposed additions to, or replacement of facilities (cost is \$48,300). Option #2 would not include the assessment of current facilities (cost is \$32,200).

Motion: Trustee Lisowe with second by Trustee Nelson to approve Option #1 with a cost not to exceed \$50,000.

Vote: Motion carried 6-0.

Reports

Activity reports for Calumet Co. Sheriff's Department, Zoning Permits, Harrison Fire Rescue and the Treasurer's Statement of Income and Expenses were distributed.

Closed Session – Purchase Property (Halverson), TID #1 Development Agreement (Gregorski):  
Settlement Agreement (VandeHey); Kaukauna Youth Baseball

Motion by Trustee Sprangers with second by Trustee Lisowe to enter closed session at 8:40pm.

Roll Call Vote: Sprangers- aye

Lisowe- aye

Salm- aye

Hietpas-aye

Nickel- aye

Nelson- aye

Pursuant to Wis. Stats §19.85(1)(e) the board met in closed session to deliberate or negotiate the purchase of public property, investment of public funds, or conduct other business when competitive or bargaining require a closed session and under Wis. Stats §19.85(1)(g) to confer with legal counsel regarding current or likely litigation.

The village board did not reconvene in open session. The meeting adjourned in closed session.

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Jennifer Weyenberg, Village Clerk-Treasurer

Dated February 12, 2019

Approved by the Village Board on February 26, 2019

Bud Rusch -  
oversizing pipes

**VILLAGE OF HARRISON  
BOARD MEETING MINUTES  
09/11/2018**

A regular meeting of the Village of Harrison Board was called to order on Tuesday, September 11, 2018 at 7:00pm in the Harrison Municipal Building, W5298 State Road 114. After the Pledge of Allegiance was recited, roll call was taken.

Board present: President Jim Salm, Trustees Joe Sprangers, Buddy Lisowe, Tyler Moore, Kevin Hietpas, Tamra Nelson  
Board excused: Trustee Gary Nickel  
Staff present: Clerk Jennifer Weyenberg, Public Works Director Bob Kesler, Planner Mark Mommaerts, Village Manager Travis Parish and Chief Amos Mikkelson

Correspondence or Communications from Board and Staff

Trisha Rose (W5645 Firelane 12): Asked the feasibility of sewer and water service to properties on Firelanes 12 and 13. The consensus of the board was to send out another survey and ask the property owners in that area if there is interest.

Zac Wittman: Has an interest in purchasing the home at N7871 Jurek Court but needs to replace the septic system. He asked if annexation to Village of Sherwood is an option. Village Manager Parish responded to him via email that it has been the policy to deny detachments.

Public Comments

Homeowner from Cedar Ridge II subdivision talked about a property owner on Manitowoc Road that is storing excessive amounts of wood for a wood-burning furnace. Staff has previously contacted the person and asked him to remove some of the wood but he's not technically violating village ordinances.

Swearing in Ceremony for Newly Approved Harrison Fire Rescue Members and Recognition of Members for Completing Probations

Village Clerk Jennifer Weyenberg swore in the new Harrison Fire Rescue Members and Chief Amos Mikkelson recognized members who had recently completed probation.

Service to the Community Ceremony in recognition of 08/28/18 rescue

The boys were not able to attend the meeting.

Consent Agenda

Minutes from 08/28/18; Application for Operator's License

Discussion: None

Motion: Trustee Moore with second by Trustee Nelson to approve the consent agenda.

Vote: Motion carried 6-0.

Items Removed from Consent Agenda

None

\*Item 12e moved up on the agenda: Discuss Possible Police Services Contract with Calumet County

Discussion: The proposed contract is broken into three one-year increments:

Year 1- 3 deputies at total cost of \$410,320.03

Year 2- 4 deputies at total cost of \$589,591.23

Year 3- 5 deputies at total cost of \$733,954.64

The estimated effect on taxpayers could be approximately \$80/parcel or approximately 0.44/thousand of assessed value. The contract would be all inclusive and the village would not be charged for any additional services such as SWAT and K-9 unit. Police vehicles would be branded with the Harrison logo



and housed at the Village Hall. Office space at the Village Hall would also be provided to the officers. Concerns were raised about budgeting for the increased costs with the levy restraints.  
Motion: None taken. This will be discussed in more detail at an upcoming budget meeting.  
Vote: None

Unfinished Business from Previous Meetings for Consideration or Action

a) Ryford St. Extension

Discussion: This item was postponed from the July meeting in order for staff to get a timeline for development from the adjacent property owners and then again at the August meeting in order to look at how the project would be funded. Staff recommends that the \$34,000 come from undesignated funds, rolling it into the loan for the lift station project, or using loan money from the Schmidt Rd. bridge project. The board could also delay the project and budget for it in 2019.

Motion: Trustee Moore with second by Trustee Nelson to roll it into the loan for the lift station project.

Vote: Motion carried 6-0.

New Business for Consideration or Action

a) Permission to Place Fence in Drainage Easement- W5805 Hoelzel Way

Discussion: The owners request permission to place a fence in a drainage easement. The main purpose of the easement was to increase the side yard setback to allow for better lot grading between two subdivisions.

Motion: Trustee Moore with second by Trustee Hietpas to approve the fence request and the owners must sign the Occupy Drainage Easement agreement.

Vote: Motion carried 6-0.

b) Watermain Oversizing Reimbursement in Kambura AcresIII Subdivision

Discussion: The developer has asked that the village pay for the upsizing from an 8" to 10" pipe. Harrison Utilities has an ordinance stating they will pay for upsizing over 10". The cost is \$6,735.00. Staff questioned the engineer's determination that a 10" pipe was needed.

Motion: Trustee Lisowe with second by Trustee Sprangers to deny the request and follow the existing ordinance for oversizing. The Board asks that the engineer for Harrison Utilities attend the next board meeting to explain the need for a 10" pipe.

Vote: Motion carried 4-2 with Trustees Moore and Nelson opposed.

c) Paving and Sidewalk Requirements for Proposed Hidden Pines Subdivision

Discussion: The developer for the proposed new subdivision is requesting that the street be paved with asphalt rather than concrete (concrete is the board's policy). He is also asking that sidewalks be installed on one side of the street rather than both. The developer noted that the surrounding roads are currently asphalt, but the board countered that when the surrounding asphalt roads are repaired they will be done in concrete.

Motion: Trustee Lisowe with second by Trustee Nelson to enforce the current policy of concrete streets for new subdivisions and that sidewalks on both sides be maintained for the proposed Hidden Pines subdivision.

Vote: Motion carried 6-0.

d) Authorize Fire Chief to Sell Surplus Equipment

Discussion: The chief requested permission to sell the 1997 Ford Pick Up and its equipment on [www.WisconsinSurplus.com](http://www.WisconsinSurplus.com). All Harrison markings will be removed prior to its listing. The cost of the listing will be passed on to the buyer.

Motion: Trustee Lisowe with second by Trustee Nelson to approve the request.

Vote: Motion carried 5-0 with Trustee Moore abstaining.

e) Possible Police Services Contract with Calumet County \*Moved up on agenda\*

f) Request from WE Energies for Distribution Easements on CTH LP

Discussion: WE Energies is requesting two easements for locating utilities on CTH LP. One is for the Harrison Utilities property and the other easement would run through Fire Station 70's parking lot. The utilities are being relocated due to the LP project.

Motion: Trustee Lisowe with second by Trustee Nelson to approve the easements.

Vote: Motion carried 6-0.

Reports

No reports were distributed this meeting.

There being no other business, a motion was made by Trustee Moore with second by Trustee Lisowe to adjourn the meeting at 8:45pm. Motion carried 6-0.

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Jennifer Weyenberg, Village Clerk-Treasurer

Dated September 11, 2018

Approved September 25, 2018

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**VILLAGE BOARD MEETING**

---

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

January 29, 2019

---

**Title:**

CSM – Mielke (Tax ID 43796)

---

**Issue:**

Should the Village Board approve the Certified Survey Map?

---

**Background and Additional Information:**

The property owner owns two agricultural parcels (Tax ID 43796 & 43768) and plans to subdivide the property fronting Mielke Road into single-family lots. There is a future road proposed to access the remaining agricultural lands behind the lots. Lots can be created by Certified Survey Map (CSM), but are limited to four lots every five years. The proposed CSM for Tax ID 43796 will be the fourth lot created within the past five years. Any additional lot splits may require a subdivision plat.

The property owner is proposing a 1-lot Certified Survey Map (CSM) for the property located along Mielke Road. The property is zoned General Agricultural (AG). The purpose of the CSM is to create a single-family home site. The AG zoning district currently allows single-family homes as a permitted use. The property owner is working with the Calumet County Planning & Zoning Dept. regarding the private sanitary systems. Access will come from Mielke Road via culvert and private driveway to each lot.

Staff has asked for a grading/drainage plan be developed for all the lots created and being proposed along Mielke Road. This will help ensure that the area develops in an orderly fashion and that future drainage issues are avoided.

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**Budget Impacts:** None

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**Recommended Action:**

The Plan Commission will meet prior to the Village Board to discuss and act on the Certified Survey Map. The Plan Commission decision will be presented at the meeting.

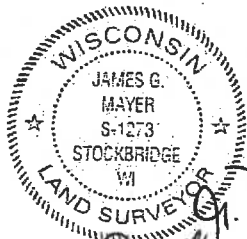
Staff recommends approval of the Certified Survey Map with the condition that a grading/drainage plan be reviewed and approved by the Village.

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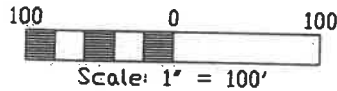
**Attachments:**

- Aerial Map
- CSM

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,  
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, (FORMERLY TOWN OF  
HARRISON), CALUMET COUNTY, WISCONSIN.

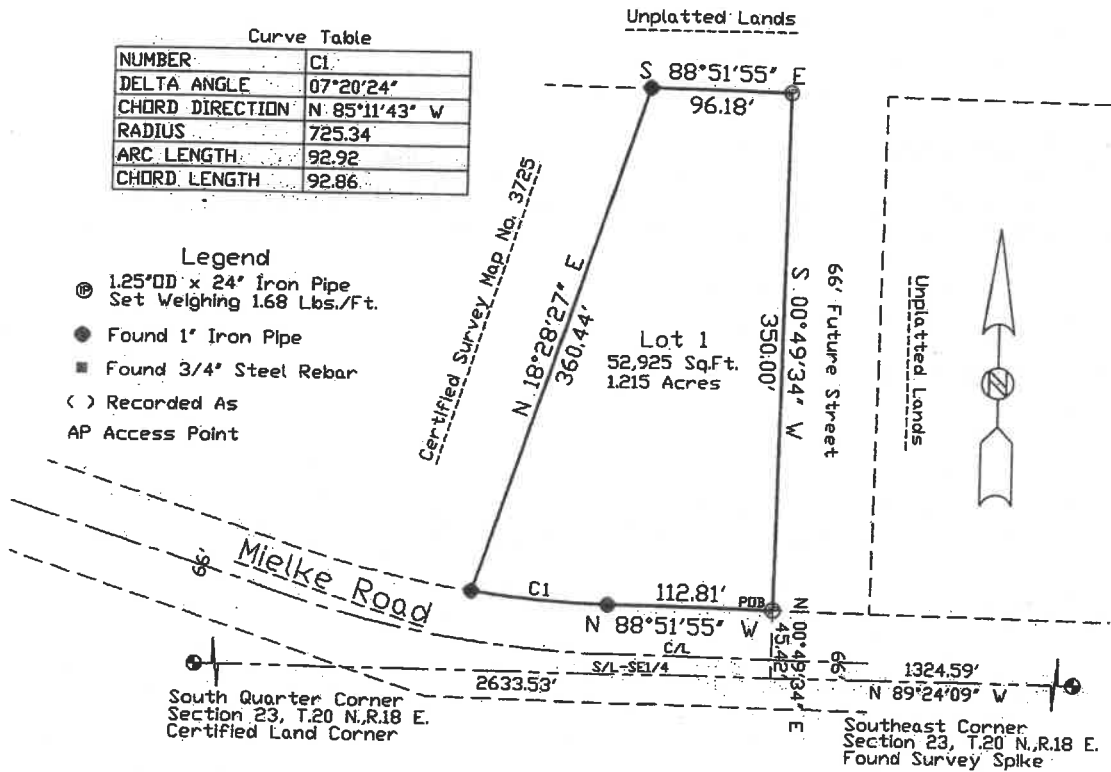


*James G. Mayer*  
*Member 27.2018.*



Curve Table	
NUMBER	CI
DELTA ANGLE	07°20'24"
CHORD DIRECTION	N 85°11'43" W
RADIUS	725.34'
ARC LENGTH	92.92'
CHORD LENGTH	92.86'

- Legend**
- ⊙ 1.25"OD x 24" Iron Pipe Set Weighing 1.68 Lbs./Ft.
  - Found 1" Iron Pipe
  - Found 3/4" Steel Rebar
  - ( ) Recorded As
  - AP Access Point



MAYER LAND SURVEYING  
N 5698 LAKE SHORE DRIVE  
HILBERT, WI. 920-439-1761

SURVEYED FOR  
DONALD R. MIELKE  
W5484 MIELKE ROAD  
MENASHA, WI

C:\Projcets\MielkeDon18\csm3.dwg  
BEARINGS REFERENCED TO COUNTY  
DATUM SOUTH LINE OF THE SOUTHEAST  
QUARTER BEARS NORTH 89°24'09" WEST.  
THIS INSTRUMENT DRAFTED BY J.G. MAYER'  
NOTEBOOK NO.44 PAGE 39.

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,  
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, (FORMERLY TOWN OF  
HARRISON), CALUMET COUNTY, WISCONSIN.

**VILLAGE BOARD CERTIFICATE**

Resolved that the above certified survey map in the Village of Harrison was approved by the Village Board on  
this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Village President

\_\_\_\_\_  
Village Clerk

**VILLAGE TREASURER'S CERTIFICATE**

I being the duly elected qualified and acting village treasurer of the Village of Harrison, do hereby certify that in  
accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of  
\_\_\_\_\_, 2019 on any of the lands included in this Certified Survey Map.

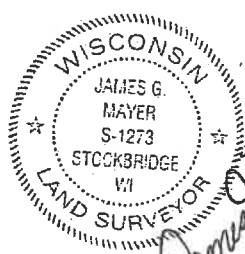
\_\_\_\_\_  
Village Treasurer                      Date

**COUNTY TREASURER'S CERTIFICATE**

I being the duly elected qualified and acting treasurer of the County of Calumet, do hereby certify the records in  
my office show unredeemed tax sales and no unpaid taxes or special assessments as of  
\_\_\_\_\_, 2019 affecting the lands included in this Certified Survey Map.

\_\_\_\_\_  
County Treasurer                      Date

Notes:  
This CSM is part of tax parcel no. 43796. This CSM is contained wholly within the property described in the  
following recorded instrument: Doc. No. 356788. The property owner of record is Donald R. Mielke, W5484  
Mielke Road, Menasha WI 54952.

  
*James G. Mayer*  
*November 27, 2018*

---

**VILLAGE BOARD MEETING****From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON****Meeting Date:**

January 29, 2019

---

**Title:**

CSM – Mielke (Tax ID 43768)

---

**Issue:**

Should the Village Board approve the Certified Survey Map?

---

**Background and Additional Information:**

The property owner owns two agricultural parcels (Tax ID 43796 & 43768) and plans to subdivide the property fronting Mielke Road into single-family lots. There is a future road proposed to access the remaining agricultural lands behind the lots. Lots can be created by Certified Survey Map (CSM), but are limited to four lots every five years. The proposed CSM for Tax ID 43768 will be the second and third lot created within the past five years.

The property owner is proposing a 2-lot Certified Survey Map (CSM) for the property located along Mielke Road. The property is zoned General Agricultural (AG). The purpose of the CSM is to create two single-family home sites. The AG zoning district currently allows single-family homes as a permitted use. The property owner is working with the Calumet County Planning & Zoning Dept. regarding the private sanitary systems. Access will come from Mielke Road via culvert and private driveway to each lot.

Staff has asked for a grading/drainage plan be developed for all the lots created and being proposed along Mielke Road. This will help ensure that the area develops in an orderly fashion and that future drainage issues are avoided.

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**Budget Impacts: None**

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**Recommended Action:**

The Plan Commission will meet prior to the Village Board to discuss and act on the Certified Survey Map. The Plan Commission decision will be presented at the meeting.

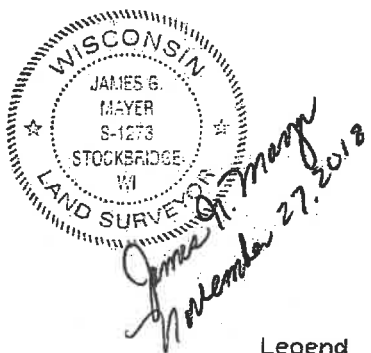
Staff recommends approval of the Certified Survey Map with the condition that a grading/drainage plan be reviewed and approved by the Village.

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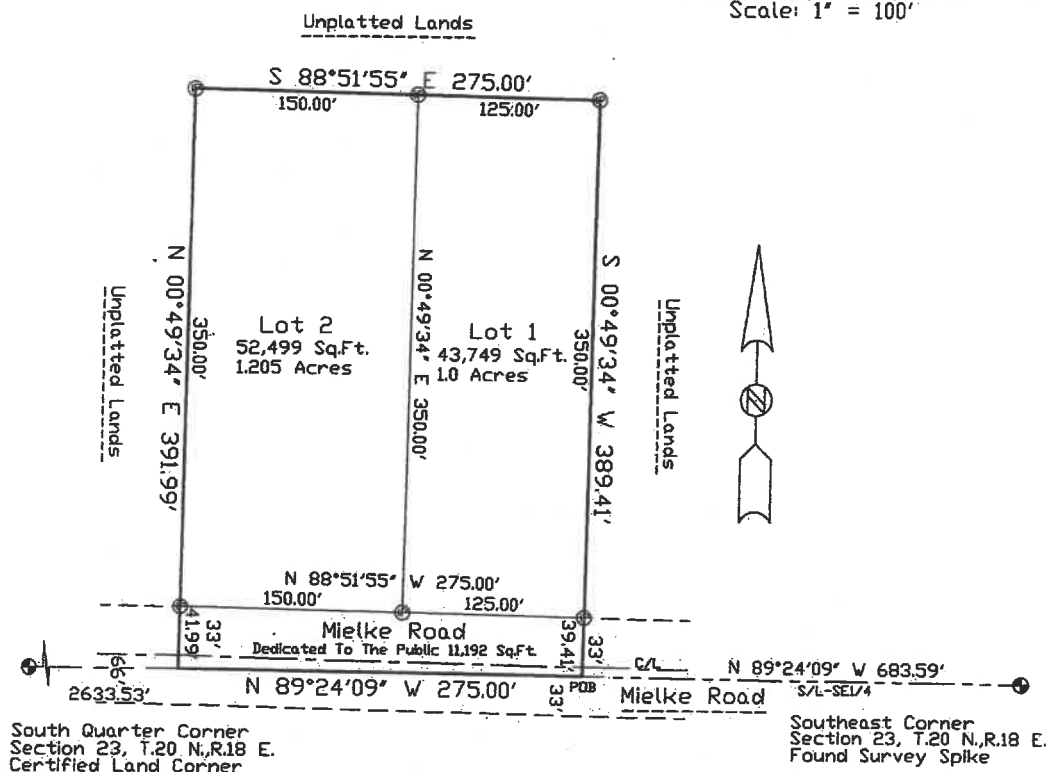
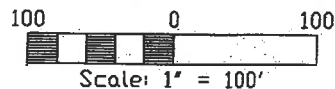
**Attachments:**

- Aerial Map
- CSM

PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,  
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, (FORMERLY TOWN OF  
HARRISON), CALUMET COUNTY, WISCONSIN.



- Legend
- ⊙ 1.25"OD x 24" Iron Pipe  
Set Weighing 1.68 Lbs./Ft.
  - Found 1" Iron Pipe
  - Found 3/4" Steel Rebar
  - < > Recorded As
  - AP Access point



South Quarter Corner  
Section 23, T.20 N., R.18 E.  
Certified Land Corner

Southeast Corner  
Section 23, T.20 N., R.18 E.  
Found Survey Spike

MAYER LAND SURVEYING  
N 5698 LAKE SHORE DRIVE  
HILBERT, WI. 920-439-1761

SURVEYED FOR  
DONALD MIELKE  
W5484 MIELKE ROAD  
MENASHA, WI

C:\Projects\MielkeDon18\csm2.dwg  
BEARINGS REFERENCED TO COUNTY  
DATUM SOUTH LINE OF THE SOUTHEAST  
QUARTER BEARS NORTH 89°24'09" WEST.  
THIS INSTRUMENT DRAFTED BY J.G. MAYER  
NOTEBOOK NO.44 PAGE 39.

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TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, (FORMERLY TOWN OF  
HARRISON), CALUMET COUNTY, WISCONSIN.

**VILLAGE BOARD CERTIFICATE**

Resolved that the above certified survey map in the Village of Harrison was approved by the Village Board on  
this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Village President

\_\_\_\_\_  
Village Clerk

**VILLAGE TREASURER'S CERTIFICATE**

I being the duly elected qualified and acting village treasurer of the Village of Harrison, do hereby certify that in  
accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of  
\_\_\_\_\_, 2019 on any of the lands included in this Certified Survey Map.

\_\_\_\_\_  
Village Treasurer

\_\_\_\_\_  
Date

**COUNTY TREASURER'S CERTIFICATE**

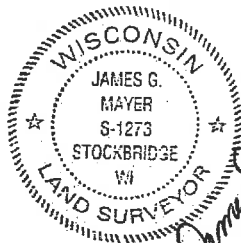
I being the duly elected qualified and acting treasurer of the County of Calumet, do hereby certify the records in  
my office show unredeemed tax sales and no unpaid taxes or special assessments as of  
\_\_\_\_\_, 2019 affecting the lands included in this Certified Survey Map.

\_\_\_\_\_  
County Treasurer

\_\_\_\_\_  
Date

Notes:

This CSM is part of tax parcel no. 43768. This CSM is contained wholly within the property described in the  
following recorded instrument: Doc. No. 356788. The property owner of record is Donald R. Mielke, W5484  
Mielke Road, Menasha WI 54952.



*James G. Mayer*  
*Member 27, 2018*



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**VILLAGE BOARD MEETING****From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON****Meeting Date:**

February 26, 2019

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**Title:**

Relocated Building Permit

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**Issue:**

Should the Village Board approve a relocated building permit?

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**Background and Additional Information:**

The applicant is proposing to move a house from W5961 Woodland Road to a vacant lot on Zirbel Drive. Harrison ordinances require a relocated building permit be approved by the Village Board prior to a move. As part of the process, the Plan Commission must provide the Board a recommendation as to whether the relocated house is compatible with other development in the area to be placed.

The process also requires a report from the Building Inspector concerning structural soundness and any improvements that must be made if the building is relocated, and a report from the Public Works Dept concerning the road conditions of the roads along the moving route. The moving route is primarily through private farmlands and along State Highway 10. It is anticipated that the move will occur while the ground is still frozen. The Public Works Dept viewed Kasten Road and has no concerns as long as the move occurs while the ground is frozen. The Building Inspector viewed the house and has no concerns regarding the structural soundness. Minor code improvements will be required as part of the building permit process.

Prior to permit issuance, a \$50,000 performance bond and proof of \$1,000,000 public liability insurance must be submitted.

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**Recommended Action:**

The Plan Commission will meet prior to the Village Board to discuss the compatibility with other development in the area.

Staff recommends approval of the relocated building permit in accordance with all required submittals and conditions of approval of the relocated building ordinance.

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**Attachments:**

- Relocated Building Application
- Photos of House & Proposed Lot
- Photos of other development in the Zirbel Drive area

Town/Village of Harrison  
 W5298 Hwy 114  
 Menasha, WI 54952  
 Phone: 920-989-1062

# HOUSE MOVING & RELOCATED BUILDING APPLICATION

Applicant Information			
Applicant Name (Indiv., Org. or Entity): <b>Steven T VerBust</b>		Authorized Representative	Title
Mailing Address: <b>1420 Coolidge Ave</b>		City: <b>Little Chute</b>	State: <b>WI</b> Postal Code: <b>54140</b>
E-mail Address: <b>sverbust@gmail.com</b>		Telephone (include area code): <b>920-851-8363</b>	Fax (include area code)
Landowner Information (if different than Applicant)			
Name (Organization or Entity): <b>Jason + Jenny Jaboke</b>		Contact Person	Title
Mailing Address: <b>N8744 Zirbel Dr.</b>		City: <b>Menasha</b>	State: <b>WI</b> Postal Code: <b>54952</b>
E-mail Address		Telephone (include area code)	Fax (include area code)
Project or Site Location			
Site Address / Location: <b>Zirbel Dr. Menasha</b>		Location ID(s): <b>44488</b>	Plat / CSM / Lot No.: <b>CSM 3680</b>
Quarter: <input type="checkbox"/> NW <input checked="" type="checkbox"/> NE <input checked="" type="checkbox"/> SW <input type="checkbox"/> SE		Section: <b>15</b>	Township: <b>T20 N</b> Range: <b>R18 E</b>
Legal Description: <b>51-834 SW 1/4 NE 1/4 Sec. 15-20-18 Lot 2</b>			
Current Zoning: <b>RS-1 Residential</b>		Current Use:	
Lot Dimensions: Front: <b>60</b> Side: <b>403.93</b> Rear: <b>329.65</b> Side: <b>269.3</b> Lot Area: <b>1.15</b> <input checked="" type="checkbox"/> acres or <input type="checkbox"/> square feet			
Project Information and Required Submittals (attach separate document if needed)			
<b>Type of building to be moved:</b> <input checked="" type="checkbox"/> House/Business/Principal Building <input checked="" type="checkbox"/> 400 sq ft or larger <input type="checkbox"/> Accessory Building <input type="checkbox"/> less than 400 sq ft, 18 ft height, 14 ft wide		<b>Final Destination:</b> <input checked="" type="checkbox"/> within Harrison <input type="checkbox"/> not within Harrison	
<b>For House/Business/Principal Building:</b> <input checked="" type="checkbox"/> Photographs from 2 or more angles (if final destination is within Harrison). <input checked="" type="checkbox"/> Photographs of lot for final destination, with adjacent lots and structures (if final destination is within Harrison). <input checked="" type="checkbox"/> Map depicting route. <input type="checkbox"/> Report from Village Building Inspector concerning structural soundness and improvements needed. <input type="checkbox"/> Report from Village Public Works concerning road conditions prior to moving. <input type="checkbox"/> \$50,000 Performance Bond. <input type="checkbox"/> Proof of \$1,000,000 Public Liability Insurance.		<b>For Accessory Buildings less than 400 sq ft:</b> <input type="checkbox"/> Map depicting route. <input type="checkbox"/> Report from Village Public Works concerning road conditions prior to moving. <input type="checkbox"/> \$50,000 Performance Bond. <input type="checkbox"/> Proof of \$1,000,000 Public Liability Insurance.	
Conditions of Approval:			
<ul style="list-style-type: none"> <li>Movement of building shall be continuous.</li> <li>Within 24 hours after move notify the Village of Harrison so that the streets can be inspected. If damage is noted mover shall repair as soon as possible. If not repaired within 10-days, the Village shall have repairs completed and payment to be taken from bond.</li> <li>If final destination is within Harrison owner shall within 6-months of move have building completed and habitable/usable.</li> <li>Prior basement/foundation from which the building was moved shall be filled in or removed to the satisfaction of the Village.</li> </ul>			
Certification & Permission			
<b>Certification:</b> I hereby certify that I am the landowner of the property which is the subject of this Application. I certify that the information contained in this form and attachments is true and accurate. I understand that failure to comply with any or all of the provisions of the ordinances and/or permit may result in notices, fines / forfeitures, stop work orders, permit revocation and cease & desist orders. <b>Permission:</b> As landowner of the property, I hereby give the permit authority permission to enter and inspect the property to evaluate this application, to determine compliance with the ordinances and to perform corrective actions after issuing proper notice to the landowner.			
Applicant Signature		Date Signed	
Landowner Signature (required)		Date Signed	
<b>LEAVE BLANK – FOR MUNICIPAL USE ONLY</b>			Inspections:

Date Complete Application Received:	Permit No.:	Date Approved:	
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**Ordinance V15-11: Relocated Buildings.**

- 1) Relocated Building Permit. Before any building of more than 400 square feet is moved onto a lot, from a lot, or through the Village, a Relocated Building Permit must be secured, in addition to the applicable Zoning Permit and Building Permit. These requirements do not apply to construction sheds or other temporary structures to be located on a lot for 18 months or less.
  - a) Permit Required. The applicant shall submit photographs taken from two (2) or more angles of the structure to be moved and photos of the lot on which the structure is to be located together with adjacent lots and structures, and a route along which the structure will be moved. The Building Inspector shall submit to the Planner a report concerning structural soundness and improvements that shall be made if the building is relocated. The Public Works Director (Director) shall submit to the Planner a report concerning the road conditions of the roads along the route that the structure will be moved and any other pertinent information. The Planner shall submit these reports to the Plan Commission and Village Board for review.
  - b) Board Approval. The Plan Commission shall report to the Village Board whether the structure will be compatible with other development in the area. The Village Board may withhold issuance of a permit for such relocation if the Plan Commission or Village Board determines that such structure would depreciate the area into which it is to be moved. The Village Board may place any number of conditions on the permit in order to protect the health, safety, general welfare, and property values of the area. This paragraph does not apply to moving of garages and sheds.
  - c) Bond & Insurance. Before a permit is issued to move any building over any public way in the Village, the party applying therefore shall give a \$50,000 performance bond to the Village Clerk. Such bond is to be returned upon meeting the above requirements and those set forth in subsections (e), (f) and (g) below, to the satisfaction of the Director. Should the conditions set forth in this section not be met by the permittee, the Director shall have the same done to his satisfaction, charging the cost thereof to the performance bond.
    - i) The Director shall require in addition to said bond, public liability insurance covering injury to one person in the sum of not less than One Million (\$1,000,000) Dollars and for one accident in a sum not less than Five Hundred Thousand (\$500,000) Dollars together with property damage insurance in a sum not less than Fifty Thousand (\$50,000) Dollars. If the performance bond is not sufficient to cover the costs of repairs or nuisance abatement of this section, then the additional cost will be assessed to the property and collected on the tax bill as a special charge.
  - d) Moving. When a permit is issued the movement of the building shall be a continuous operation during all hours of the day and night until such movement is fully completed.
  - e) Barriers. The permittee shall erect adequate barriers around the exposed excavation or foundation, either from the removal of the building from its foundation or around a foundation waiting for a building to be placed on it.
  - f) Streets. Every person receiving a permit to move a building shall within one (1) day after said building reaches its destination report to the Director who shall inspect the streets and highways over which said building has been moved and ascertain their condition. If any damage is reported, the person to whom the permit was issued shall forthwith place them in good repair as they were before the permit was granted. On the failure of said permittee to do so within ten (10) days thereafter to the satisfaction of the Director, the Director shall authorize to have the repairs of such damage done to Village owned property and shall hold the permittee responsible for the payment of same from his bond, as provided for in subsection (c) above.
  - g) Completion and Nuisance Determined. Every person receiving a permit to move a building shall within six (6) months after said building reaches its destination have the building complete and habitable if it is a home or complete and usable if it is a structure other than a home, to the satisfaction of the Building Inspector. Failure to do so shall constitute a nuisance and the Building Inspector, along with the Planner, shall proceed with abatement or remove the nuisance. The cost of such abatement shall be charged against the bond, as provided for in subsection (c). The prior basement/foundation from which the building was moved shall be filled in or removed to the satisfaction of the Village.
- 2) Moving of Small Buildings. Buildings of less than 400 square feet and less than 18 feet in height and less than 14 feet wide, including cornice, may be moved on a truck or trailer equipped with pneumatic tires. Such building may receive a

permit from the Public Works Director. All conditions required for the moving of buildings shall be met. A police escort may be required at the cost of the mover.



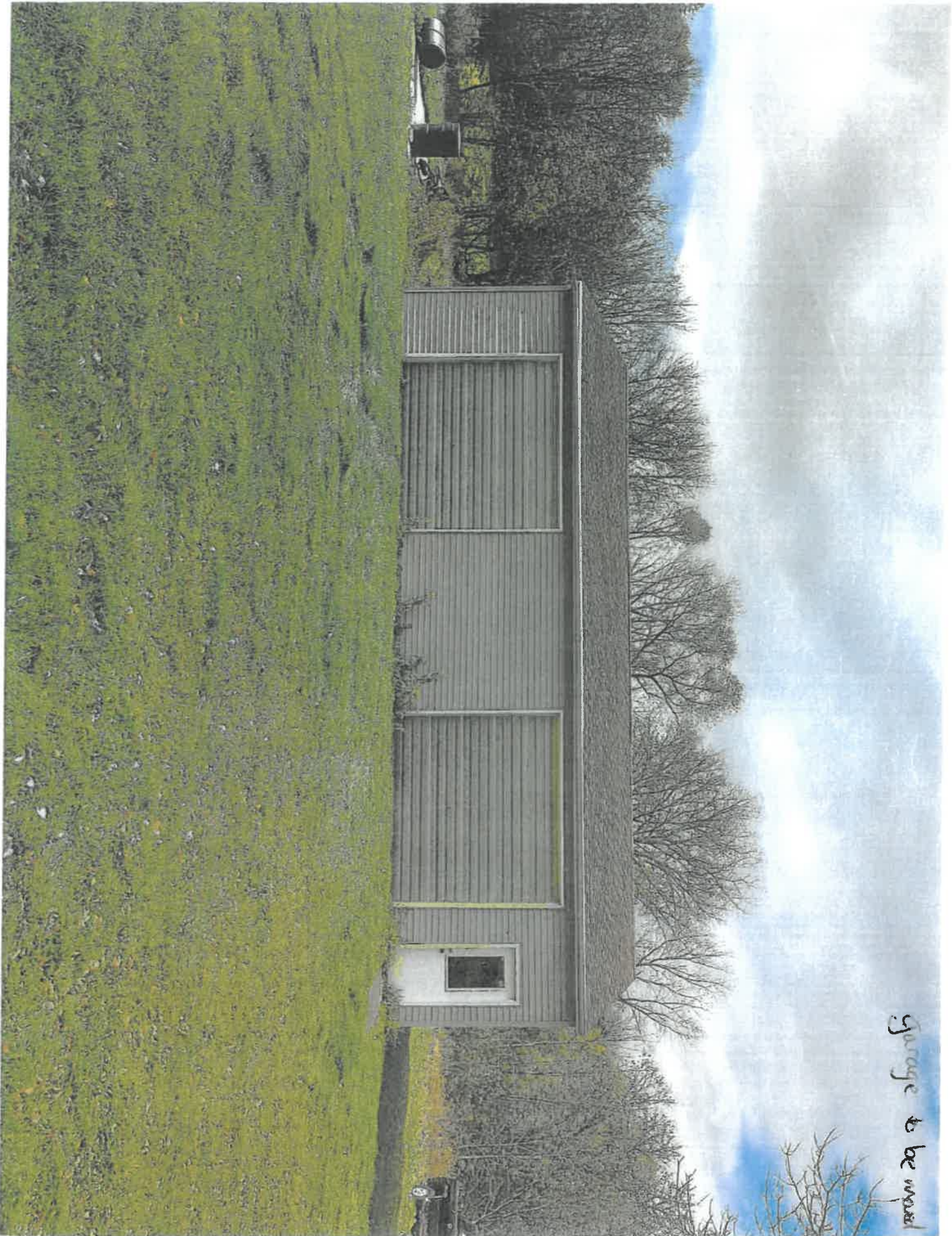
*Moving route*



House to be moved



House to be moved



garage to be moved



Google Maps 8743 Zirbel Dr

lot house to be moved to



[https://www.google.com/maps/@44.2075968,-88.328937,3a,83.4y,295.99h,95.91t/data=!3m1!1e1!3m4!1syo-3nQP\\_AqJmcT1EwR-g2e017113121816656](https://www.google.com/maps/@44.2075968,-88.328937,3a,83.4y,295.99h,95.91t/data=!3m1!1e1!3m4!1syo-3nQP_AqJmcT1EwR-g2e017113121816656)

11/23/2018

Google Maps 8739 Zirbel Dr

Zirbel Dr area



<https://www.google.com/maps/@44.2075119,-88.3281553,38.75y,270h,90t/data=!3m1!1e1!3m4!1spalM0aeguUaXL5Blm5fX9A12e017l133121816556>

11/23/2018

8743 Zirbel Dr



Image capture: Aug 2013 © 2019 Google

Menasha, Wisconsin



Street View - Aug 2013



Zirbel Dr



Image capture: Aug 2013 © 2019 Google

Menasha, Wisconsin



Street View - Aug 2013



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**VILLAGE BOARD MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

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**VILLAGE OF HARRISON**

**Meeting Date:**

February 26, 2019

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**Title:**

Preliminary Plat – Hidden Pines

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**Issue:**

Should the Village Board approve the Preliminary Plat for Hidden Pines?

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**Background and Additional Information:**

The developer is proposing a 10-lot subdivision called Hidden Pines. The subdivision is located south of Manitowoc Road along Harrisville Lane. The subdivision will have lot sizes between 13,000 and 34,000 square feet. A street connection to Harrisville Lane is proposed. Stormwater management is proposed on Lot 10 as dry detention pond, sediment removal will be obtained via the Lakeview Regional Pond. The subdivision will be serviced by public sewer and water. All streets will have a 5-foot sidewalk on both sides.

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**Budget Impacts:**

None

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**Recommended Action:**

The Plan Commission will meet prior to the Village Board to discuss and act on the Preliminary Plat for Hidden Pines. The Plan Commission decision will be presented at the meeting.

Staff recommends conditional approval of the Preliminary Plat for Hidden Pines with the following conditions:

1. A temporary turnaround shall be constructed until the east/west road is extended.
2. All lots shall have a storm sewer lateral provided for sump pump discharge.
3. Final utility, street plans, and stormwater management/erosion control plans shall be reviewed and approved by the Village Engineer and Village staff in writing prior to approval of the Final Plat and prior to utility and street construction.
4. A Development Agreement shall be executed prior to approval of the final plat.
5. A fee-in-lieu of parkland shall be negotiated as part of the Development Agreement.
6. An assessment waiver shall be signed prior to the approval of the final plat, if there will be any assessments by Village.
7. Any proposed street lights shall be installed and upfront costs to be paid by the Developer. The Village will assume long-term maintenance.

8. A note shall be added to the final plat indicating that the Village of Harrison will assess all lots for street improvements, including but not limited to, curb & gutter, concrete pavement, and sidewalks.
9. All drainageways, drainage easement, and associated infrastructure shall be installed, graded and seeded prior to roadway acceptance.
10. All utilities, including but not limited to, sewer & water, storm sewer, gas, electric, cable, phone shall be installed prior to roadway acceptance.
11. The Village Board shall accept the roadway prior to issuance of building permits and zoning permits.
12. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
13. All other improvements, including but not limited to, curb & gutter, concrete paving, sidewalks, shall be installed prior to issuance of building permits or zoning permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.
14. All comments from the Village engineer shall be included in the Plan Commission discussion and decision.
15. Location of all sidewalk curb ramps shall be approved by Harrison staff.
16. A grading/drainage stormwater management plan and erosion control plan shall be reviewed and approved by the Village engineer and Village staff.
17. Multiple benchmark locations shall be established for use during building construction.
18. All environmental corridors shall be clearly identified and setback lines to be indicated.
19. Grading/Drainage Plan shall identify elevations of ground at the foundation.
20. High-back, integral concrete curb shall be utilized rather than the mountable curb.
21. A 12-foot Utility Easement shall be added to front of all lots adjacent to the ROW.
22. All sanitary sewer, water, and storm laterals shall extend a minimum of 6-feet into the lot.

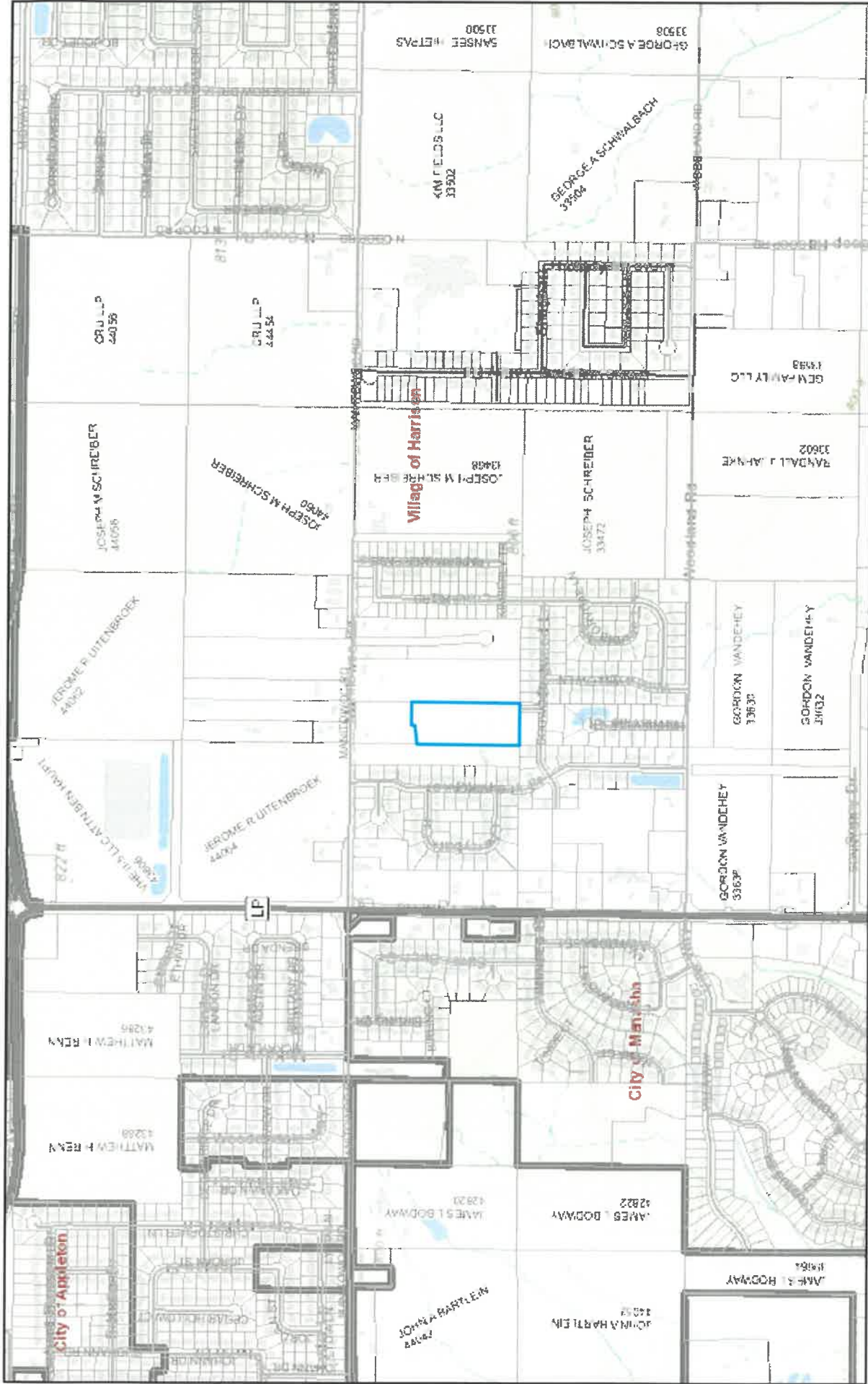
If the Village Board feels there are too many unresolved issued, the Board may postpone action until a later date.

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**Attachments:**

- Location Map
- Preliminary Plat

# Calumet County Parcel



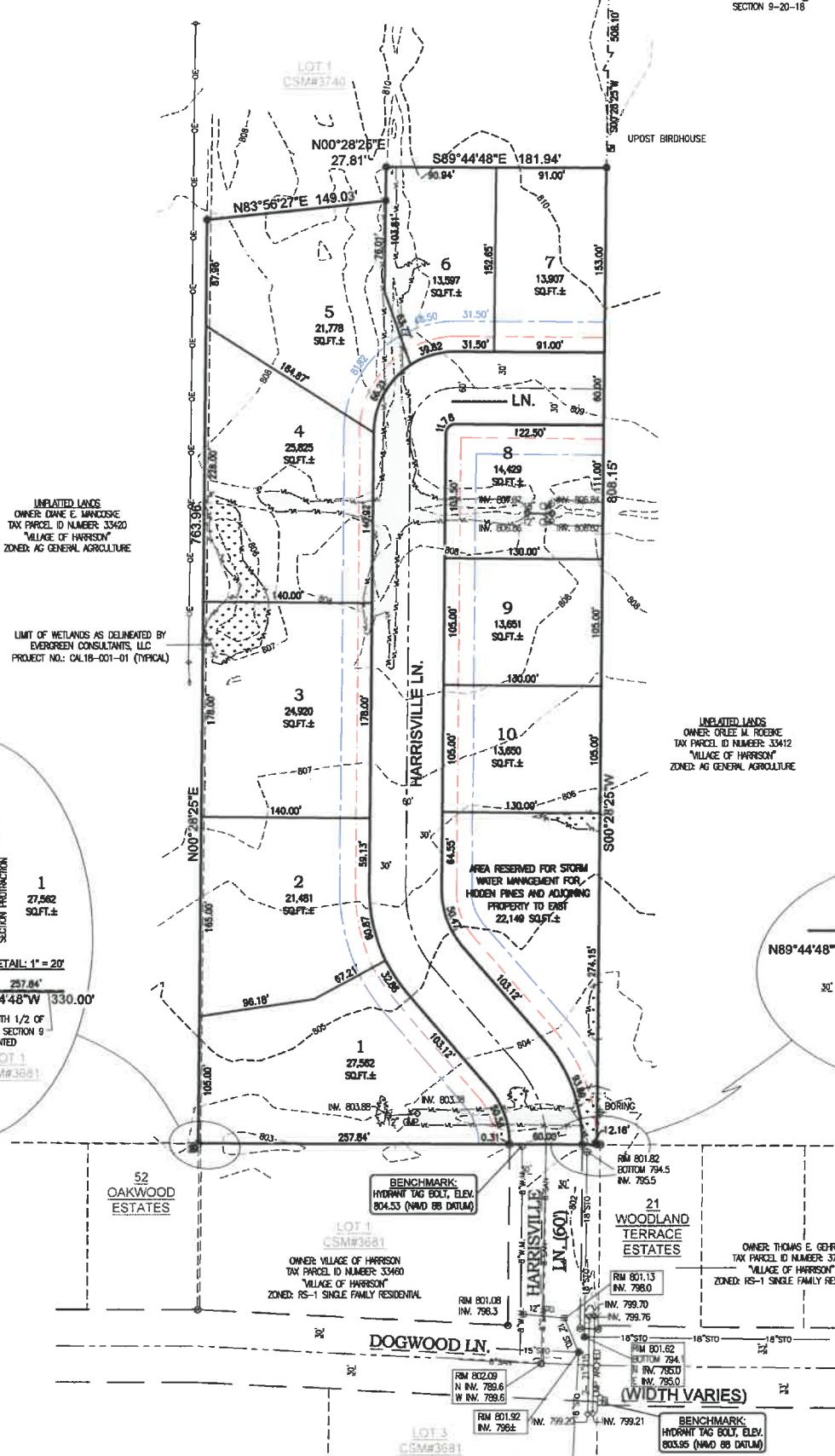
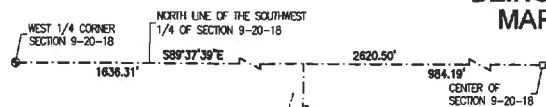
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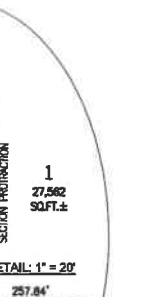
# PRELIMINARY PLAT "HIDDEN PINES SUBDIVISION" PLAN A

BEING ALL OF LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 3740 AS RECORDED IN VOLUME 33 OF CERTIFIED SURVEY MAPS, PAGE 240, AS DOCUMENT NO. 535713, LOCATED IN NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



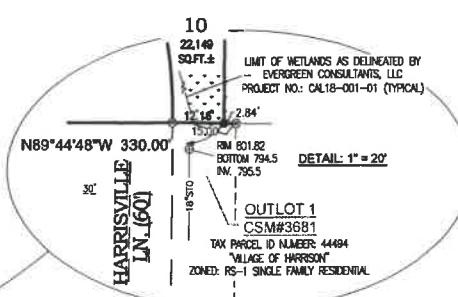
UNPLATTED LANDS  
OWNER: DAVID E. HANCOCK  
TAX PARCEL ID NUMBER: 33420  
"VILLAGE OF HARRISON"  
ZONED: AG GENERAL AGRICULTURE

LIMIT OF WETLANDS AS DELINEATED BY  
EVERGREEN CONSULTANTS, LLC  
PROJECT NO.: CAL18-001-01 (TYPICAL)



OWNER: CLIRT J. & VICKI G. MIAS  
TAX PARCEL ID NUMBER: 36094  
"VILLAGE OF HARRISON"  
ZONED: RS-1 SINGLE FAMILY RESIDENTIAL

UNPLATTED LANDS  
OWNER: ORLE W. ROEBE  
TAX PARCEL ID NUMBER: 33412  
"VILLAGE OF HARRISON"  
ZONED: AG GENERAL AGRICULTURE



OWNER: THOMAS E. GEHR  
TAX PARCEL ID NUMBER: 37022  
"VILLAGE OF HARRISON"  
ZONED: RS-1 SINGLE FAMILY RESIDENTIAL

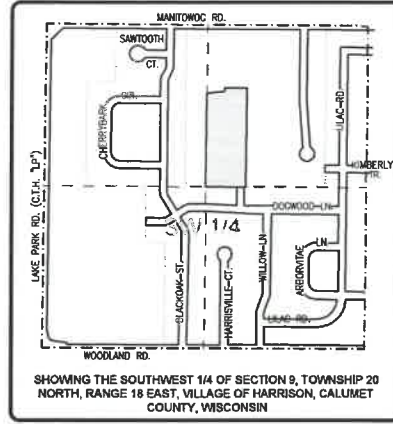
**OWNERS & SUBDIVIDER:**  
LOUMAR PROPERTIES, LLC  
76349 DOGWOOD LANE  
MENASHA, WISCONSIN 54952

**PRESENT ZONING:**  
AG GENERAL AGRICULTURE

**PROPOSED ZONING:**  
RS-1 SINGLE FAMILY RESIDENTIAL (SUBURBAN)

**SURROUNDING ZONING:**  
AG GENERAL AGRICULTURE  
RS-1 SINGLE FAMILY RESIDENTIAL (SUBURBAN)

**REVIEWING AGENCIES:**  
DEPARTMENT OF ADMINISTRATION  
VILLAGE OF HARRISON  
EAST CENTRAL WISCONSIN REGIONAL PLANNING COMMISSION  
WISCONSIN ELECTRIC POWER COMPANY DEXA/WE ENERGIES,  
WISCONSIN GAS, LLC  
AT&T  
SPECTRUM



**LEGEND:**

- = COUNTY MONUMENT
- = 3/4" X 1/8" SOLID ROUND #8 IRON REBAR SET, WEIGHING 1.502 LBS. PER LIN. FT.
- = 3/4" SOLID ROUND IRON REBAR FOUND
- = 1" O.D. ROUND IRON PIPE FOUND
- = RIGHT OF WAY POST
- = SANITARY MANHOLE
- = STORM MANHOLE
- = CATCH BASIN
- = CULVERT
- = WATER VALVE
- = FIRE HYDRANT
- = POWER POLE
- = DOWN GUY
- = GAS VALVE
- = ELECTRICAL PEDESTAL
- = TELEPHONE PEDESTAL
- = CABLE PEDESTAL
- = SIGN
- = SOIL BORING LOCATION
- ( ) = RECORDED AS BEARING/DISTANCE
- OE = OVERHEAD ELECTRICAL
- OEC = OVERHEAD ELECTRICAL & COMMUNICATIONS
- UC = UNDERGROUND COMMUNICATIONS

LIMIT OF WETLANDS AS DELINEATED BY EVERGREEN CONSULTANTS, LLC PROJECT NO.: CAL18-001-01 (TYPICAL)

ARTIFICIAL WETLAND EXCEPTION DETERMINATION PER THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES, EXE-NE-2015-S-02471, AUGUST 7, 2015

GRAPHIC SCALE: 1" = 60'

NORTH IS REFERENCED TO THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, WHICH BEARS S89°37'39"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM (CALUMET COUNTY)

Know what's below.  
Call before you dig.

- 3/4" X 2" SOLID ROUND #8 IRON REBAR SET AT ALL OTHER LOT CORNERS, 1.502 LBS. PER LIN. FT.

- ALL DIMENSIONS COMPUTED AND MEASURED TO THE NEAREST 0.01 FOOT.

- ALL BEARINGS COMPUTED AND MEASURED TO THE NEAREST SECOND.

FRONT YARD SETBACK TO BE 25' UNLESS NOTED OTHERWISE

DENOTES 12' UTILITY EASEMENT UNLESS NOTED OTHERWISE

**NOTES:**

- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO. PRIOR TO CONSTRUCTION DIGGERS HOTLINE MUST BE CALLED FOR FIELD LOCATION. DIGGERS HOTLINE WAS CONTACTED UNDER TICKET NO. 20160301650 AND 20160301653 AND THIS SURVEY DRAWING REPRESENTS THE LOCATION OF ALL UTILITIES MARK.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITHIN THIS DRAWING, INDIVIDUAL CONTRACTORS AND SUBCONTRACTORS MUST VERIFY CORRESPONDING DETAILS AND DIMENSIONS FOR THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.
- ALL EASEMENTS TO BE SHOWN ON THE FINAL PLAT

**LEGAL DESCRIPTION:**  
LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 3740 AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR CALUMET COUNTY, WISCONSIN ON DECEMBER 7, 2016 IN VOLUME 33 OF CERTIFIED SURVEY MAPS, PAGE 240, AS DOCUMENT NO. 535713, SAID MAP BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

**SURVEYORS CERTIFICATE:**  
I, ROBERT F. REIDER, CERTIFY THAT THIS PRELIMINARY PLAT IS A CORRECT REPRESENTATION OF ALL EXISTING LAND DIVISIONS AND FEATURES AND THAT I HAVE FULLY COMPLIED WITH THE SUBDIVISION ORDINANCES OF THE VILLAGE OF HARRISON.

*Robert F. Reider*  
ROBERT F. REIDER, PLS-1251 DATED 2-13-2019

**SOIL BORING CERTIFICATION:**  
I, ROBERT F. REIDER, CERTIFY THAT THE SOIL TEST LOCATIONS SHOWN ON THIS PRELIMINARY PLAT AREA ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Robert F. Reider*  
ROBERT F. REIDER, PLS-1251 DATED 2-13-2019



**LOUMAR PROPERTIES, LLC**  
ATTENTION: KENT GROSS  
6348 DOGWOOD LANE  
MENASHA, WISCONSIN 54952  
PROJECT: PRELIMINARY PLAT "HIDDEN PINES SUBDIVISION", VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

**CAROW LAND SURVEYING CO., INC.**  
615 N. LYNDALE DRIVE  
APPLETON, WISCONSIN 54912-1297  
PHONE: (920) 731-4768 FAX: (920) 731-5673

DESIGNED: \_\_\_\_\_ DRAWN: \_\_\_\_\_ MCR: \_\_\_\_\_ CHECKED: \_\_\_\_\_ RFR: \_\_\_\_\_

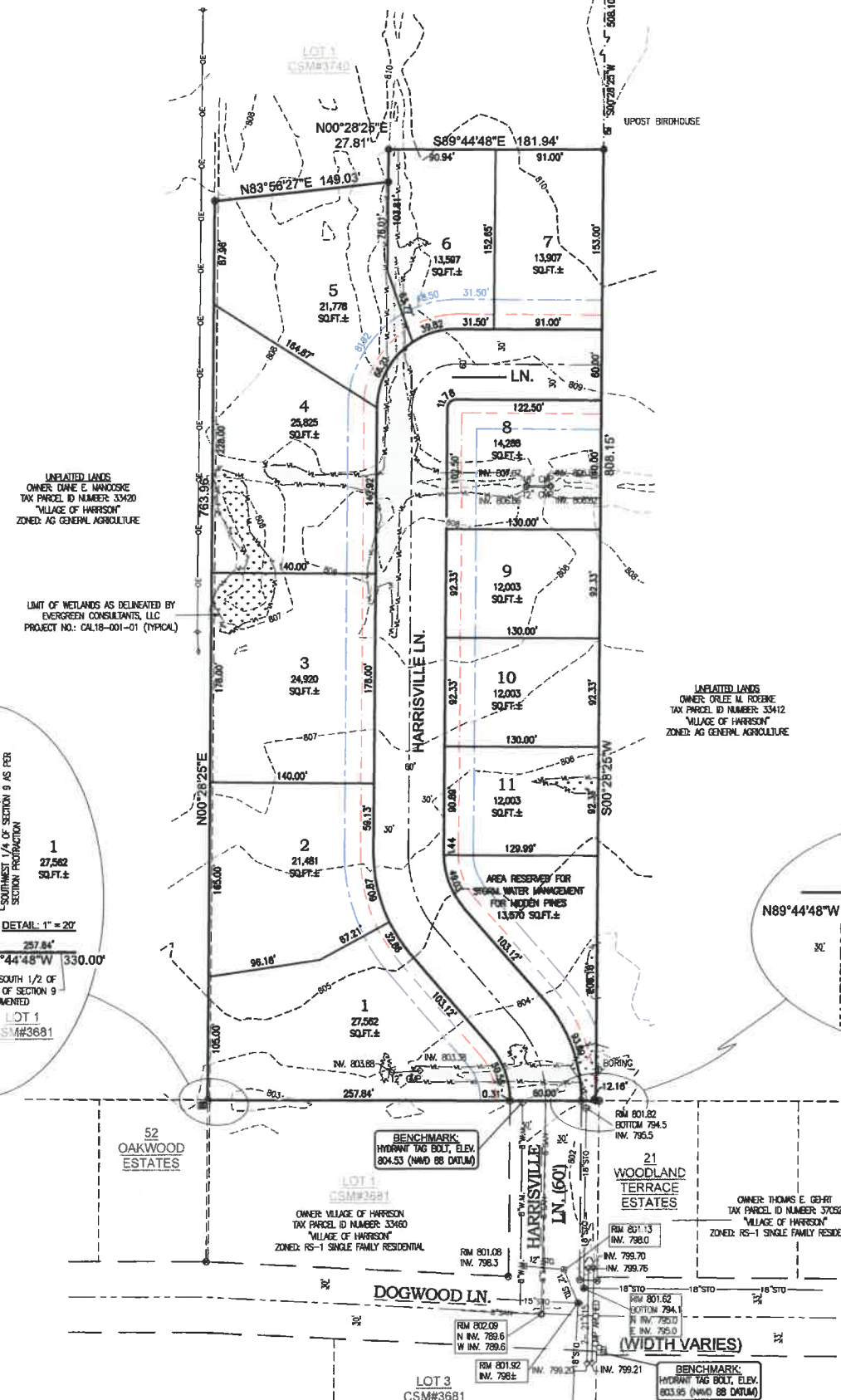
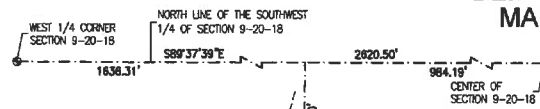
SCALE: 1" = 60'  
DATE: 2-13-2019  
PROJECT NO.: C1808.10PP

SHEET NO. \_\_\_\_\_



# PRELIMINARY PLAT "HIDDEN PINES SUBDIVISION" PLAN B

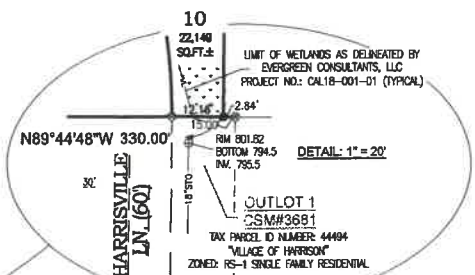
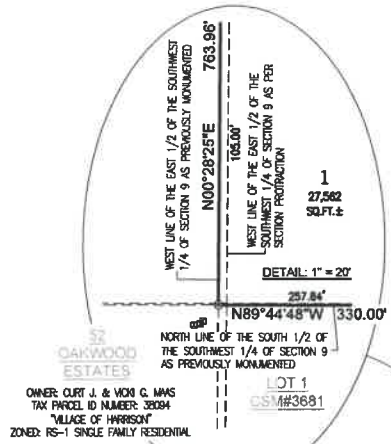
BEING ALL OF LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 3740 AS RECORDED IN VOLUME 33 OF CERTIFIED SURVEY MAPS, PAGE 240, AS DOCUMENT NO. 535713, LOCATED IN NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



UNPLATED LANDS  
OWNER DANE E. MANOSKE  
TAX PARCEL ID NUMBER 33420  
"VILLAGE OF HARRISON"  
ZONED: AG GENERAL AGRICULTURE

LIMIT OF WETLANDS AS DELINEATED BY  
EVERGREEN CONSULTANTS, LLC  
PROJECT NO.: CAL18-001-01 (TYPICAL)

UNPLATED LANDS  
OWNER ORLEE M. REEBE  
TAX PARCEL ID NUMBER 33412  
"VILLAGE OF HARRISON"  
ZONED: AG GENERAL AGRICULTURE



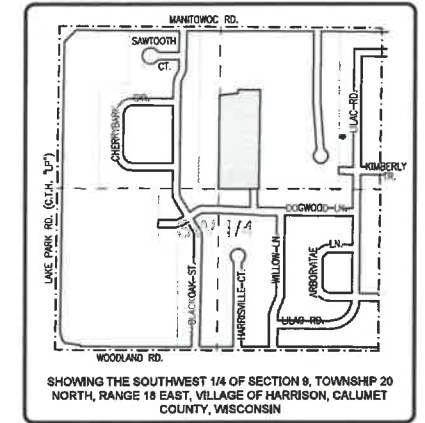
**OWNERS & SUBDIVIDER:**  
LOUMAR PROPERTIES, LLC  
6348 DOGWOOD LANE  
MENASHA, WISCONSIN 54952

**PRESENT ZONING:**  
AG GENERAL AGRICULTURE

**PROPOSED ZONING:**  
RS-1 SINGLE FAMILY RESIDENTIAL (SUBURBAN)

**SURROUNDING ZONING:**  
AG GENERAL AGRICULTURE  
RS-1 SINGLE FAMILY RESIDENTIAL (SUBURBAN)

**REVIEWING AGENCIES:**  
DEPARTMENT OF ADMINISTRATION  
VILLAGE OF HARRISON  
EAST CENTRAL WISCONSIN REGIONAL PLANNING COMMISSION  
WISCONSIN ELECTRIC POWER COMPANY (D&W) WE ENERGIES  
WISCONSIN GAS, LLC  
AT&T  
SPECTRUM



**LEGEND:**

- ⊙ = COUNTY MONUMENT
- ⊙ = 3/4" X 1/8" SOLID ROUND #6 IRON REBAR SET, WEIGHING 1.502 LBS. PER LIN. FT.
- ⊙ = 3/4" SOLID ROUND IRON REBAR FOUND
- ⊙ = 1" O.D. ROUND IRON PIPE FOUND
- ⊙ = RIGHT OF WAY POST
- ⊙ = SANITARY MANHOLE
- ⊙ = STORM MANHOLE
- ⊙ = CATCH BASIN
- ⊙ = CULVERT
- ⊙ = WATER VALVE
- ⊙ = FIRE HYDRANT
- ⊙ = POWER POLE
- ⊙ = DOWN GUY
- ⊙ = GAS VALVE
- ⊙ = ELECTRICAL PEDESTAL
- ⊙ = TELEPHONE PEDESTAL
- ⊙ = CABLE PEDESTAL
- ⊙ = SIGN
- ⊙ = SOIL BORING LOCATION
- ( ) = RECORDED AS BEARING/DISTANCE
- OE = OVERHEAD ELECTRICAL
- OC = OVERHEAD ELECTRICAL & COMMUNICATIONS
- UC = UNDERGROUND COMMUNICATIONS

LIMIT OF WETLANDS AS DELINEATED BY EVERGREEN CONSULTANTS, LLC PROJECT NO.: CAL18-001-01 (TYPICAL)

ARTIFICIAL WETLAND EXCEPTION DETERMINATION PER THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES, EXE-NE-2019-8-02471, AUGUST 7, 2019

**GRAPHIC SCALE:** 1" = 60'

NORTH IS REFERENCED TO THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, WHICH BEARS S89°37'39"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM (CALUMET COUNTY)



- 3/4" X 2" SOLID ROUND #6 IRON REBAR SET AT ALL OTHER LOT CORNERS, 1.502 LBS. PER LIN. FT.  
- ALL DIMENSIONS COMPUTED AND MEASURED TO THE NEAREST 0.01 FOOT.  
- ALL BEARINGS COMPUTED AND MEASURED TO THE NEAREST SECOND.

FRONT YARD SETBACK TO BE 25' UNLESS NOTED OTHERWISE

DENOTES 12' UTILITY EASEMENT UNLESS NOTED OTHERWISE

**NOTES:**

- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED. PRIOR TO CONSTRUCTION DIGGERS HOTLINE MUST BE CALLED FOR FIELD LOCATION. DIGGERS HOTLINE WAS CONTACTED UNDER TICKET NO. 20183001650 AND 20183001663 AND THIS SURVEY DRAWING REPRESENTS THE LOCATION OF ALL UTILITIES MARK.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITHIN THIS DRAWING, INDIVIDUAL CONTRACTORS AND SUBCONTRACTORS MUST VERIFY CORRESPONDING DETAILS AND DIMENSIONS FOR THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.
- ALL EASEMENTS TO BE SHOWN ON THE FINAL PLAT

**LEGAL DESCRIPTION:**  
LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 3740 AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR CALUMET COUNTY, WISCONSIN ON DECEMBER 7, 2018 IN VOLUME 33 OF CERTIFIED SURVEY MAPS, PAGE 240, AS DOCUMENT NO. 535713; SAID MAP BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

**SURVEYORS CERTIFICATE:**  
I, ROBERT F. REIDER, CERTIFY THAT THIS PRELIMINARY PLAT IS A CORRECT REPRESENTATION OF ALL EXISTING LAND DIVISIONS AND FEATURES AND THAT I HAVE FULLY COMPLIED WITH THE SUBDIVISION ORDINANCES OF THE VILLAGE OF HARRISON.

*Robert F. Reider* 2-13-2019  
ROBERT F. REIDER, PLS-1251 DATED

**SOIL BORING CERTIFICATION:**  
I, ROBERT F. REIDER, CERTIFY THAT THE SOIL TEST LOCATIONS SHOWN ON THIS PRELIMINARY PLAT AREA ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Robert F. Reider* 2-13-2019  
ROBERT F. REIDER, PLS-1251 DATED



**CAROW LAND SURVEYING CO., INC.**  
615 N. LYNDDALE DRIVE  
APPLETON, WISCONSIN 54912-1207  
PHONE: (920)731-4168 FAX: (920)731-5673

**LOUMAR PROPERTIES, LLC**  
ATTENTION: KENT GROSS  
6348 DOGWOOD LANE  
MENASHA, WISCONSIN 54952  
PROJECT: PRELIMINARY PLAT "HIDDEN PINES SUBDIVISION" VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

DESIGNED	DRAWN	CHECKED	REFR.
	MCR		

SCALE: 1" = 60'  
DATE: 2-13-2019  
PROJECT NO.: C1808-10PP  
SHEET NO.:

---

**VILLAGE BOARD MEETING****From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON****Meeting Date:**

February 26, 2019

---

**Title:**

Zoning Map Amendment for Hidden Pines (LouMar Properties)

---

**Issue:**

Should the Village Board adopt Ordinance V19-01, rezoning parcel #33414 from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1]?

---

**Background and Additional Information:**

The developer of the Hidden Pines subdivision and the current property owner, is requesting a zoning map amendment (rezoning) to rezone their property from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] for the Hidden Pines subdivision. The proposed rezoning complies with the Comprehensive Plan and the future land use map designation of single-family residential (sewered).

---

**Budget Impacts:**

None

---

**Recommended Action:**

The Plan Commission will meet prior to the Village Board to discuss and act on the Zoning Map Amendment (Rezoning). The Plan Commission decision will be presented at the meeting.

Staff recommends approval of Ordinance V19-01, rezoning Parcel #33414 from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1].

---

**Attachments:**

- Ordinance V19-01

**ORDINANCE V19-01**

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON  
OFFICIAL ZONING MAP. (Hidden Pines Subdivision)**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on February 26, 2019; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1]:

All of Lot 2 of CSM #3740 being a part of the Northeast 1/4 of the Southwest 1/4 of Section 9, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 26<sup>th</sup> day of February, 2019.

---

James Salm, Village President

---

Attest: Jennifer Weyenberg, Clerk

Exhibit A – Zoning Map

# Zoning Map

## Village of Harrison

Calumet & Outagamie Counties  
Wisconsin

### Legend

**Zoning Districts**

- AG | General Agriculture
- RS-1 | Single-Family Residential (Suburban)
- RS-2 | Single-Family Residential (Traditional)
- RT | Two-Family Residential
- RM | Multiple-Family Residential
- CN | Neighborhood Commercial
- COR | Office & Retail Commercial
- CC | Community Commercial
- BP | Business Park
- IM | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- POO | Planned Development Overlay
- SHO | Shoreland Overlay\*
- SWO | Shoreland-Wetland Overlay\*

**RoadCenterline**

- Local Roads
- County Highway
- State Highway
- US Highway

**Town of Harrison**

- Rail/Roads
- Streams

**Parcels**

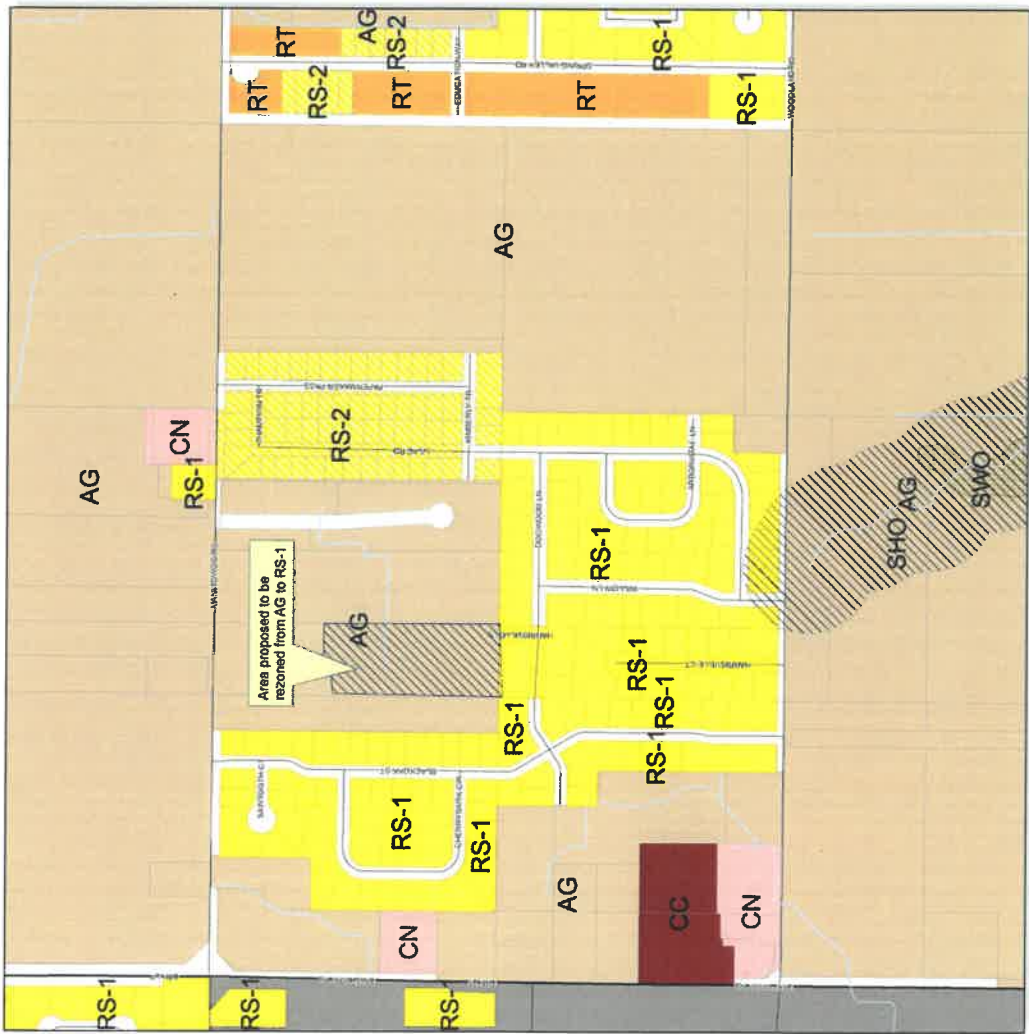
\* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

This map was created by:  
 Village of Harrison  
 W5258 Hwy 114  
 Harrison, WI 54952  
 920-988-1062

Applied: July 27, 2010  
 Effective: November 1, 2010  
 Current as of: January 1, 2019

**Village of HARRISON**  
 WHERE OPPORTUNITY LIVES

0 0.125 0.25 Miles



**Disclaimer:**  
 This map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not warrant the accuracy or completeness of the information on this map. The Village of Harrison is not responsible for any reuse or interpretation of this data for any purpose, including but not limited to, the determination of property boundaries. The Village of Harrison is not liable for any damages, including but not limited to, consequential, special, or punitive damages, arising from the use or misuse of this map and data. Digital recorded source documents located in the county courthouse should be used for legal or survey purposes. Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.

---

**VILLAGE BOARD MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON**

**Meeting Date:**

February 26, 2019

---

**Title:**

Zoning Map Amendment for Amy Avenue Commercial Development (Mel Baeten)

---

**Issue:**

Should the Village Board adopt Ordinance V19-02, rezoning parcel #39008 from Office and Retail Commercial [COR] to Business Park [BP]?

---

**Background and Additional Information:**

The developer of the Amy Avenue Commercial Development is requesting a zoning map amendment (rezoning) to rezone their property from Office & Retail Commercial [COR] to Business Park [BP]. The proposed rezoning complies with the Comprehensive Plan and the future land use map designation of commercial. The purpose of the rezoning is to allow for light manufacturing and trade/contractor storage offices.

---

**Budget Impacts:**

None

---

**Recommended Action:**

The Plan Commission will meet prior to the Village Board to discuss and act on the Zoning Map Amendment (Rezoning). The Plan Commission decision will be presented at the meeting.

Staff recommends approval of Ordinance V19-02, rezoning Parcel #39008 from Office and Retail Commercial [COR] to Business Park [BP].

---

**Attachments:**

- Ordinance V19-02

**ORDINANCE V19-02**

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON  
OFFICIAL ZONING MAP. (Baeten/Amy Ave Commercial Development)**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on February 26, 2019; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from Office & Retail Commercial [COR] to Business Park [BP]:

All of Lot 1 of CSM No. 3268 being a part of the Northwest 1/4 of the Northeast 1/4 of Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 26<sup>th</sup> day of February, 2019.

\_\_\_\_\_  
James Salm, Village President

\_\_\_\_\_  
Attest: Jennifer Weyenberg, Clerk

# Exhibit A – Zoning Map

## Zoning Map Village of Harrison Calumet & Outagamie Counties

### Legend

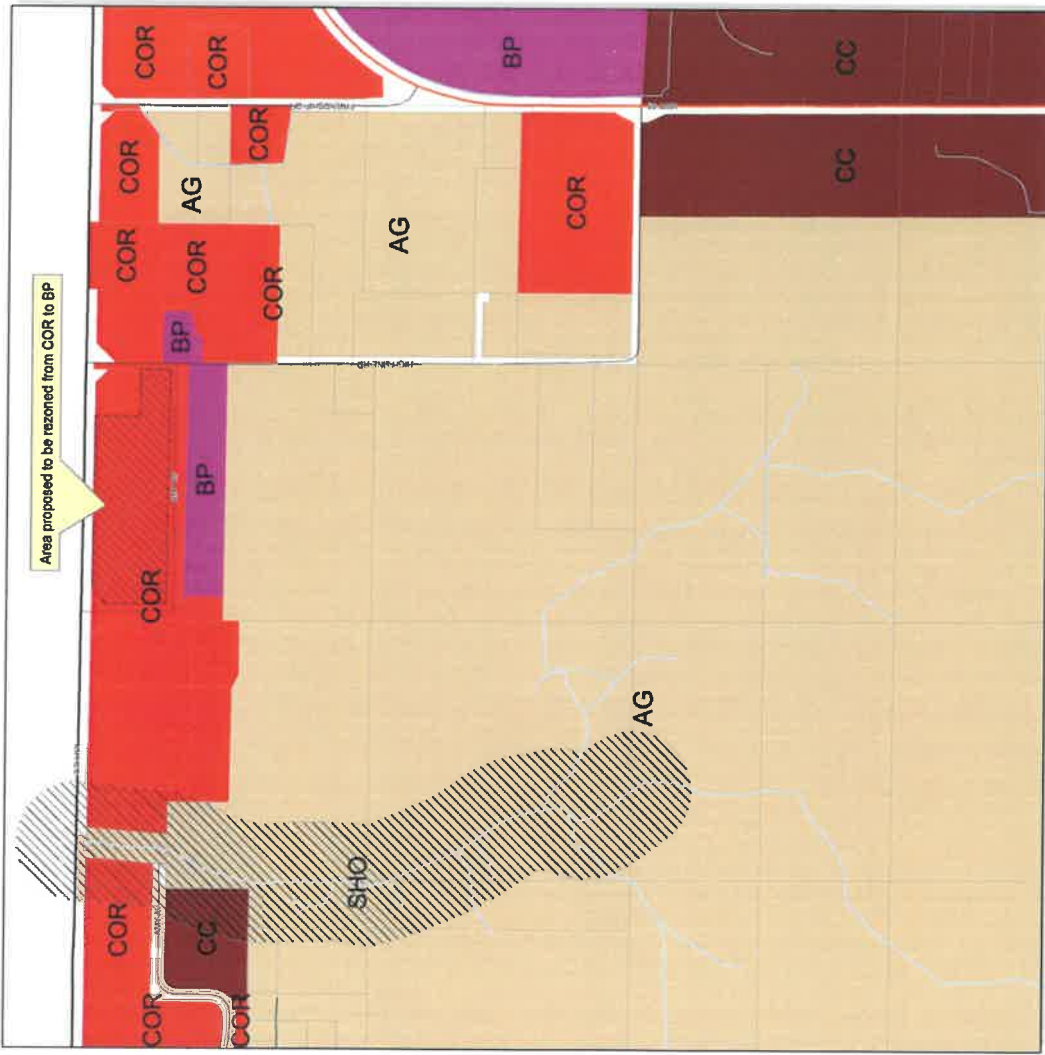
	Subject Property		Town of Harrison
	Railroads		Streams
<b>Zoning Districts</b>			
	AG   General Agriculture		RS-1   Single-Family Residential (Suburban)
	RS-2   Single-Family Residential (Traditional)		RT   Two-Family Residential
	RM   Multiple-Family Residential		CN   Neighborhood Commercial
	COR   Office & Retail Commercial		CC   Community Commercial
	BP   Business Park		IM   Industrial & Manufacturing
	NC   Natural & Conservancy		MHO   Mobile Home Overlay
	POD   Planned Development Overlay		SHO   Shoreland Overlay*
	SWO   Shoreland-Wetland Overlay*		
<b>RoadCenterline</b>			
	Local Roads		County Highway
	State Highway		US Highway
	Parcels		

\* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

This map was created by:  
Village of Harrison  
Professional Engineer  
Harrison, WI 54952  
820-989-1062  
Approved: July 27, 2010  
Effective: August 1, 2010  
Current as of: January 1, 2019



**Disclaimer:**  
This map was created using data obtained from Calumet County. The Village of Harrison does not warrant the accuracy, current status, or completeness of the information or its derivatives. It is not a guarantee of any kind. The Village of Harrison does not assume any liability for any errors or omissions. The tax parcel data is compiled from official records, including assessor maps and deeds, but only contains the information required for Calumet County business. Original recorded source documents located in the county courthouse should be used for legal or survey purposes.  
Calumet County shall retain the exclusive ownership, title, and interest in all specifically copyrighted information.



---

**VILLAGE BOARD MEETING**

**From:**  
Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON**

**Meeting Date:**  
January 29, 2019

---

**Title:**

Conditional Use Permit for Amy Avenue Commercial Development (Mel Baeten)

---

**Issue:**

Should the Village Board approve or conditionally approve the Conditional Use Permit?

---

**Background and Additional Information:**

The applicant is seeking a Conditional Use Permit (CUP) in order to construct 6 commercial buildings (to be constructed in various phases) for retail, trade and contractors, and light industrial uses along Amy Avenue between Prosperity Drive and Highline Road. The property is currently zoned Office & Retail Commercial (COR), however, the applicant is requesting a zoning map amendment from COR to Business Park (BP) zoning district. Initially, Building #5 will be constructed. Building #1 & #5 are proposed to be 60' x 180', Building #2-4 & #6-8 are proposed to be 60' x 120'. The total number of units will vary based on business needs, but approximately 36- to 42-units are proposed.

The applicant is proposing shared parking areas for the buildings. All business materials will be stored inside and the garage/recycling dumpster will be stored in an enclosed area. Each building will have a sanitary sewer & water line shared between the units with each unit having a restroom facility and office area. One freestanding sign is proposed, all other business signs will be wall-mounted.

The applicant is seeking a CUP in order to allow trade and contractor businesses and light manufacturing uses to operate within a unit. The applicant is requesting a zoning map amendment from COR to BP (Business Park zoning district) to allow for these uses as a conditional use.

---

**Findings of Fact (Basis for Approval):**

According to Section 117-319 of the Harrison Zoning Ordinance, no Conditional Use Permit shall be recommended by the Plan Commission, or approved by the Village Board, unless it shall find all of the following criteria have been met. The applicant's failure to satisfy the criteria, or any other applicable requirement, shall be deemed grounds to deny the Conditional Use Permit.

1. Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of the zoning ordinance. *Staff finds that the proposal conforms to the BP zoning district being requested by the applicant via the zoning map amendment process.*



8. A Zoning Certificate of Occupancy shall be required for initial occupancy of a unit or a change of occupancy for each unit to ensure compliance with the zoning ordinance.
9. Light manufacturing uses may be allowed after a map amendment (rezoning) to an appropriate zoning district has been approved.
10. All exterior lighting shall be direct cut-off fixtures
11. One freestanding sign, that meets the requirements of the zoning ordinance, shall be allowed. All other business signage shall be wall-mounted and shall meet the requirements of the zoning ordinance.
12. All applicable local, County, and State rules, regulations, and ordinances shall be met.

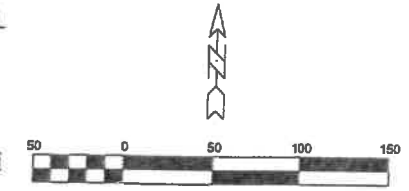
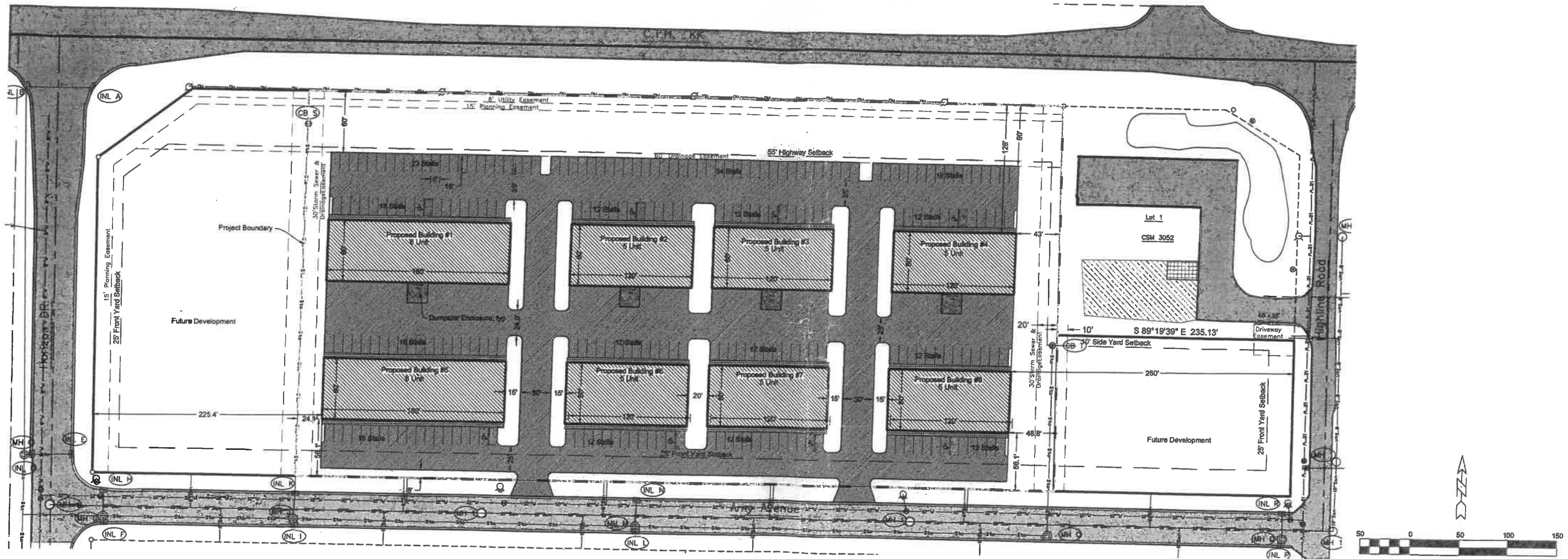
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**Attachments:**

- Plan Set
- Aerial Map

# Amy Avenue Commercial Development

Village of Harrison, Calumet County, WI  
For: Mel Baeten



### LEGEND

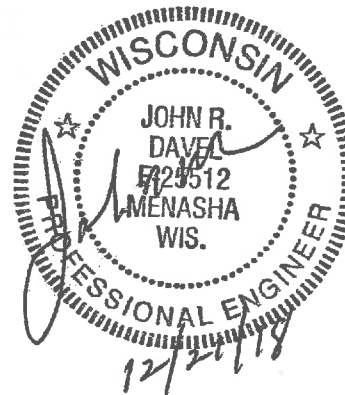
- |             |                                    |                     |
|-------------|------------------------------------|---------------------|
| —CATV— CATV | ○ Sanitary MH / Tank / Base        | □ CATV Pedestal     |
| —FD— FD     | ○ Clean Out / Curb Stop / Pull Box | □ Gas Regulator     |
| —OH— OH     | ○ Storm Manhole                    | □ Railroad Signal   |
| —UW— UW     | ○ Inlet                            | □ Sign              |
| —SW— SW     | ○ Catch Basin / Yard Drain         | □ Tower / Silo      |
| —S— S       | ○ Water MH / Well                  | □ Post / Guard Stop |
| —St— St     | ○ Hydrant                          | □ Satellite Dish    |
| —E— E       | ○ Utility Valve                    | □ Large Rock        |
| —GL— GL     | ○ Utility Meter                    | □ Flag Pole         |
| —T— T       | ○ Utility Pole                     | ○ Deciduous Tree    |
| —V— V       | ○ Light Pole / Signal              | ○ Coniferous Tree   |
| —F— F       | ○ Guy Wire                         | ○ Bush / Hedge      |
| —X— X       | ○ Electric Pedestal                | ○ Stump             |
| —VL— VL     | ○ Electric Transformer             | ○ Marsh             |
| —W— W       | ○ Air Conditioner                  | ○ Soil Boring       |
| —TL— TL     | ○ Telephone Pedestal               | ○ Benchmark         |
| —R— R       | ○ Telephone Manhole                | ○ Asphalt Pavement  |
| —C— C       | ○ Ex Spot Elevation                | ○ Concrete Pavement |
| —G— G       |                                    | ○ Gravel            |

### Site Plan Summary:

Existing Zoning: CDR - Office Retail and Commercial  
Proposed Uses: Building 1-4 Multi-tenant commercial retail  
Buildings 5-8 Multi-tenant office or repair shops

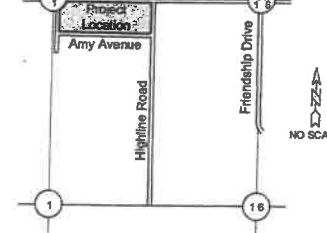
Land Coverages	This Project	Property
Buildings	64,800 SF 22.96%	64,800 SF 16.54%
Pavements	127,800 SF 45.28%	127,800 SF 32.61%
Lawn	89,616 SF 31.76%	199,287 SF 50.85%
Total	282,216 SF	391,887 SF

Parking Summary  
Required: 216-324  
Provided: 298  
12 Handicap stalls provided



### LOCATION MAP

NE 1/4 SEC 1, T 20 N, R 18 E,  
CITY OF KAUKAUNA  
OUTAGAMIE COUNTY, WI  
C.T.H. KK

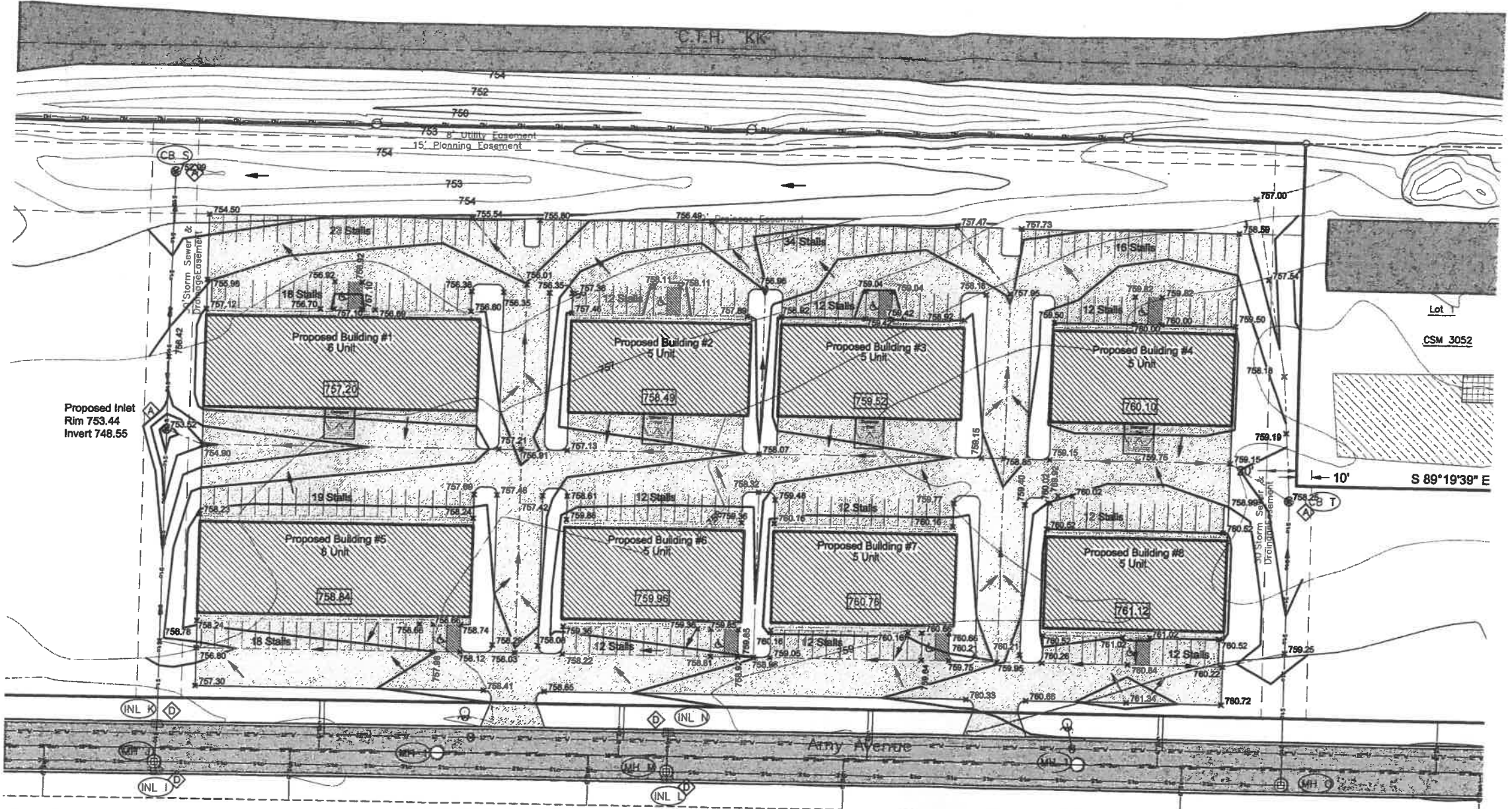


### SHEET INDEX:

Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage & Grading Plan	C1.2
Erosion Control Plan	C1.3
Utility Plan	C1.4
Landscape Plan	C1.5
Construction & Erosion Control Details	C2.1

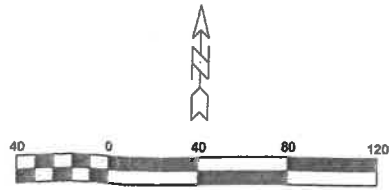
### SITE PLAN

**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS  
1811 Racine Street, Menasha, WI 54952  
Ph: 920-991-1856 Fax: 920-830-9595  
www.davel.pro



**LEGEND**

-CATV- CATV	Underground Cable TV	○	Sanitary MH / Tank / Base	□	CATV Pedestal
-FD- FD	Underground Fiber Optic	○	Clean Out / Curb Stop / Pull Box	□	Gas Regulator
-OH- OH	Overhead Electric Lines	○	Storm Manhole	□	Railroad Signal
-UW- UW	Utility Guy Wire	○	Inlet	□	Sign
-SS- SS	Sanitary Sewer	○	Catch Basin / Yard Drain	□	Tower / Silo
-S- S	Storm Sewer	○	Water MH / Well	□	Post / Guard Post
-E- E	Underground Electric	○	Hydrant	□	Satellite Dish
-UG- UG	Underground Gas Line	○	Utility Valve	□	Large Rock
-T- T	Underground Telephone	○	Utility Meter	□	Flag Pole
-W- W	Water Main	○	Utility Pole	□	Deciduous Tree
-F- F	Fence - Steel	○	Light Pole / Signal	□	Coniferous Tree
-F- F	Fence - Wood	○	Guy Wire	□	Bush / Hedge
-F- F	Fence - Barbed Wire	○	Electric Pedestal	□	PI
-W- W	Wetlands	○	Electric Transformer	□	Marsh
-T- T	Trestle	○	Air Conditioner	□	Soil Boring
-R- R	Railroad Tracks	○	Telephone Pedestal	□	Benchmark
-C- C	Culvert	○	Telephone Manhole	□	Asphalt Pavement
-I- I	Index Contour	○	Ex Spot Elevation	□	Concrete Pavement
-M- M	Intermediate Contour	○	Proposed Storm Manhole	□	Gravel
-S- S	Proposed Storm Sewer	○	Proposed Curb Inlet	□	
-C- C	Proposed Contour	○	Prop. Catch Basin / Yard Drain	□	
-S- S	Proposed Sewer	○	Proposed Endwall	□	
-C- C	Proposed Culvert	○	Prop. Flowline Spot Elev.	□	
-X- X	Prop. Flowline Spot Elev.	○	Prop. Top of Walk Elev.	□	
-TW- TW	Prop. Top of Walk Elev.	○	Prop. Drainage Direction	□	
-+ (+608.7)	Existing Grade	○	FF=000.0 Prop. Finished Floor Elev.	□	



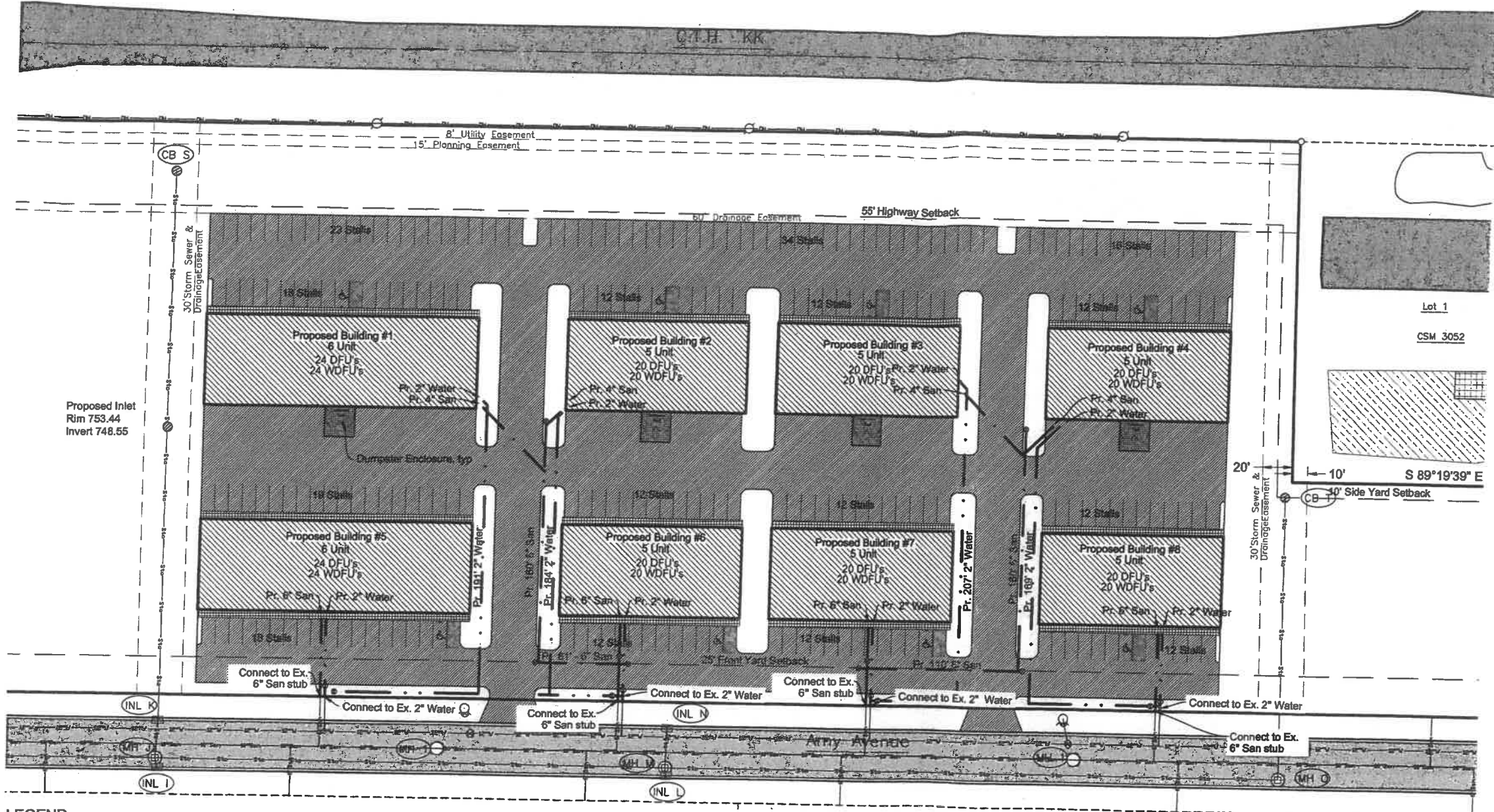
- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations. The contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
  - Vegetation beyond slopes shall remain.
  - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
  - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
  - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
  - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
  - Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.
  - The Storm Water Management for peak flow control and water quality are provided by the regional storm water ponds developed for the High Line Business Park. The pond was designed to accommodate development up to a Runoff Curve Number (RCN) of 91.4. This project, not considering the future development shown results in a RCN of 91.4. The property as shown results in a RCN of 88.2. Future development shall be limited to achieve an overall RCN of 91 or less.
  - The pavement at the hand-cap parking stalls shall taper up to meet the top of the sidewalk from a 6" exposed curb head to zero exposure in the hand-cap stall.
  - Pavement swales shall have a 4" perforated underdrain that coincide with the swale center line and ties into the storm sewer along the eastern boundary of the project.

12/20/2018 10:41 AM U:\Projects\5484\5484.dwg\DWG\5484.dwg Printed by: taylor  
**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
 CIVIL ENGINEERING CONSULTANTS  
 1811 Racine Street, Menasha, WI 54952  
 Ph: 920-961-1866 Fax: 920-920-9595  
 www.davel.com

**DRAINAGE PLAN**

**Amy Avenue Commercial Development**  
 Village of Harrison, Calumet County, WI  
 For: Mel Baeten

Date: 12/20/2018  
 Filename: 5484 engr.dwg  
 Author: JRD  
 Last Saved by: taylor  
 Page: C12



**LEGEND**

—CATV— CATV	Underground Cable TV	○	Sanitary MH / Tank / Base	□	CATV Pedestal
—FD— FD	Underground Fiber Optic	○	Clean Out / Curb Stop / Pull Box	□	Gas Regulator
—DH— DH	Overhead Electric Lines	○	Storm Manhole	□	Railroad Signal
—U— U	Utility Guy Wire	○	Inlet	□	Sign
—San— San	Sanitary Sewer	○	Catch Basin / Yard Drain	□	Tower / Silo
—Sto— Sto	Storm Sewer	○	Water MH / Well	□	Post / Guard Post
—E— E	Underground Electric	○	Hydrant	□	Satellite Dish
—G— G	Underground Gas Line	○	Utility Valve	□	Flag Pole
—T— T	Underground Telephone	○	Utility Meter	□	Deciduous Tree
—V— V	Water Main	○	Light Pole / Signal	□	Coniferous Tree
—F— F	Fence - Steel	○	Guy Wire	□	Bush / Hedge
—F— F	Fence - Wood	○	Electric Pedestal	□	Stump
—F— F	Fence - Barbed Wire	○	Electric Transformer	□	Marsh
—W— W	Weebands	○	Air Conditioner	□	Soil Boring
—T— T	Treeline	○	Telephone Pedestal	□	Benchmark
—R— R	Railroad Tracks	○	Telephone Manhole	□	Asphalt Pavement
—C— C	Culvert	○	Proposed Sanitary Manhole	□	Concrete Pavement
—I— I	Index Contour	○	Proposed Storm Manhole	□	Gravel
—M— M	Intermediate Contour	○	Proposed Sanitary Manhole	□	Proposed Plug
—S— S	Proposed Storm Sewer	○	Proposed Storm Manhole	□	Proposed Water MH
—S— S	Proposed Sanitary Sewer	○	Proposed Curb Inlet	□	Proposed Tee
—M— M	Proposed Water Main	○	Prop. Catch Basin / Yard Drain	□	Proposed Cross
—C— C	Proposed Contour	○	Proposed Endwall	□	Proposed 90° Bend
—S— S	Proposed Swale	○	Proposed Hydrant	□	Proposed 45° Bend
—C— C	Proposed Culvert	○	Proposed Valve	□	Proposed 22.5° Bend
		○	Proposed Curb Stop	□	

Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Village of Harrison.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Water Pipe shall be 2" Poly SDR9, with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).

Sanitary Sewer Pipe shall be 4" or 6" PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).

Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 284, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.

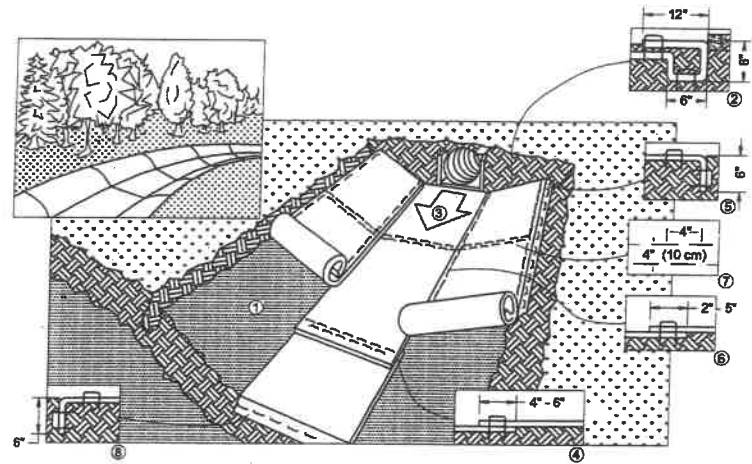
Excavations In Any Avenue shall be restored in accordance with Village requirements and done in accordance with Village Permit.

DAVEL ENGINEERING & ENVIRONMENTAL, INC.  
 CIVIL ENGINEERING CONSULTANTS  
 1811 Racine Street  
 Menasha, WI 54952  
 Ph: 920-991-1888 Fax: 920-990-8286  
 www.davel.pro

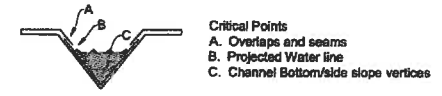
**UTILITY PLAN**

**Amy Avenue Commercial Development**  
 Village of Harrison, Calumet County, WI  
 For: Mel Baeten

Date: 12/20/2018  
 Filename: 5484enrg.dwg  
 Author: JRD  
 Last Saved by: taylor  
 Page: C1.4



1. Prepare soil before installing Rolled Erosion Control Products (RECPs), including any necessary application of lime, fertilizer, and seed.
  2. Begin at the top of the channel by anchoring the RECPs in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) across the width of the RECPs.
  3. Roll center RECPs in direction of water flow in bottom of channel. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.
  4. Place consecutive RECPs end over end (single style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECPs.
  5. Full length edge of RECPs at top of side slopes must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
  6. Adjacent RECPs must be overlapped approximately 2" - 5" (5 cm - 12.5 cm) (depending on RECP's type) and stapled.
  7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.
  8. The terminal end of the RECPs must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
- Note:  
 \* In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECPs.  
 9. Detail provided by North American Green (www.nagreen.com)

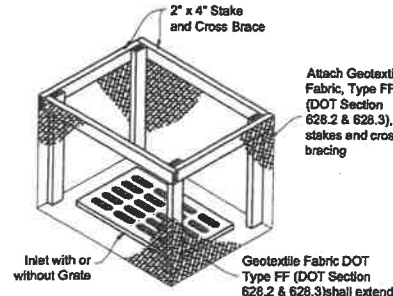


**EROSION MAT CHANNEL INSTALLATION**

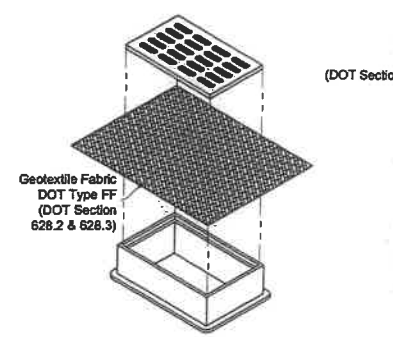
**GENERAL NOTES:**

Inlet protection devices shall be maintained or replaced in the direction of the engineer.  
 Manufactured alternatives approved and listed on the DOT Erosion Control Product Acceptability list may be substituted.  
 When removing or maintaining inlet protection, care shall be taken so that the sediment trapped on the geotextile fabric does not fall into the inlet. Any material falling into the inlet shall be removed immediately.

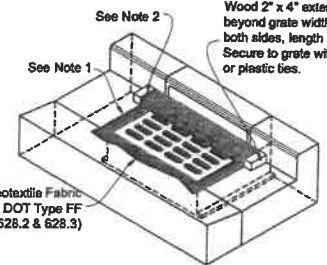
1. Finished size, including flap pockets where required, shall extend a minimum of 10" around the perimeter to facilitate maintenance or removal.
2. For inlet protection, Type C (with curb box), an additional 10" of fabric is wrapped around the wood and secured with staples. The wood shall not block the entire height of the curb box opening.
3. Flap pockets shall be large enough to accept wood 2x4.



**INLET PROTECTION, TYPE A**



**INLET PROTECTION, TYPE B**  
 (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

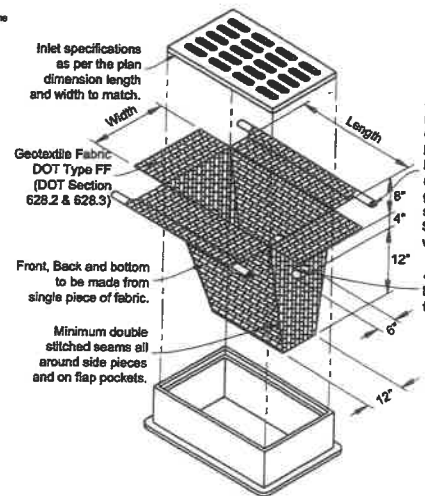


**INLET PROTECTION, TYPE C**

**INSTALLATION NOTES:**

Inlet protection Type A shall be utilized around field inlets until permanent stabilization methods have been established. Inlet protection Type A shall be utilized on pavement inlets prior to installation of curb and gutter or pavement.  
 Inlet protection Type B shall be utilized on street inlets without curb heads, once surrounding surface is in place.  
 Inlet protection Type C shall be utilized on street inlets with curb heads.

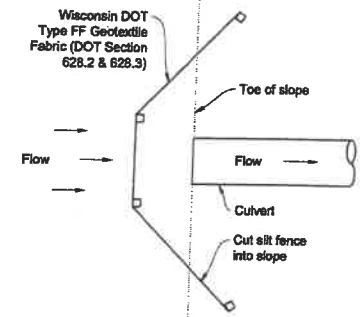
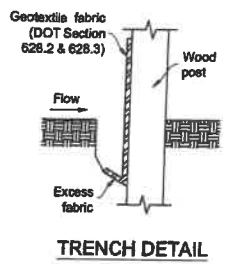
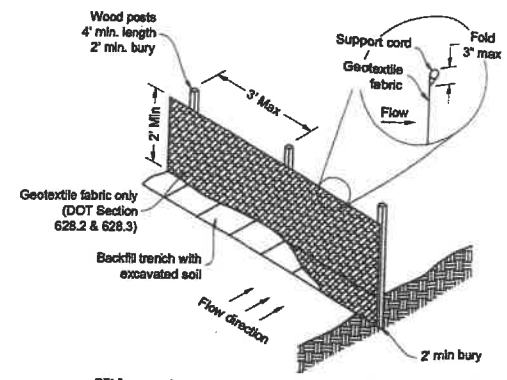
**TYPE B & C**  
 Trim excess fabric in the flow line to within 3" of the grate.  
 The contractor shall demonstrate a method of maintenance, using a sawn flap, hand held, or other method to prevent accumulated sediment from entering the inlet.



**INLET PROTECTION, TYPE D**  
 (CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)

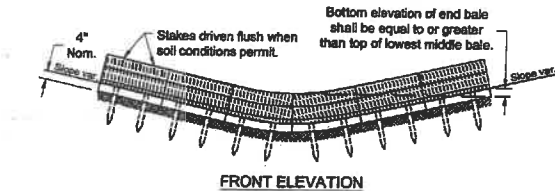
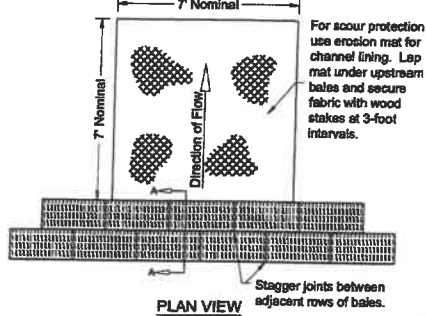
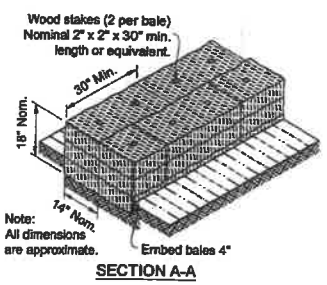
**INSTALLATION NOTES:**

Do not install inlet protection type D in inlets shallower than 30", measured from the bottom of the inlet to the top of the grate.  
 Trim excess fabric in the flow line to within 3" of the grate.  
 The installed bag shall have a minimum side clearance between the inlet walls and the bag measured at the bottom of the overflow holes of 3". Where necessary, the contractor shall attach the bag using plastic zip ties to achieve the 3" clearance. The ties shall be placed at a minimum of 4" from the bottom of the bag.

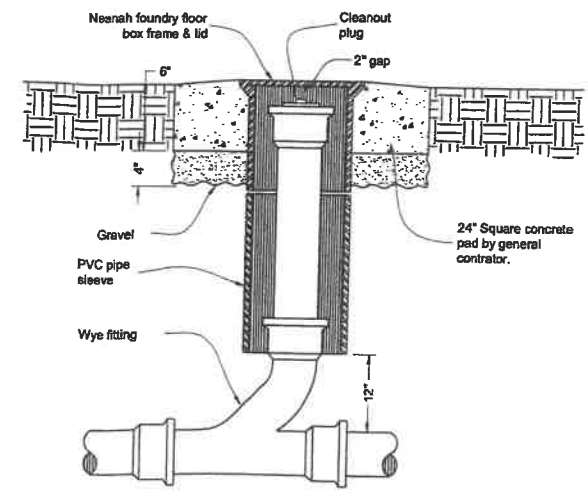


**INLET PROTECTION**

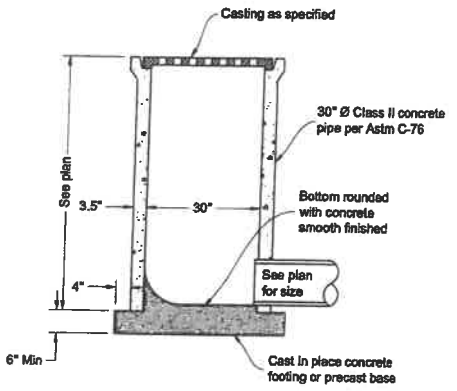
**SILT FENCE INSTALLATION**



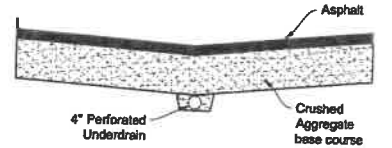
**STRAW BALE BARRIER**



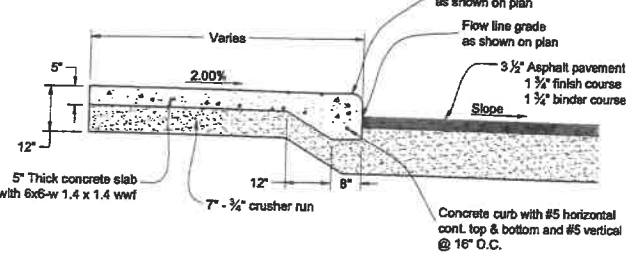
**OUTDOOR CLEANOUT**



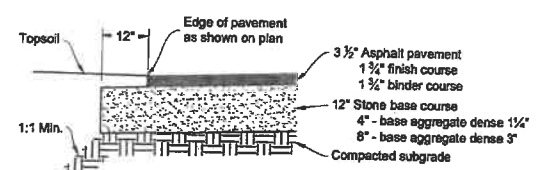
**YARD DRAIN DETAIL**



**PAVEMENT CROSS SECTION**



**INTEGRAL SIDEWALK / PAVEMENT SECTION**



**PAVEMENT SECTION**

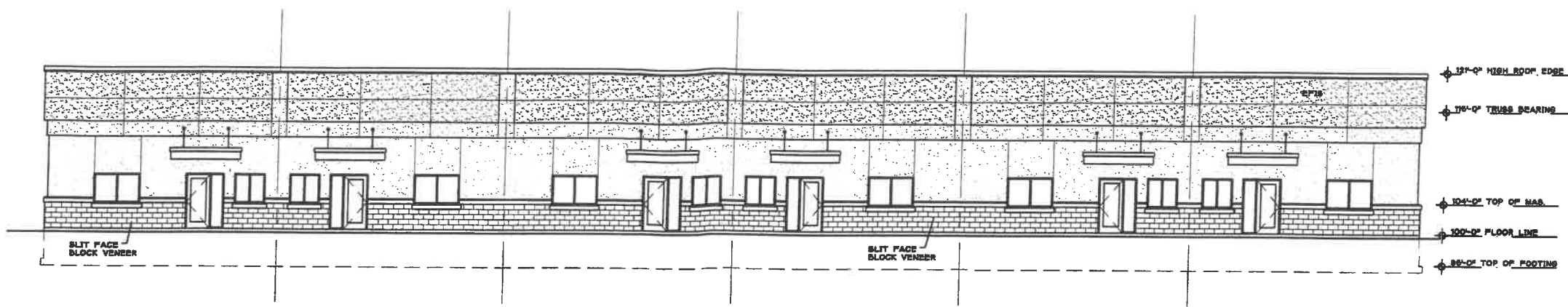
**CONSTRUCTION & EROSION CONTROL DETAILS**

**Amy Avenue Commercial Development**  
 Village of Harrison, Calumet County, WI  
 For: Mel Baeten

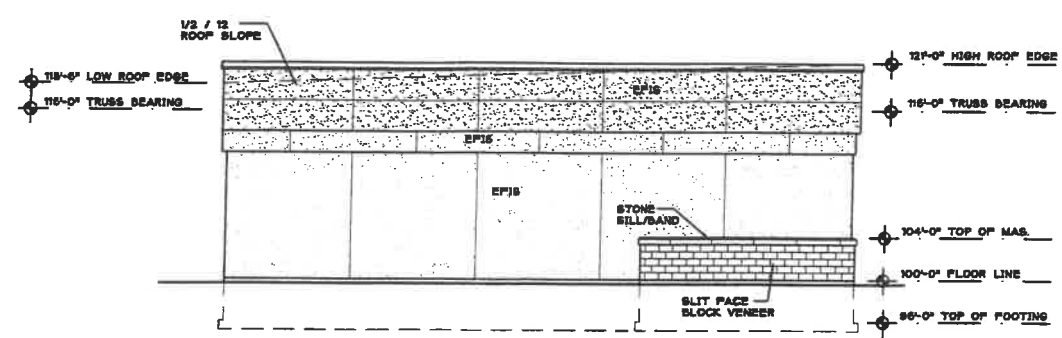


571 MARCELLA STREET  
 KIMBERLY, WI 54156  
 TELE: 920-874-2667 FAX: 920-874-2660

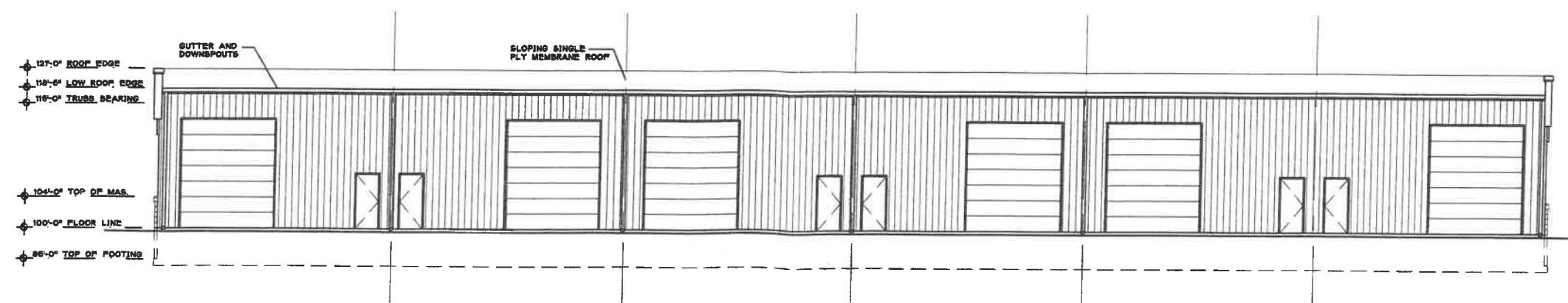
MEL BAETEN



**SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**EAST / WEST ELEVATION**  
 SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"

DATE: 03/2015  
 ARCH: K. SPOL  
 D. BY: E. BURTON  
 JOB: 15-018  
 PROJ. MAN.  
 EXP.  
 SUPER

A  
 3.0

---

**VILLAGE BOARD MEETING****From:**

Mark J. Mommaerts, AICP, Planner

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**VILLAGE OF HARRISON****Meeting Date:**

February 26, 2019

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**Title:**

Preliminary Plat – Creekside Estates

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**Issue:**

Should the Village Board conditionally approve the Preliminary Plat for Creekside Estates?

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**Background and Additional Information:**

The developer is proposing a 40-lot subdivision called Creekside Estates. The subdivision is located on the south side of Woodland Road along Kasten Road and east of S. Coop Road. The subdivision will have lot sizes between ½-acre to over 1-acre. A street connection to Woodland Road is proposed and well as future connections to the east and south. In the southwest corner a cul-de-sac from a future roadway off of Ryford Street is planned. Two cul-de-sacs are proposed due to the environmental conditions of existing wetlands and navigable streams. Several stormwater management ponds are proposed based on the topography of the site. Sewer and water must be extended from the Kambura Acres subdivision and Lift Station #6. Sewer and water is proposed to extend along future Ryford Street and connect to this subdivision at Tower Drive. The Village Board should explore areas that may be suitable for parkland, or determine if a fee-in-lieu of parkland dedication is appropriate. Woodland Road is an access restricted roadway, the Village Board may wish to limit the number of access openings by requiring shared driveways at the ROW line.

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**Recommended Action:**

Staff recommends conditional approval of the Preliminary Plat for Creekside Estates with the following conditions:

1. A temporary turnaround shall be constructed on the southern stub of Edgewood Lane. The northern stub shall connect to Kasten Road.
2. Tower Drive shall be renamed to Noe Road.
3. Woodland Road to be dedicated with 40-feet of road right-of-way.
4. All lots shall have a storm sewer lateral provided for sump pump discharge.
5. Final utility, street plans, and stormwater management/erosion control plans shall be reviewed and approved by the Village Engineer and Village staff in writing prior to approval of the Final Plat and prior to utility and street construction.
6. A Development Agreement shall be executed prior to approval of the final plat.
7. Parkland dedication or a fee-in-lieu of parkland shall be negotiated as part of the Development Agreement.

8. An assessment waiver shall be signed prior to the approval of the final plat, if there will be any assessments by Village. A note, listing the improvements to be assessed, shall be added to the final plat indicating that the Village of Harrison will assess all lots equally.
9. A street light shall be installed at the intersection of Tower Drive and Woodland Road. Any proposed street lights shall be installed and upfront costs to be paid by the Developer. The Village will assume long-term maintenance.
10. All streets to be concrete with 5-foot wide concrete sidewalks on both sides. Street construction to be in accordance with the Harrison Specifications Manual. The exception may be the cul-de-sac in the southwest corner, this street shall match that of the future street to the south.
11. High-back, integral concrete curb shall be utilized rather than the mountable curb.
12. Access to Outlot 1 and Outlot 2 shall be provided with the ability to avoid the wetlands.
13. Wetland concerns on Lots 3,5,6, 10 & 23 should be addressed to ensure the lots are buildable. Wetland fill permits granted for these lots shall be provided to the Village and recorded.
14. All drainageways, drainage easement, and associated infrastructure shall be installed, graded and seeded prior to roadway acceptance.
15. All utilities, including but not limited to, sewer & water, storm sewer, gas, electric, cable, phone, shall be installed prior to roadway acceptance.
16. The Village Board shall accept the roadway prior to issuance of building permits and zoning permits.
17. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
18. All other improvements, including but not limited to, curb & gutter, concrete paving, sidewalks, shall be installed prior to issuance of building permits or zoning permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.
19. All comments from the Village engineer shall be included in the Plan Commission discussion and decision.
20. Location of all sidewalk curb ramps shall be approved by Harrison staff.
21. A grading/drainage stormwater management plan and erosion control plan shall be reviewed and approved by the Village engineer and Village staff.
22. Multiple benchmark locations shall be established for use during building construction and shall be identified on the final grading/drainage plan.
23. All environmental corridors shall be clearly identified and setback lines to be indicated.
24. Grading/Drainage Plan shall identify elevations of ground at the foundation.
25. Other comments from the Public Works Dept. and Village Engineer shall be included in the conditions of approval. These will be provided to the developer upon plan review completion.
26. A 12-foot Utility Easement shall be added to the front of all lots. All laterals shall be stubbed into the lot a minimum of 6-feet.

If the Village Board feels there are too many unresolved issues, the Village Board may postpone action until a later date.

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**Attachments:**

- Location Map
- Preliminary Plat



# Calumet County, WI

## Legend

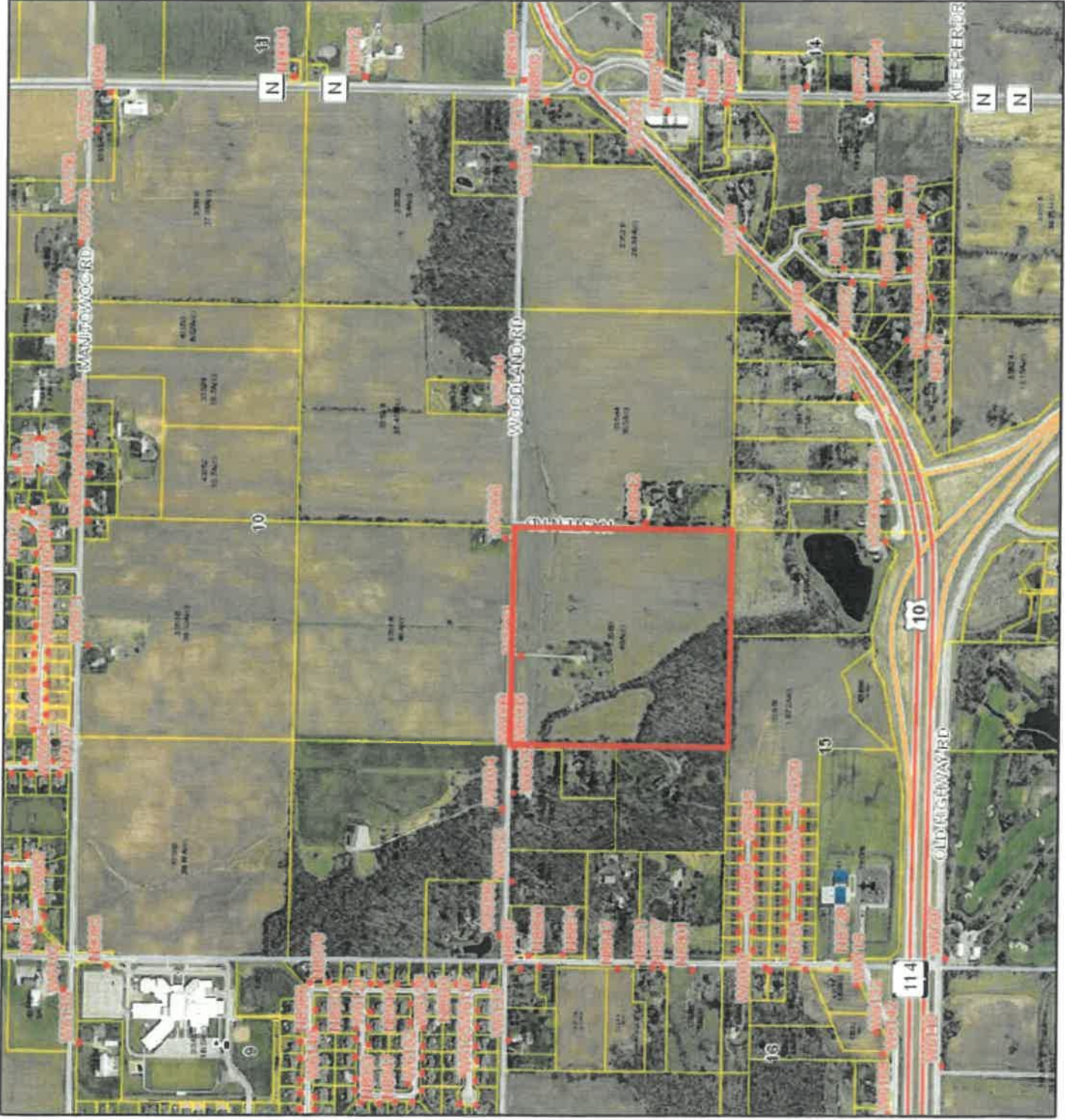
- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Route
- Municipal Schools
- Trail
- Railroad

- Color 2014
- Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

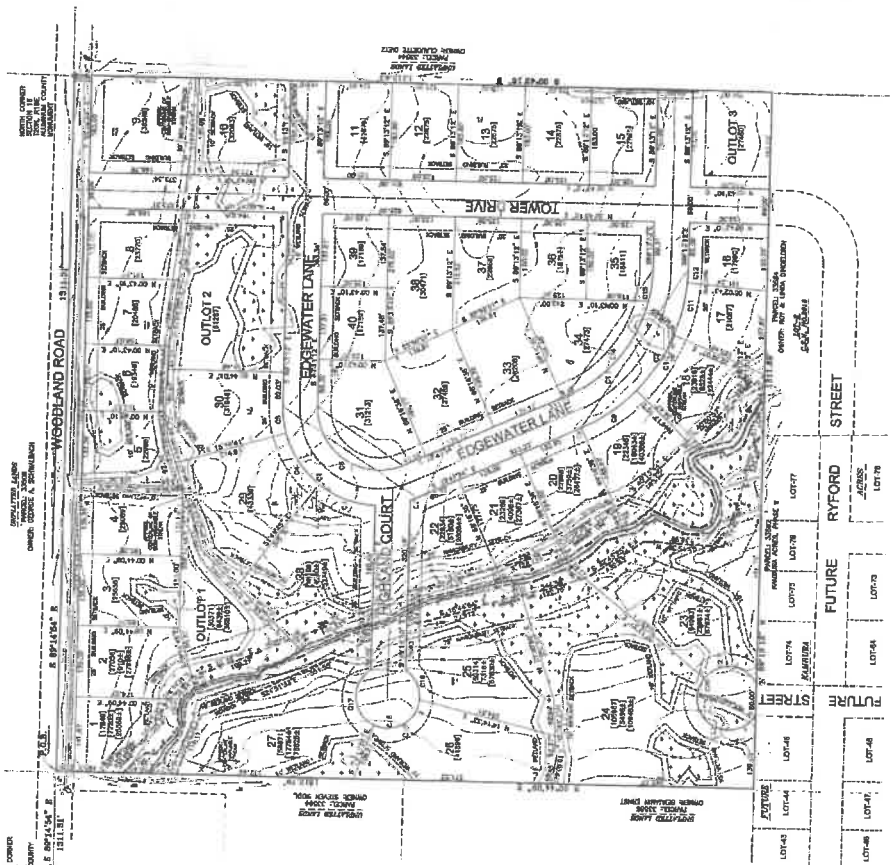


0 500 1000 1500ft  
**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author:	
Date Printed: 03/18 11:38 AM	
Source:	



**PRELIMINARY PLAN**  
**CREEKSIDE ESTATES**  
ALL OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4, SECTION 18, TOWNSHIP 20 NORTH, RANGE 18 EAST,  
VILLAGE OF HARBEN, CALUMET COUNTY, WISCONSIN.



LOT	AREA (ACRES)	AREA (SQ FT)	PERCENTAGE
LOT 1	0.01	3,460	0.02
LOT 2	0.01	3,460	0.02
LOT 3	0.01	3,460	0.02
LOT 4	0.01	3,460	0.02
LOT 5	0.01	3,460	0.02
LOT 6	0.01	3,460	0.02
LOT 7	0.01	3,460	0.02
LOT 8	0.01	3,460	0.02
LOT 9	0.01	3,460	0.02
LOT 10	0.01	3,460	0.02
LOT 11	0.01	3,460	0.02
LOT 12	0.01	3,460	0.02
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LOT 47	0.01	3,460	0.02
LOT 48	0.01	3,460	0.02

**WATERTON & EISELE, Inc.**  
1777 Highway Road  
Plymouth, Wisconsin 53082  
Engineering  
Surveying  
Mapping  
GIS  
Tel: 715.781.1881 Fax: 715.781.1882  
www.watson-eisele.com  
e-mail: wat@watereisele.com

NO.	DATE	DESCRIPTION
1	02/20/2018	PRELIMINARY PLAN
2	02/20/2018	FINAL PLAN

**CREEKSIDE ESTATES**  
ALL OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4, SECTION 18,  
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARBEN,  
CALUMET COUNTY, WISCONSIN.

**TYPOGRAPHIC LEGEND**  
1" = 1' (PLAN SCALE)  
1" = 10' (SECTION SCALE)  
1" = 100' (LOCATION MAP SCALE)  
1" = 1" (ELEVATION SCALE)

**SYMBOLS**  
- LOT BOUNDARIES  
- STREET CENTER LINES  
- LOT AREA  
- LOT PERCENTAGE  
- LOT NUMBER  
- LOT AREA (ACRES)  
- LOT AREA (SQ FT)- LOT PERCENTAGE

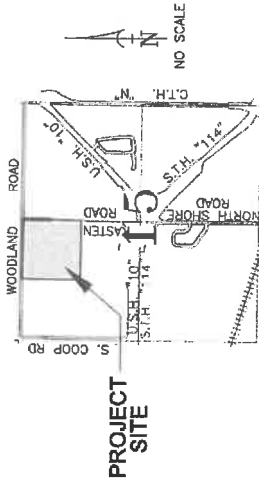
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LOT 42	0.01	3,460	0.02
LOT 43	0.01	3,460	0.02
LOT 44	0.01	3,460	0.02
LOT 45	0.01	3,460	0.02
LOT 46	0.01	3,460	0.02
LOT 47	0.01	3,460	0.02
LOT 48	0.01	3,460	0.02

# CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

PERMIT CONTACTS	CONTRACT PERSON	PHONE
MUNICIPALITY		
HARRISON UTILITIES	TOM VAN ZEELAND	920-850-6664
VILLAGE OF HARRISON	TRAVIS PANKS	920-898-1002
WATERS		
TELE ENGINEERS & CONTRACTORS, LLC	JERRY TRAZZLE	920-312-0100
ENGINEER / SURVEYOR	MIKE SCHMIDT	920-731-0310
MARTENSON & EISELE	CARY WAPFINGER	920-731-0381
MARTENSON & EISELE UTILITIES		

## LOCATION MAP



## PROJECT SITE

DRAWING NO.	DESCRIPTION:
C1.0	COVER SHEET
C1.1	FEASIBILITY STUDY LOOKUP PLAN (NORTH)
C1.2	FEASIBILITY STUDY LOOKUP PLAN (SOUTH)
C2.1	CONFORMANCE PLAN (NORTH)
C2.2	CONFORMANCE PLAN (SOUTH)
C3.1	STREET 1 PLAN & PROFILE
C3.2	STREET 2 PLAN & PROFILE
C3.3	STREET 3 PLAN & PROFILE
C3.4	STREET 4 PLAN & PROFILE
C3.5	STREET 5 PLAN & PROFILE
C3.6	NORTH GALLERY CROSSING PLAN & PROFILE
C3.7	WEST GALLERY CROSSING PLAN & PROFILE
D4.1	NORTH GALLERY CROSSING
D4.2	WEST GALLERY CROSSING
E5.1	NORTHEAST POND
E5.2	SOUTH POND
E6.1	EXCESS CONTROL PLAN (NORTH)
E6.2	EXCESS CONTROL PLAN (SOUTH)
E6.3	EXCESS CONTROL DETAILS
E6.4	EXCESS CONTROL DETAILS
E7.1	STANDARD DETAILS
E7.2	STANDARD DETAILS



TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
 CALL 811 or Toll Free 1-800-242-8511  
 (262)432-7910  
 Emergency Only (877) 500-9592  
 FAX 1-800-338-3980  
 FAX (414) 259-0847-2289  
 Hearing Impaired TDD 1-800-542-2289  
 WIS. STATUTE 192.1173 (1977)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

NO.	DATE	NO.	DATE	NO.	DATE

## COVER SHEET

### CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

DATE: 2/14/2019  
 SCALE: AS SHOWN

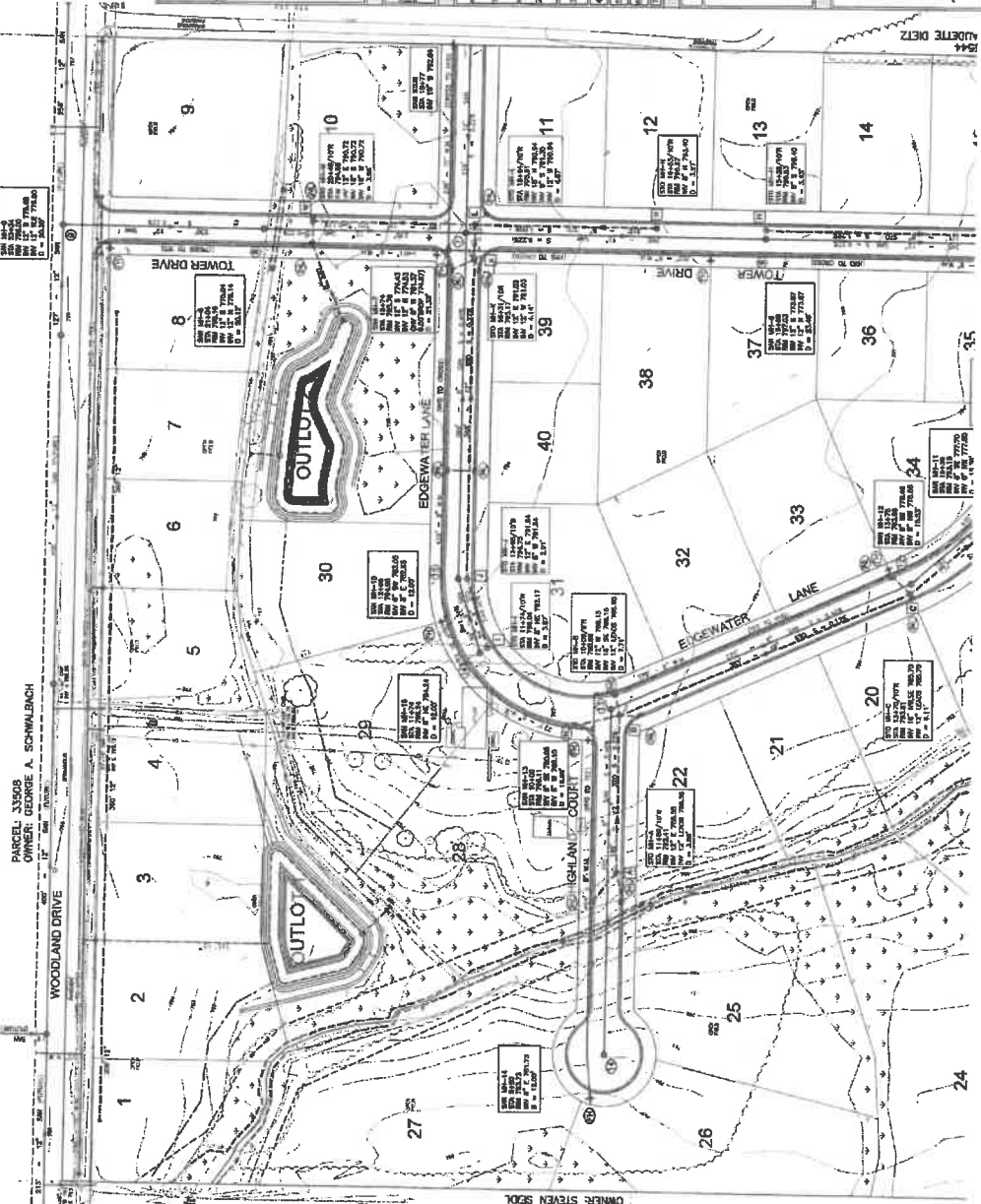
NO.	DATE	NO.	DATE	NO.	DATE

NOT FOR CONSTRUCTION

Martensson & Eisele, Inc.  
 Professional Engineering & Surveying  
 1777 Koenig Road  
 Milwaukee, WI 53222  
 414-259-0847  
 414-259-0847  
 414-259-0847  
 414-259-0847

C1.0

# CREEKSIDE ESTATES: FEASIBILITY/UTILITY LAYOUT PLAN (NORTH)



**DISERS & HOLTZ**  
 1817 LAWRENCE ROAD  
 PLAINFIELD, ILLINOIS 62551  
 PHONE: (618) 242-0000  
 FAX: (618) 242-0001  
 WWW.DISERSANDHOLTZ.COM

**Martenson & Eisele, Inc.**  
 1377 LAWRENCE ROAD  
 PLAINFIELD, ILLINOIS 62551  
 PHONE: (618) 242-0000  
 FAX: (618) 242-0001  
 WWW.MARTENSONEISELE.COM

NO.	DATE	REVISION
1	04/20/09	ISSUED FOR PERMIT

**BENCHMARK DATA**

NO.	DESCRIPTION	DATE	ELEVATION
1	100 FT. BENCH MARK	04/20/09	720.00

**UTILITY PLAN NOTES**

- THE LOCATION OF EXISTING UTILITIES HAS BEEN SHOWN ON THIS PLAN. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONSTRUCTION ACTIVITIES WITH PROPOSED POLE/APPRAISALS ARE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONSTRUCTION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
- CONSTRUCTION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
- CONSTRUCTION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.

**UTILITY LAYOUT PLAN LEGEND**

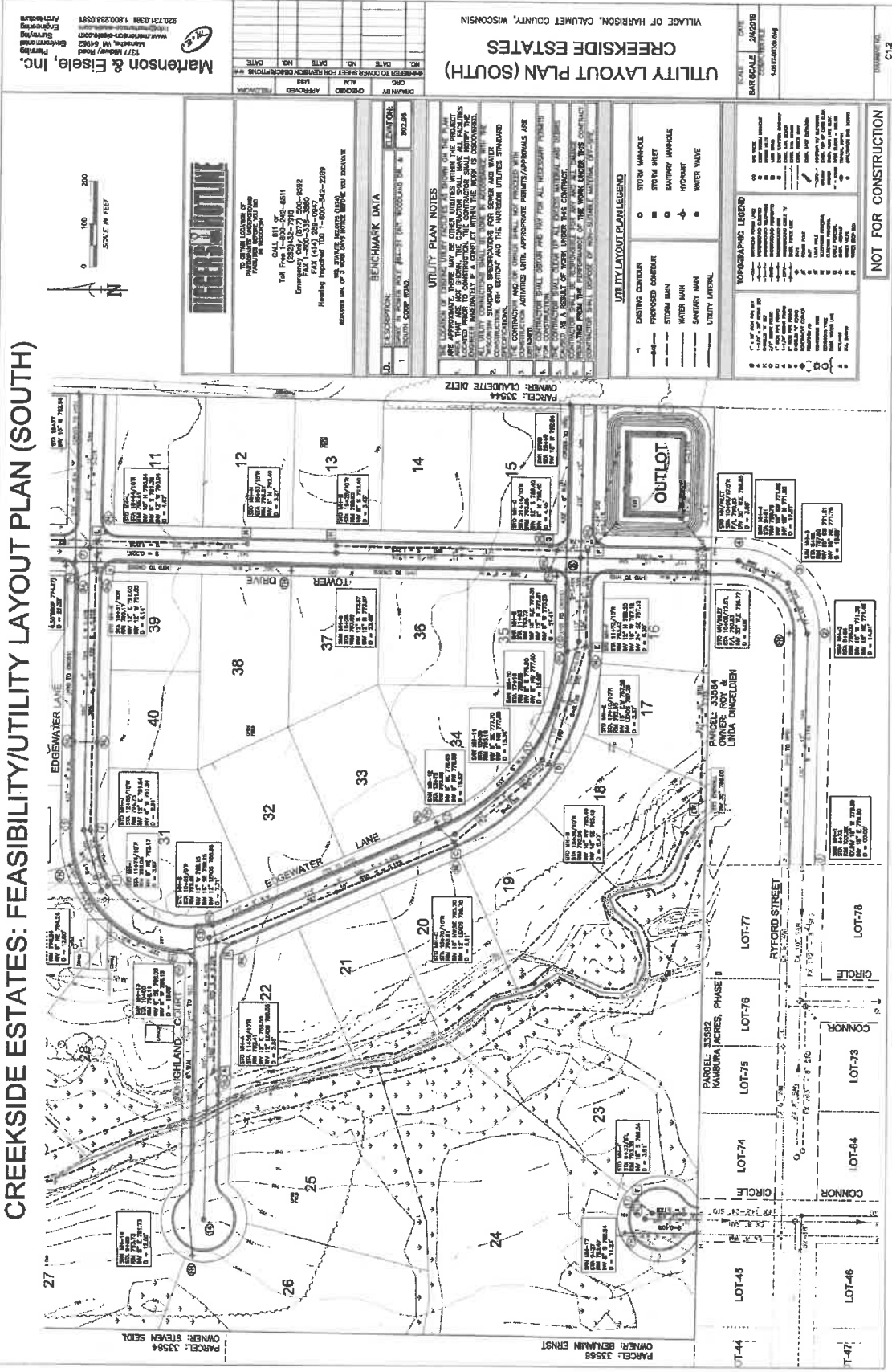
	EXISTING CONTOUR		STORM MANHOLE
	PROPOSED CONTOUR		STORM INLET
	WATER MAIN		SANITARY MANHOLE
	SANITARY MAIN		INFLOW
	UTILITY LATERAL		WATER VALVE

**TOPOGRAPHIC LEGEND**

	SPOT ELEVATION		CONTOUR INTERVAL
	ELEVATION MARKING		CONTOUR INTERVAL
	CONTOUR INTERVAL		CONTOUR INTERVAL

**NOT FOR CONSTRUCTION**

# CREEKSIDE ESTATES: FEASIBILITY/UTILITY LAYOUT PLAN (SOUTH)



**Martenson & Eisele, Inc.**  
 1277 Broadway Blvd  
 Kenosha, WI 53142  
 Phone: 920.721.0281  
 Fax: 920.721.0282  
 www.martenson-eisele.com

NO.	DATE	NO.	DATE	NO.	DATE
1	02/28/08	1	02/28/08	1	02/28/08

**UTILITY PLAN NOTES**

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND RECORD THEM ON THE PLAN. ANY CHANGES TO EXISTING UTILITIES SHALL BE INDICATED BY A DASHED LINE. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" UNLESS OTHERWISE SPECIFIED.

2. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND RECORD THEM ON THE PLAN. ANY CHANGES TO EXISTING UTILITIES SHALL BE INDICATED BY A DASHED LINE. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" UNLESS OTHERWISE SPECIFIED.

**BENCHMARK DATA**

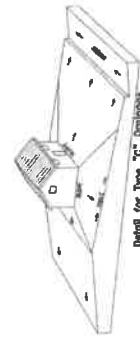
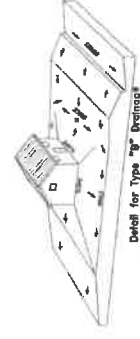
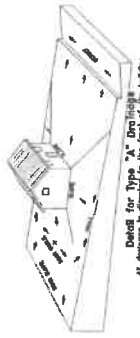
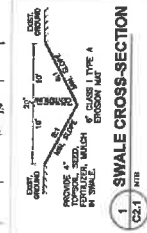
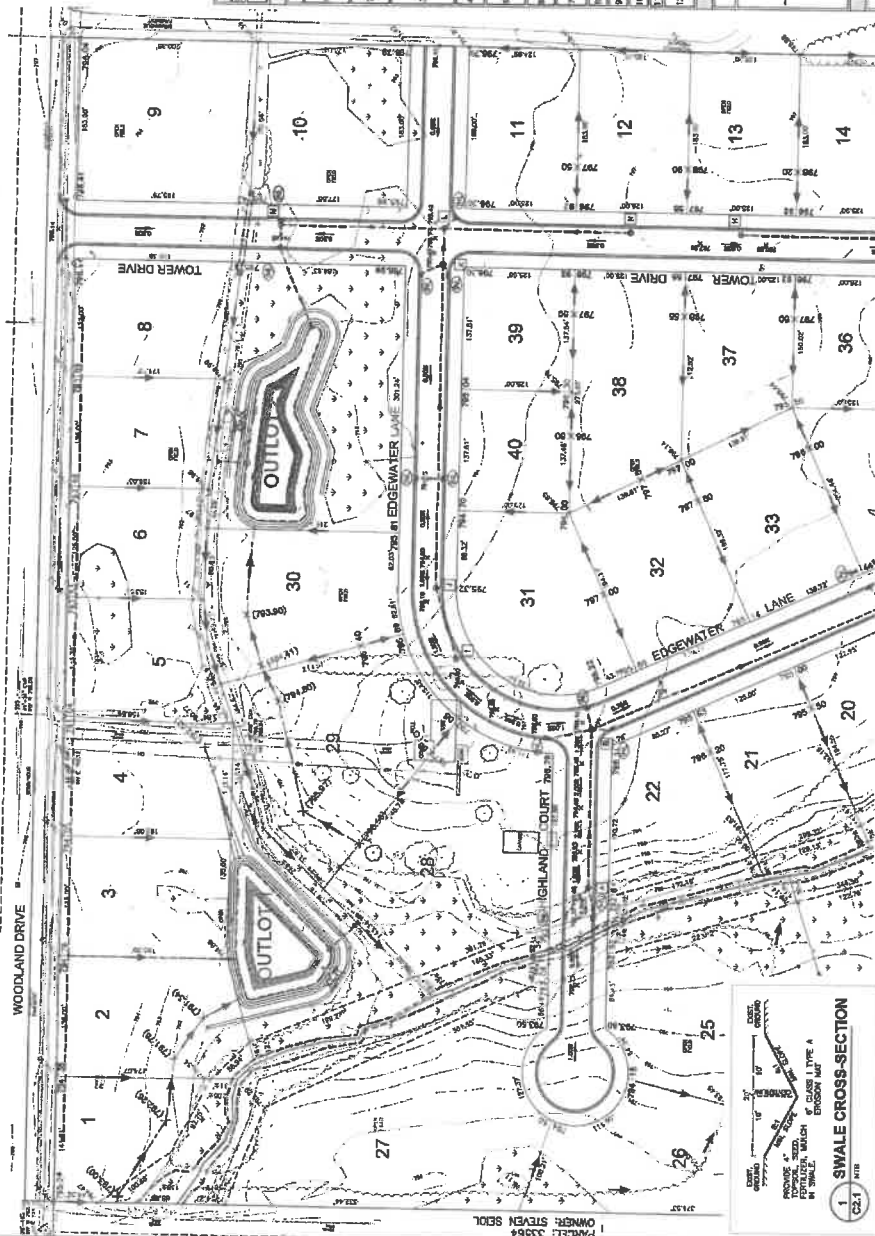
ID	DESCRIPTION	BENCHMARK DATA	ELEVATION
1	1" DIA. IRON ROD #1-11 "X" 10' W. OF S.W. CORNER OF LOT 11	1023.88	1023.88

**UTILITY LAYOUT PLAN LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- WATER MAIN
- SEWER MAIN
- STORM MAIN
- STORM MANHOLE
- STORM INLET
- SEWER MANHOLE
- WATER MANHOLE
- UTILITY LATERAL
- WATER VALVE

**NOT FOR CONSTRUCTION**

# CREEKSIDE ESTATES: DRAINAGE PLAN (NORTH)



**Martenson & Eisele, Inc.**  
Professional Engineering  
1277 Maple Street  
Menasha, WI 54952  
Phone: 920.731.2381  
Fax: 920.238.0281  
www.martensoneisele.com

**DRAINAGE PLAN NOTES**

- THESE NOTES ARE TO BE USED IN CONNECTION WITH THE DRAINAGE PLAN AND SHALL BE READ IN CONJUNCTION WITH THE GENERAL NOTES TO THE PLAN.
- ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2011 EDITION, WITH THE AMENDMENTS THEREON, AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF A WATER MAIN SYSTEM, 2011 EDITION, WITH THE AMENDMENTS THEREON, AS ADOPTED BY THE VILLAGE OF HARRISON, WISCONSIN.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2011 EDITION, WITH THE AMENDMENTS THEREON, AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF A WATER MAIN SYSTEM, 2011 EDITION, WITH THE AMENDMENTS THEREON, AS ADOPTED BY THE VILLAGE OF HARRISON, WISCONSIN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2011 EDITION, WITH THE AMENDMENTS THEREON, AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF A WATER MAIN SYSTEM, 2011 EDITION, WITH THE AMENDMENTS THEREON, AS ADOPTED BY THE VILLAGE OF HARRISON, WISCONSIN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2011 EDITION, WITH THE AMENDMENTS THEREON, AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF A WATER MAIN SYSTEM, 2011 EDITION, WITH THE AMENDMENTS THEREON, AS ADOPTED BY THE VILLAGE OF HARRISON, WISCONSIN.

**DRAINAGE PLAN LEGEND**

- (---) EXISTING CONTOUR
- (---) PROPOSED CONTOUR
- (---) STORM SEWER MAIN
- (---) STORM MANHOLE
- (---) 2% PRESENT STORM FLOW
- (---) DIRECTION OF DRAINAGE

**TOPOGRAPHIC LEGEND**

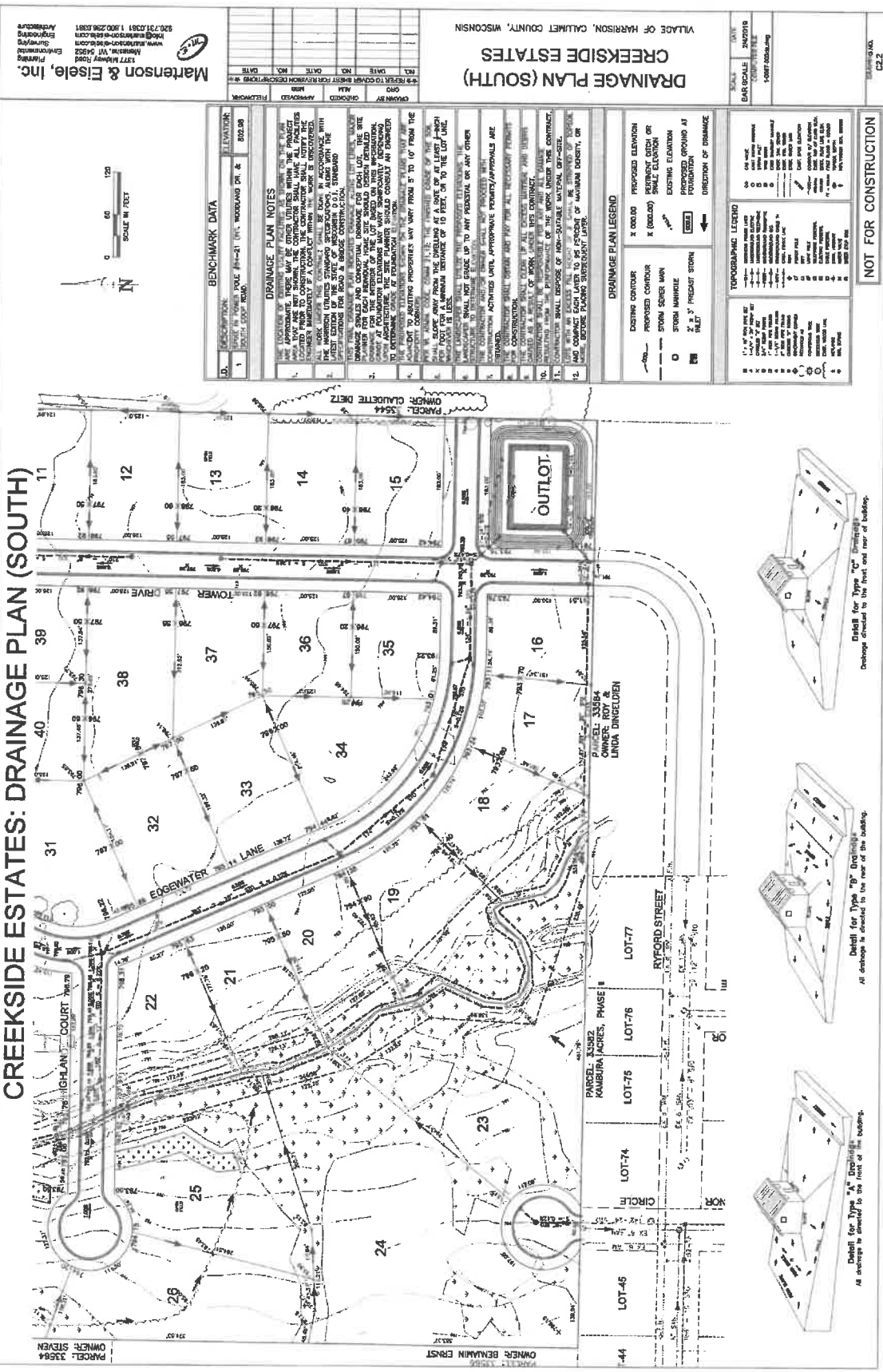
- (---) EXISTING ELEVATION
- (---) PROPOSED ELEVATION
- (---) EXISTING ELEVATION
- (---) PROPOSED ELEVATION
- (---) DIRECTION OF DRAINAGE

**NOT FOR CONSTRUCTION**

SCALE: BAR SCALE 2"=50'  
DATE: 11/18/18

**DRAINAGE PLAN (NORTH)**  
**CREEKSIDE ESTATES**  
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

# CREEKSIDE ESTATES: DRAINAGE PLAN (SOUTH)



**BENCHMARK DATA**  
 1. DESCRIPTION: 1. SOUTH SIDE CORNER OF 2111 WOODLAND DR. & 8022ND AVE.  
 2. DATE: 08/14/11  
 3. ELEVATION: 802.28

**DRAINAGE PLAN NOTES**  
 1. THIS PLAN IS A PRELIMINARY DESIGN. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES.  
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES IN THE FIELD.  
 5. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY RECORDS AND DRAWINGS.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MATERIALS AND LABOR.  
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL PERMITS AND APPROVALS.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL INSURANCE AND BONDING.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TRAVEL AND MEALS.  
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL HOUSING AND UTILITIES.  
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL PHONE AND INTERNET.  
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHER NECESSARY EXPENSES.



NO.	DATE	NO.	DATE	NO.	DATE

**OWNER: BENJAMIN ERNST**  
**PARCEL: 33684**

**OWNER: ROY & LINDA DINGELDEN**  
**PARCEL: 33884**

**OWNER: CLAUDETTE DEITZ**  
**PARCEL: 3544**

**DRAINAGE PLAN LEGEND**  
 DRAINAGE PLAN LEGEND  
 X 000.00 PROPOSED ELEVATION  
 X 000.00 PROPOSED DITCH OR  
 X 000.00 SMALL ELEVATION  
 X 000.00 EXISTING ELEVATION  
 X 000.00 PROPOSED GROUND AT  
 FOUNDATION  
 DIRECTION OF DRAINAGE  
 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12.

**TOPOGRAFIC LEGEND**  
 1. 1' contours  
 2. 2' contours  
 3. 3' contours  
 4. 4' contours  
 5. 5' contours  
 6. 6' contours  
 7. 7' contours  
 8. 8' contours  
 9. 9' contours  
 10. 10' contours  
 11. 11' contours  
 12. 12' contours

**NOT FOR CONSTRUCTION**  
 THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

**DETAILS FOR TYPE "A" DRAINAGE**  
 All drainage is directed to the front of the building.

**DETAILS FOR TYPE "B" DRAINAGE**  
 All drainage is directed to the rear of the building.

**DETAILS FOR TYPE "C" DRAINAGE**  
 All drainage is directed to the front and rear of the building.

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN  
**CREEKSIDE ESTATES**  
**DRAINAGE PLAN (SOUTH)**

ENGINEER: MARTENSON & EISELE, INC.  
 1277 Highway 120  
 Madison, WI 53726  
 Phone: 608.271.0381  
 Fax: 608.271.0381  
 www.martenison-eisele.com  
 Surveying  
 Engineering  
 Architecture

M&E  
**Martenson & Eisele, Inc.**  
 PLEASANT  
 2270 Hwy 50  
 Springfield  
 Wisconsin WI 54582  
 www.martenson-eisele.com  
 800.737.0881 & 800.256.0381  
 Architects

VILLAGE OF HARBOR, CALUMET COUNTY, WISCONSIN  
**TOWER DRIVE**  
**PLAN & PROFILE**  
**CREEKSIDE ESTATES**

DATE: 01-05-2010  
 PROJECT: CREEKSIDE  
 SHEET: 788



| STATION | EXISTING C. GRADES | PROPOSED GRADES |
|---------|--------------------|-----------------|
| 791+00  | 791.16             | 791.16          |
| 791+20  | 791.88             | 791.88          |
| 791+40  | 792.64             | 792.64          |
| 791+60  | 793.38             | 793.38          |
| 791+80  | 794.13             | 794.13          |
| 792+00  | 794.84             | 794.84          |
| 792+20  | 795.56             | 795.56          |
| 792+40  | 796.25             | 796.25          |
| 792+60  | 796.93             | 796.93          |
| 792+80  | 797.59             | 797.59          |
| 793+00  | 798.24             | 798.24          |
| 793+20  | 798.88             | 798.88          |
| 793+40  | 799.51             | 799.51          |
| 793+60  | 800.12             | 800.12          |
| 793+80  | 800.71             | 800.71          |
| 794+00  | 801.28             | 801.28          |
| 794+20  | 801.83             | 801.83          |
| 794+40  | 802.36             | 802.36          |
| 794+60  | 802.87             | 802.87          |
| 794+80  | 803.35             | 803.35          |
| 795+00  | 803.81             | 803.81          |

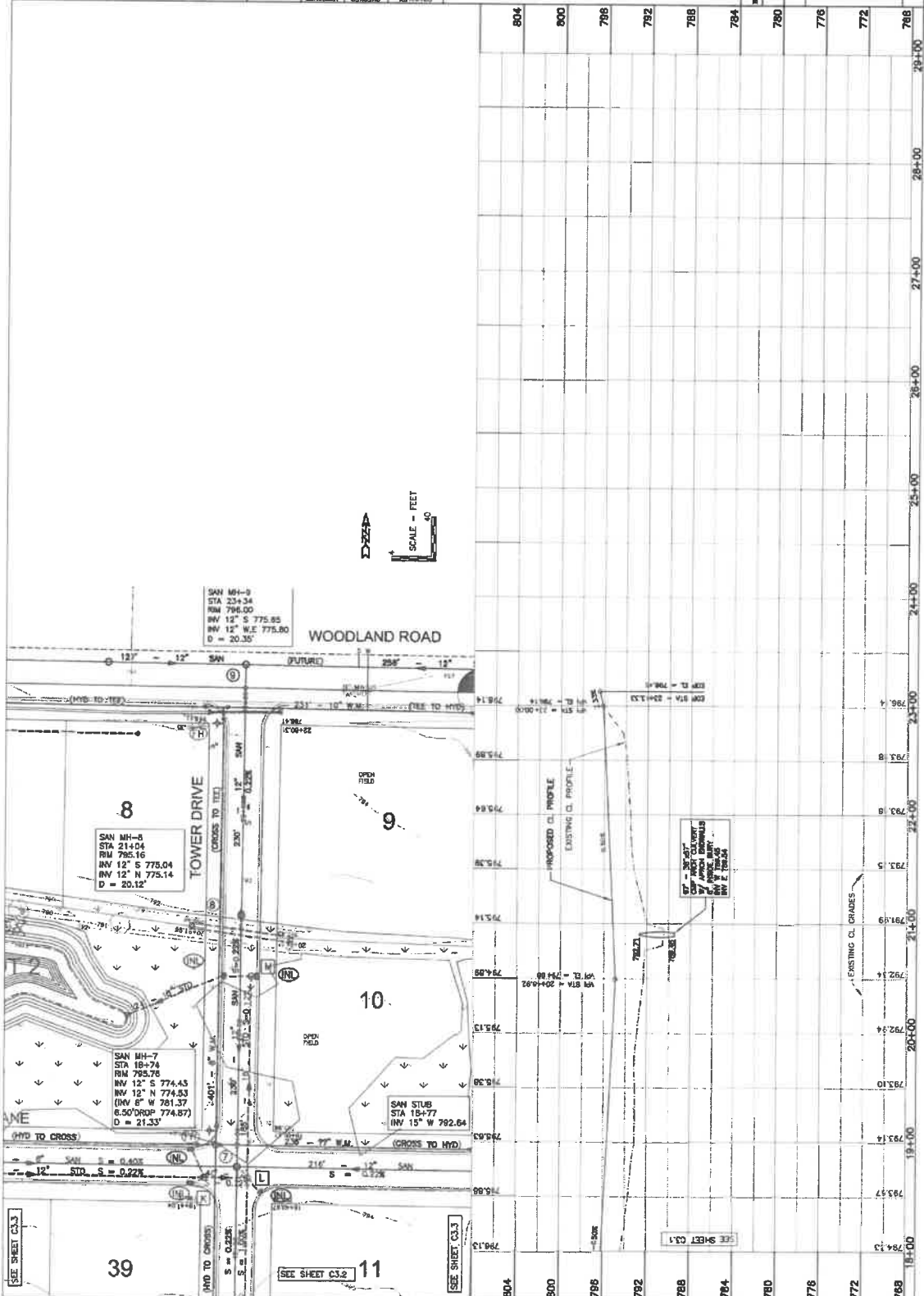


**Martenson & Eisele, Inc.**  
 Planning  
 Engineering  
 Surveying  
 Environmental  
 Construction  
 1237 Meadow Brook  
 Menasha, WI 54952  
 Phone: (920) 791-0881  
 Fax: (920) 791-0881  
 www.martensoneisele.com  
 info@martensoneisele.com

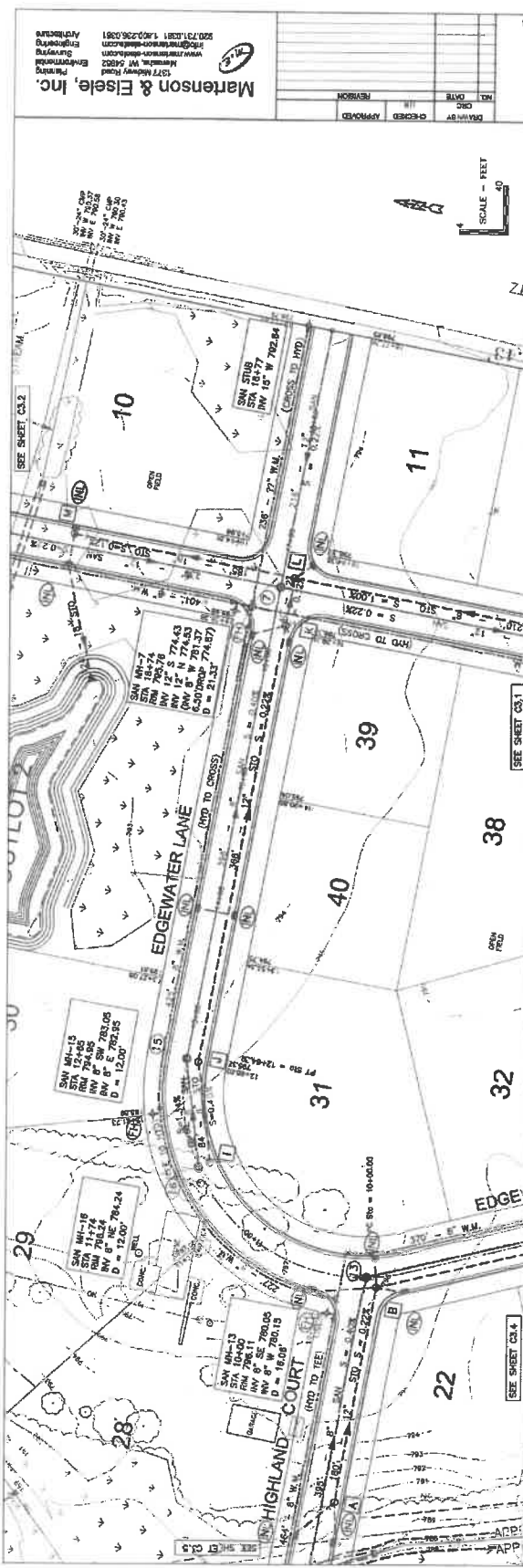
| NO. | DATE | REVISION |
|-----|------|----------|
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|     |      |          |
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VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN  
**CREEKSIDE ESTATES**  
**TOWER DRIVE**  
**PLAN & PROFILE**

|     |     |     |     |     |     |     |     |     |     |     |
|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| 784 | 786 | 788 | 790 | 792 | 794 | 796 | 798 | 800 | 802 | 804 |
|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|



|     |     |     |     |     |     |     |     |     |
|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| 788 | 790 | 792 | 794 | 796 | 798 | 800 | 802 | 804 |
|-----|-----|-----|-----|-----|-----|-----|-----|-----|



**PLAN & PROFILE**  
**EDGEWATER LANE**  
**CREEKSIDE ESTATES**  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

DRAWN BY: [ ]  
 CHECKED: [ ]  
 DATE: [ ]  
 APPROVED: [ ]

MATERIALS: [ ]  
 CONTRACT NO.: [ ]  
 DATE: 01-05-2018  
 DRAWN BY: [ ]  
 CHECKED: [ ]  
 DATE: [ ]

BAR SCALE: [ ]  
 BAR SCALE: [ ]  
 BAR SCALE: [ ]

804  
800  
796  
792  
788  
784  
780  
776  
772  
768

84+00 104+00 114+00 124+00 134+00 144+00 154+00 164+00 174+00 184+00 194+00 204+00

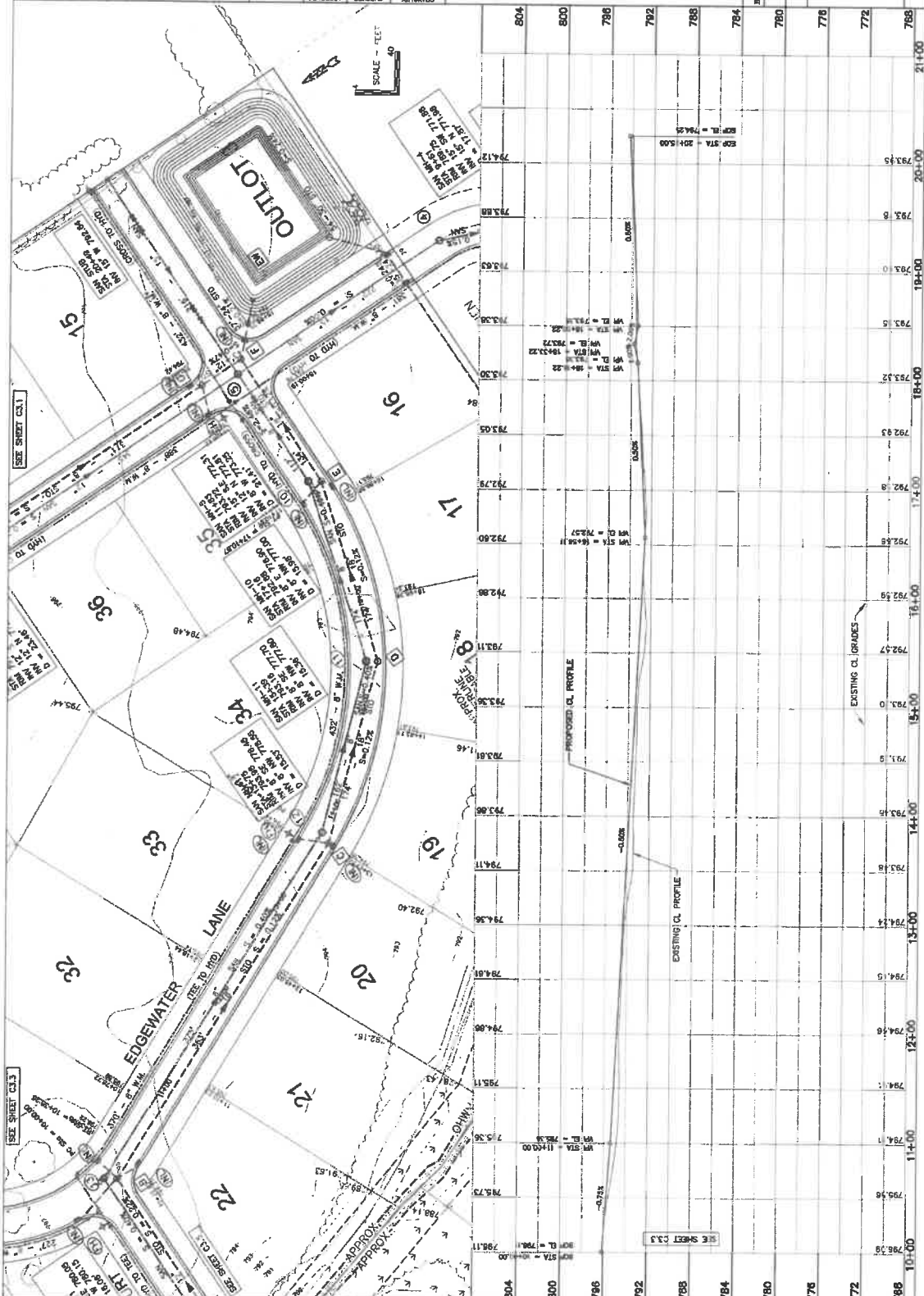
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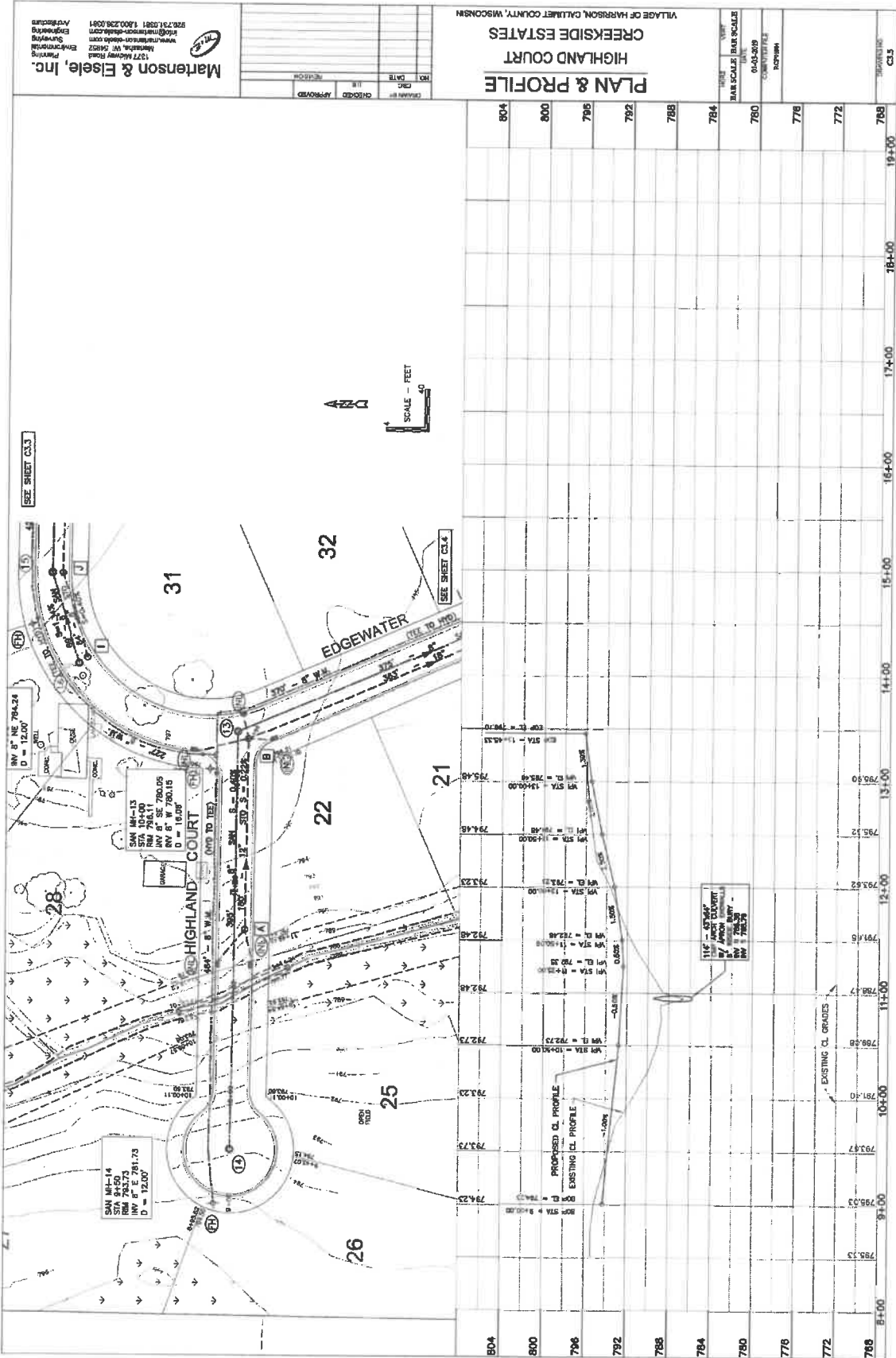
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84+00 104+00 114+00 124+00 134+00 144+00 154+00 164+00 174+00 184+00 194+00 204+00

**Martenson & Eisele, Inc.**  
 1577 Madison Road  
 Madison, WI 53726  
 Phone: 608.278.1111  
 Fax: 608.278.1112  
 Email: info@martensoneisele.com  
 Website: www.martensoneisele.com  
 520.731.0331 1.800.236.0381  
 Architects





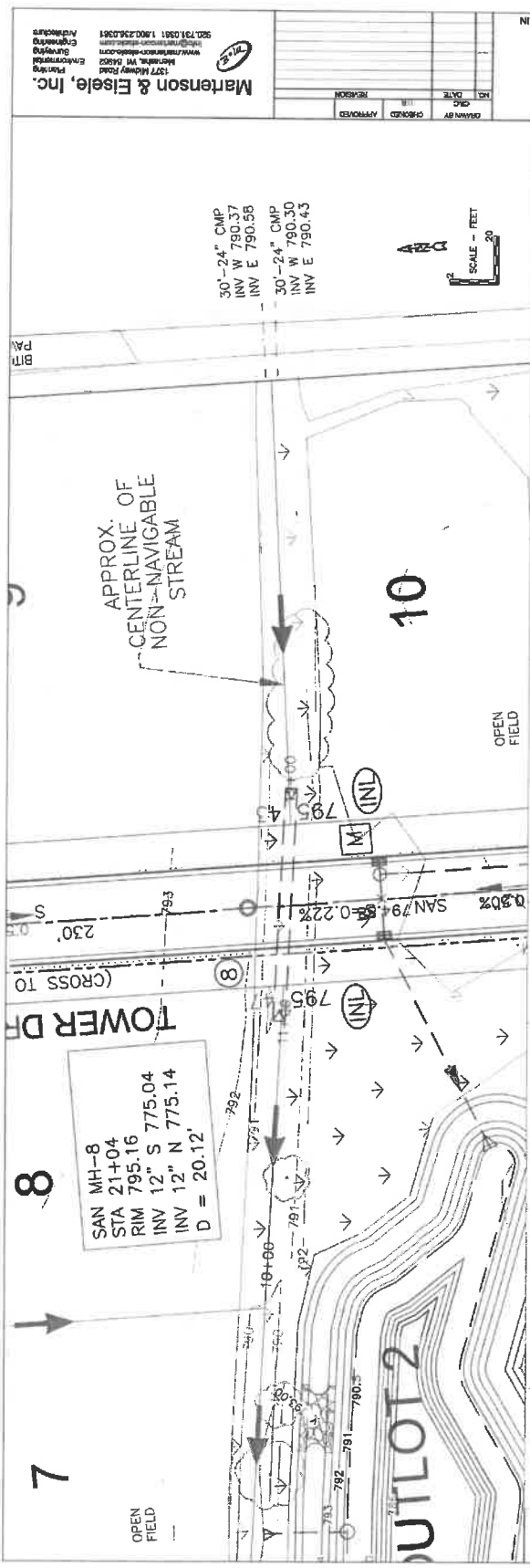
**Martenson & Eisele, Inc.**  
 1377 Meadow Road  
 Parkersburg, IA 50248  
 Phone: 319.336.1111  
 Fax: 319.336.1112  
 www.martenson-eisele.com  
 Engineering  
 Surveying  
 Planning  
 Environmental  
 Construction

| NO. | DATE | BY | CHKD. | APP'D. |
|-----|------|----|-------|--------|
|     |      |    |       |        |

**PLAN & PROFILE**  
**HIGHLAND COURT**  
**CREEKSIDE ESTATES**  
**VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN**

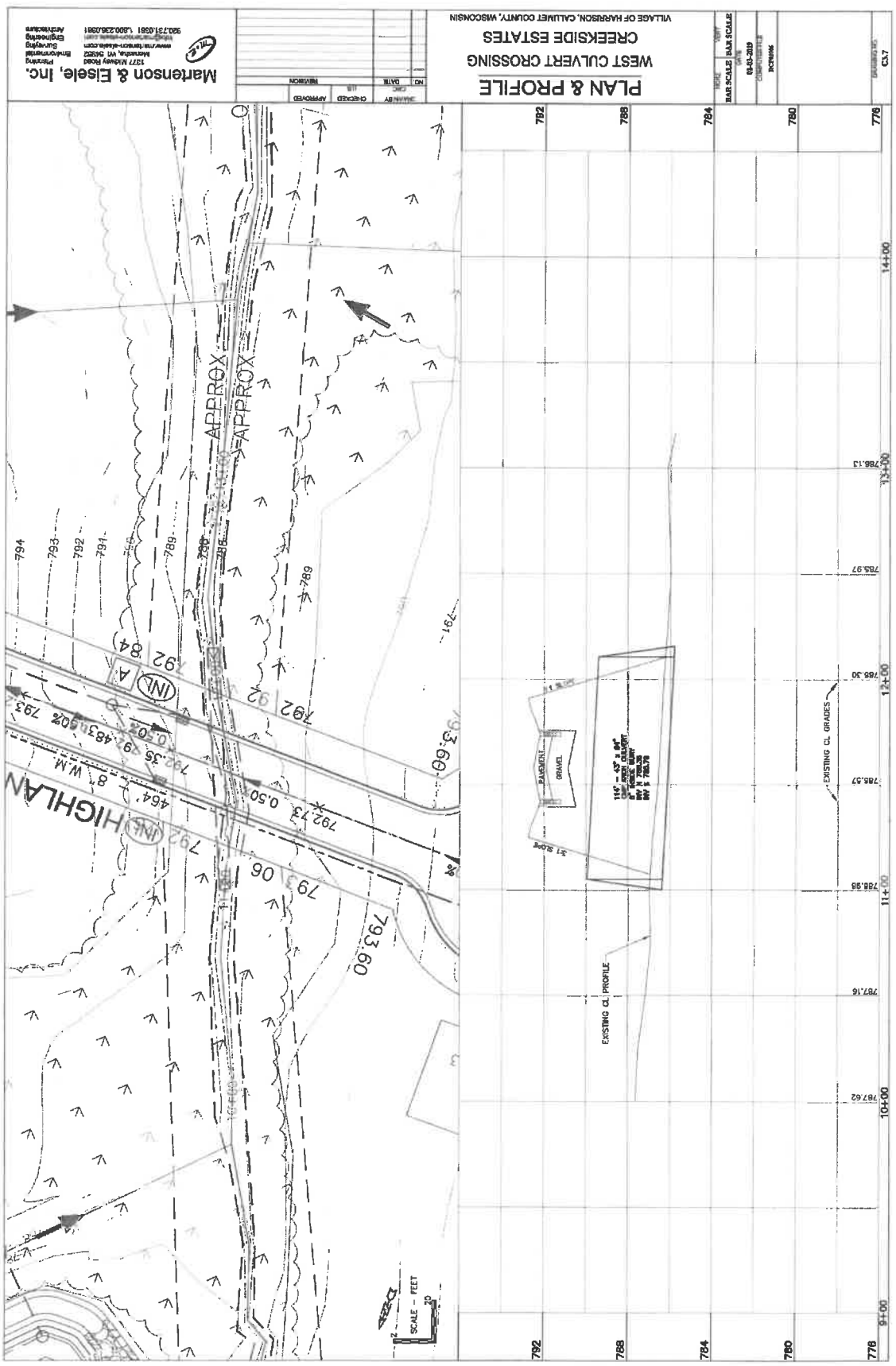
DATE: 01-03-2019  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: BAR SCALE

| STATION | ELEVATION |
|---------|-----------|
| 804     | 804.00    |
| 800     | 800.00    |
| 796     | 796.00    |
| 792     | 792.00    |
| 788     | 788.00    |
| 784     | 784.00    |
| 780     | 780.00    |
| 776     | 776.00    |
| 772     | 772.00    |
| 768     | 768.00    |



**Martenson & Eisele, Inc.**  
 1377 Highway 206  
 Menasha, WI 54952  
 Phone: 920.731.0361  
 Fax: 920.731.0361  
 www.martensoneisele.com  
 Engineering  
 Surveying  
 Environmental  
 Planning

| NO. | DATE | DESIGNED BY | CHECKED BY | APPROVED BY |
|-----|------|-------------|------------|-------------|
|     |      |             |            |             |



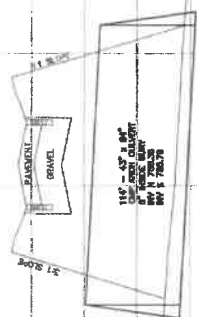
**Martenson & Eisele, Inc.**  
 1377 Highway 1000  
 Menasha, WI 54952  
 Phone: 920.731.0381  
 Fax: 920.731.0381  
 www.martenson-eisele.com  
 Engineering  
 Surveying  
 Planning  
 Environmental

| NO. | DATE | REVISION |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |

**PLAN & PROFILE**  
**WEST CULVERT CROSSING**  
**CREEKSIDE ESTATES**  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

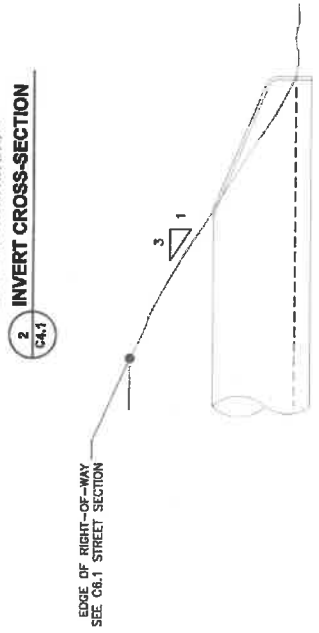
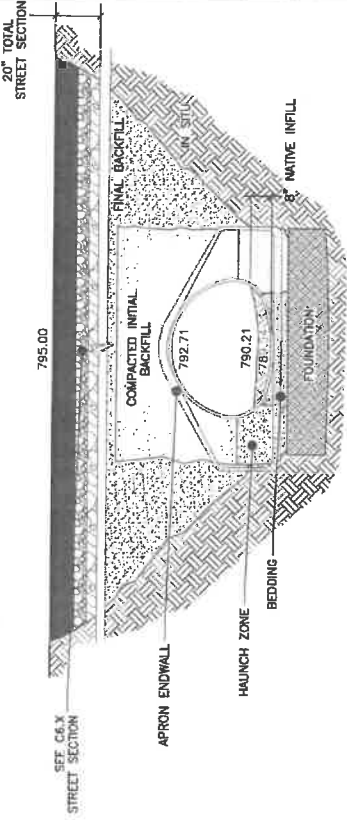
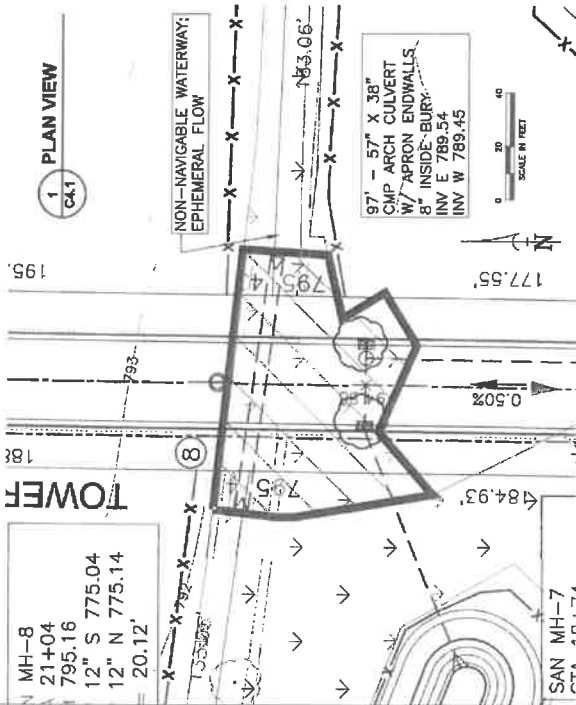
SCALE: PLAN SCALE  
 DATE: 04-05-2010  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

| STATIONING | ELEVATION |
|------------|-----------|
| 776        | 14+00     |
| 776        | 13+50     |
| 776        | 13+00     |
| 776        | 12+50     |
| 776        | 12+00     |
| 776        | 11+50     |
| 776        | 11+00     |
| 776        | 10+50     |
| 776        | 10+00     |
| 780        |           |
| 784        |           |
| 788        |           |
| 792        |           |



SCALE - FEET  
 1" = 20'

# CREEKSIDE ESTATES: NORTH CULVERT CROSSING DETAILS



- ### EROSION CONTROL NOTES
1. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO ANY CONSTRUCTION.
  2. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
  3. THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
  4. THE CONTRACTOR SHALL UTILIZE BRACKETES USED TO PREVENT OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. METHODS OF DUST CONTROL SHALL BE PER WDMR SPECIFICATIONS.
  5. THE MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
  6. SILT FENCES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.
  7. ALL AREAS TO BE SEED AND MULCHED SHALL HAVE MULCH CRUMPED INTO PLACE.
  8. ALL STOCKPILES, OR EQUIPMENT CANNOT BE STORED IN VEGETATED AREAS. NATURAL PRODUCTIVITY OF ADJACENT WETLANDS MUST BE MAINTAINED.
  9. CONTRACTOR SHALL MINIMIZE GRADING, EXCAVATION, AND DISTURBANCE TO WHAT IS NECESSARY FOR THE INSTALLATION OF THE CULVERT.
  10. THE WIDTH AND DEPTH OF THE EXISTING CHANNEL SHALL NOT BE ALTERED UPSTREAM OR DOWNSTREAM OF THE CULVERT.

### TOPOGRAPHIC LEGEND

|                           |                           |
|---------------------------|---------------------------|
| 1. 1" = 20' HORIZ. SCALE  | 1. 1" = 20' HORIZ. SCALE  |
| 2. 1" = 20' HORIZ. SCALE  | 2. 1" = 20' HORIZ. SCALE  |
| 3. 1" = 20' HORIZ. SCALE  | 3. 1" = 20' HORIZ. SCALE  |
| 4. 1" = 20' HORIZ. SCALE  | 4. 1" = 20' HORIZ. SCALE  |
| 5. 1" = 20' HORIZ. SCALE  | 5. 1" = 20' HORIZ. SCALE  |
| 6. 1" = 20' HORIZ. SCALE  | 6. 1" = 20' HORIZ. SCALE  |
| 7. 1" = 20' HORIZ. SCALE  | 7. 1" = 20' HORIZ. SCALE  |
| 8. 1" = 20' HORIZ. SCALE  | 8. 1" = 20' HORIZ. SCALE  |
| 9. 1" = 20' HORIZ. SCALE  | 9. 1" = 20' HORIZ. SCALE  |
| 10. 1" = 20' HORIZ. SCALE | 10. 1" = 20' HORIZ. SCALE |

NOT FOR CONSTRUCTION

Martenson & Eisele, Inc.  
177 Liberty Road  
Hawthorn, WI 54822  
Environmental Planning  
Surveying  
Engineering  
Architectural  
502.731.0381 1.800.238.0381

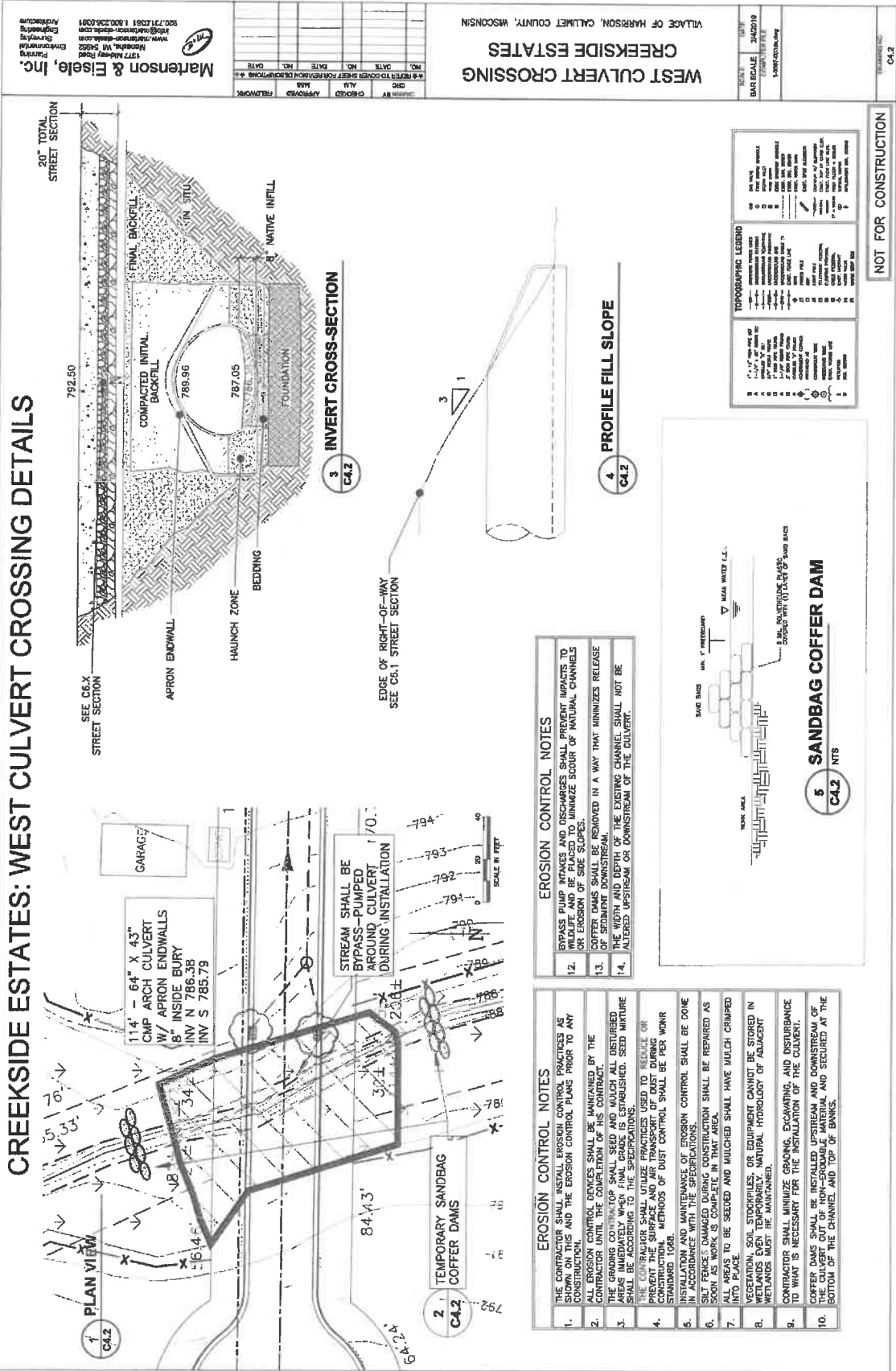
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|---|----------|------|
| DESIGNED BY                                       | APPROVED | DATE |
| CHECKED   | DATE     |      |
| PERMITTED TO COVER SHEET FOR REVISION DESCRIPTION | NO.      | DATE |

NORTH CULVERT CROSSING  
CREEKSIDE ESTATES  
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

|          |          |
|----------|----------|
| SCALE    | DATE     |
| 1" = 20' | 10/15/19 |
| 1" = 20' | 10/15/19 |

CA.1

# CREEKSIDE ESTATES: WEST CULVERT CROSSING DETAILS



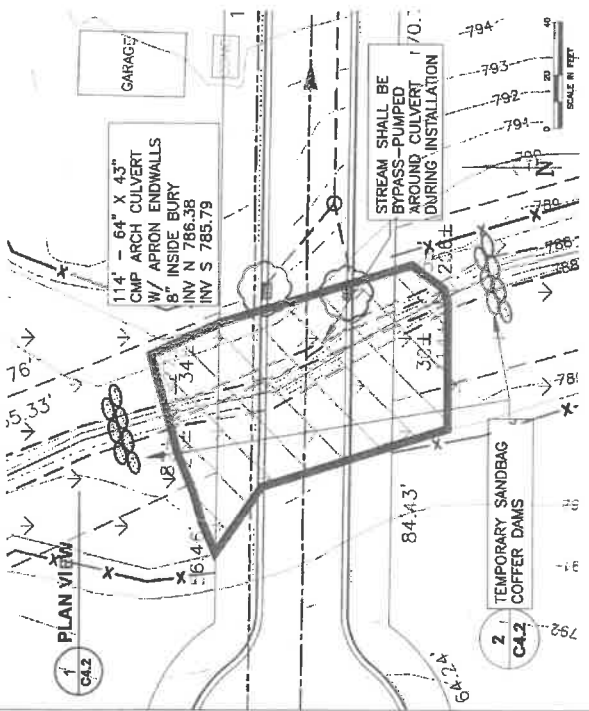
Martenson & Eisele, Inc.  
 2700 North Lincoln Avenue  
 St. Paul, MN 55112  
 Phone: 612-771-2211  
 Fax: 612-771-2212  
 Email: info@meinc.com

| NO. | DATE | NO. | DATE | NO. | DATE |
|-----|------|-----|------|-----|------|
|     |      |     |      |     |      |
|     |      |     |      |     |      |

WEST CULVERT CROSSING  
 CREEKSIDE ESTATES  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

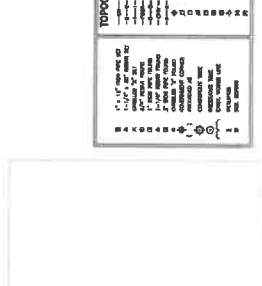
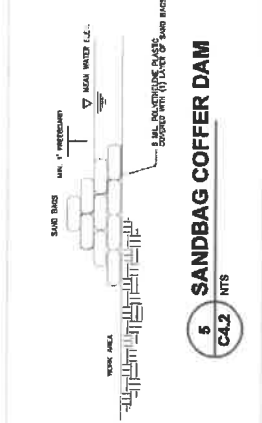
|         |            |
|---------|------------|
| SCALE   | 24X0019    |
| DATE    | 11/20/2019 |
| PROJECT |            |
|         |            |

NOT FOR CONSTRUCTION



**EROSION CONTROL NOTES**

1. THE CONTRACTOR SHALL INSTALL EROSION CONTROL PRACTICES AS SHOWN ON THESE PLANS AND THE EROSION CONTROL PLANS PRIOR TO ANY CONSTRUCTION.
2. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
3. THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS WITHIN 14 DAYS OF COMPLETION OF HIS WORK. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
4. THE CONTRACTOR SHALL UTILIZE PRACTICES USED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. METHODS OF DUST CONTROL SHALL BE PER WORK IN ACCORDANCE WITH THE SPECIFICATIONS.
5. SILT FENCE, DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.
6. ALL AREAS TO BE SEED AND MULCHED SHALL HAVE MULCH CRIMPED INTO PLACE.
7. SOIL EXPOSURES OR EQUIPMENT CANNOT BE STORED IN AREAS THAT ARE TEMPORARILY MAINTAINED. HYDROLOGY OF ADJACENT WETLANDS MUST BE MAINTAINED.
8. CONTRACTORS SHALL MINIMIZE GRADING, EXCAVATING, AND DISTURBANCE TO WHAT IS NECESSARY FOR THE INSTALLATION OF THE CULVERT.
9. COFFER DAMS SHALL BE INSTALLED UPSTREAM AND DOWNSTREAM OF THE CULVERT OUT OF NON-ERODIBLE MATERIAL AND SECURED AT THE BOTTOM OF THE CHANNEL AND TOP OF BANKS.

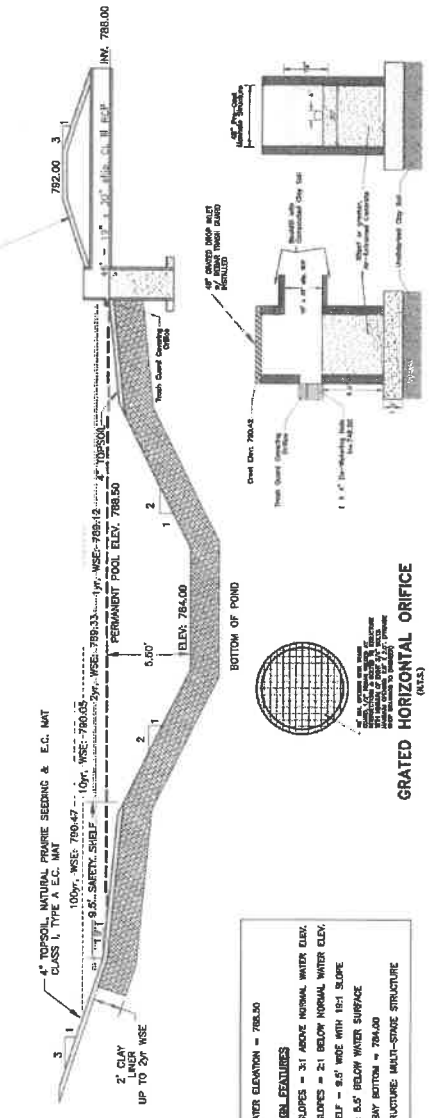


**TOPOGRAPHIC LEGEND**

|                        |                        |
|------------------------|------------------------|
| 1. 1' TO 2' HIGH       | 1. 1' TO 2' HIGH       |
| 2. 2' TO 4' HIGH       | 2. 2' TO 4' HIGH       |
| 3. 4' TO 6' HIGH       | 3. 4' TO 6' HIGH       |
| 4. 6' TO 8' HIGH       | 4. 6' TO 8' HIGH       |
| 5. 8' TO 10' HIGH      | 5. 8' TO 10' HIGH      |
| 6. 10' TO 12' HIGH     | 6. 10' TO 12' HIGH     |
| 7. 12' TO 14' HIGH     | 7. 12' TO 14' HIGH     |
| 8. 14' TO 16' HIGH     | 8. 14' TO 16' HIGH     |
| 9. 16' TO 18' HIGH     | 9. 16' TO 18' HIGH     |
| 10. 18' TO 20' HIGH    | 10. 18' TO 20' HIGH    |
| 11. 20' TO 22' HIGH    | 11. 20' TO 22' HIGH    |
| 12. 22' TO 24' HIGH    | 12. 22' TO 24' HIGH    |
| 13. 24' TO 26' HIGH    | 13. 24' TO 26' HIGH    |
| 14. 26' TO 28' HIGH    | 14. 26' TO 28' HIGH    |
| 15. 28' TO 30' HIGH    | 15. 28' TO 30' HIGH    |
| 16. 30' TO 32' HIGH    | 16. 30' TO 32' HIGH    |
| 17. 32' TO 34' HIGH    | 17. 32' TO 34' HIGH    |
| 18. 34' TO 36' HIGH    | 18. 34' TO 36' HIGH    |
| 19. 36' TO 38' HIGH    | 19. 36' TO 38' HIGH    |
| 20. 38' TO 40' HIGH    | 20. 38' TO 40' HIGH    |
| 21. 40' TO 42' HIGH    | 21. 40' TO 42' HIGH    |
| 22. 42' TO 44' HIGH    | 22. 42' TO 44' HIGH    |
| 23. 44' TO 46' HIGH    | 23. 44' TO 46' HIGH    |
| 24. 46' TO 48' HIGH    | 24. 46' TO 48' HIGH    |
| 25. 48' TO 50' HIGH    | 25. 48' TO 50' HIGH    |
| 26. 50' TO 52' HIGH    | 26. 50' TO 52' HIGH    |
| 27. 52' TO 54' HIGH    | 27. 52' TO 54' HIGH    |
| 28. 54' TO 56' HIGH    | 28. 54' TO 56' HIGH    |
| 29. 56' TO 58' HIGH    | 29. 56' TO 58' HIGH    |
| 30. 58' TO 60' HIGH    | 30. 58' TO 60' HIGH    |
| 31. 60' TO 62' HIGH    | 31. 60' TO 62' HIGH    |
| 32. 62' TO 64' HIGH    | 32. 62' TO 64' HIGH    |
| 33. 64' TO 66' HIGH    | 33. 64' TO 66' HIGH    |
| 34. 66' TO 68' HIGH    | 34. 66' TO 68' HIGH    |
| 35. 68' TO 70' HIGH    | 35. 68' TO 70' HIGH    |
| 36. 70' TO 72' HIGH    | 36. 70' TO 72' HIGH    |
| 37. 72' TO 74' HIGH    | 37. 72' TO 74' HIGH    |
| 38. 74' TO 76' HIGH    | 38. 74' TO 76' HIGH    |
| 39. 76' TO 78' HIGH    | 39. 76' TO 78' HIGH    |
| 40. 78' TO 80' HIGH    | 40. 78' TO 80' HIGH    |
| 41. 80' TO 82' HIGH    | 41. 80' TO 82' HIGH    |
| 42. 82' TO 84' HIGH    | 42. 82' TO 84' HIGH    |
| 43. 84' TO 86' HIGH    | 43. 84' TO 86' HIGH    |
| 44. 86' TO 88' HIGH    | 44. 86' TO 88' HIGH    |
| 45. 88' TO 90' HIGH    | 45. 88' TO 90' HIGH    |
| 46. 90' TO 92' HIGH    | 46. 90' TO 92' HIGH    |
| 47. 92' TO 94' HIGH    | 47. 92' TO 94' HIGH    |
| 48. 94' TO 96' HIGH    | 48. 94' TO 96' HIGH    |
| 49. 96' TO 98' HIGH    | 49. 96' TO 98' HIGH    |
| 50. 98' TO 100' HIGH   | 50. 98' TO 100' HIGH   |
| 51. 100' TO 102' HIGH  | 51. 100' TO 102' HIGH  |
| 52. 102' TO 104' HIGH  | 52. 102' TO 104' HIGH  |
| 53. 104' TO 106' HIGH  | 53. 104' TO 106' HIGH  |
| 54. 106' TO 108' HIGH  | 54. 106' TO 108' HIGH  |
| 55. 108' TO 110' HIGH  | 55. 108' TO 110' HIGH  |
| 56. 110' TO 112' HIGH  | 56. 110' TO 112' HIGH  |
| 57. 112' TO 114' HIGH  | 57. 112' TO 114' HIGH  |
| 58. 114' TO 116' HIGH  | 58. 114' TO 116' HIGH  |
| 59. 116' TO 118' HIGH  | 59. 116' TO 118' HIGH  |
| 60. 118' TO 120' HIGH  | 60. 118' TO 120' HIGH  |
| 61. 120' TO 122' HIGH  | 61. 120' TO 122' HIGH  |
| 62. 122' TO 124' HIGH  | 62. 122' TO 124' HIGH  |
| 63. 124' TO 126' HIGH  | 63. 124' TO 126' HIGH  |
| 64. 126' TO 128' HIGH  | 64. 126' TO 128' HIGH  |
| 65. 128' TO 130' HIGH  | 65. 128' TO 130' HIGH  |
| 66. 130' TO 132' HIGH  | 66. 130' TO 132' HIGH  |
| 67. 132' TO 134' HIGH  | 67. 132' TO 134' HIGH  |
| 68. 134' TO 136' HIGH  | 68. 134' TO 136' HIGH  |
| 69. 136' TO 138' HIGH  | 69. 136' TO 138' HIGH  |
| 70. 138' TO 140' HIGH  | 70. 138' TO 140' HIGH  |
| 71. 140' TO 142' HIGH  | 71. 140' TO 142' HIGH  |
| 72. 142' TO 144' HIGH  | 72. 142' TO 144' HIGH  |
| 73. 144' TO 146' HIGH  | 73. 144' TO 146' HIGH  |
| 74. 146' TO 148' HIGH  | 74. 146' TO 148' HIGH  |
| 75. 148' TO 150' HIGH  | 75. 148' TO 150' HIGH  |
| 76. 150' TO 152' HIGH  | 76. 150' TO 152' HIGH  |
| 77. 152' TO 154' HIGH  | 77. 152' TO 154' HIGH  |
| 78. 154' TO 156' HIGH  | 78. 154' TO 156' HIGH  |
| 79. 156' TO 158' HIGH  | 79. 156' TO 158' HIGH  |
| 80. 158' TO 160' HIGH  | 80. 158' TO 160' HIGH  |
| 81. 160' TO 162' HIGH  | 81. 160' TO 162' HIGH  |
| 82. 162' TO 164' HIGH  | 82. 162' TO 164' HIGH  |
| 83. 164' TO 166' HIGH  | 83. 164' TO 166' HIGH  |
| 84. 166' TO 168' HIGH  | 84. 166' TO 168' HIGH  |
| 85. 168' TO 170' HIGH  | 85. 168' TO 170' HIGH  |
| 86. 170' TO 172' HIGH  | 86. 170' TO 172' HIGH  |
| 87. 172' TO 174' HIGH  | 87. 172' TO 174' HIGH  |
| 88. 174' TO 176' HIGH  | 88. 174' TO 176' HIGH  |
| 89. 176' TO 178' HIGH  | 89. 176' TO 178' HIGH  |
| 90. 178' TO 180' HIGH  | 90. 178' TO 180' HIGH  |
| 91. 180' TO 182' HIGH  | 91. 180' TO 182' HIGH  |
| 92. 182' TO 184' HIGH  | 92. 182' TO 184' HIGH  |
| 93. 184' TO 186' HIGH  | 93. 184' TO 186' HIGH  |
| 94. 186' TO 188' HIGH  | 94. 186' TO 188' HIGH  |
| 95. 188' TO 190' HIGH  | 95. 188' TO 190' HIGH  |
| 96. 190' TO 192' HIGH  | 96. 190' TO 192' HIGH  |
| 97. 192' TO 194' HIGH  | 97. 192' TO 194' HIGH  |
| 98. 194' TO 196' HIGH  | 98. 194' TO 196' HIGH  |
| 99. 196' TO 198' HIGH  | 99. 196' TO 198' HIGH  |
| 100. 198' TO 200' HIGH | 100. 198' TO 200' HIGH |



# CREEKSIDE ESTATES: NORTHWEST POND (N.T.S.)



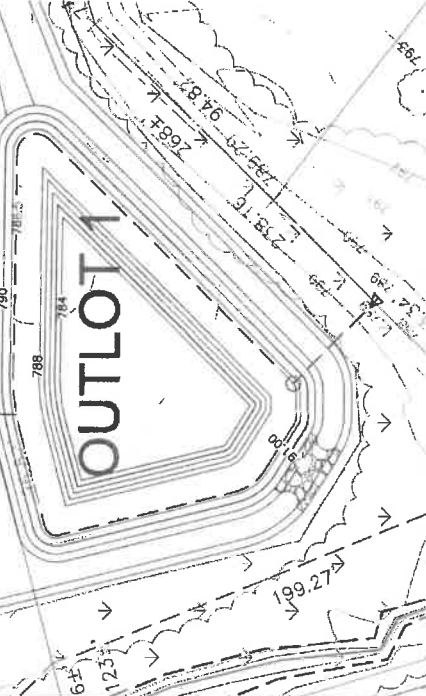
**NORMAL WATER ELEVATION = 786.50**

**KEY DESIGN FEATURES**

- ALL SIDE SLOPES = 3:1 ABOVE NORMAL WATER ELEV.
- ALL SIDE SLOPES = 2:1 BELOW NORMAL WATER ELEV.
- SAFETY SHELF = 8.0' WIDE WITH 1% SLOPE
- WET BASIN 6.5' BELOW WATER SURFACE
- SEDIMENT BAY BOTTOM = 791.00
- OUTLET STRUCTURE: MULTI-STAGE STRUCTURE



**EMERGENCY/WEIR OUTLET STRUCTURE  
(N.12)**



**OUTLET 1**

**NOT FOR CONSTRUCTION**

DATE: 11/11/2011  
DRAWN BY: JAC

**WATERSON & EISELE, Inc.**  
Engineering & Surveying  
1777 Highway 100  
Madison, WI 53704  
www.watson-eisele.com  
608.731.0881 1.800.238.0881

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

**NORTHWEST POND  
CREEKSIDE ESTATES**

DATE: 11/11/2011  
DRAWN BY: JAC

| NO. | DATE       | DESCRIPTION       |
|-----|------------|-------------------|
| 1   | 11/11/2011 | ISSUED FOR PERMIT |

**POUND CONSTRUCTION**

1. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

2. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

3. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

4. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

5. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

6. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

7. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

8. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

9. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

10. The contractor shall provide all materials and labor for the construction of the pond. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County. The contractor shall be responsible for obtaining all necessary permits and approvals from the Village of Harrison and Calumet County.

**NOT FOR CONSTRUCTION**

# CREEKSIDE ESTATES: NORTHEAST POND (N.T.S.)

4" TOPSOIL, GRASS SEED & E.C. MAT  
CLASS I, TYPE A E.C. MAT

4" TOPSOIL, NATURAL PRAIRIE SEEDING & E.C. MAT  
CLASS I, TYPE A E.C. MAT

100% WSE: 793.45  
19' - 9.5' SAFETY SHELF  
UP TO 5% WSE

2' CLAY  
UP TO 5% WSE

PERMANENT POOL ELEV. 790.50

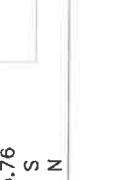
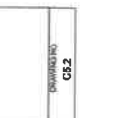
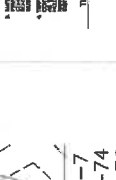
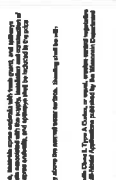
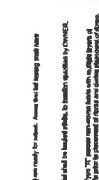
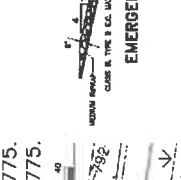
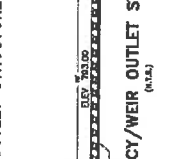
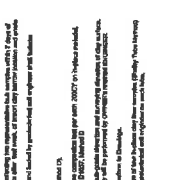
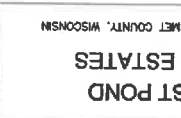
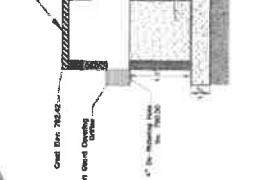
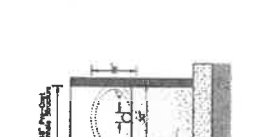
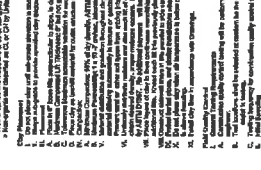
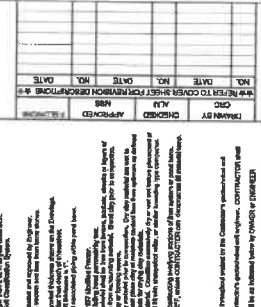
ELEV. 785.00

5.50'

35' - 18" x 7" CI III RCP

784.00 3

790.00



KEY DESIGN FEATURES

ALL SIDE SLOPES = 3:1 ABOVE NORMAL WATER ELEV.

ALL SIDE SLOPES = 2:1 BELOW NORMAL WATER ELEV.

SAFETY SHELF = 9.5' WIDE WITH 1:1 SLOPE

WET BASIN 3.5' BELOW WATER SURFACE

SEWAGE (BY BOTTOM) = 790.00

OUTLET STRUCTURE: MULTI-STAGE STRUCTURE

NORMAL WATER ELEVATION = 790.50

100% WSE: 793.45

19' - 9.5' SAFETY SHELF

UP TO 5% WSE

2' CLAY

UP TO 5% WSE

PERMANENT POOL ELEV. 790.50

ELEV. 785.00

5.50'

35' - 18" x 7" CI III RCP

784.00 3

790.00

TYPE: SPURSEWERIAL TYPICAL SECTION

CLASS III, TYPE B

E.C. MAT INSTALLATION DETAIL

791

4" TOPSOIL, GRASS SEED & E.C. MAT  
CLASS I, TYPE A E.C. MAT

4" TOPSOIL, NATURAL PRAIRIE SEEDING & E.C. MAT  
CLASS I, TYPE A E.C. MAT

100% WSE: 793.45  
19' - 9.5' SAFETY SHELF  
UP TO 5% WSE

2' CLAY  
UP TO 5% WSE

PERMANENT POOL ELEV. 790.50

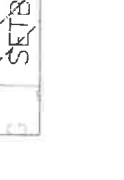
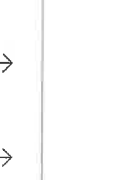
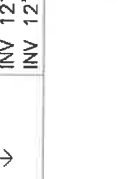
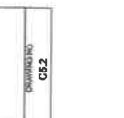
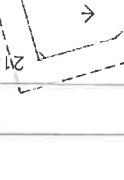
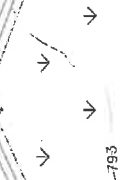
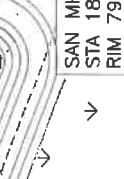
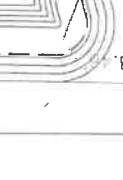
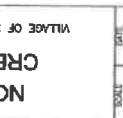
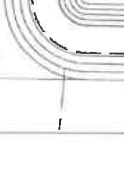
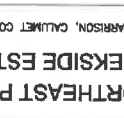
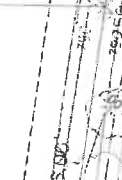
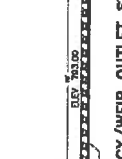
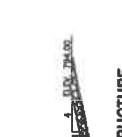
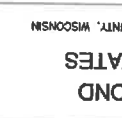
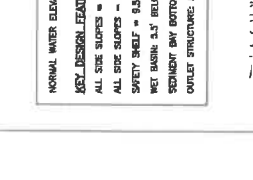
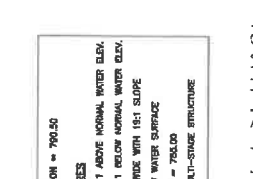
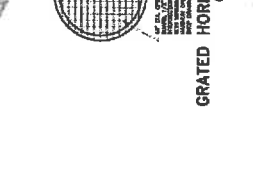
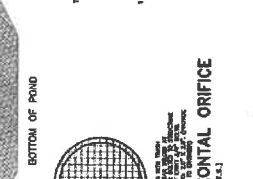
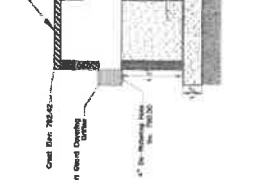
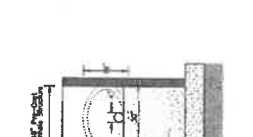
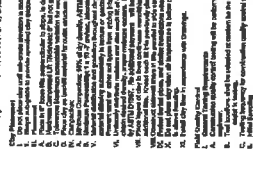
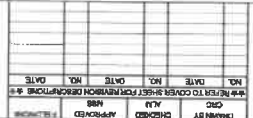
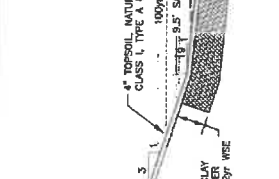
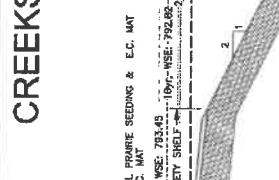
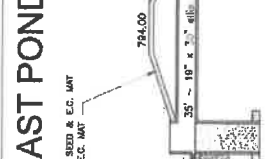
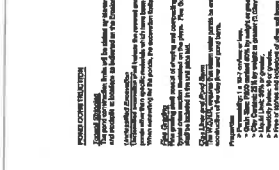
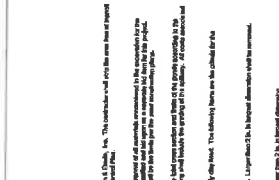
ELEV. 785.00

5.50'

35' - 18" x 7" CI III RCP

784.00 3

790.00



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DATE: 2/15/2019  
SCALE: 3/4" = 1'-0"

PROJECT: CREEKSIDE ESTATES, WISCONSIN  
SHEET: 15 OF 20

DESIGNED BY: [Blank]

APPROVED BY: [Blank]

CHECKED BY: [Blank]

DRAWING: CSE2

NOT FOR CONSTRUCTION

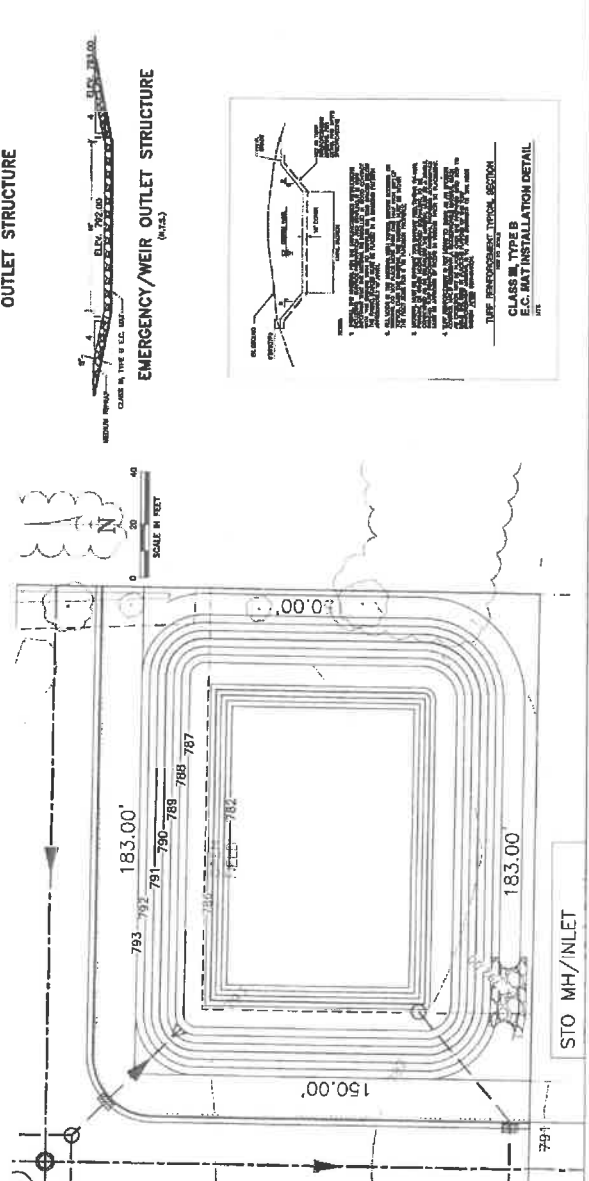
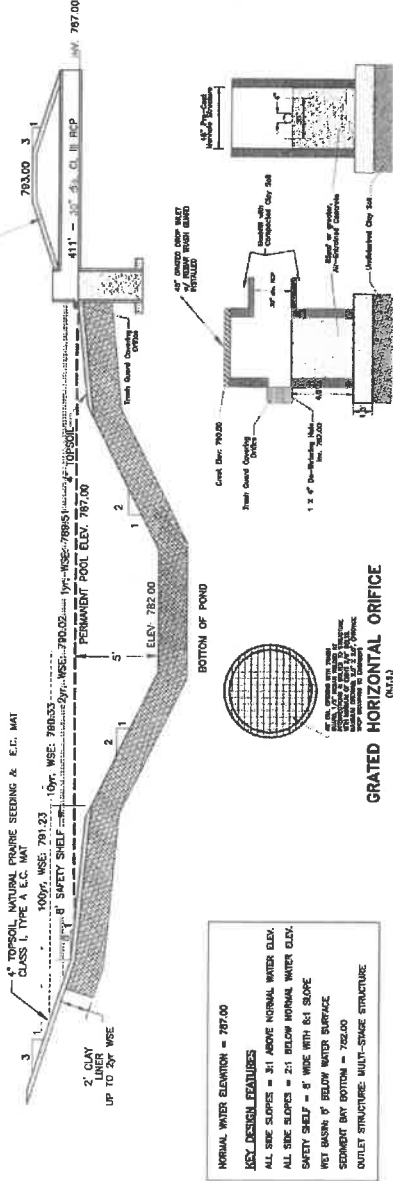
PREPARED BY: [Blank]

DATE: 2/15/2019

SCALE: 3/4" = 1'-0"

# CREEKSIDE ESTATES: SOUTH POND

(N.T.S.)



| NO. | DATE | REVISION | BY | CHKD. |
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**POUND CONSTRUCTION**

**GENERAL NOTES:**

1. All work shall be in accordance with the Wisconsin Department of Transportation Standard Specifications for Highway Construction, 2003 Edition, Section 302.01, unless otherwise indicated.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. All work shall be completed within the specified time frame.
4. All work shall be done in accordance with the approved plans and specifications.
5. All work shall be done in accordance with the approved plans and specifications.
6. All work shall be done in accordance with the approved plans and specifications.
7. All work shall be done in accordance with the approved plans and specifications.
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17. All work shall be done in accordance with the approved plans and specifications.
18. All work shall be done in accordance with the approved plans and specifications.
19. All work shall be done in accordance with the approved plans and specifications.
20. All work shall be done in accordance with the approved plans and specifications.

**SOUTH POND**  
**CREEKSIDE ESTATES**  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

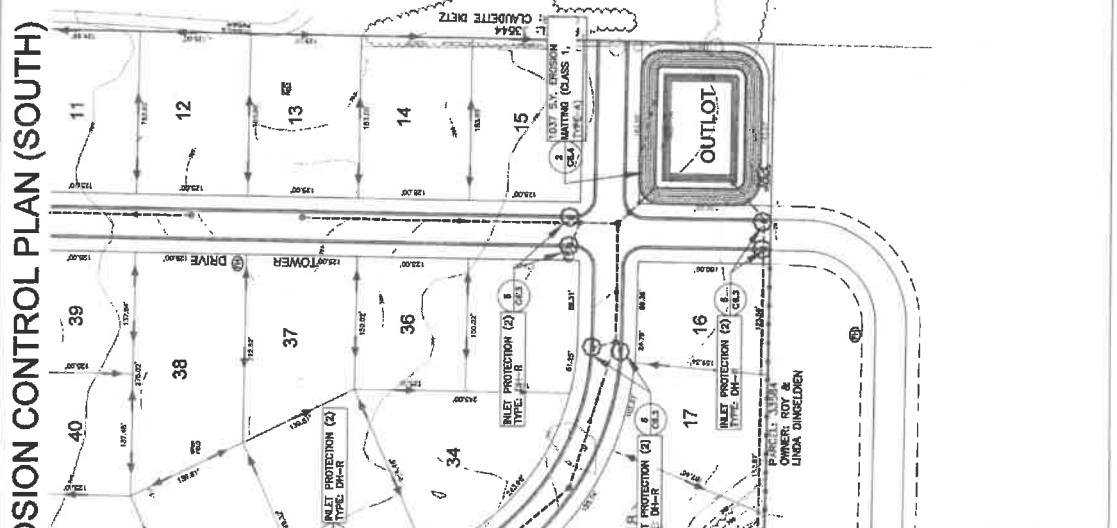
**SCALE** 1" = 20' (PLAN)  
 1" = 10' (SECTION)  
**DATE** 2/20/19  
**PROJECT NO.** 1802-0003-000

**NOT FOR CONSTRUCTION**

**Martenson & Eisele, Inc.**  
 1377 Ashby Road  
 Friesland, WI 53222  
 Engineering  
 920.737.0551 | 800.228.0261



|  |  |  |
|--|--|--|
| <b>GENERAL NOTES</b><br>1. THE EROSION CONTROL PLAN (SOUTH) SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN (SOUTH) AND THE EROSION CONTROL PLAN (SOUTH) AS APPLICABLE. THE EROSION CONTROL PLAN (SOUTH) SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN (SOUTH) AND THE EROSION CONTROL PLAN (SOUTH) AS APPLICABLE. THE EROSION CONTROL PLAN (SOUTH) SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN (SOUTH) AND THE EROSION CONTROL PLAN (SOUTH) AS APPLICABLE.     |  |  |
| <b>EROSION CONTROL PLAN KEY LEGEND</b><br>SILT FENCE - S.F.<br>TRUCKING PROTECTION - T.P.<br>INLET PROTECTION TYPE A & D - I.P. A, I.P. D<br>INLET PROTECTION TYPE B - I.P. B<br>INLET PROTECTION TYPE B-HR - I.P. B-HR<br>SWEPAC CHAINPOST FINE DITCH CHECK - S.F.C.<br>CHAINPOST METAL - C.P.M.<br>EROSION CONTROL MAT BERTAL (CLASS 1) - E.C.M. (CLASS 1)<br>EROSION CONTROL MAT BERTAL (CLASS 2) - E.C.M. (CLASS 2)<br>SEDIMENT LOG INLET PROTECTION - S.L.I.P.<br>SEDIMENT LOG CHANNEL DITCH CHECK - S.L.C.C. |  |  |
| <b>TOPOGRAPHIC LEGEND</b><br>1' = 1' (VERTICAL)<br>1" = 100' (HORIZONTAL)<br>EROSION CONTROL MAT BERTAL (CLASS 1)<br>EROSION CONTROL MAT BERTAL (CLASS 2)<br>TRUCKING PROTECTION<br>SEDIMENT LOG CHANNEL DITCH CHECK<br>SEDIMENT LOG INLET PROTECTION<br>SWEPAC CHAINPOST FINE DITCH CHECK<br>INLET PROTECTION TYPE B-HR<br>INLET PROTECTION TYPE B<br>INLET PROTECTION TYPE A & D<br>SILT FENCE<br>CHAINPOST METAL  |  |  |



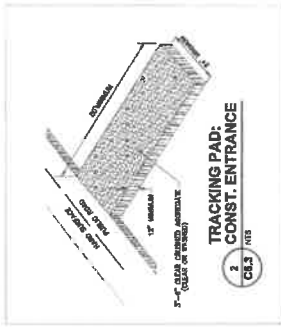
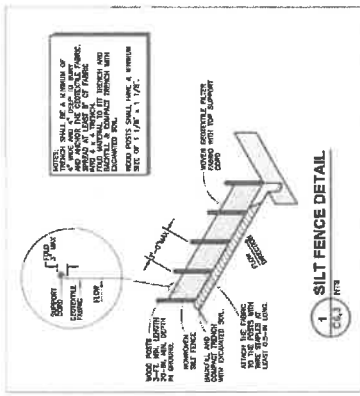
**CONTRACTOR RESPONSIBILITIES**

- The contractor shall be responsible for the installation and maintenance of all erosion control measures.
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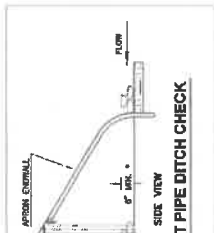
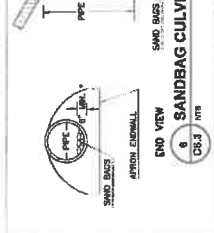
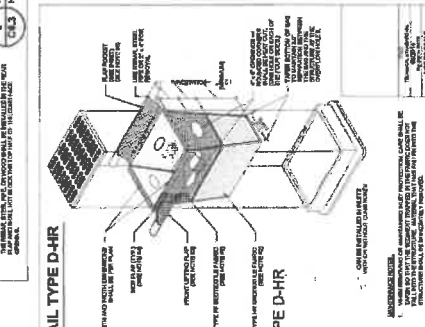
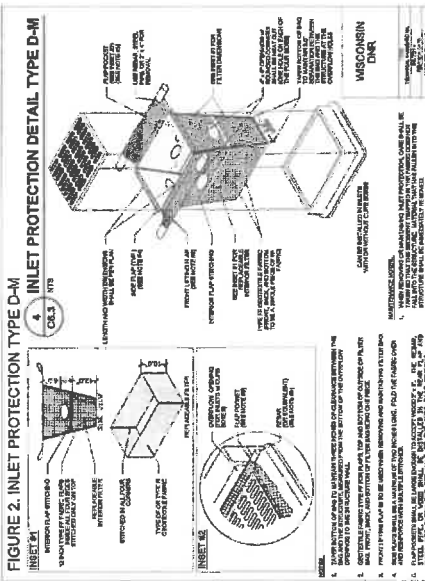
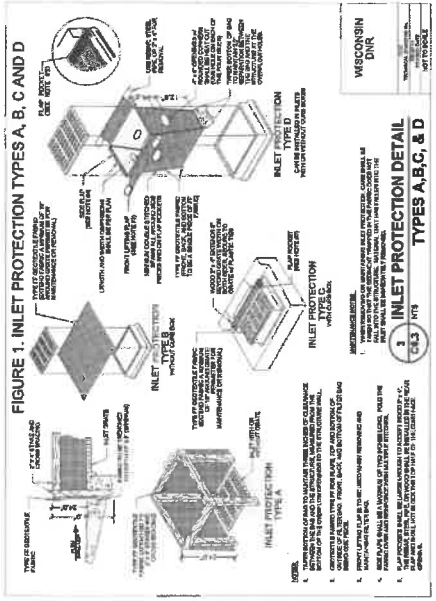
**EROSION CONTROL NOTES**

- The contractor shall be responsible for the installation and maintenance of all erosion control measures.
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# CREEKSIDE ESTATES: EROSION CONTROL DETAILS



**NOTE: DETAILS NOT UTILIZED ON PLANS ARE FOR INFORMATIONAL PURPOSES IN CASE OF UNANTICIPATED FIELD CONDITIONS.**



**EROSION CONTROL PLAN DETAILS**  
 CREEKSIDE ESTATES  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

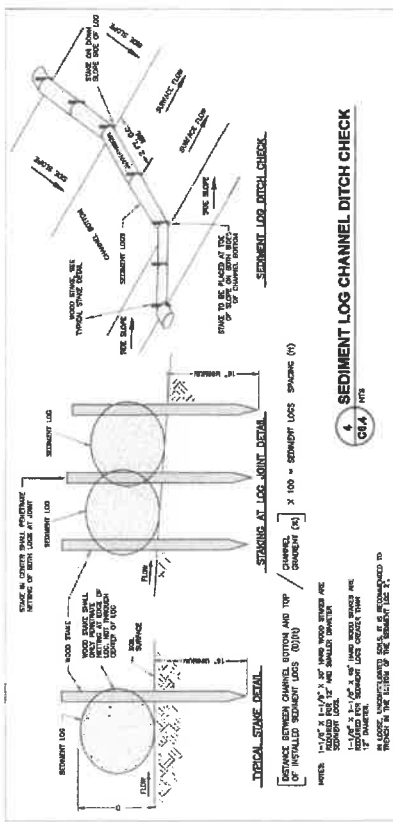
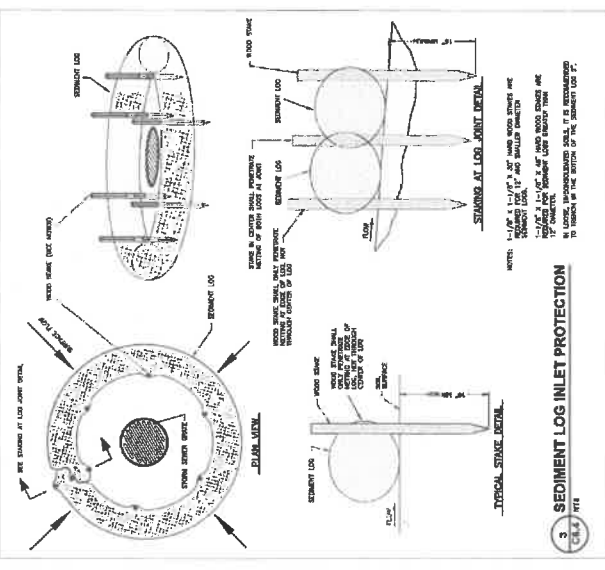
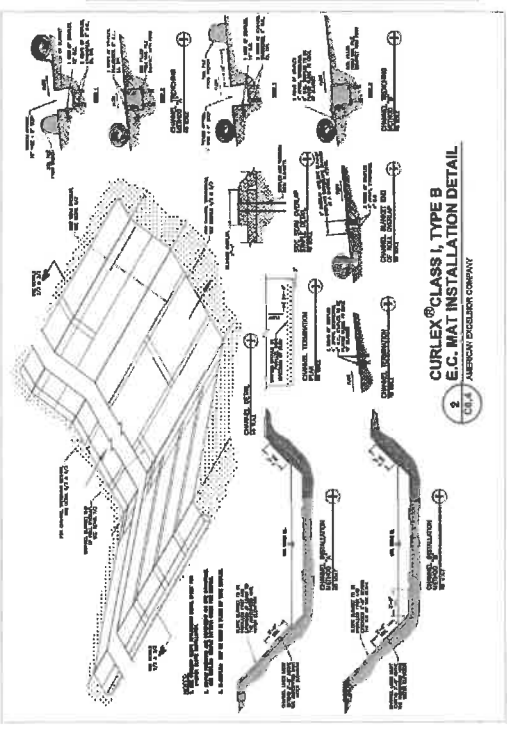
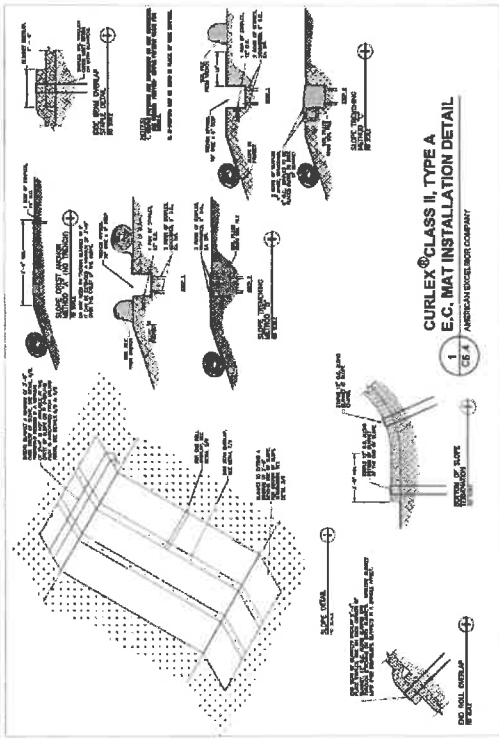
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**Martenson & Eisele, Inc.**  
 1377 Highway Road  
 Spring Valley, WI 53588  
 Phone: 262.791.0881  
 Fax: 262.791.0881  
 Email: info@martenson-eisele.com  
 Website: www.martenson-eisele.com

**NOT FOR CONSTRUCTION**

**CREEKSIDE ESTATES: EROSION CONTROL DETAILS**

NOTE: DETAILS NOT UTILIZED ON PLANS ARE FOR INFORMATIONAL PURPOSES IN CASE OF UNANTICIPATED FIELD CONDITIONS.



**Martenson & Eisele, Inc.**  
 1777 Albany Road  
 Hazelton, WI 54842  
 Environmental Planning Engineering  
 www.martenson-eisele.com  
 820.731.0281 1.800.258.0381  
 Architecture

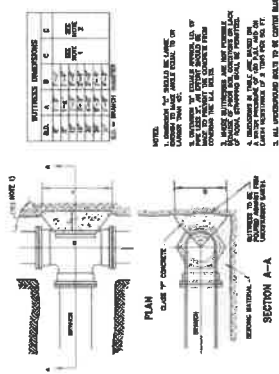
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**EROSION CONTROL PLAN DETAILS**  
 CREEKSIDE ESTATES  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

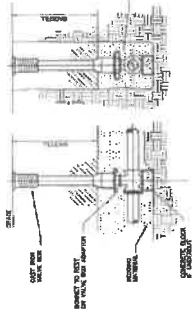
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NOT FOR CONSTRUCTION

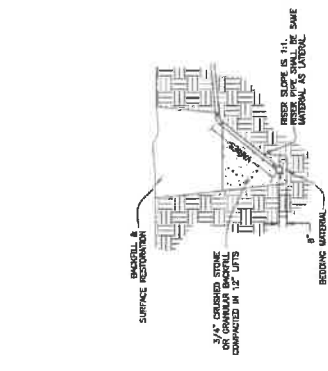
# CREEKSIDE ESTATES: STANDARD DETAILS



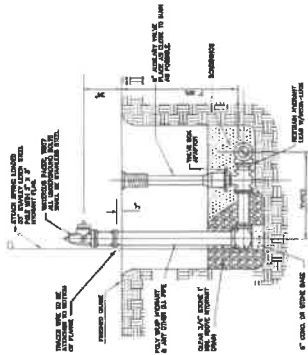
## BLOCKING FOR TEES



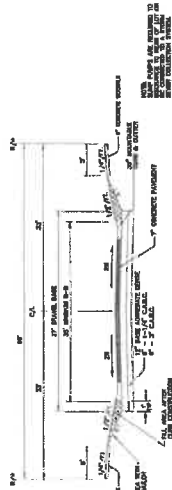
## STANDARD VALVE & VALVE BOX SETTING



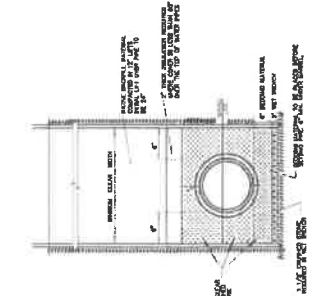
## RISER DETAIL



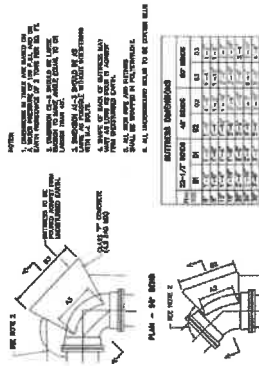
## TYPICAL STREET SECTION



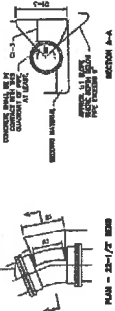
## TYPICAL CONNECTION SEWER & WATER



## CLASS "B" BEDDING FOR PVC PIPE



## BLOCKING FOR BENDS



VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN  
**CREEKSIDE ESTATES**  
**STANDARD DETAILS**

| NO. | DATE | BY | REVISION |
|-----|------|----|----------|
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|     |      |    |          |

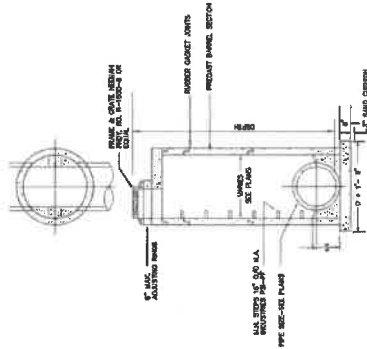
APPROVED: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

NOT FOR CONSTRUCTION

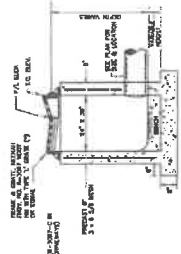
**Martenson & Eisele, Inc.**  
 1377 Midway Road  
 Farmington, Wisconsin 53120  
 262-253-1000  
 262-253-1001



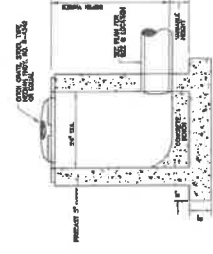
# CREEKSIDE ESTATES: STANDARD DETAILS



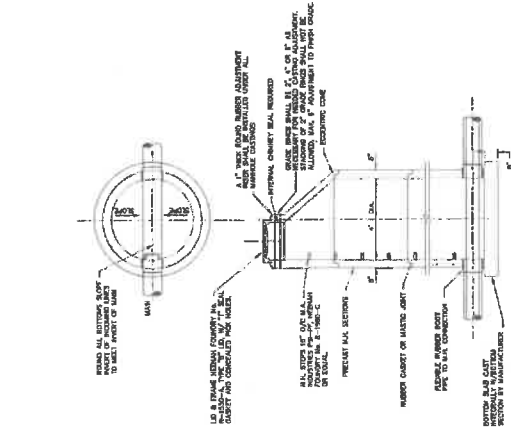
**STORM SEWER M.H. DETAIL**



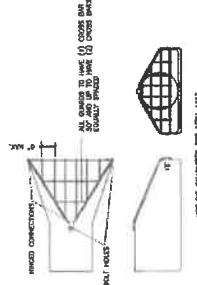
**STORM SEWER INLET DETAIL**



**YARD DRAIN DETAIL**

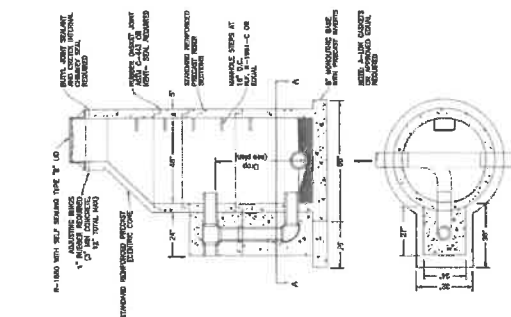


**STANDARD PRECAST SANITARY MANHOLE**



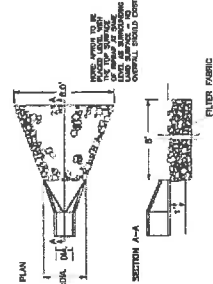
| MANHOLE NUMBER | MANHOLE TYPE | MANHOLE SIZE | MANHOLE DEPTH | MANHOLE COVER | MANHOLE INLET | MANHOLE OUTLET | MANHOLE MATERIAL |
|----------------|--------------|--------------|---------------|---------------|---------------|----------------|------------------|
| 1              | STANDARD     | 36\"/>       |               |               |               |                |                  |

**SAFETY/ TRASH GUARD FOR FLARED ENDS**



**SECTION A-A**

**PRECAST OUTSIDE DROP SANITARY MANHOLE**



**RIPRAP DETAIL**

**Martinson & Eisele, Inc.**  
 1777 Kennedy Road  
 Madison, WI 53705  
 Engineering  
 Drafting  
 608.271.0391 FAX 608.271.0391  
 608.271.0391

| NO. | DATE | NO. | DATE | NO. | DATE |
|-----|------|-----|------|-----|------|
|     |      |     |      |     |      |

**STANDARD DETAILS**  
**CREEKSIDE ESTATES**  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

| DATE             | SCALE    | PROJECT        |
|------------------|----------|----------------|
| 1-2007-02-04.dwg | AS SHOWN | 1-0000-000-000 |

**NOT FOR CONSTRUCTION**

CT.2

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**VILLAGE BOARD MEETING****From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON****Meeting Date:**

February 26, 2019

---

**Title:**

Zoning Map Amendment for Creekside Estates (Atlas Developments & Construction)

---

**Issue:**

Should the Village Board adopt Ordinance V19-03, rezoning parcel #33560 from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1]?

---

**Background and Additional Information:**

The developer of the Creekside Estates subdivision and the current property owner, is requesting a zoning map amendment (rezoning) to rezone their property from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] for the Creekside Estates subdivision. The proposed rezoning complies with the Comprehensive Plan and the future land use map designation of single-family residential (sewered).

---

**Budget Impacts:**

None

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**Recommended Action:**

The Plan Commission will meet prior to the Village Board to discuss and act on the Zoning Map Amendment (Rezoning). The Plan Commission decision will be presented at the meeting.

Staff recommends approval of Ordinance V19-03, rezoning Parcel #33560 from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1].

---

**Attachments:**

- Ordinance V19-03

**ORDINANCE V19-03**

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON  
OFFICIAL ZONING MAP. (Creekside Estates Subdivision)**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on February 26, 2019; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1]:

All of the Northeast1/4 of the Northwest1/4 of Section 15, Township 20 North,  
Range 18 East, Village of Harrison, Calumet County, Wisconsin

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 26<sup>th</sup> day of February, 2019.

---

James Salm, Village President

---

Attest: Jennifer Weyenberg, Clerk

# Exhibit A – Zoning Map

## Zoning Map Village of Harrison Calumet & Outagamie Counties Wisconsin

### Legend

**Zoning Districts**

- AG | General Agriculture
- RS-1 | Single-Family Residential (Suburban)
- RS-2 | Single-Family Residential (Traditional)
- RT | Two-Family Residential
- RM | Multiple-Family Residential
- CN | Neighborhood Commercial
- COR | Office & Retail Commercial
- CC | Community Commercial
- BP | Business Park
- IM | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- POD | Planned Development Overlay
- SHO | Shoreland Overlay\*
- SWO | Shoreland-Wetland Overlay\*

**RoadCenterline**

- Local Roads
- County Highway
- State Highway
- US Highway
- Parcels

**Town of Harrison**

- Rail/Roads
- Streams

\* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

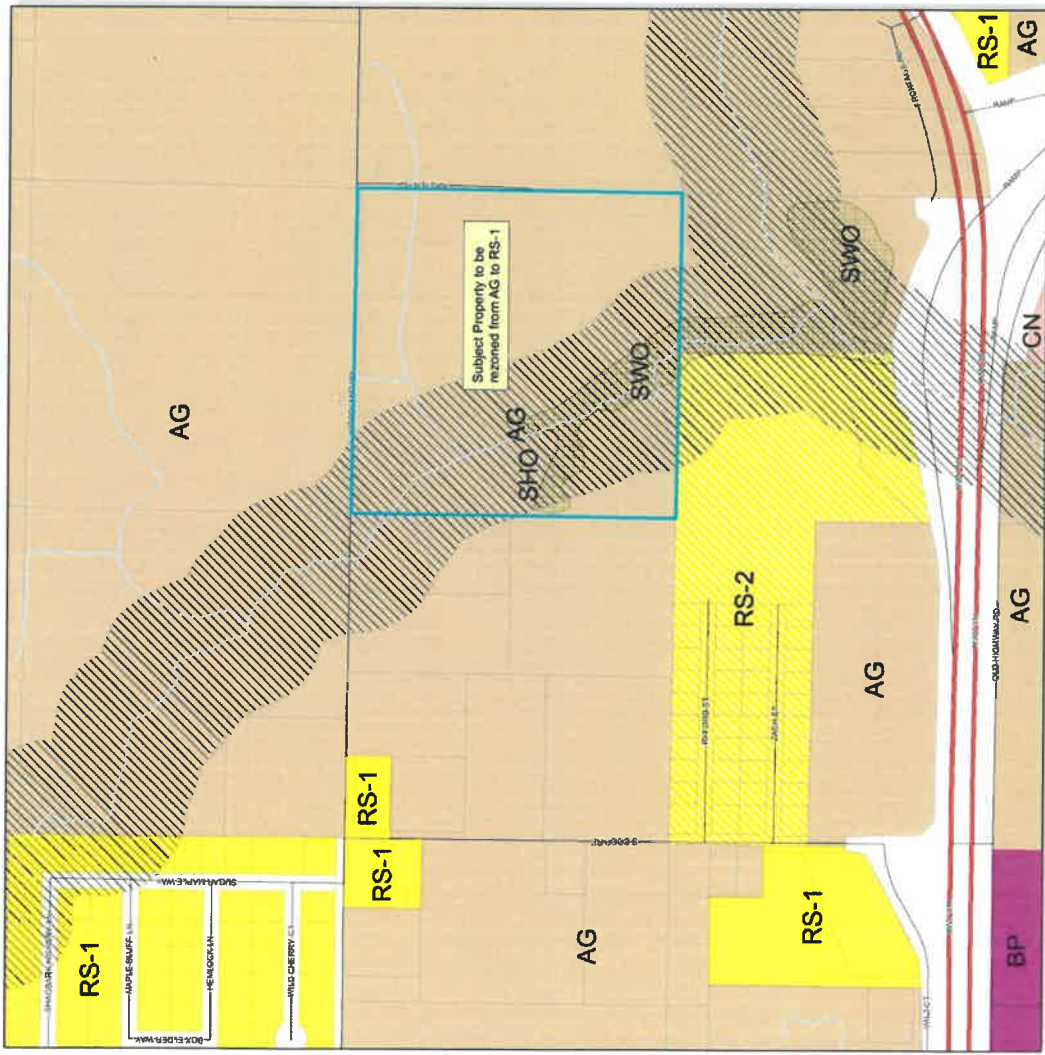
This map was created by  
Village of Harrison  
10000 Highway 10  
Harrison, WI 54952  
920-889-1052

Adopted: July 27, 2010  
Effective: July 27, 2010  
Current as of: April 23, 2018

**Village of HARRISON**  
WHERE OPPORTUNITY LIVES

Scale: 0 0.05 0.1 0.2 0.3 Miles

Disclaimer:  
The map was compiled using data obtained from Calumet County. The map is neither a legally enforceable nor a warranty of accuracy, current status, or completeness of the recorded information. The Village of Harrison does not warrant the accuracy, current status, or completeness of the recorded information. In the event that Calumet County or the Town of Harrison becomes liable to the user of this information, the user shall be responsible for obtaining the necessary information. The user shall be responsible for obtaining the necessary information. The user shall be responsible for obtaining the necessary information.



**RESOLUTION V2019-03**  
**VILLAGE OF HARRISON**  
Calumet and Outagamie Counties

**RESOLUTION TO PAYOFF 2017 SNOWPLOW TRUCK LOAN**

**WHEREAS**, the Village of Harrison obtained a loan in the amount of \$198,100.00 through the Board of Commissioners of Public Lands to purchase a 2017 Western Star snowplow truck; and

**WHEREAS**, the terms of this loan were for five (5) years with the ability to payoff the loan at any time; and

**WHEREAS**, the Village of Harrison has created a truck replacement policy which requires the replacement of a snowplow truck every three (3) years; and

**WHEREAS**, the Village Board wishes to payoff the current loan on the 2017 snowplow truck before they replace a snowplow truck in 2020; and

**WHEREAS**, the Village of Harrison has budgeted for the payoff of the 2017 Western Star snowplow truck in the 2019 budget,

**NOW, THEREFORE, BE IT RESOLVED** by the Village of Harrison Village Board that the Village Clerk is directed to payoff the 2017 snowplow truck loan in the amount of \$198,100.00 obtained through the Board of Commissioners of Public Lands. The total amount of the payoff to be approved by the Village Board is \$123,598.12.

Adopted by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

**VILLAGE OF HARRISON**

By: \_\_\_\_\_  
James Salm, Village President

Attest: \_\_\_\_\_  
Jennifer Weyenberg, Village Clerk

2019  
HARRISON JANUARY 2018

| HARRISON            |      |     |     |      |     |     |      |      |     |      | TOTAL | JANUARY | COMPLAINTS: |      |      |       |                     |                       |   |
|---------------------|------|-----|-----|------|-----|-----|------|------|-----|------|-------|---------|-------------|------|------|-------|---------------------|-----------------------|---|
| HOURS WORKED        | 821  | 841 | 824 | 825  | 826 | 820 | 829  | 832  | 833 | 834  | 835   | 836     | 838         | 839  | 840  | 193.7 | HOURS WORKED        | SUSPICIOUS PERSON     | 1 |
| DAILY MILES         | 19.7 | 7.5 | 7.3 | 29.2 | 4   | 12  | 11.5 | 15.1 | 5.5 | 19.7 | 10    | 3       | 16.8        | 10.2 | 22.2 | 2088  | DAILY MILES         | 911 HANG UP           | 3 |
| COMPLAINT HRS       | 177  | 55  | 132 | 361  | 63  | 81  | 108  | 157  | 90  | 213  | 141   | 57      | 73          | 123  | 257  | 13.5  | COMPLAINT HRS       | RECKLESS DRIVER       | 5 |
| FOLLOW UP HRS       | 3.1  |     | 1.6 | 0.7  |     | 0.7 |      | 2.1  |     | 0.3  | 0.9   | 0.4     |             | 0.9  | 2.8  | 4.4   | FOLLOW UP HRS       | WELFARE               | 2 |
| ACCIDENT INV HRS    | 1.8  |     |     |      |     |     | 3.7  |      |     | 2.7  |       |         |             | 0.4  | 0.4  | 8.3   | ACCIDENT INV HRS    | ANIMAL                | 1 |
| ACC FOLLOW UP HRS   |      |     |     |      | 0.9 |     |      |      |     | 1.5  |       |         |             |      | 0.4  | 0     | ACC FOLLOW UP HRS   | CIVIL                 | 1 |
| AGENCY ASSIST HRS   | 0.4  | 0.2 |     |      |     |     |      |      |     |      |       |         |             |      |      | 1.1   | AGENCY ASSIST HRS   | JUVENILE              | 1 |
| SHERIFF COMPL. INV. | 4    |     | 2   | 3    |     | 2   |      | 1    |     | 1    | 1     | 1       |             | 2    | 5    | 22    | SHERIFF COMPL. INV. | DISTURBANCE           | 2 |
| SHERIFF FOLLOW UP   |      |     |     |      |     |     |      |      |     | 2    |       |         |             | 2    | 1    | 5     | SHERIFF FOLLOW UP   | HARASSMENT            | 1 |
| SHERIFF ASSIST      |      |     |     |      |     |     |      |      |     | 1    |       |         |             |      |      | 1     | SHERIFF ASSIST      | HAZARD                | 1 |
| REPORT ACCIDENT     | 2    |     |     |      |     |     |      |      |     | 1    |       |         |             |      |      | 5     | REPORT ACCIDENT     | TRAFFIC               | 1 |
| NONREPORTABLE       |      |     |     |      | 1   |     |      |      |     | 1    |       |         |             |      | 1    | 3     | NONREPORTABLE       | SUSPICIOUS SITUATION  | 2 |
| ACCIDENT FOLLOW UP  |      |     |     |      |     |     |      |      |     | 1    |       |         |             |      |      | 0     | ACCIDENT FOLLOW UP  | SUSPICIOUS VEHICLE    | 1 |
| ACCIDENT ASSIST     |      |     |     |      |     |     |      |      |     |      |       |         | 1           |      |      | 1     | ACCIDENT ASSIST     |                       |   |
| AGENCY ASSISTS      | 1    | 1   | 1   |      |     |     |      |      |     |      |       |         |             |      |      | 3     | AGENCY ASSISTS      |                       |   |
| CITIZEN ASSIST      |      |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 2     | CITIZEN ASSIST      |                       |   |
| MOTORIST ASSIST     | 1    | 2   | 1   | 2    | 1   |     |      |      | 1   |      |       |         |             |      |      | 9     | MOTORIST ASSIST     |                       |   |
| PROPERTY CHECKS     |      |     |     |      |     | 2   |      |      |     |      |       |         | 6           | 1    |      | 8     | PROPERTY CHECKS     |                       |   |
| ARRESTS             |      |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 0     | ARRESTS             |                       |   |
| WARRANT ATTEMPT     |      |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 0     | WARRANT ATTEMPT     |                       |   |
| TRAFFIC CITS.       | 3    |     |     | 6    |     |     | 1    |      |     |      |       |         |             |      |      | 10    | TRAFFIC CITS.       | HIT & RUN             | 1 |
| ORD. CITS.          |      |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 0     | ORD. CITS.          | NO PROOF OF INSURANCE | 3 |
| JUV ALCOHOL CITS.   |      |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 0     | JUV ALCOHOL CITS.   | NON REGISTRATION      | 1 |
| O. W. I. ARRESTS    |      |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 0     | O. W. I. ARRESTS    | SPEED                 | 3 |
| WRITTEN WARNINGS    | 3    | 1   | 1   | 16   |     |     |      | 1    |     |      |       |         | 1           |      | 2    | 25    | WRITTEN WARNINGS    | INATTENTIVE DRIVING   | 1 |
| 15 DAYS             |      |     |     | 5    |     |     |      |      |     |      |       |         |             |      |      | 6     | 15 DAYS             | FAIL TO CONTROL       | 1 |
| PARKING CITS.       |      |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 0     | PARKING CITS.       |                       |   |
| HOUSE ALARM         |      |     |     | 1    |     |     |      |      |     |      |       |         |             |      |      | 1     | HOUSE ALARM         | AGENCY ASSIST         | 1 |
| BUSINESS ALARM      | 1    |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 1     | BUSINESS ALARM      | KAUKAUNA PD           | 1 |
| ALARM ASSIST        |      |     |     |      |     |     |      |      |     |      |       |         |             |      |      | 0     | ALARM ASSIST        | MENASHA PD            | 1 |
| AMB. ASSIST         |      |     |     |      |     | 1   |      |      |     |      |       |         |             |      |      | 5     | AMB. ASSIST         | OUTAGAMIE COUNTY      | 1 |
| FIRE ASSIST         |      |     |     |      |     |     |      |      |     |      |       |         |             | 1    |      | 1     | FIRE ASSIST         |                       | 1 |

**Village of Harrison  
January-19 Zoning Permit Report**

|                          | Current Year |             |                     |                     | Previous Year |             |                     |                     |
|--------------------------|--------------|-------------|---------------------|---------------------|---------------|-------------|---------------------|---------------------|
|                          | Permits      | YTD Permits | Estimated Value     | YTD Estimate Value  | Permits       | YTD Permits | Estimated Value     | YTD Estimate Value  |
| <b>Residential</b>       |              |             |                     |                     |               |             |                     |                     |
| Single Family            | 4            | 4           | \$ 1,250,000        | \$ 1,250,000        | 4             | 4           | \$ 1,098,630        | \$ 1,098,630        |
| Two Family (units)       | 0            | 0           | \$ ( 0 )            | \$ 0                | 0             | 0           | \$ 0                | \$ 0                |
| Multi Family (units)     | 0            | 0           | \$ ( 0 )            | \$ 0                | 0             | 0           | \$ 0                | \$ 0                |
| Additions                | 1            | 1           | \$ 10,000           | \$ 10,000           | 0             | 0           | \$ 0                | \$ 0                |
| Acc. Structures          | 0            | 0           | \$ 0                | \$ 0                | 1             | 1           | \$ 3,500            | \$ 3,500            |
| Miscellaneous            | 0            | 0           | \$ 0                | \$ 0                | 0             | 0           | \$ 0                | \$ 0                |
| <b>Total Residential</b> | <b>5</b>     | <b>5</b>    | <b>\$ 1,260,000</b> | <b>\$ 1,260,000</b> | <b>5</b>      | <b>5</b>    | <b>\$ 1,102,130</b> | <b>\$ 1,102,130</b> |
| <b>Com./Ind.</b>         |              |             |                     |                     |               |             |                     |                     |
| New                      | 0            | 0           | \$ 0                | \$ 0                | 0             | 0           | \$ 0                | \$ 0                |
| Additions                | 0            | 0           | \$ 0                | \$ 0                | 0             | 0           | \$ 0                | \$ 0                |
| Acc. Structures          | 0            | 0           | \$ 0                | \$ 0                | 0             | 0           | \$ 0                | \$ 0                |
| Miscellaneous            | 0            | 0           | \$ 0                | \$ 0                | 1             | 1           | \$ 2,100            | \$ 2,100            |
| <b>Total Com./Ind.</b>   | <b>0</b>     | <b>0</b>    | <b>\$ 0</b>         | <b>\$ 0</b>         | <b>1</b>      | <b>1</b>    | <b>\$ 2,100</b>     | <b>\$ 2,100</b>     |
| <b>Combined Total</b>    | <b>5</b>     | <b>5</b>    | <b>\$ 1,260,000</b> | <b>\$ 1,260,000</b> | <b>6</b>      | <b>6</b>    | <b>\$ 1,104,230</b> | <b>\$ 1,104,230</b> |

Number of Vacant Lots Remaining 172



# Harrison Fire Rescue

Fire Station 60 • Fire Station 70 • EMS



## ACTIVITY REPORT FOR JANUARY 2019

1. Harrison Fire Rescue responded to 37 calls in January. There were 12 calls for the firefighters to respond to, including two to neighboring departments via MABAS (Mutual Aid Box Alarm System). Our Emergency Medical Responders (EMR's) responded to 28 calls for assistance.
2. HFR members voted in December to reduce department business & staff meetings to only even months in 2019, so there was not a business or staff meeting in January. The Fire Officers met on January 21<sup>st</sup>.
3. Monday, January 7<sup>th</sup> was the first Drill night of 2019. Members met and trained on Rescue at High Cliff State Park. Members were given GPS coordinates for victim locations and were tasked with locating and extricating victims throughout the park.
4. Monday, January 14<sup>th</sup> was the EMS team meeting and training night. Members reviewed calls and updated equipment and supplies as needed. Training was scheduled to be Auto Accident scene safety and procedures, but members who needed the training most were unable to make the meeting, so that was postponed until February.
5. Also on January 14<sup>th</sup>, Harrison Fire Rescue had 5 Alarm Fire and Safety inspect and test our Self Contained Breathing Apparatus. This is required annually and is normally completed in January. This was a two day process and is done at both fire stations.
6. The Fire Officers met on Monday, January 21<sup>st</sup>. The meeting was focused on an online training platform known as Fire Rescue Academy 1, Specialized Team membership for 2019,
7. Also on Monday, January 21<sup>st</sup> was the second Drill night for all members of Harrison Fire Rescue. Members trained on Ice Rescue. This was done in a pond off of Kernan Ave. and Hwy 114. Several stations were set up and members became familiar with equipment and tools associated with Ice Rescue. HFR tries to complete this annually, prior to Sturgeon Spearing season.
8. Tuesday, January 22<sup>nd</sup>, Fire Chief Amos Mikkelson, Captain Patrick Klein, and Firefighter Larry Grassl traveled to Osceola WI to inspect the Chassis for new Engine 65.
9. On Tuesday, January 29<sup>th</sup>, Chief Mikkelson met with Neenah Menasha Fire Rescue and the Paynes Point Hook and Spear Club to discuss HFR's role in the Walk Across Winnebago event scheduled for February 2, 2019.



# Harrison Fire Rescue

Menasha, WI

This report was generated on 2/11/2019 12:33:59 PM



## Incident Type and Street Name for Date Range

Incident Status: All | Start Date: 01/01/2019 | End Date: 01/31/2019

| Incident Date | Address                                       | Incident Type                              |
|---------------|---|--|
| 01/01/2019    | Fireane 1 RD, Harrison, WI 54952              | Emergency medical service, other           |
| 01/01/2019    | Mase CT, Harrison, WI 54915                   | Emergency medical service, other           |
| 01/03/2019    | Mile Long DR, Harrison, WI 54915              | Gas leak (natural gas or LPG)              |
| 01/03/2019    | Nature LN, Sherwood, WI 54169                 | Emergency medical service, other           |
| 01/03/2019    | Pigeon RD, Sherwood, WI 54169                 | Emergency medical service, other           |
| 01/03/2019    | Crosstown RD, Hilbert, WI 54129               | Emergency medical service, other           |
| 01/04/2019    | Silver CT, Harrison, WI 54915                 | Emergency medical service, other           |
| 01/05/2019    | Palisades TRL, Sherwood, WI 54169             | False alarm or false call, other           |
| 01/08/2019    | Highway 55, Harrison, WI 54952                | Emergency medical service, other           |
| 01/08/2019    | Linden Hill DR, Harrison, WI 54915            | Emergency medical service, other           |
| 01/09/2019    | Firelane 4, Harrison, WI 54952                | Dispatched & cancelled en route            |
| 01/10/2019    | Big Lake LN, Sherwood, WI 54169               | Emergency medical service, other           |
| 01/10/2019    | County Road BB, Woodville (Town of), WI 54129 | Unintentional transmission of alarm, other |
| 01/11/2019    | County Road N, Harrison, WI 54915             | Emergency medical service, other           |
| 01/11/2019    | Jochmann DR, Harrison, WI 54915               | Emergency medical service, other           |
| 01/11/2019    | Ryan ST, Harrison, WI 54915                   | Emergency medical service, other           |
| 01/15/2019    | County Hwy N, Harrison, WI 54952              | Motor vehicle accident with injuries       |
| 01/16/2019    | Veterans, Sherwood, WI 54169                  | Vehicle accident, general cleanup          |
| 01/18/2019    | Schmidt RD, Harrison, WI 54130                | Dispatched & cancelled en route            |
| 01/19/2019    | Dogwood LN, Harrison, WI 54952                | Emergency medical service, other           |
| 01/19/2019    | Highway 55, Harrison, WI 54130                | Emergency medical service, other           |
| 01/21/2019    | Firelane 7 RD, Harrison, WI 54952             | Emergency medical service, other           |
| 01/21/2019    | Nature LN, Sherwood, WI 54169                 | Carbon monoxide detector activation, no CO |
| 01/22/2019    | Spring Hill DR, Sherwood, WI 54169            | Emergency medical service, other           |
| 01/24/2019    | Harrison RD, Hilbert, WI 54129                | Emergency medical service, other           |
| 01/26/2019    | County Road E, Stockbridge, WI 53088          | Building fire                              |
| 01/26/2019    | Ryford ST, Harrison, WI 54952                 | Carbon monoxide incident                   |
| 01/26/2019    | Military RD, Sherwood, WI 54169               | Emergency medical service, other           |
| 01/27/2019    | Linden Hill DR, Harrison, WI 54915            | Emergency medical service, other           |
| 01/27/2019    | Firelane 8 RD, Harrison, WI 54952             | Motor vehicle/pedestrian accident (MV Ped) |
| 01/27/2019    | Jonsch DR, Harrison, WI 54915                 | Carbon monoxide incident                   |
| 01/28/2019    | Stumpf AVE, Sherwood, WI 54169                | Emergency medical service, other           |
| 01/28/2019    | Gina DR, Harrison, WI 54915                   | Emergency medical service, other           |
| 01/30/2019    | Hwy 114, Sherwood, WI 54169                   | Power line down                            |
| 01/30/2019    | Hwy 114, Hilbert, WI 54129                    | Outside equipment fire                     |
| 01/31/2019    | Pigeon RD, Sherwood, WI 54169                 | Emergency medical service, other           |
| 01/31/2019    | Victorian DR, Harrison, WI 54915              | Emergency medical service, other           |

Total Incidents: 37

Lists the Incident Date, Street Name (including City, State, Zip), and Incident Type of incidents occurring within the given Date Range. Only Reviewed incidents are included.

## Treasurer's Report of Income and Expenses- January 2019

|  |  |                        |
|--|--|------------------------|
| Investor's Community Bank Business Checking Account 0300 (GENERAL) |  |                        |
| Beginning Balance  |  | \$1,149,674.90         |
| Credit   |  | \$95,239.19            |
| Debit  |  | \$413,598.62           |
| Ending Balance   |  | \$831,315.47           |
| Investor's Community Bank Checking Account 1753 (TAXES)            |  |                        |
| Beginning Balance  |  | \$5,318,274.76         |
| Credit   |  | \$9,977,884.94         |
| Debit  |  | \$5,252,076.99         |
| Ending Balance   |  | \$10,044,082.71        |
| Investor's Community Bank Business Checking Account 8500 (TOWN)    |  |                        |
| Beginning Balance  |  | \$231,056.72           |
| Credit   |  | \$10,291.33            |
| Debit  |  | \$10,291.33            |
| Ending Balance   |  | \$231,056.72           |
| BMO Harris Bank Checking Account 1189 (FIRE DEPARTMENT)            |  |                        |
| Beginning Balance  |  | \$4,324.08             |
| Credit   |  | \$0.00                 |
| Debit  |  | \$55.50                |
| Ending Balance   |  | \$4,268.58             |
| Total Ending Balance of All Checking Accounts                      |  | <b>\$11,110,723.48</b> |

|   |  |                       |
|---|--|-----------------------|
| Investor's Community Bank Money Market 0310       |  |                       |
| Beginning Balance                                 |  | \$1,807,468.11        |
| Credit  |  | \$0.00                |
| Debit   |  | \$0.00                |
| Interest Paid                                     |  | \$3,752.10            |
| Ending Balance                                    |  | \$1,811,220.21        |
| Investor's Community Bank Tax Money Market 1110   |  |                       |
| Beginning Balance                                 |  | \$846,707.62          |
| Credit  |  | \$0.00                |
| Debit   |  | \$0.00                |
| Interest Paid                                     |  | \$1,757.67            |
| Ending Balance                                    |  | \$848,465.29          |
| East Wisconsin Savings Bank Money Market 4895     |  |                       |
| Beginning Balance                                 |  | \$285,627.12          |
| Credit  |  | \$0.00                |
| Debit   |  | \$0.00                |
| Interest Paid                                     |  | \$157.68              |
| Ending Balance                                    |  | \$285,784.80          |
| Total Ending Balance of All Money Market Accounts |  | <b>\$2,945,470.30</b> |

Local Government Investment Pool

|                   |  |                     |
|-------------------|--|---------------------|
| Beginning Balance |  | \$242,174.72        |
| Credit            |  | \$0.00              |
| Debit             |  | \$0.00              |
| Interest Paid     |  | \$508.18            |
| Ending Balance    |  | <b>\$242,682.90</b> |

Community First Credit Union CD 4070

|                   |  |              |
|-------------------|--|--------------|
| Beginning Balance |  | \$312,575.06 |
| Interest Paid     |  | \$369.01     |
| Ending Balance    |  | \$312,944.07 |

State Bank of Chilton CD 0343

|                   |  |              |
|-------------------|--|--------------|
| Beginning Balance |  | \$123,666.38 |
| Interest Paid     |  | na           |
| Ending Balance    |  | \$123,666.38 |

State Bank of Chilton CD 0517

|                   |  |              |
|-------------------|--|--------------|
| Beginning Balance |  | \$300,998.24 |
| Interest Paid     |  | \$2,412.60   |
| Ending Balance    |  | \$303,410.84 |

State Bank of Chilton CD 0368

|                   |  |              |
|-------------------|--|--------------|
| Beginning Balance |  | \$255,297.42 |
| Interest Paid     |  | na           |
| Ending Balance    |  | \$255,297.42 |

East Savings CD 7150

|                   |  |              |
|-------------------|--|--------------|
| Beginning Balance |  | \$250,000.00 |
| Interest Paid     |  | \$0.00       |
| Ending Balance    |  | \$250,000.00 |

|                                 |  |                       |
|---------------------------------|--|-----------------------|
| Total Ending Balance of All CDs |  | <b>\$1,245,318.71</b> |
|---------------------------------|--|-----------------------|

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Jennifer Weyenberg, Clerk-Treasurer