

NOTICE OF PUBLIC MEETING

DATE: Tuesday, May 14, 2019
TIME: 7:00pm
PLACE: Harrison Municipal Building
W5298 State Road 114
Harrison, WI 54952

NOTICE IS HEREBY GIVEN that a Village of Harrison Board Meeting will be held on Tuesday, May 14, 2019 at 7:00pm. The agenda is printed below.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call of Village Board
4. Correspondence or Communications from Board and Staff
 - a) Shaun Forslund, Fox Cities Festival of Lights regarding Farmers Field Park
5. Public Comments
Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.
6. Consent Agenda
 - a) Minutes from 04/30/19
 - b) Change Order #4 for Lift Station #6
 - c) Certificate of Payment #4 for Lift Station #6
7. Items Removed from Consent Agenda (if any)
8. Appointments
 - a) None
9. Unfinished Business from Previous Meetings for Consideration or Action
 - a) None
10. New Business for Consideration or Action
 - a) Approve Connection Fee in the Amount of \$3,400 for Areas Served by Lift Station #6
 - b) Approve Harrison Utilities Service Area Map
 - c) Award Bid to PTS Contractors, Inc. for 2019 Storm Sewer and Drainage

Improvements and Asphalt Paving Program in the Amount of \$1,432,158.65

- d) Development Agreement- Creekside Estates
- e) Final Plat- Creekside Estates
- f) Development Agreement- Hidden Pines

11. Reports

12. Closed Session – Operations Manager

Please take notice, that pursuant to Wis. Stats. §19.85(1)(c), the Board will convene in closed session to consider employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility.

The Board may then reconvene in open session pursuant to Wis. Stats. §19.85(2) to take action on any matter discussed in closed session or for such other purposes as are allowed by law.

13. Adjournment

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

Jennifer Weyenberg, Village Clerk-Treasurer

Agenda Posted May 10, 2019 at www.harrison-wi.org and Municipal Building lobby

From: Shaun Forslund [<mailto:sforslund77@yahoo.com>]
Sent: Friday, May 03, 2019 8:32 AM
To: Travis Parish
Subject: FCFL

Hi Travis,

I am not sure what needs to be done next to get this park built but I do want to be included in the entire process. We need the trail to be built in a way that makes it safe and not confusing for visitors. We need the electrical and the shelter built. I would like to see a 100 car parking lot. We also would like to have that shop building. Once it is done we can pay rent on the building and our utilities.

By the time this park is ready we can easily see over 50,000 people come through to see the light display alone. Once you have a plan for the park, my goal is to get 50% of the funding for the entire park. After the meeting, I feel as though we are either not being taken serious or not an important part of the process. Maybe I should have spoke at the meeting. Once we are established at the park and we are generating a lot of income, I would like to see the park expanded if possible. I think it would be nice to purchase more land and have a small zoo and maybe a few kid rides and even a train around the park. We have nothing like this in the Valley. I want to help with all of it and as our volunteer group grows, we will be capable of volunteering and funding. I am 100% committed to this park if you are willing to work with us.

Also we still should probably have something in writing for us to use Darboy Community Park this year. I would also like to see if we can get the trails cleaned up and maybe the drainage issue fixed by the fire pit. The Boy Scouts might be able to help with the trail clean up. Thanks!

Shaun Forslund

Fox Cities Festival of Lights Inc.
P.O. Box 693
Menasha, WI 54952-0693
920-540-6546
sforslund77@yahoo.com



*Fox
Cities
Festival
Of Lights*

Fox Cities Festival Of Lights
P. O. Box 693 Menasha WI 54952
Phone: 920-540-6546
Email: FCFestivalofLights@gmail.com

Dear Sponsors:

I hope you are all doing well. I wanted to give you all an update on what we are up to. With your generous support, we are on our way to making this light display amazing for the first year! Our goal is to have two dozen displays and 100,000 lights!

We have started building a bunch of displays including some large cookies and wireframes. AZCO INC has also built us a 26' tall wireframe windmill. In the middle of May we should be moving into a large shop space provided by Romensko Developments. This will allow us to build multiple displays at one time including our awesome 30' long parade float sponsored by Fox Cares Foundation!

On Saturday July 20th, we will be doing a Christmas in July Cookout at the Menasha Festival Foods on Oneida St. from 11 to 5. Please come out and say hello! August 27th we will be hosting a presentation at Heart of the Valley Chamber in Kaukauna from 9-10am. This is an opportunity to explain to other businesses and especially nonprofits on how this light display works and benefits the community. We do also have work days throughout the year and set up will begin in November if anyone is interested in getting their hands dirty.

The Village of Harrison is still working on the details of Farmers Field Park which will be our permanent home within the next year or two. We are also working with Darboy Kiwanis and the Kimberly Area Soccer Association on the details of this park as all three of us will be using the park. Once the Village has finalized the plan, we will be starting a capital campaign to raise money to build the park. We are very excited about what the future holds with this park and all the events that will potentially take place there. This will allow us to hold workshops and classes year round as well to teach kids and adults all the tips and tricks to building a light display.

Our website is up and running which is www.foxcitiesfestivaloflights.org. If you get a chance, you can follow us on facebook too. I also want to mention that all of you are always welcome to visit our shop, attend our meetings our ask me for a personal tour of the park. Please contact me anytime for questions or comments! Thank you and have a great summer!

Sincerely,

Shaun Forslund

**VILLAGE OF HARRISON
BOARD MEETING MINUTES
04/30/19**

A meeting of the Village of Harrison Board was called to order on Tuesday, April 30, 2019 at 7:00pm in the Harrison Municipal Building, W5298 State Road 114. After the Pledge of Allegiance was recited, newly elected officials were sworn in to office, and roll call was taken.

Board present: President Kevin Hietpas, Trustees Lou Miller, Buddy Lisowe, Darlene Bartlein, and Gary Nickel
Board excused: Tamra Nelson
Staff present: Clerk Jennifer Weyenberg, Planner Mark Mommaerts, Village Manager Travis Parish, Fire Chief Amos Mikkelson

Correspondence or Communications from Board and Staff

a) Letter of Resignation from Kevin Hietpas- Village Trustee seat

Clerk Jennifer Weyenberg shared that the resignation letter had been received.

b) Doug and Melissa VanOrnum regarding bike trail to High Cliff State Park

They are asking about a safe access to the State Park.

Trustee Lisowe asked that the board consider doing a live-feed from the meetings. He also requested the board consider purchasing ipads. It was noted that there is no longer a designated space at the Village Hall for elected officials because we are out of space.

Options to Fill Village Office Vacancy in Accordance with Wisconsin Statute §17.24

Discussion: Clerk Jennifer Weyenberg explained that the statutes allow for an appointment or a special election. Staff recommended filling the vacancy by appointment. Trustee Bartlein proposed reducing the number of trustees from 7 to 5 members; this would reduce the annual board pay by \$8,400 (\$4200 each).

Motion: Trustee Nickel with second by Trustee Lisowe to fill the vacancy via appointment by the board.

Vote: Motion carried 4-1 with Trustee Bartlein opposed.

Public Comments

Those speaking against the Kaukauna Youth Baseball project and other park funding were:

Allison Blackmer, N6791 Harrison Rd

County Board Supervisor Joe Mueller, W4991 State Hwy 114

Eric Jones, W6567 Landon Dr

Jesse Dercks, N8978 Blackoak St

Steve Bevers, N6991 Ertl Rd

Krista Polman, W6174 Education Way

Village Manager Travis Parish clarified that the closed session was scheduled to discuss restoring the ball diamond site back to its original state as work had already been completed.

Jim Herrmann, W5414 Amy Ave asked that the pond near his home be better maintained.

2019 State Budget and Legislative Updates by Rep. Ron Tusler (Assembly District 3)

Rep. Tusler highlighted the upcoming budget and took questions from the audience and board members. He is pushing for a second judge in Calumet County to help with Judge Froehlich's workload.

Consent Agenda

Payment of Bills and Claims, Minutes from 03/26/19, Operator Licenses for Jennifer Hills, Kaila Cornell, Darlene Krause, Carter Gehl, Erin Meyerhofer, Ally Isselmann, Macey Herrmann, Jackie Rogers, Permission to Occupy Drainage Easement- W6154 Maple Bluff Lane, Discharge of Firearms- Cathy Ott, N8324 Firelane 13, East Shore Human Assoc. annual donation in the amount of \$1500, Approve List of Surplus Equipment to be sold

Discussion: Trustee Lisowe requested that the Permission to Occupy Drainage Easement be removed.

Motion: Trustee Nickel with second by Trustee Lisowe to approve the remaining items on the consent agenda.

Vote: Motion carried 5-0.

Items Removed from Consent Agenda

Permission to Occupy Drainage Easement- W6154 Maple Bluff Lane

Discussion: Trustee Lisowe noted that the village has an ordinance prohibiting fences in drainage easements, but the board is reviewing requests from residents to do so at almost every meeting- it may be more practical to amend the ordinance or just allow staff to approve the requests.

Motion: Trustee Lisowe with second by Trustee Nickel to approve the request to place a fence in a drainage easement at W6154 Maple Bluff Lane.

Vote: Motion carried 5-0.

Appointments

a) Village Trustee (2 year term): *As noted, the board voted to fill the trustee vacancy via appointment earlier in the meeting.* President Kevin Hietpas opened the floor for nominations. Tyler Moore received a nomination from Hietpas and Nickel. With no other nominations, the President called for a motion.

Motion: Trustee Nickel with second by Trustee Moore to appoint Tyler Moore to the Village Board.

Vote: Motion carried 5-0.

Village Clerk Jennifer Weyenberg administered an Oath of Office and Tyler Moore was sworn into office and seated at the board table.

b) Weed Commissioner (1 year term)

Motion: Trustee Lisowe with second by Trustee Nickel to reappoint Village Manager Travis Parish to a one year term.

Vote: Motion carried 6-0.

c) Plan Commission (Citizen Member- 3 year term) **and** d) Plan Commission (Citizen Member- 3 year term)

Motion: Trustee Lisowe with second by Trustee Bartlein to reappoint Jim Lincoln and Dennis Reed to the Plan Commission.

Vote: Motion carried 6-0.

e) Plan Commission (Village Board Representative- follows board term)

Motion: Trustee Lisowe with second by Trustee Miller to appoint Trustee Darlene Bartlein to the Plan Commission.

Vote: Motion carried 6-0.

f) Fire Commission (5 year term)

Motion: None made. This item is postponed until all applications can be reviewed.

Vote: None.

g) Zoning Board of Appeals

Motion: Trustee Lisowe with second by Trustee Nickel to reappoint Craig Majewski to ZBA.

Vote: Motion carried 6-0.

Unfinished Business from Previous Meetings for Consideration or Action

a) None

New Business for Consideration or Action

a) Discuss Farmers Field Improvements and Timeline

Discussion: The village has completed a majority of the grading and installation of the stormwater pond and soccer fields at Farmers Field. The Board needs to decide whether or not to move forward with the remaining improvements. Trustee Lisowe spoke in favor of moving forward and President Hietpas suggested the project be completed in phases. It was unknown at the time of the meeting what the total costs for electrical work would be.

Motion: Trustee Nickel with second by Trustee Lisowe to delay action on agenda items 13a, 13b, and 13c so that staff can get costs for the electrical work.*

Vote: Motion carried 6-0.

b) Discuss Method of Borrowing and Interest Rates for Farmers Field Improvements

*See minutes above

c) Resolution V2019-05 Providing for the Sale of Approx. \$1,520,000 General Obligation Promissory Notes (Farmers Field Improvements)

*See minutes above

d) Request to Fix/Replace Driveway Apron- Jeffrey Melin, W5560 Sumac Lane

Discussion: The owner's driveway was put in with the Sumac Lane stormsewer project in 2015. He is upset that the apron is now scaling and cracking. He is asking the village to replace the apron.

Motion: Trustee Nickel with second by Trustee Miller to deny the owner's request.

Vote: Motion carried 6-0.

e) Ordinance V19-04 Amending Official Zoning Map (Mader)- S. Coop Road

Discussion: The owner requests a zoning map amendment to rezone a portion of General Agricultural property (parcel #33574) to Single-Family Residential (Suburban) [RS-1] for future land division.

Motion: Trustee Lisowe and second by Trustee Nickel to approve Ordinance V19-04.

Vote: Motion carried 6-0.

f) Certified Survey Map- Ken Mader- S. Coop Road

Discussion: The applicant is proposing a 4-lot CSM for property at N8838 S. Coop Rd. Lot 1 will contain the existing house and garages with 160-feet of road frontage. Lots 2-4 will be new single family lots.

Motion: Trustee Bartlein with second by Trustee Nickel to approve the CSM with the Plan Commission's requirement to add a drainage easement to Lot 1 and staff's requirement to provide drainage/grading plan for Lots 2-4.

Vote: Motion carried 6-0.

g) Certified Survey Map- Don Mielke- State Park Road

Discussion: The applicant is proposing to subdivide a portion of the property fronting State Park Rd into a single-family lot. This is his fourth lot created in the last five years, which is the maximum number of splits allowed. Access will come from State Park Road via culvert and private driveway.

Motion: Trustee Moore with second by Trustee Lisowe to approve the CSM.

Vote: Motion carried 6-0.

h) Final Plat for Creekside Estates

Discussion: Planner Mark Mommaerts requested that this item be postponed.

Motion: None.

Vote: None.

i) Development Agreement in TID #1 (Gregorski)

Discussion: The agreement includes language that Mr. Gregorski must payback all payments made to him should the property become tax-exempt, and the incentive amount was adjusted from \$100,000 to \$81,000 to account for payment previously made to the former owners of Lake Park Sportzone.

Motion: Trustee Nickel with second by Trustee Moore to approve the agreement.

Vote: Motion carried 6-0.

j) Discuss Policy for Future Subdivision Development Agreements

Discussion: Planner Mark Mommaerts requested that this item be postponed.

Motion: None.

Vote: None.

k) Installation of Lights at CTH LP and Manitowoc Rd. Roundabout

Discussion: Calumet County is upgrading CTH LP and as part of the project a roundabout will be added at Manitowoc Rd and CTH LP. The roundabout requires lighting. It will be the village's responsibility to pay for the lighting. The proposed contract with WE Energies is \$49,922.62 upfront and then approx. \$121.77 monthly.

Motion: Trustee Nickel with second by Trustee Miller to accept the installation of lights and approve the contract with WE Energies.

Vote: Motion carried 6-0.

l) Cost Share Agreement with Village of Sherwood for Reconstruction of Kesler Road and State Park Road

Discussion: The roads are boundary roads and the board previously approved the use of Sherwood's engineer to provide design and reconstruction costs for these roads. The agreement sets forth the terms and conditions for the cost sharing of the project.

Motion: Trustee Lisowe with second by Trustee Nickel to approve the agreement.

Vote: Motion carried.

m) Contract with PSI Intertek for Geotechnical Soil Borings for Schmidt Rd. Bridge Project

Discussion: The village has been working to replace the Schmidt Rd. bridge since 2018 and needs to obtain soil borings to determine the stability and composition of the soil around the bridge. The village received three quotes:

PSI Intertek: \$3650 (include two additional borings)

ECS Midwest: \$4750

American Engineering Testing: \$5900

Motion: Trustee Moore with second by Trustee Nickel to approve the contract with PSI Intertek.

Vote: Motion carried 6-0.

n) Proposed Agreement for City of Menasha's Delinquent Fire Protection Charges and Remedies

Discussion: Harrison Utilities (formerly Waverly Sanitary District) is required by the Public Service Commission (PSC) to charge a fire protection charge to all municipalities it serves. Each year, Harrison Utilities certifies with each municipality the amount of charges to be placed on the annual tax roll. This past year, City of Menasha refused to place their portion of \$79,143.28 on their 2018 tax roll. The PSC clearly stated Menasha was still responsible to pay their fire protection charges whether they placed it on their rolls or not, and that Harrison Utilities could file for a hearing in front of the PCS to get the City to pay. Months ago, City of Menasha's Attorney and Director of Administrative Services agreed to begin the process of collecting the charges and paying Harrison Utilities. However; to date, no money has been collected. Harrison Utilities has sent emails to the City stating that no connections, extensions, or hook-ups to Harrison Utilities sewer or water system will be allowed until the charges are paid. City of Menasha has countered with a proposed agreement that would require Harrison Utilities to collect the fire protection charges. The PSC says this is not allowed. They say Harrison Utilities would first need to complete a case rate study which could take 6-8 months. Therefore, staff recommends that the Harrison Utilities file for the regulatory hearing in front of the PSC.

Motion: Trustee Lisowe with second by Trustee Nickel to give City of Menasha 30 days to pay the \$79,143.28 after which time interest and attorney fees will be applied; Harrison Utilities should apply for the regulatory hearing in front of the PSC; and Harrison Utilities shall not allow extensions, connections, stubs, or hookups to their sewer and water system by the City of Menasha or residents in the City of Menasha until the fire protection charges have been paid.

Vote: Motion carried 6-0.

o) Lease of Village Owned Land on CTH N

Discussion: Last year the village had a lease with Mr. Ken Mader to maintain and cultivate the village's land located on CTH N. The terms of the lease were for one year with the rent being \$160.00 per acre annually resulting in a yearly total of \$4,160.00 to the village.

Motion: Trustee Nickel with second by Trustee Moore to renew the lease agreement with Ken Mader with the same terms.

Vote: Motion carried 6-0.

Reports

Activity reports for Calumet Co. Sheriff's Department, Zoning Permits, Harrison Fire Rescue and the Treasurer's Statement of Income and Expenses were distributed.

Closed Session

Motion by Trustee Lisowe with second by Trustee Nickel to enter closed session.

Roll Call Vote: Miller- aye

Lisowe- aye

Bartlein- aye
Hietpas- aye
Moore-aye
Nickel- aye

Pursuant to Wis. Stats §19.85(1)(e) the board met in closed session to deliberate or negotiate the purchase of public property, investment of public funds, or conduct other business when competitive or bargaining require a closed session. Discussions held in closed session were:

**Discussions regarding possible development agreement for Northshore Apartments Phase II*

**Negotiations regarding development agreements for Hidden Pines and Creekside Estates*

**Discussions regarding potential bargaining strategy to use in possible negotiations regarding possible resurrection of baseball project and discussion regarding bargaining strategy to use in negotiations regarding responsibility for third parties' existing obligations stemming from canceled project*

**Purchase Property (Halverson)*

At 11:30pm, Trustee Lisowe made a motion with a second by Trustee Nickel to reconvene in open session. Motion carried 6-0.

In open session, Trustee Lisowe made a motion with a second by Trustee Nickel to approve the agreement/conditions with Steve and Laura Halverson as stated in the email to Planner Mark Mommaerts dated April 29, 2019. The village board authorizes the village attorney to draft an official agreement with the Halversons with the following:

- o The Village will construct a 5-foot berm north of the creek with evergreen plantings for privacy.
- o The berm is to run the distance of the property following the contour of the creek from the east end of the property to the wood line on the west.
- o The deed for the property is to include a covenant that the berm must remain intact.
- o The village must plant two rows of staggered fast growing evergreen saplings with a minimum height of 3' tall hillside of berm.
- o Trees to be spaced at a distance to create a privacy barrier.
- o Berm and planting to be completed no later than July 1, 2019.
- o Village to pay for CSM for splitting the property.
- o Village to pay for all legal fees to transfer said property.
- o Closing to be on July 31, 2019
- o Village shall be allowed to begin construction prior to closing for sewer, water, and berm.
- o Purchase not to exceed \$245,000.

There being no other business, a motion was made by Trustee Nickel with second by Trustee Moore to adjourn the meeting at 11:35pm. Motion carried 6-0.

Jennifer Weyenberg, Village Clerk-Treasurer

Dated April 30, 2019

Approved by the Village Board on May 14, 2019



Martenson & Eisele, Inc.

Your Solution Professionals

Planning - Environmental - Surveying - Engineering - Architecture



CHANGE ORDER NO. 4
April 30, 2019
Lift Station No. 6
Village of Harrison, Wisconsin
M&E Project No. 1-0038-011

Dorner, Inc.
Attn: Todd Dorner
E506 Luxemburg Road
P.O. Box 129
Luxemburg, WI 54217

You are hereby directed to make the following changes for the Lift Station No. 6 Project, Village of Harrison, Wisconsin.

Provide Ball Valve for Pump Discharge Piping

Total Addition Change Order No. 4 = \$525.00

The above changes result in the following adjustments:

Contract Amount Prior to Change	\$ 508,291.60
Adjustments previous Change (CO #1, 2 and 3)	\$ 6,892.00
Adjustments this Change (Addition)	\$ 525.00
	=====
Contract Amount After Change	\$ 515,708.60

Recommended by: Martenson & Eisele, Inc. April 30, 2019

Approval by Contractor:

Date: 5-1-19

Approval by Owner: _____

Date: _____





Martenson & Eisele, Inc.

professionals dedicated to serving people committed to improving their communities

Planning
Environmental
Surveying
Engineering
Architecture

LETTER OF TRANSMITTAL

To: Travis Parish
Village Manager
Village of Harrison
W5298 State Road 114
Harrison, WI 54952

Date: May 1, 2019

Re: Lift Station No. 6
Village of Harrison, Wisconsin
M&E Project No. 1-0038-011

Cc:

Copies	Date	Description
1	4/30/2019	Certificate of Payment No. 4
1	5/1/2019	Change Order No 4

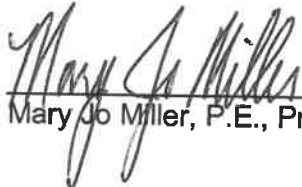
Transmitted as checked below:

- | | |
|--|--|
| <input type="checkbox"/> For Your Information | <input checked="" type="checkbox"/> For Necessary Action |
| <input type="checkbox"/> For Your Signature and Return | <input type="checkbox"/> Per Your Request |
| <input type="checkbox"/> For Review and Comment | <input type="checkbox"/> Per Our Conversation |
| <input type="checkbox"/> For Recording and/or Filing | <input type="checkbox"/> For Your Files |
| <input type="checkbox"/> Returned for Corrections | |

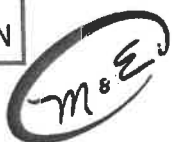
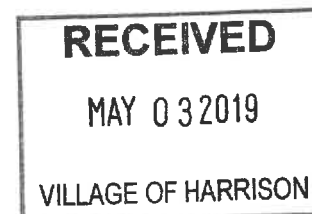
Remarks:

Please mail payment directly to Dorner, Inc., P.O. Box 129, E506 Luxemburg Road, Luxemburg, WI 54217.

If you have questions or comments, please call me at (920) 731-0381. Thank you.

By: 
Mary Jo Miller, P.E., Project Engineer

c: Todd Dorner, Dorner, Inc. (e-mail)



To:	Village of Harrison Attn: Travis Parish, Village Manager W5298 State Road 114 Harrison, WI 54952	Certificate of Payment No. 4 Issue Date: April 30, 2019 Lift Station No. 6 Village of Harrison Calumet County, WI M&E Project No. 1-0038-011
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This is to certify that in accordance with terms of the Agreement dated: July 10, 2018

Contractor: Dorner, Inc.
P.O. Box 129, E506 Luxemburg Road
Luxemburg, WI 54217

is entitled to (partial) payment for work performed through: April 30, 2019

Attached herewith you will find:

- () Contractor's Application for Payment
- (X) Itemized Cost Breakdown

<u>Payment/Contract Summary</u>	
Original contract	\$508,291.60
Actual Units and/or Changes	\$7,417.00
Contract Plus Changes	\$515,708.60
Work Completed to Date (see Attached)	\$514,832.92
Retainage (5%)	\$25,741.65
Amount Due Contractor	\$489,091.27
Less Previous Payments	\$364,782.44
Amount due this Payment (mail to Contractor)	\$124,308.83

Certified by
Martenson & Eisele, Inc.


Mary Jo Miller, P.E.

C: Dorner, Inc.

PAY REQUEST NO. 4

Lift Station 6 Service Area, Village of Harrison
 Project Number: 1-0038-011
 Owner: Village of Harrison
 Contractor: Dorner, Inc.
 Engineer: Mary Jo Miller, P.E.

Prepared By:
 Martenson & Eisele, Inc.
 1377 Midway Rd., Menasha, WI 54952
 (920) 731-0381
 www.martenson-eisele.com

		Bid Costs and Quantities			Construction Costs and Quantities		
Item	Description	Bid Quantity	Unit Bid Cost	Total Amount	Total Actual Quantity	Unit Bid Cost	Total Amount
General Work							
1	Lump Sum Mobilization	1	\$20,000.00	\$20,000.00	1	\$20,000.00	\$20,000.00
2	Lump Sum Installation and Maintenance of Traffic Control	1	\$1,500.00	\$1,500.00	1	\$1,500.00	\$1,500.00
	General Work Subtotal			\$21,500.00			\$21,500.00
Erosion Control and Surface Restoration							
3	Lump Sum Topsoil Stripping, Stockpiling, Re-Spreading and Fine Grading	1	\$10,000.00	\$10,000.00	1	\$10,000.00	\$10,000.00
4	Each Stone Tracking Pad	2	\$1,000.00	\$2,000.00	0	\$1,000.00	\$0.00
5	Linear Feet Silt Fence	510	\$2.10	\$1,071.00	613	\$2.10	\$1,287.30
6	Each Sediment Log Ditch Check	2	\$300.00	\$600.00	2	\$300.00	\$600.00
7	Each Rockbag Culvert Ditch Check	1	\$150.00	\$150.00	3	\$150.00	\$450.00
8	Lump Sum Topsoil, Seed, Fertilize and Mulch	1	\$10,000.00	\$10,000.00	1	\$10,000.00	\$10,000.00
9	Square Yards Erosion Matting	200	\$2.55	\$510.00	200	\$2.55	\$510.00
10	Lump Sum Erosion Control Monitoring, Record Keeping and Termination	1	\$750.00	\$750.00	1	\$750.00	\$750.00
	Erosion Control Subtotal			\$25,081.00			\$25,081.00
Watermain Components							
11	Linear Feet 6-inch Watermain (Includes Tracer Wire, Bends, Tees, Plugs and Connections)	210	\$35.00	\$7,350.00	217	\$35.00	\$7,595.00
12	Each 6-inch Gate Valve	1	\$1,250.00	\$1,250.00	1	\$1,250.00	\$1,250.00
13	Each Hydrant	1	\$4,300.00	\$4,300.00	1	\$4,300.00	\$4,300.00
14	Linear Feet 1-1/2-inch Water Service Pipe with Tracer Wire	41	\$19.00	\$779.00	40	\$19.00	\$760.00
15	Each Water Service Curb Stop and Service Connection	1	\$500.00	\$500.00	1	\$500.00	\$500.00
	Watermain Components Subtotal			\$14,179.00			\$14,405.00
Sanitary Sewer Components							
16	Linear Feet 15-inch Sanitary Sewer	255	\$120.00	\$30,600.00	253	\$120.00	\$30,360.00
17	Each Drain Piping from Lift Station to Wet Well with Accessories	1	\$1,600.00	\$1,600.00	1	\$1,600.00	\$1,600.00
18	Linear Feet 8-inch Forcemain with Tracer Wire	1371	\$35.00	\$47,985.00	1380	\$35.00	\$48,300.00
19	Each Connect Sanitary Sewer to Existing Manhole	1	\$2,000.00	\$2,000.00	1	\$2,000.00	\$2,000.00
20	Linear Feet 12-inch Sanitary Sewer	80	\$50.00	\$4,000.00	81	\$50.00	\$4,050.00
21	Vertical Feet Sanitary Manhole	8	\$336.00	\$2,688.00	8	\$336.00	\$2,688.00
22	Each Sanitary Manhole Casting	1	\$440.00	\$440.00	1	\$440.00	\$440.00
	Sanitary Sewer Components Subtotal			\$89,313.00			\$89,438.00
Lift Station Components							
23	Lump Sum Wet Well Structure	1	\$85,000.00	\$85,000.00	1	\$85,000.00	\$85,000.00
24	Lump Sum Wet Well Accessories (Access Hatch, Aluminum Railing, Vent, Etc.)	1	\$5,280.00	\$5,280.00	1	\$5,280.00	\$5,280.00
25	Lump Sum Flygt Pumps and Accessories (Guide Rails, Lifting Chain, Etc.)	1	\$26,250.00	\$26,250.00	1	\$26,250.00	\$26,250.00
26	Lump Sum Lift Station No. 6 Building and Building Components	1	\$155,000.00	\$155,000.00	1	\$155,000.00	\$155,000.00
27	Lump Sum Lift Station and Wet Well Piping and Valves	1	\$26,500.00	\$26,500.00	1	\$26,500.00	\$26,500.00
28	Lump Sum Controls and Electrical to be Provided and Installed by Contractor	1	\$18,000.00	\$18,000.00	1	\$18,000.00	\$18,000.00
29	Lump Sum Installation of Generator and Appurtenances Provided by Others	1	\$16,000.00	\$16,000.00	1	\$16,000.00	\$16,000.00
	Lift Station Components Subtotal			\$332,030.00			\$332,030.00
Site Work							
30	Lump Sum Excavation and Grading	1	\$20,000.00	\$20,000.00	1	\$20,000.00	\$20,000.00
31	Linear Feet 12-inch CMP Culvert Pipe Plus Apron Endwalls	28	\$49.00	\$1,372.00	28	\$49.00	\$1,372.00
32	Tons 1.25-inch Crushed Aggregate Base Course for Building and Parking Lot	650	\$12.80	\$8,320.00	670.08	\$12.80	\$8,577.02
33	Square Feet Concrete Pavement	30	\$28.22	\$846.60	30	\$28.22	\$846.60
	Site Work Subtotal			\$30,538.60			\$30,795.62
	TOTAL BASE BID 1			\$512,641.60			\$511,765.92
Alternate Bid 1							
1	Adjustment for Alternate Bid 1	1	-\$4,350.00	-\$4,350.00	1.00	-\$4,350.00	-\$4,350.00
	Alternate Bid 1 Subtotal			-\$4,350.00			-\$4,350.00
	TOTAL BASE - BID 1 with ALTERNATE BID 1	Total		\$508,291.60			\$507,415.92
Change Order No. 1							
1	Additional Cubic Yards Concrete for Ballast for Wetwell	4	\$128.00	\$512.00	4.00	\$128.00	\$512.00
	Change Order No. 1 Subtotal			\$512.00			\$512.00
Change Order No. 2							
1	Additional Electrical Components to Accommodate We Energies 200 Amp Service						
	200 Amp, 480 Volt Service Rated Disconnect	1	\$1,915.00	\$1,915.00	1	\$1,915.00	\$1,915.00
	200 Amp Meter Socket	1	\$465.00	\$465.00	1	\$465.00	\$465.00
	Change Order No. 2 Subtotal			\$2,380.00			\$2,380.00
Change Order No. 3							
1	Provide Longer Pump Electrical Cords and Appurtenances	2	\$2,000.00	\$4,000.00	2.00	\$2,000.00	\$4,000.00
	Change Order No. 3 Subtotal			\$4,000.00			\$4,000.00
Change Order No. 4							
1	Provide Ball Valve for Pump Discharge Piping	1	\$525.00	\$525.00	1.00	\$525.00	\$525.00
	Change Order No. 4 Subtotal			\$525.00			\$525.00
	TOTAL BASE - BID 1 with ALTERNATE BID 1 Plus Change Orders	Total		\$515,708.60			\$514,832.92

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: May 14th, 2019

Title:

Approve Connection Fee in the Amount of \$3,400.00 for Areas Served by Lift Station #6.

Issue:

Should Harrison Utilities charge a connection fee of \$3,400.00 for Areas Served by Lift Station #6?

Background and Additional Information:

In 2018, Harrison Utilities constructed Lift Station #6 to be able to service approximately 700 acres of developable land. In lieu of assessing properties in that area, the Village Board chose to implement a connection fee to cover the costs of the construction of Lift Station #6.

The Village hired Martenson and Eisele to conduct a study to determine the appropriate connection fee to be charged to cover the cost of the construction of Lift Station #6. According to the study, the engineer recommends a connection fee in the amount of \$3,400.00 for areas to be served by Lift Station #6.

Budget/Financial Impact:

Revenue to offset the cost of construction for Lift Station #6.

Recommendation:

Staff recommends approval of a connection fee in the amount of \$3,400 for single family homes with the Village reserving the right to adjust the connection fee in the future.

Attachments:

Email from Engineer
Connection Fee Calculations

Travis Parish

From: Michael S Siewert <mikes@martenson-eisele.com>
Sent: Tuesday, April 30, 2019 1:21 PM
To: Travis Parish; Mark Mommaerts
Cc: Mary Jo Miller
Subject: Connection fee
Attachments: Connection Fee Calculations 10-8-18.pdf; Memo to Travis Connection Fees 10-2-18.docx

Good afternoon Travis,

Attached is the memo and calculations sent to you on October 8, 2018. That memo contained two tables recommending minimum connection fees to cover the cost of lift station only, and lift station and oversizing costs. \$1,400 and \$2,300 respectively.

These costs were arrived at based upon costs of the improvements and the cost of financing the project only.

However, there are many other direct costs to the Village that are not easily quantified. These cost include, but are not limited to, the cost of financing should the expected growth not materialize, administrative costs for calculating reimbursements to developers, reimbursing developers, collecting connection fees, and calculating connection fees outside of the standard single family home rate.

With the above in mind, we recommend that the Village implement a **\$3,400** connection fee for single family homes, with the Village reserving the right to adjust the connection fee should any extenuating circumstance occur.

If you have any questions please feel free to call.

Michael S. Siewert P.E.

President and CEO
Senior Project Engineer
mikes@martenson-eisele.com



Planning - Environmental - Surveying - Engineering - Architecture

Visit us at www.martenson-eisele.com

And Like us on  and 

1377 Midway Road Menasha, WI 54952
Phone 920- 731-0381 Fax 920-733-8578
Cell Phone 920-427-2359

The information contained in this email is for the person or entity to which it is addressed and may be privileged or confidential. If you receive this transmission in error, please notify the sender and delete the message and any attachments. Thank you for your cooperation.

Martenson & Eisele, Inc.

Your Solution Professionals

Planning - Environmental - Surveying - Engineering - Architecture

Memorandum from Mary Jo Miller, P.E.

Date: October 8, 2018

To: Travis Parish, Administrator, Village of Harrison

Re: Connection Fees
Lift Station No. 6 Service Area
Village of Harrison, Wisconsin

In response to your request for Martenson & Eisele, Inc. to calculate proposed connection fees for the Lift Station No. 6 service area, please note the following.

In July of 2014, Martenson & Eisele, Inc. prepared a Sanitary Sewer and Lift Station Feasibility Study to serve the Lift Station No. 6 service area defined by Manitowoc Road on the north, just below Hwy 114 on the south, South Coop Road on the west, and County Trunk Highway N on the east.

Attached is a table included in the Feasibility Study showing how development is proposed in the service area, and the basis for Lift Station No. 6 flow projections. Note that ultimate development includes 600.5 acres of normal residential development expected to accommodate 2.25 units per acre, 102.5 acres of large parcel residential development expected to accommodate 0.5 units per acre, and 5 acres of commercial development. Ultimate development would result in an estimated 1,405 units or connections.

In addition, it can be assumed that 50% of this development will occur in the next 20 years, and 75% of this development will occur in the next 40 years.

A contract was awarded to Dorner, Inc. in July of 2018 in the amount of \$508,291.60 for construction of Lift Station No. 6 with appurtenances and approximately 1,400 linear feet of 8-inch forcemain in the Village of Harrison. Considering additional costs incurred with contingencies, engineering, legal and administrative fees, the estimated Total Project Cost is \$640,000. A preliminary estimate indicates that the Village will incur approximately \$402,000 in costs to oversized sanitary sewers within the entire Lift Station No. 6 Service Area.

The table below summarizes proposed connection fees based on recovering these project costs over a 20 year and 40-year time period. Connection fees are calculated based on a 20-year loan period at 4.5% interest rate.



Table 1 Total Cost Including Lift Station No. 6 and Forcemain

	20-Year Planning Period	40-Year Planning Period
Number of Connections	703 connections	1,054 connections
Total Project Cost – LS #6 and Forcemain	\$640,000	\$640,000
Total Project Cost Based on 20 Year Loan at 4.5%	\$971,750	\$971,750
Cost Per Connection	\$1,382	\$922
Minimum Proposed Connection Fee	\$1,400	\$1,000

Table 2 Total Cost Including Lift Station No. 6 and Forcemain, and Sewer Oversizing Charges

	20-Year Planning Period	40-Year Planning Period
Number of Connections	703 connections	1,054 connections
Total Project Cost – LS #6, Forcemain and Oversizing Charges	\$1,042,000	\$1,042,000
Total Project Cost Based on 20 Year Loan at 4.5%	\$1,582,130	1,582,130
Cost Per Connection	\$2,251	\$1,501
Minimum Proposed Connection Fee	\$2,300	\$1,500

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: May 14th, 2019

Title:

Approve Harrison Utilities Service Area Map.

Issue:

Should Harrison Utilities approve the Service Area Map?

Background and Additional Information:

Martenson and Eisele have created the attached map to designate the areas serviced by Harrison Utilities.

The map includes areas in the Cities of Appleton and Menasha that are serviced by Harrison Utilities.

Budget/Financial Impact:

This item was budgeted for.

Recommendation:

Staff recommends approval of the Harrison Utilities Service Map.

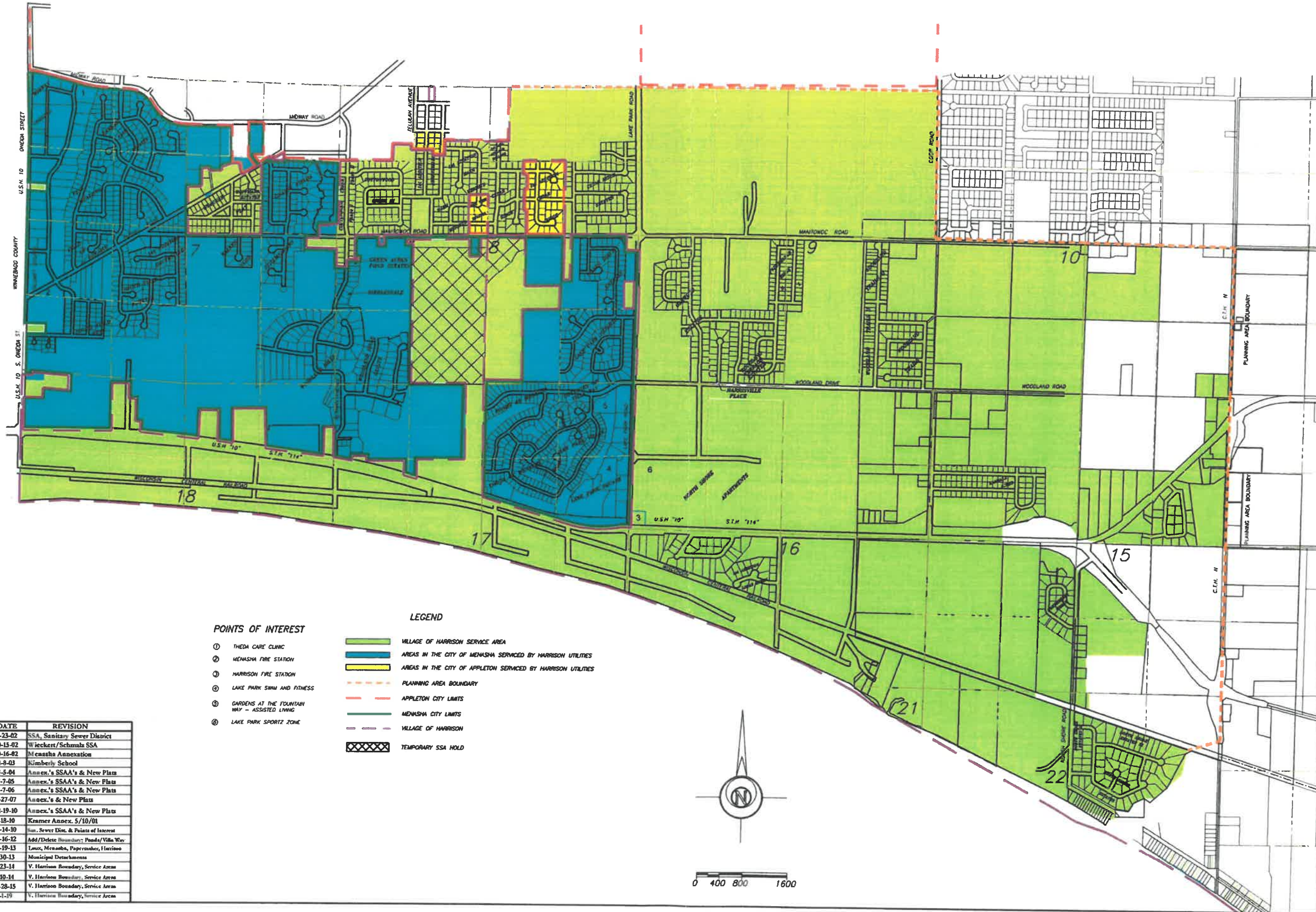
Attachments:

Map of Harrison Utilities Service Area Map.

HARRISON UTILITIES BOUNDARY MAP

Martenson & Eisele, Inc.
 Planning
 Environmental
 Surveying
 Engineering
 Architecture

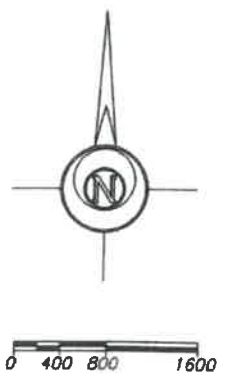
1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381



NO	DATE	REVISION
8	4-23-02	SSA, Sanitary Sewer District
9	10-15-02	Wieckert/Schmalz SSA
10	10-16-02	Menasha Annexation
11	4-8-03	Kimberly School
12	3-5-04	Annex.'s SSAA's & New Plats
13	7-7-05	Annex.'s SSAA's & New Plats
14	3-7-06	Annex.'s SSAA's & New Plats
15	7-27-07	Annex.'s & New Plats
16	02-19-10	Annex.'s SSAA's & New Plats
17	5-18-10	Kramer Annex. 5/10/01
18	12-14-10	San. Sewer Dist. & Points of Interest
19	01-16-12	Add/Delete Boundaries: Ponds/Villa Way
20	04-19-13	Loux, Menasha, Popperasher, Harrison
21	5-30-13	Municipal Detachments
22	5-23-14	V. Harrison Boundary, Service Areas
23	6-19-14	V. Harrison Boundary, Service Areas
24	10-28-15	V. Harrison Boundary, Service Areas
25	5-1-19	V. Harrison Boundary, Service Areas

- POINTS OF INTEREST**
- ① THEEDA CARE CLINIC
 - ② MENASHA FIRE STATION
 - ③ HARRISON FIRE STATION
 - ④ LAKE PARK SWIM AND FITNESS
 - ⑤ GARDENS AT THE FOUNTAIN WAY - ASSISTED LIVING
 - ⑥ LAKE PARK SPORTS ZONE

- LEGEND**
- VILLAGE OF HARRISON SERVICE AREA
 - AREAS IN THE CITY OF MENASHA SERVICED BY HARRISON UTILITIES
 - AREAS IN THE CITY OF APPLETON SERVICED BY HARRISON UTILITIES
 - PLANNING AREA BOUNDARY
 - APPLETON CITY LIMITS
 - MENASHA CITY LIMITS
 - VILLAGE OF HARRISON
 - TEMPORARY SSA HOLD



HARRISON UTILITIES BOUNDARY MAP

SCALE	DATE
BAR SCALE	4-12-2019
COMPUTER FILE	
System.dwg	

DRAWING NO.
1-0038-003

NO.	DATE	FIELDWORK	APPROVED	REVISION
1	3-18-98	DUAL SSA		
2	5-18-99	ADD CITY BOUNDARIES		
3	3-15-00	ADD ANNEX. SEC 16		
4	3-27-01	HARRISON ANNEX. WAY, SAN SEW. SERV. & MENASHA ANNEX.		
5	9-25-01	CHANGE IN SSA		
6	12-18-01	C. MENASHA BD. SAN. SERV.		
7	3-4-02	SSA, MENASHA APP. PLAN		

CALUMET COUNTY, WISCONSIN

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: May 14th, 2019

Title:

Award Bid to PTS Contractors, Inc. for 2019 Storm Sewer and Drainage Improvements and Asphalt Paving Program in the Amount of \$1,432,158.65.

Issue:

Should the Village of Harrison award the sewer and road bid to PTS Contractors, Inc. in the amount of \$1,432,158.65?

Background and Additional Information:

As part of the 5 yr. Capital Improvement Plan, the Village will be installing a mini storm sewer system and repaving Gina Dr., Michelle Way, Holly Dr., and Hopfensberger Rd.

Also, as part of this bid, the Village will address drainage issues for 5 houses on Jochman Dr. and there will be some patching done on Handel Dr.

The Village has included in this bid the paving of Zach St. which is part of Kambura Acres II. The developer is also getting his own bid to determine if he would like this project to be included in our bid.

Budget/Financial Impact:

This item has been budgeted for.

Recommendation:

Staff recommends that the Village Board award the bid to PTS Contractors, Inc in the amount of \$1,432,158.65 for Storm Sewer and Drainage Improvements and Asphalt Paving Program.

Attachments:

Ltr. From McMahon

Bid Tabulations

McMAHON

ENGINEERS ARCHITECTS

May 2, 2019

Mr. Travis Parish
Village of Harrison
W5298 Highway 114
Menasha, WI 54952

Re: Village of Harrison
2019 Storm Sewer & Drainage Improvements and
Asphalt Paving Program
Letter Of Recommendation
McM. No. H0006-9-18-00913

On Wednesday, May 1, 2019, bids were received at the Village of Harrison for the above referenced project. Two (2) bids were received, ranging in price from \$1,432,158.65 to \$1,567,400.50 (bid tabulation enclosed).

Based upon the bids received, we recommend awarding Contract H0006-9-18-00913 to the low bidder, PTS Contractors, Inc., in the amount of \$1,432,158.65.

If you agree with our recommendation, please date and sign the enclosed Notices of Award, and return all copies to our office for incorporation into the contract documents.

If you have any questions, please feel free to contact me.

Respectfully,

McMahon Associates, Inc.

Lee Reibold / jlh

Lee R. Reibold, P.E.
Associate Municipal & Civil Engineer

LRR:jlh

Enclosures: Notice of Awards (3 copies each)
Bid Tabulation



SECTION 00 51 00.00

NOTICE OF AWARD

Dated: _____

To: PTS CONTRACTORS, INC.
4075 Eaton Road
Green Bay, WI 54311

Contract No. H0006-9-18-00913

Project: 2019 STORM SEWER IMPROVEMENTS & DRAINAGE IMPROVEMENTS AND
ASPHALT PAVING PROGRAM
For The
VILLAGE OF HARRISON | Calumet County, Wisconsin

You are notified that your Bid, dated Wednesday, May 1, 2019, for the above Contract has been considered. You are the apparent successful Bidder and have been awarded a Contract the 2019 Storm Sewer Improvements & Drainage Improvements and Asphalt Paving Program for the Village of Harrison, Calumet County, Wisconsin.

The Contract Price of your Contract is One Million Four Hundred Thirty Two Thousand One Hundred Fifty Eight and 65/100 Dollars (\$1,432,158.65). This is the Base Bid with the Alternate Bid.

You must comply with the following conditions precedent within **15-days** of the date of this Notice of Award, that is by _____.

1. You must deliver to the OWNER three (3) fully executed counterparts of the Agreement including all the Contract Documents.
2. You must deliver with the executed Agreement the Contract Security (bonds), as specified in the Instructions to Bidders, General Conditions (Paragraph 5.1) and Supplementary Conditions.
3. You must deliver Insurance Certification complying with the General Conditions and Supplemental Conditions of the Contract Documents.

Failure to comply with these conditions within the time specified will entitle OWNER to consider your Bid abandoned, to annul this Notice of Award and to declare your Bid Security forfeited.

VILLAGE OF HARRISON
Calumet County, WI

(authorized signature)

(title)

Witness: _____

SECTION 00 51 00.00

NOTICE OF AWARD

Dated: _____

To: PTS CONTRACTORS, INC.
4075 Eaton Road
Green Bay, WI 54311

Contract No. H0006-9-18-00913

Project: 2019 STORM SEWER IMPROVEMENTS & DRAINAGE IMPROVEMENTS AND
ASPHALT PAVING PROGRAM
For The
VILLAGE OF HARRISON | Calumet County, Wisconsin

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VILLAGE OF HARRISON
Calumet County, WI

(authorized signature)

(title)

Witness: _____

SECTION 00 51 00.00

NOTICE OF AWARD

Dated: _____

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4075 Eaton Road
Green Bay, WI 54311

Contract No. H0006-9-18-00913

Project: 2019 STORM SEWER IMPROVEMENTS & DRAINAGE IMPROVEMENTS AND
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VILLAGE OF HARRISON | Calumet County, Wisconsin

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VILLAGE OF HARRISON
Calumet County, WI

(authorized signature)

(title)

Witness: _____

BID TABULATION

Owner: VILLAGE OF HARRISON
Project Name: 2019 Storm Sewer & Drainage Improvements and Asphalt Paving Program
Contract No. H0006-9-18-00913
Bid Date: Wednesday, May 1, 2019
Project Manager: Lee R. Reibold, P.E.

Engineer: McMahon Associates, Inc.
1445 McMahon Drive
P.O. Box 1025
Neenah, WI 54956 / 54957-1025

PTS CONTRACTORS, INC.
4075 Eaton Road
Green Bay, WI 54311
CARL BOWERS & SONS CONSTRUCTION CO.
N1844 Maloney Road
Kaukauna, WI 54130

A. GINA DRIVE & MICHELLE WAY

Table with 4 columns: Item, Qty, Unit, Description. Lists construction items for Gina Drive & Michelle Way, including culverts, storm sewers, manholes, and paving.

Summary table for A. GINA DRIVE & MICHELLE WAY with columns: Unit Price, Total, Unit Price, Total. Shows a total of \$509,607.90.

A. TOTAL (Items A1. through A31., Inclusive)

\$565,346.50

B. HANDEL DRIVE, HOLLY STREET, & HOPFENSPEGER ROAD

Table with 4 columns: Item, Qty, Unit, Description. Lists construction items for Handel Drive, Holly Street, & Hopfenspeger Road, including culverts, storm sewers, manholes, and paving.

Summary table for B. HANDEL DRIVE, HOLLY STREET, & HOPFENSPEGER ROAD with columns: Unit Price, Total, Unit Price, Total. Shows a total of \$742,430.50.

B. TOTAL (Items B1. through B33., Inclusive)

\$671,917.60

C. HANDEL DRIVE (SUMAC LANE TO MILE LONG DRIVE)

Table with 4 columns: Item, Qty, Unit, Description. Lists construction items for Handel Drive, including asphalt paving and manhole covers.

Summary table for C. HANDEL DRIVE (SUMAC LANE TO MILE LONG DRIVE) with columns: Unit Price, Total, Unit Price, Total. Shows a total of \$45,724.40.

C. TOTAL (Items C1. through C8., Inclusive)

\$42,804.50

D. JOCHMAN DRIVE MINI-STORM SEWER

Table with 4 columns: Item, Qty, Unit, Description. Lists construction items for Jochman Drive Mini-Storm Sewer, including storm sewers and manholes.

Summary table for D. JOCHMAN DRIVE MINI-STORM SEWER with columns: Unit Price, Total, Unit Price, Total. Shows a total of \$24,000.00.

D. TOTAL (Items D1. through D8., Inclusive)

\$46,354.00

E. KAMBURA ACRES II - ZACH STREET

Table with 4 columns: Item, Qty, Unit, Description. Lists construction items for Kambura Acres II - Zach Street, including manhole covers, concrete sidewalks, and paving.

Summary table for E. KAMBURA ACRES II - ZACH STREET with columns: Unit Price, Total, Unit Price, Total. Shows a total of \$34,039.00.

E. TOTAL (Items E1. through E15., Inclusive)

\$172,449.00

GRAND TOTAL (Bids A. through E., Inclusive)

\$1,569,384.50

ALTERNATE BID #1 JOCHMAN DRIVE MINI-STORM SEWER

Table with 4 columns: Item, Qty, Unit, Description. Lists construction items for Alternate Bid #1 Jochman Drive Mini-Storm Sewer.

Summary table for ALTERNATE BID #1 JOCHMAN DRIVE MINI-STORM SEWER with columns: Unit Price, Total, Unit Price, Total. Shows a total of \$44,370.00.

ALTERNATE BID #1 TOTAL (Items 1. through 7, Inclusive)

\$44,370.00

GRAND TOTAL WITH ALTERNATE BID (Bids A, B, C, E, & Alternate)

\$1,567,400.50

Bid Security: Yes
Addendum Acknowledgment: N/A

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Meeting Date:

May 14, 2019

Title:

Development Agreements for Creekside Estates

Issue:

Should the Board approve the draft development agreement for the Creekside Estates subdivision?

Background and Additional Information:

Staff revised the development agreement for Creekside Estates to include comments made from the previous meeting. Revisions include letting the “gravel” roads sit for at least one freeze/thaw cycle but not more than 3 years. During this time, the “gravel” roads will have a 1½” temporary asphalt binder as recommended by the DNR. Permits will be issued upon acceptance of the “gravel” roads. Final street paving and sidewalks will be installed by the developer and a financial guarantee will be submitted by the developer to cover the cost of street paving.

The agreement also states that the Village will reimburse for water and sanitary sewer main oversizing and overdigging in accordance with Harrison Utility ordinances and policies. A recapture agreement should be created to allow the developer to recapture costs of sewer and water infrastructure that benefits other properties.

Budget Impacts:

None

Recommended Action:

Staff recommends approval of the draft development agreement.

Attachments:

- Draft development agreement

**SUBDIVISION DEVELOPMENT AGREEMENT
CREEKSIDE ESTATES**

THIS AGREEMENT, made this ____ day of _____, 20____, between ATLAS DEVELOPMENTS AND CONSTRUCTION, LLC, hereinafter called "Subdivider", and the Village of Harrison, a municipal corporation of the State of Wisconsin, located in Calumet and Outagamie counties, hereinafter called "Village".

WHEREAS, Subdivider is the owner of approximately 40.0-acres of land in the Village, said land being referred to as "Creekside Estates" described as:

Being all of the Northeast ¼ of the Northwest ¼ of Section 15, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

WHEREAS, Subdivider desires to subdivide and develop said lands;

WHEREAS, said lands are presently zoned or planned to be zoned as **RS-1 | Single-Family Residential (Suburban)** which permits the above development; and

WHEREAS, the Plan Commission has recommended to the Village Board that the proposed subdivision of the above described lands be given final approval when the final plat thereof has been presented to the Village Board on the condition that the Subdivider enter into an agreement with the Village relative to the manner and method by which said lands are to be developed; and

WHEREAS, the Subdivider agrees to develop said land as herein described in accordance with this Agreement and in accordance with all of the ordinances and regulations of the Village of Harrison; and

WHEREAS, the developer/subdivider assures the Village and shall on the plat acknowledge:

"The owner/subdivider has no notice or knowledge of any environmental problems (the existence of hazardous or toxic substances) of any sort on the property being transferred. The owner/subdivider understands that it will pay for any costs to remediate any environmental problems encountered during construction of any of the public improvements required by the Village on the plat in the Developer's Agreement. The owner/subdivider understand that they shall be individually responsible for any environmental problems found on the land, transferred to the Village on the Plat of Survey or Certified Survey Map during the construction of roads or other dedications and agree to hold the Village harmless until construction, installation or grading is complete."; and

WHEREAS, the Village and Subdivider agree that the required dedications for surface water drainage and detention shall be dedicated with the plat acceptance, but shall be constructed by the developer as specified. Security for performance of the construction shall be secured by letter of credit or escrow. Security for performance shall not be released in full or in part, at the discretion of the Village, until performance is complete and sufficient development of the subdivision has occurred to satisfy the Village that further development related impairment or damage of surface water structures will not occur.

NOW, THEREFORE, in consideration of the granting of approval of a final plat for **Creekside Estates** and the development thereof by the Village Board, the Subdivider does hereby agree to subdivide and develop said lands as follows:

SECTION 1 – IMPROVEMENTS

All public improvements shall be in accordance with the Village of Harrison standards and specifications as established in the *Standard Specifications Manual*, the Land Division Ordinance, and all other ordinances for the Village of Harrison. All plans and specifications for the public improvements shall require approval from the Village Engineer and Public Works Director prior to proceeding with construction.

A. ROADS AND STREETS The Subdivider and Village hereby agrees:

To furnish, construct, grade and surface all roads and streets in the subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village.

The Village has given consideration to the installation required and completion dates shall hereinafter be established and specified below. The completion dates are based upon the developer's installation in accordance with the land division ordinance and the **FINAL** plan specifications and drawings approved by the Village.

All street construction, including but not limited to, sanitary sewer, watermain, storm sewer and associated laterals, subgrade, and gravel base shall be inspected by the Subdivider's engineer, in accordance with this Section, with weekly reports provided to the Village.

After the inspecting engineer has certified that the Village of Harrison standards have been met, the Village Board will review the engineer's certification and take action respectively, to accept the listed roads in a graveled state. Acceptance of a gravel road may only occur after all utilities (sanitary sewer, water, storm sewer, gas, electric, cable/phone, etc.) have been installed and inspected, the subgrade and gravel has been installed and inspected, temporary 1½" asphalt binder has been installed and inspected, and all terraces and primary drainage swales and ditches have been graded, seeded, and mulched and inspected. A financial guarantee, in an amount sufficient to cover the anticipated costs of curb and gutter, concrete paving, and sidewalk and/or trail construction, shall be submitted to the Village prior to acceptance of the roads in a graveled state. Once approved, the roads will sit in a gravel state for a period of at least one (1) freeze/thaw cycle but not more than three (3) years after acceptance by the Village Board.

During the specified time period, the curb and gutter shall be installed, the concrete paving completed, and sidewalks and/or trails installed. The Subdivider shall be responsible for the construction of the curb and gutter, concrete paving, and sidewalk and/or trail construction. Village will perform snow plowing and ice removal upon the roadways after acceptance in a graveled state at no cost to the Subdivider.

Prior to paving, the temporary asphalt binder shall be incorporated into the gravel base. The road base shall be inspected by the Village to ensure the gravel is sufficient for paving. If the gravel is insufficient, the Subdivider shall bring the gravel base into compliance prior to paving. The Subdivider shall also cause the curb and gutter to be installed, the paving completed, and the sidewalks and/or trails installed. Once the inspecting engineer has certified that the Village of Harrison standards have been met, the Village Board will review the engineer's certification and take action respectively, to accept the listed roads in a finished state.

Any variation to the proposed schedule of the improvements as set forth in the contract below may be extended where requests are made by the Subdivider for construction during periods within the determination of the Public Works Director and the Village's Engineer, require

extension of time periods to assure the Village that the improvements will not suffer from premature degeneration as a result of said construction.

For new utility or street construction between November 15th and May 1st, there will be an additional warranty period of three years beginning from the time the road is accepted by the Village. Such warranty shall apply to all improvements in case of failure. Such warranty shall be in the form of a Performance Bond, Letter of Credit or Cash Escrow in an amount sufficient, as approved by the Public Works Department and/or Village engineer, to repair defects in the roadway. Repair of such defects shall be determined by the Public Works Department.

The schedule for construction shall be as follows:

Timeframe	
Subdivision	Creekside Estates
Final Subdivision Approval	May 2019
Sanitary, Water, and Storm Sewers	September 2019
Utilities (Gas, Electric, Phone, Cable, etc.)	September 2019
Grade & Gravel	September 2019
Terraces	September 2019
1½" Asphalt Binder	September 2019
Concrete Integral Curb & Gutter	Prior to September 2022
7" Concrete Pavement	Prior to September 2022
Sidewalks/Trails	Prior to September 2022
Final Terrace Restoration	Prior to September 2022

B. CURB AND GUTTER The Subdivider hereby agrees:

1. To furnish, construct and install curb and gutter in accordance with the plat, plans, specifications and drawings attached hereto as Exhibit "A" and to complete said installation as set forth in the schedule above with such costs to be equally assessed to all lots within the subdivision.

C. SIDEWALKS The Subdivider hereby agrees:

1. To furnish, construct and install concrete sidewalks in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above with such costs to be equally assessed to all lots within the subdivision. Sidewalks are to be constructed on both sides of the street.

D. TRAILS None are proposed.

E. SANITARY SEWER The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete sewerage systems throughout the entire subdivision, all in accordance with the plat plans, specifications and drawings *as per the requirements of Harrison Utilities* and the Standards Specifications Manual for the Village of Harrison. *Any oversizing or overdigging will be paid by the Village or Harrison Utilities in accordance with adopted ordinances and policies. The Village will*

work with the Subdivider on a recapture agreement for infrastructure improvements that may benefit adjacent properties.

2. To install separate sanitary sewer laterals six (6') feet into each lot within the subdivision in accordance with the Standards Specifications Manual for the Village of Harrison.
3. The sanitary sewer system will not be accepted until the sanitary sewers have been installed and tested in accordance with *Harrison Utilities* specifications on file with the Department of Natural Resources and the Subdivider's plan specifications as *Harrison Utilities* and the Village's engineer.

F. WATER The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete water distribution system throughout the entire subdivision, all in accordance with the plat, plans, specifications and drawings *as per the requirements of Harrison Utilities* and the Standards Specifications Manual for the Village of Harrison. *Any oversizing or overdigging will be paid by the Village or Harrison Utilities in accordance with adopted ordinances and policies. The Village will work with the Subdivider on a recapture agreement for infrastructure improvements that may benefit adjacent properties.*
2. To install separate water laterals six (6') feet into each lot within the subdivision in accordance with the Standards Specifications Manual for the Village of Harrison.
3. The water distribution system will not be accepted until the water distribution system has been installed and tested in accordance with *Harrison Utilities* specifications on file with the Department of Natural Resources and Public Service Commission and the Subdivider's plans and specifications approved by *Harrison Utilities* and the Village's engineer.

G. SURFACE WATER DRAINAGE The Subdivider hereby agrees:

1. The Subdivider agrees to install separate storm sewer laterals six (6') feet into each lot within the subdivision in accordance with the Standards Specifications Manual for the Village of Harrison.
2. The Subdivider agrees to furnish, construct, install and provide adequate facilities for storm and surface water drainage throughout the entire subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village and, where applicable, the Garners Creek Storm Water Utility and the Village of Harrison Storm Water regulations.
3. The Subdivider agrees that all stormwater management facility construction, including but not limited to, retention/detention ponds, primary drainage swales, and associated piping systems shall be inspected by the Subdivider's engineer, with all reports provided to the Village, before acceptance by the Village.
4. The Subdivider agrees that the Village Board will not accept the storm and surface water drainage improvements until the same have been installed and tested in accordance with the Village's specifications and the Subdivider's plans and specifications approved by the

Village. The storm water and surface water drainage improvements shall be completed before a release of the performance guarantee specified by this contract.

H. EROSION CONTROL The Subdivider hereby agrees:

1. To install silt fence at the right-of-way line along all streets in the **FINAL** plat prior to acceptance of the street(s) in a graveled state. Silt fence to be installed in accordance with the Wisconsin Department of Natural Resources (WDNR) Technical Standards.
2. Maintain silt fence along the right-of-way line until all land disturbances have been stabilized in accordance with WDNR Technical Standards.
3. Maintain all other erosion control practices for stormwater management facilities, environmental protections, etc., in accordance with WDNR Technical Standards.

I. GRADING The Subdivider hereby agrees:

1. To complete rough grading and finish grading along all primary drainage swales and ditches in the subdivision all in accordance with **FINAL** plat, plans specifications and drawings approved by the Village.
2. To complete rough grading along all property lines to the design grade.
3. To seed and establish a vegetative cover over all disturbed areas.

J. LANDSCAPING RESTORATION The Subdivider hereby agrees:

1. To preserve to the maximum extent possible existing trees, shrubbery, vines and grasses not actually lying within public roadways, drainageways, building foundations sites, private driveways, solid absorption waste disposal areas, paths and trails by use of sound conservation practices.
2. To remove and lawfully dispose of all destroyed trees, brush, tree trunks, shrubs and other natural growth and all rubbish.
3. To provide topsoil, seed, fertilizer and mulch for primary drainage swales and ditches and seed fertilizer and mulch for terrace areas in order to provide permanent growth of grass prior to acceptance of the street(s) in a graveled state.
4. To provide a growth of grass and warranty for washouts or other destruction of the drainage plan structures.

K. INSPECTIONS The Subdivider hereby agrees:

1. To provide an inspector on-site for the purposes of inspecting the improvements to ensure compliance with the Standard Specifications Manual for the Village of Harrison.
2. To pay for all costs associated with the inspection of improvements within the subdivision development.

3. To provide written reports weekly of all activities occurring with regards to the improvements and to provide any other information that is reasonably requested by the Village.

L. PAYMENT IN LIEU OF PARKLAND The Subdivider hereby agrees:

1. To pay the Village a fee in lieu of parkland dedication in an amount equal to **\$19,152** prior to the Village signing the Final Plat. Fee in lieu of parkland is based on the following assumptions in the park impact fee and public needs assessment document: \$25,000 per acre of parkland, 6.65-acres of parkland per 1,000 residents, and 2.88 persons per household ($\$25,000 * 6.65 / 1,000 * 2.88 =$ per lot fee). There are 40-lots in Creekside Estates subdivision.

M. STREET LIGHTS The Subdivider hereby agrees:

1. To furnish, construct, install and provide street lights at the intersections of Woodland Road/Noe Road. Such streets lights are to be LED lights mounted on a black, smooth fiberglass pole approved by the Village. If conditions warrant, installation on an existing pole may be approved by the Village.

SECTION II – MISCELLANEOUS REQUIREMENTS

- A. Survey Monuments. The Subdivider hereby agrees to properly place and install all survey or other monuments required by statute and ordinance.
- B. Grade. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner, the final signed plan set showing the finished grade at each lot corner, proposed grade around the foundation, and benchmarks on all hydrant tag bolts.
- C. Plans. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner all plans and specifications identified in the Land Division Ordinance of the Village of Harrison.
- D. Compliance with Ordinances and Statutes. The Subdivider hereby agrees to comply with the requirements and provisions of all Village ordinances and state statutes.
- E. Record Drawings. The Subdivider agrees to provide the Village with grade sheets and record drawings of the sanitary sewer, water main, storm sewer improvements, and streets showing location of all the appurtenances and features of the systems as required by the standard specifications.
- F. Locations for Laterals or Other Improvements. If locates are necessary for any reason prior to final acceptance, the developer shall either provide adequate record drawings to the Village or the developer shall provide the field locates of utilities (such as laterals).

SECTION III – PUBLIC IMPROVEMENT GUARANTEE

- A. The Village will not approve a final plat until such improvement is guaranteed as listed in A(1).

1. The Subdivider shall provide an irrevocable letter of credit or cash escrow for an amount equal to the cost of furnishings, constructing, installing, staking, inspecting and testing the improvement as required by this contract. The amount shall include construction engineering costs and shall be subject to final approval by the Village. (Improvements are described in this contract in Section I hereof) The improvements shall be guaranteed prior to the Village approving the final plat.

That amount of the remaining improvements, **as provided by the developer's engineer** is
\$ _____

A detail of the estimated cost shall be attached as Exhibit "B".

- B. The Subdivider shall furnish, construct, install, stake, inspect and test the improvement. The improvement shall be dedicated to and accepted by the Village prior to the Village approving any release of a public improvement guarantee.
- C. The Subdivider hereby agrees to guarantee the improvements described in Section I hereof against defects due to faulty materials or workmanship which appear within a period of one year from the date of acceptance by the Village as herein provided and shall pay for any damages resulting therefrom to Village property.
- D. As improvements required by this Agreement are completed, approved and accepted by the Village, the Subdivider may request a reduction of the public improvement guarantee based upon a demonstration that there exists no necessity for a guarantee in the full amount as originally required. Reductions in the amount of the public improvement guarantee shall be solely within the discretion of the Village Board and shall be made only upon recommendation by the Road Superintendent and Village Engineer.

SECTION IV – BUILDING & ZONING PERMITS

- A. The Village will not allow building permits or zoning permits to be issued to any person in the said subdivision until all improvements required herein have been dedicated to and accepted by the Village. *Issuance of permits may commence upon the dedication and acceptance of the roadways in a graveled state.*
- B. Building permits and zoning permits may be issued by the Village upon all outstanding inspection and plan review fees or charges being paid and dedication acceptance and verification by the Village that the provisions of this Agreement have been complied with.
- C. The Village shall also require verification that all public improvements have been paid for in the form of Lien Waivers from all persons providing materials or performing work on the Public Improvements for which certification is sought, and upon recording of the final plat, provided that the Subdivider has filed a sufficient Financial Guarantee with the Village to cover the cost of remaining items. Should the Subdivider fail to complete any items pursuant to the terms of the contract by the date set forth herein, the Village shall have the right to complete the said improvement and the Village shall have unrestricted

access to the Subdivider's land for said purpose and assess any cost back to the benefitting properties.

- D. Further, in the event that during the construction of the improvements specified herein, it is determined by the Public Works Department, or Village's Engineer, that the Subdivider and/or its subcontractors installing said improvements have created a situation that is hazardous to the public and requires guarding improvement or repair, the Village may access the Subdivider's property for the purpose of making said repairs and any costs associated with the maintenance of roadways, filling of holes, removal of obstructions or other necessary work may be charged against the cash escrow or irrevocable letter of credit. The Public Works Department shall make an effort to notify the Subdivider of the situation. The Public Works Department and the Engineer in their judgment may determine the necessity of the repairs are urgent in nature and complete those repairs without notice to the Subdivider.

SECTION V – AMENDMENTS

The Village Board and Subdivider by mutual consent may amend this Agreement at any regularly scheduled meeting of the Village Board of the Village of Harrison. The Village Board shall not, however, consent to an amendment until after having first received a recommendation from the Public Works Director and/or the Village's Engineer.

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EXHIBIT A

Final Plat, Plans, and Drawings as approved by the Village.

Draft 5-9-19

EXHIBIT B

Engineer's Cost Estimate for Improvements.

Draft 5-9-19

EXHIBIT C

Financial Guarantee.

Draft 5-9-19

EXHIBIT D

Waiver of Special Assessment.

Draft 5-9-19

VILLAGE BOARD MEETING**From:**

Mark J. Mommaerts, AICP, Planner

VILLAGE OF HARRISON**Meeting Date:**

May 14, 2019

Title:

Final Plat – Creekside Estates

Issue:

Should the Village Board conditionally approve the Final Plat for Creekside Estates?

Background and Additional Information:

The Developer for Creekside Estates has submitted the final plat for the subdivision. It is a 40-lot subdivision located on the south side of Woodland Road along Kasten Road and east of S. Coop Road. The subdivision will have lot sizes between 13,000 and 34,000 square feet. A street connection to Woodland Road is proposed and well as future connections to the east and south. In the southwest corner a cul-de-sac from a future roadway off of Ryford Street is planned. Two cul-de-sacs are proposed due to the environmental conditions of existing wetlands and navigable streams. Several stormwater management ponds are proposed based on the topography of the site. Sewer and water must be extended from the Kambura Acres subdivision and Lift Station #6. Sewer and water is proposed to extend along future Ryford Street and connect to this subdivision at Noe Road.

Recommended Action:

The Plan Commission recommends approval of the Final Plat of Creekside Estates with the following conditions:

1. Outlot 1 to have a 30-foot Access & Storm Sewer Easement. (indicated on revised plans April 30, 2019)
2. Lot line between Lot 30/Outlot 2 to be moved west 15-feet to provide access to the stormwater pond on Outlot 2. (indicated on revised plans April 30, 2019)
3. Final Street & Utility Plans and Grading/Drainage Plans that meet all the comments from the Village and Village engineer shall be submitted, reviewed, and approved prior to the Village signing the final plat.
4. A temporary turnaround shall be constructed on the eastern stub of Delta Drive. A temporary easement on Lot 15 and Outlot 3 shall be recorded. The eastern stub of Edgewood Drive shall connect to Kasten Road. (indicated on revised plans April 30, 2019)
5. All streets to be concrete with 5-foot wide concrete sidewalks on both sides. Street construction to be in accordance with the Harrison Specifications Manual. The exception may be the cul-de-sac in the southwest corner, this street shall match that of the future street to the south.
6. High-back, integral concrete curb shall be utilized rather than the mountable curb.

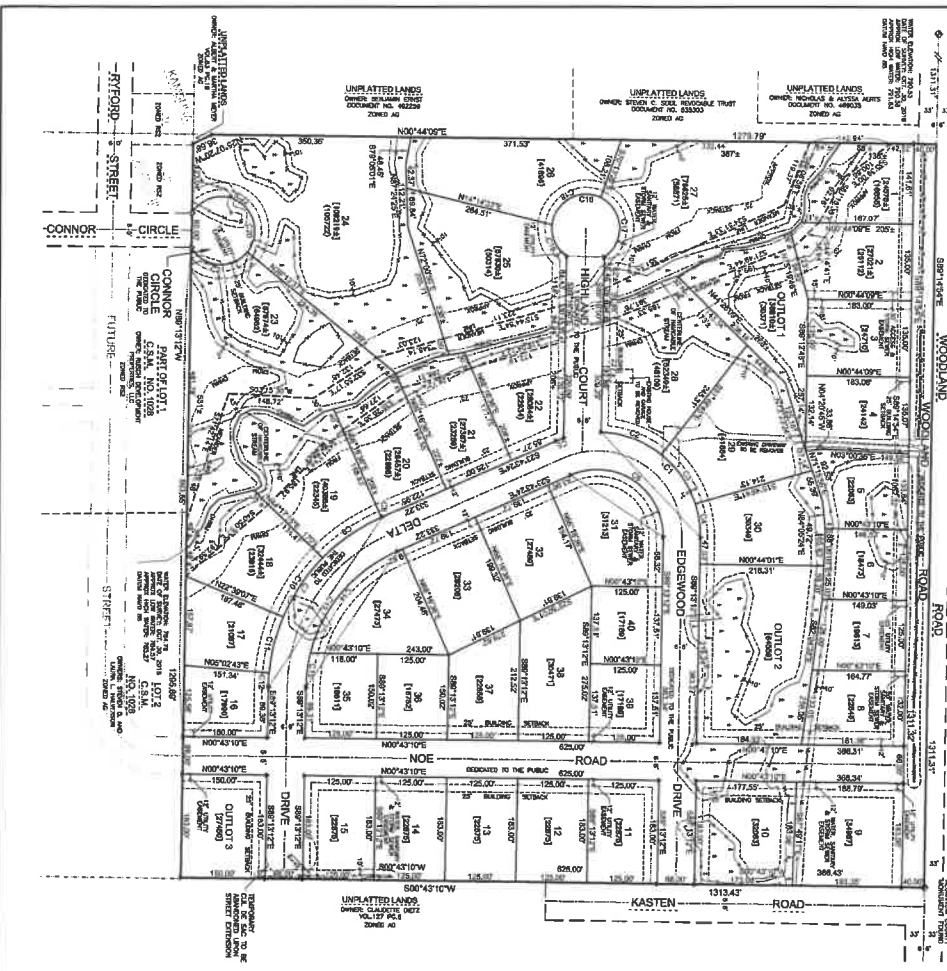
7. Final street plan set to include sidewalks and curb ramps. Location of curb ramps to be approved by the Village.
8. The Utility Easement shall name the Village of Harrison and Harrison Utilities as a grantee for water, sanitary, and storm sewer utility purposes. All water, sanitary, and storm sewer laterals are to be stubbed into all lots a minimum of 6-feet. (indicated on revised plans April 30, 2019)
9. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of Zach Street prior to issuance of building permits and zoning permits.
10. All lots shall have a storm sewer lateral provided for sump pump discharge. (indicated on revised plans April 30, 2019)
11. All drainageways, drainage easement, and associated infrastructure shall be installed, graded and seeded prior to issuance of building permits and zoning permits.
12. All utilities, including but not limited to, sanitary sewer, water, storm sewer, gas, electric, cable, phone, shall be installed prior to roadway acceptance.
13. The Village Board shall accept the roadway in a "graveled state" prior to issuance of building permits and zoning permits.
14. A street light shall be installed at the intersection of Noe Road and Woodland Road. Any proposed street lights shall be installed and upfront costs to be paid by the Developer. The Village will assume long-term maintenance.
15. An assessment waiver shall be signed and approved by the Village Board prior to the Village signing the final plat, if there will be any assessments by Village. A note, listing the improvements to be assessed, shall be added to the final plat indicating that the Village of Harrison will assess all lots equally.
16. All improvements, including but not limited to, curb & gutter, concrete paving, sidewalks, shall be installed prior the Village signing the final plat, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.
17. A floodplain study shall be completed to determine foundation elevations for lots along the stream.

Attachments:

- Location Map
- Preliminary Plat

CREEKSIDE ESTATES

PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4,
SECTION 15, TOWNSHIP 20 NORTH, RANGE 18 EAST,
VILLAGE OF MARFESSON, CALUMET COUNTY, WISCONSIN.



UNPLATTED LANDS
OWNER: STEVEN J. BROWN
DOCUMENT NO. 882238
DATE: 03/20/00

UNPLATTED LANDS
OWNER: STEVEN J. BROWN
DOCUMENT NO. 882238
DATE: 03/20/00

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DATE: 03/20/00

UNPLATTED LANDS
OWNER: STEVEN J. BROWN
DOCUMENT NO. 882238
DATE: 03/20/00

CREAKSIDE ESTATES

LOT	AREA (SQ. FT.)	AREA (AC.)
1	1,234.56	0.0282
2	1,234.56	0.0282
3	1,234.56	0.0282
4	1,234.56	0.0282
5	1,234.56	0.0282
6	1,234.56	0.0282
7	1,234.56	0.0282
8	1,234.56	0.0282
9	1,234.56	0.0282
10	1,234.56	0.0282
11	1,234.56	0.0282
12	1,234.56	0.0282
13	1,234.56	0.0282
14	1,234.56	0.0282
15	1,234.56	0.0282
16	1,234.56	0.0282
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18	1,234.56	0.0282
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31	1,234.56	0.0282
32	1,234.56	0.0282
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34	1,234.56	0.0282
35	1,234.56	0.0282
36	1,234.56	0.0282
37	1,234.56	0.0282
38	1,234.56	0.0282
39	1,234.56	0.0282
40	1,234.56	0.0282

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO THE CENTER OF THE CURVE UNLESS OTHERWISE NOTED.
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Marfesson & Eisele, Inc.

Professional Land Surveyors

1011 1st Street, Marfesson, WI 54855

Phone: 715-448-2000

Fax: 715-448-2001

www.marfesson.com

Wisconsin State Board of Surveyors

Professional Land Surveyors

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Phone: 715-448-2000

Fax: 715-448-2001

www.marfesson.com



CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

LOCATION MAP



FURNISH CONTACTS	CONTACT PERSON	PHONE
MUNICIPALITY	TON VAN ZEE LAND	920-450-8884
HARRISON UTILITIES	TRAVIS PERSH	920-499-1002
VILLAGE OF HARRISON	KEVIN TRAZZE	920-212-0106
OWNER		
ADJAC DEVELOPER & CONSTRUCTION, LLC		
ENGINEER / SURVEOR	DAVE SEBERT	920-731-0381
MARTENSON & EISELE	DAVE ZIMMERMAN	920-731-0381
UTILITIES		

INDEX OF SHEETS

DRAWING NO.	DESCRIPTION:
CT10	COVER SHEET
CT11	RESIDENTY/UTILITY LAYOUT PLAN (NORTH)
CT12	RESIDENTY/UTILITY LAYOUT PLAN (SOUTH)
CT21	DRAINAGE PLAN (NORTH)
CT22	DRAINAGE PLAN (SOUTH)
CT31	HOE ROAD PLAN & PROFILE
CT32	HOE ROAD PLAN & PROFILE
CT33	EXDENOOD DRIVE PLAN & PROFILE
CT34	EXDENOOD DRIVE PLAN & PROFILE
CT35	HIGHLAND COURT PLAN & PROFILE (BY OTHERS)
CT36	HIGHLAND COURT PLAN & PROFILE
CT37	WOODLAND ROAD PLAN & PROFILE
CT38	WOODLAND ROAD PLAN & PROFILE
CT41	NORTH CLAYVERT CROSSING
CT42	WEST CLAYVERT CROSSING
CT43	NORTH CLAYVERT CROSSING PLAN & PROFILE
CT44	WEST CLAYVERT CROSSING PLAN & PROFILE
CT45	NORTHWEST POND
CT46	SOUTH POND
CT47	MADUNA ACRES POND MODIFICATIONS
CT48	EROSION CONTROL PLAN (NORTH)
CT49	EROSION CONTROL PLAN (SOUTH)
CT50	EROSION CONTROL DETAILS
CT51	EROSION CONTROL DETAILS
CT52	STANDARD DETAILS
CT53	STANDARD DETAILS

REVISION TRACKERS

NO.	DATE	DESCRIPTION
1	03-13-2019	CLAYVERT FOUNDATION NOTES
2	04-09-2019	FINAL PLAN SUBMITTAL
3	04-11-2019	REVIEW COMMENTS
4	04-30-2019	FINAL PLAN REVIEW

CONSTRUCTION DOCUMENT REVISION TRACKER

NO.	DATE	DESCRIPTION

RECORD DRAWING REVISION TRACKER

NO.	DATE	DESCRIPTION



CALL 811 or
 Toll Free 1-800-242-8511
 (262)432-7910
 Emergency Only (977) 500-9392
 FAX 1-800-338-3860
 FAX (414) 238-0947
 Hearing Impaired TDD 1-800-542-2289

MS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

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 info@martenson-eisele.com
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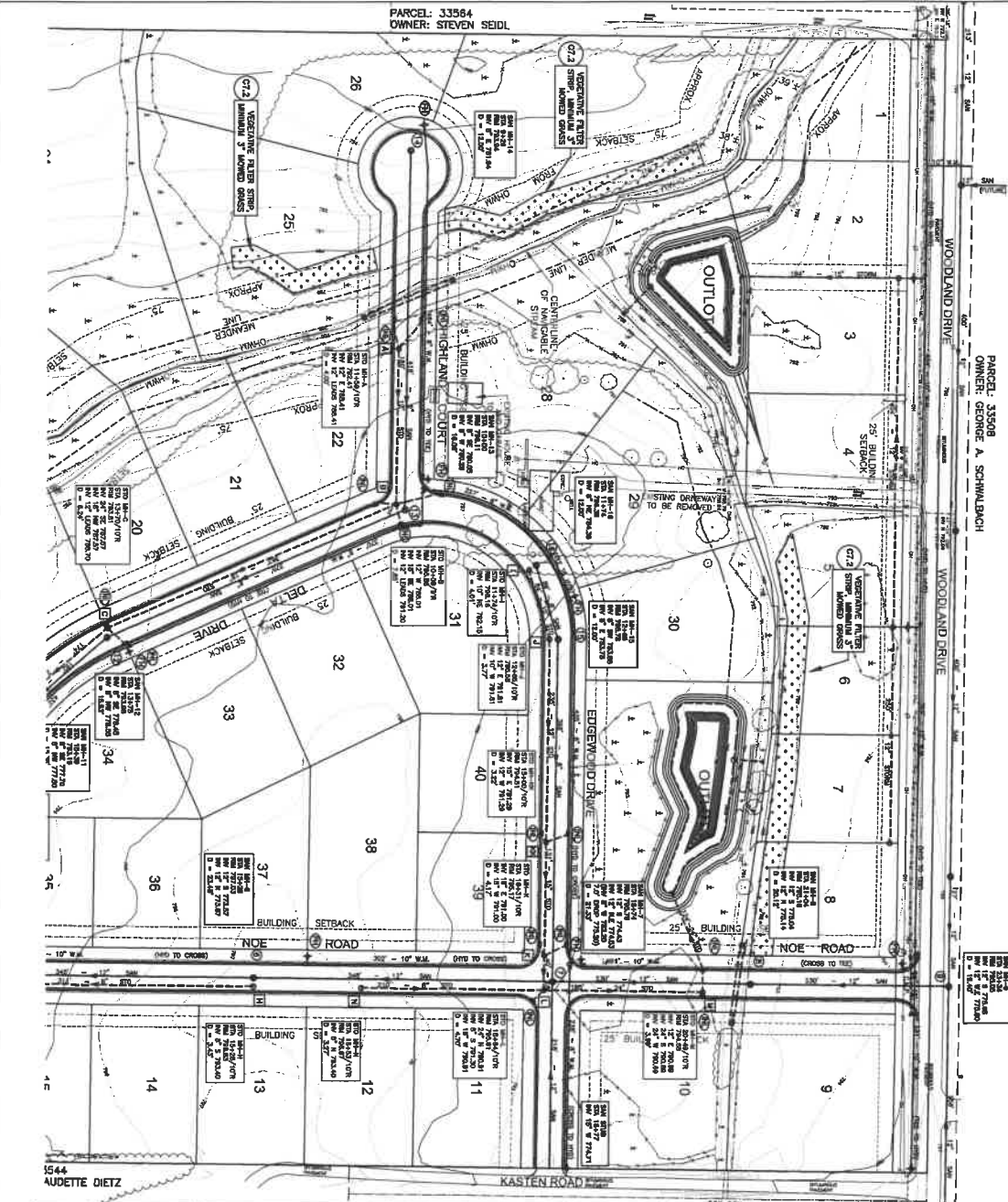
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CRC		ALM		MSS			
**% REFER TO COVER SHEET FOR REVISION DESCRIPTIONS **							
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	03-13-2019						
2	04-09-2019						
3	04-11-2019						
4	04-30-2019						

COVER SHEET
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

SCALE: DATE: 04-26-2019
 BARS SCALE: 1/8" = 1'-0"
 CONSULTANT FILE: 1-0897-0206A.dwg

DATE: 04-26-2019
 TIME: 10:00 AM
 DRAWN BY: CRC
 CHECKED BY: ALM
 APPROVED BY: MSS
 FIELDWORK BY: MSS

CREEKSIDE ESTATES: FEASIBILITY/UTILITY LAYOUT PLAN (NORTH)



PARCEL: 33508
OWNER: GEORGE A. SCHWABACH

PARCEL: 33584
OWNER: STEVEN SEIDL



TO OBTAIN LOCATION OF
PARTICULAR UTILITY STRUCTURE
OR STRUCTURE IN RECORD
CALL 811 OR
TOL FREE 1-800-467-8011
Emergency Only (24/7) 509-4482
Fax (414) 253-2950
Headquarters: 1031-400-542-2288
ADDRESS: 1877 McWay Road
Menasha, WI 54952

NO.	DESCRIPTION	DATE	BY	REVISION
1	ISSUE FOR PERMITS	05-13-2019	ME	1
2	FOR PERMITS	05-13-2019	ME	2
3	FOR PERMITS	05-13-2019	ME	3
4	FOR PERMITS	05-13-2019	ME	4

UTILITY PLAN NOTES

- THE UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE UTILITIES SHOWN ON THIS PLAN ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE LOCATION OR DEPTH OF THE UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SYMBOL	DESCRIPTION
○	STORM MANHOLE
○	STORM RILET
○	SAWDRY MANHOLE
○	HYDRANT
○	WATER VALVE
○	UTILITY LATERAL

SYMBOL	DESCRIPTION
○	STORM MANHOLE
○	STORM RILET
○	SAWDRY MANHOLE
○	HYDRANT
○	WATER VALVE
○	UTILITY LATERAL

SYMBOL	DESCRIPTION
○	STORM MANHOLE
○	STORM RILET
○	SAWDRY MANHOLE
○	HYDRANT
○	WATER VALVE
○	UTILITY LATERAL

UTILITY LAYOUT PLAN (NORTH)
CREEKSIDE ESTATES
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

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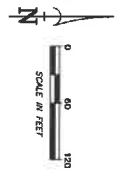
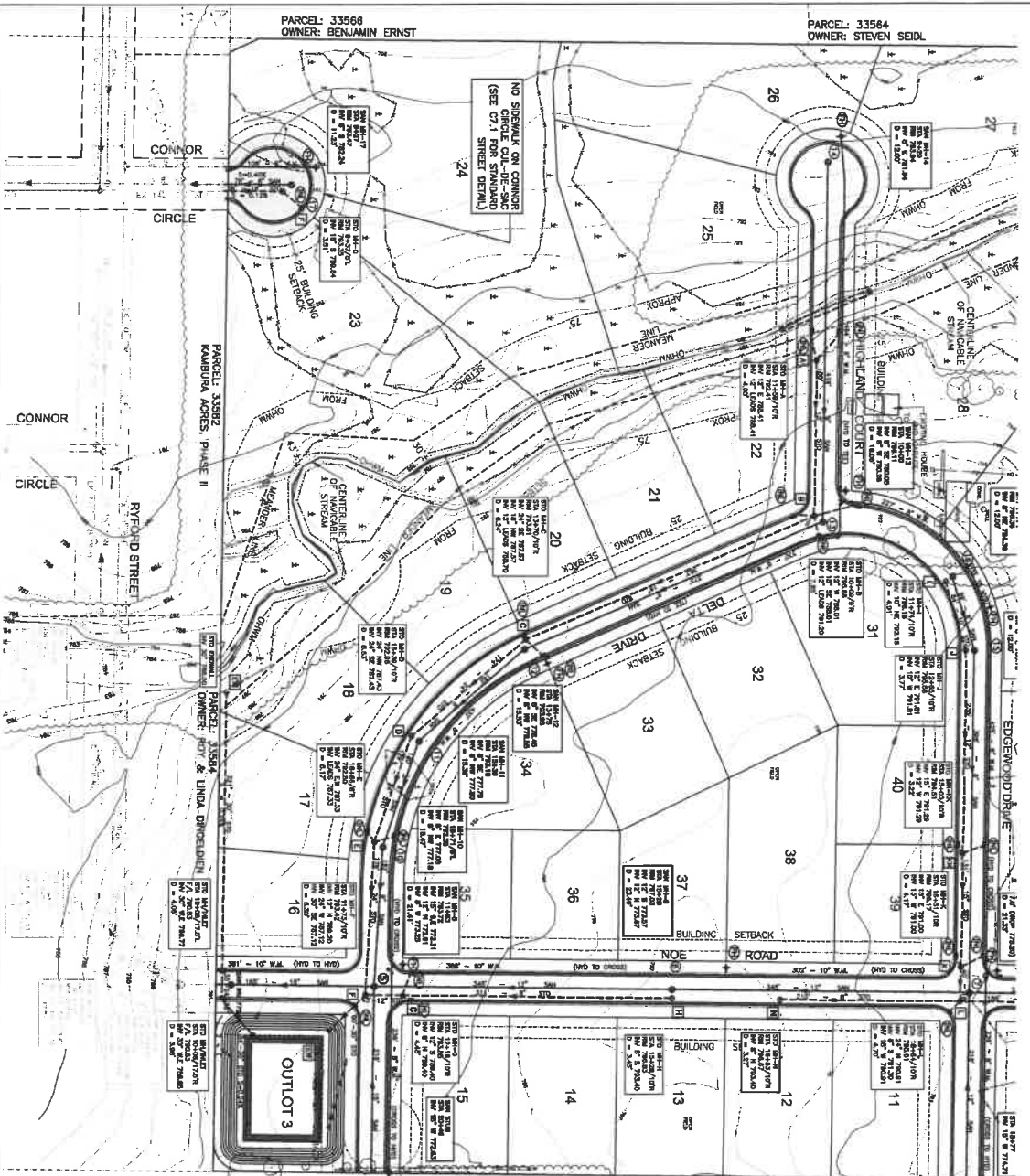
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SCALE: AS SHOWN
DATE: 05-13-2019
DRAWN BY: ME
CHECKED BY: ME
APPROVED BY: ME
FIELDWORK BY: ME

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DRAWING NO. C1.1

CREEKSIDE ESTATES: FEASIBILITY/UTILITY LAYOUT PLAN (SOUTH)



TO OBTAIN LOCATION OF
PLANNING, ARCHITECTURE &
ENGINEERING OFFICE
IN MENASHA, WI

CALL 920-641-4311
FAX 920-641-4311
EMERGENCY CALL (24/7) 920-9932
FAX (414) 229-0947
HEARING IMPAIRED: 1-800-542-2288

WE SUSTAIN INTEGRITY AND
RESPECT ALL RIGHTS AND PRIVACY

BENCHMARK DATA

ID	DESCRIPTION	ELEVATION
1	SPRINK IN POWER POLE #44-21 (NE. WOODLAND DR. & SOUTH COOP ROAD)	602.88
2	PER MAN IN POWER POLE #01-04 (SOUTH WEST OF LOT 1) (PREFERRED ELEVATION)	797.81

UTILITY PLAN NOTES

1. THE LOCATION OF EXISTING UTILITY LINES AS SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS, FIELD SURVEY, AND OTHER AVAILABLE DATA. THE USER SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION.

UTILITY LAYOUT PLAN LEGEND

	EXISTING CONDUIT		STONE MANHOLE
	PROPOSED CONDUIT		STONE INLET
	WATER MAIN		SWALLOW MANHOLE
	SANITARY MANHOLE		INFLOW
	UTILITY LATERAL		WATER VALVE

NOT FOR CONSTRUCTION

TOPOGRAPHIC LEGEND

	1' CONTOUR		SPOT ELEVATION
	2' CONTOUR		ELEVATION
	3' CONTOUR		ELEVATION
	4' CONTOUR		ELEVATION
	5' CONTOUR		ELEVATION
	6' CONTOUR		ELEVATION
	7' CONTOUR		ELEVATION
	8' CONTOUR		ELEVATION
	9' CONTOUR		ELEVATION
	10' CONTOUR		ELEVATION

UTILITY LAYOUT PLAN (SOUTH)
CREEKSIDE ESTATES
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

SCALE: DATE: 1:800 02/28/2019
COMPUTER FILE: 1-800-228-6868.dwg

DRAWING NO. C12

NO.	DATE	NO.	DATE	NO.	DATE
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2	05-10-2019	3	04-11-2019		
3	04-11-2019	4	04-30-2019		

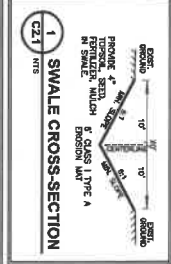
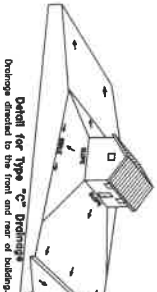
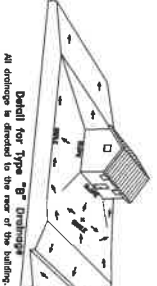
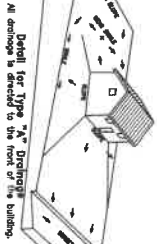
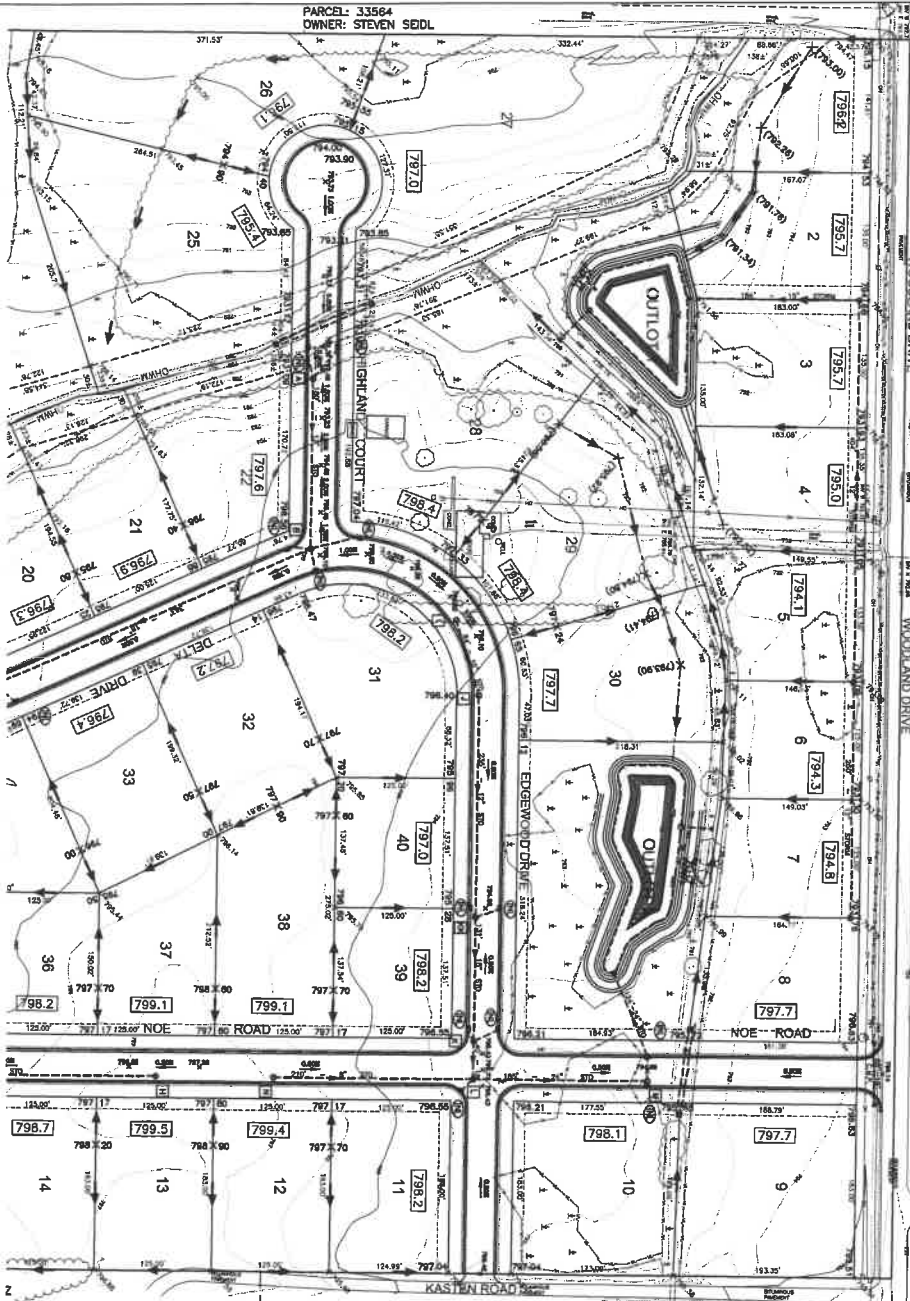
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CREEKSIDE ESTATES: DRAINAGE PLAN (NORTH)

PARCEL: 33564
OWNER: STEVEN SEIDL



DRAINAGE PLAN NOTES

- THE LOCATION OF EXISTING UTILITY LINES IS SHOWN ON THE PLANS. APPROVED BY THE CITY OF MADISON, WISCONSIN, WITH THE PROJECT ENGINEER'S SIGNATURE AND SEAL, THE CONTRACTOR SHALL VERIFY THE LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON, WISCONSIN, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON, WISCONSIN, PRIOR TO CONSTRUCTION.
- ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE HARRISON UTILITY LINES STANDARD SPECIFICATIONS, LATEST EDITION, AND THE HARRISON UTILITY LINES STANDARD SPECIFICATIONS, LATEST EDITION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON, WISCONSIN, PRIOR TO CONSTRUCTION.
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DRAINAGE PLAN LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- STORM SEWER MAIN
- STORM MANHOLE
- PREDICT STORM
- PROPOSED ELEVATION
- PERMITTED DITCH OR SMALL ELEVATION
- EXISTING ELEVATION
- PROPOSED DRAINAGE AT FOUNDATION
- DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND

1" x 1" SPACING	1" x 1" SPACING
2" x 2" SPACING	2" x 2" SPACING
4" x 4" SPACING	4" x 4" SPACING
8" x 8" SPACING	8" x 8" SPACING
16" x 16" SPACING	16" x 16" SPACING
32" x 32" SPACING	32" x 32" SPACING
64" x 64" SPACING	64" x 64" SPACING
128" x 128" SPACING	128" x 128" SPACING
256" x 256" SPACING	256" x 256" SPACING
512" x 512" SPACING	512" x 512" SPACING
1024" x 1024" SPACING	1024" x 1024" SPACING

NOT FOR CONSTRUCTION

DRAWING NO. C21

DRAINAGE PLAN (NORTH) CREEKSIDE ESTATES

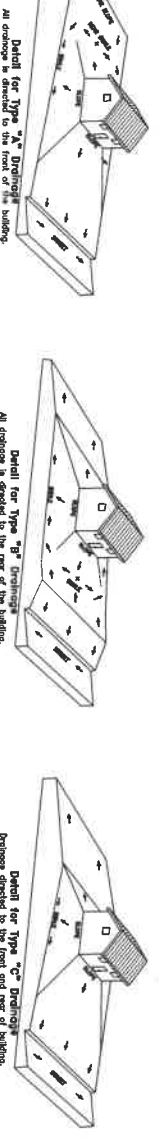
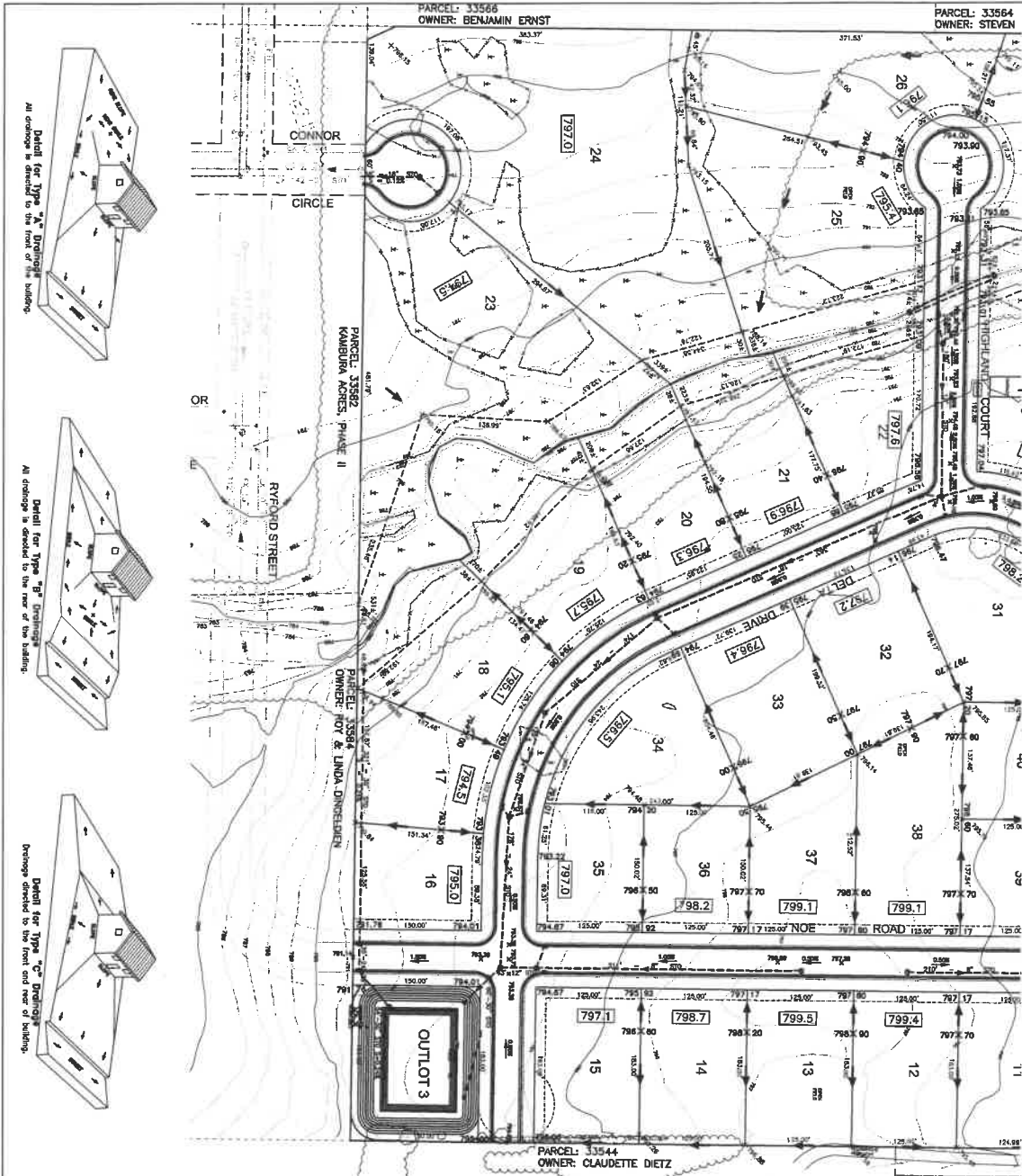
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

NO.	DATE	NO.	DATE
1	05-15-2018	1	05-15-2018
2	06-05-2018	2	06-05-2018
3	06-11-2018	3	06-11-2018
4	06-30-2018	4	06-30-2018

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CREEKSIDE ESTATES: DRAINAGE PLAN (SOUTH)



ID.	DESCRIPTION	ELEVATION
1	BENCHMARK DATA	
2	SCOUR MARKER	797.81

DRAINAGE PLAN NOTES

1. THE DRAINAGE PLAN IS BASED ON THE ASSUMPTION THAT ALL DRAINAGE WILL BE COLLECTED AND CONVEYED TO THE OUTLET BY GRAVITY. THE CONTRACTOR SHALL VERIFY THE PROPOSED DRAINAGE SYSTEM WITHIN THE SITE BOUNDARIES AND SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

DRAINAGE PLAN LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	STORM SEWER MAIN
	STORM MANHOLE
	24" PRECAST STORM
	18" PRECAST STORM
	12" PRECAST STORM
	PROPOSED ELEVATION
	RETAINING DITCH ON SMALL ELEVATION
	EXISTING ELEVATION
	PROPOSED GROUND AT FOUNDATION
	DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND

	1" OF SLOPE PER FT.
	2" OF SLOPE PER FT.
	3" OF SLOPE PER FT.
	4" OF SLOPE PER FT.
	5" OF SLOPE PER FT.
	6" OF SLOPE PER FT.
	7" OF SLOPE PER FT.
	8" OF SLOPE PER FT.
	9" OF SLOPE PER FT.
	10" OF SLOPE PER FT.
	11" OF SLOPE PER FT.
	12" OF SLOPE PER FT.
	13" OF SLOPE PER FT.
	14" OF SLOPE PER FT.
	15" OF SLOPE PER FT.
	16" OF SLOPE PER FT.
	17" OF SLOPE PER FT.
	18" OF SLOPE PER FT.
	19" OF SLOPE PER FT.
	20" OF SLOPE PER FT.
	21" OF SLOPE PER FT.
	22" OF SLOPE PER FT.
	23" OF SLOPE PER FT.
	24" OF SLOPE PER FT.
	25" OF SLOPE PER FT.
	26" OF SLOPE PER FT.
	27" OF SLOPE PER FT.
	28" OF SLOPE PER FT.
	29" OF SLOPE PER FT.
	30" OF SLOPE PER FT.
	31" OF SLOPE PER FT.
	32" OF SLOPE PER FT.
	33" OF SLOPE PER FT.
	34" OF SLOPE PER FT.
	35" OF SLOPE PER FT.
	36" OF SLOPE PER FT.
	37" OF SLOPE PER FT.
	38" OF SLOPE PER FT.
	39" OF SLOPE PER FT.
	40" OF SLOPE PER FT.
	41" OF SLOPE PER FT.
	42" OF SLOPE PER FT.
	43" OF SLOPE PER FT.
	44" OF SLOPE PER FT.
	45" OF SLOPE PER FT.
	46" OF SLOPE PER FT.
	47" OF SLOPE PER FT.
	48" OF SLOPE PER FT.
	49" OF SLOPE PER FT.
	50" OF SLOPE PER FT.

NOT FOR CONSTRUCTION

DRAINAGE PLAN (SOUTH)

CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

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SCALE	DATE
GRAPHIC SCALE	02-26-2019
CONVENTIONAL SCALE	1:800 (200' = 1")
DRAWN BY	DATE
CRC	
CHECKED	APPROVED
ALM	MSS
FIELDFORK	DATE
NO.	DATE
1	06-13-2019
2	07-09-2019
3	04-11-2019
4	04-30-2019

DRAWING NO. C2.2



PLAN & PROFILE
NOE ROAD
CREEKSIDE ESTATES

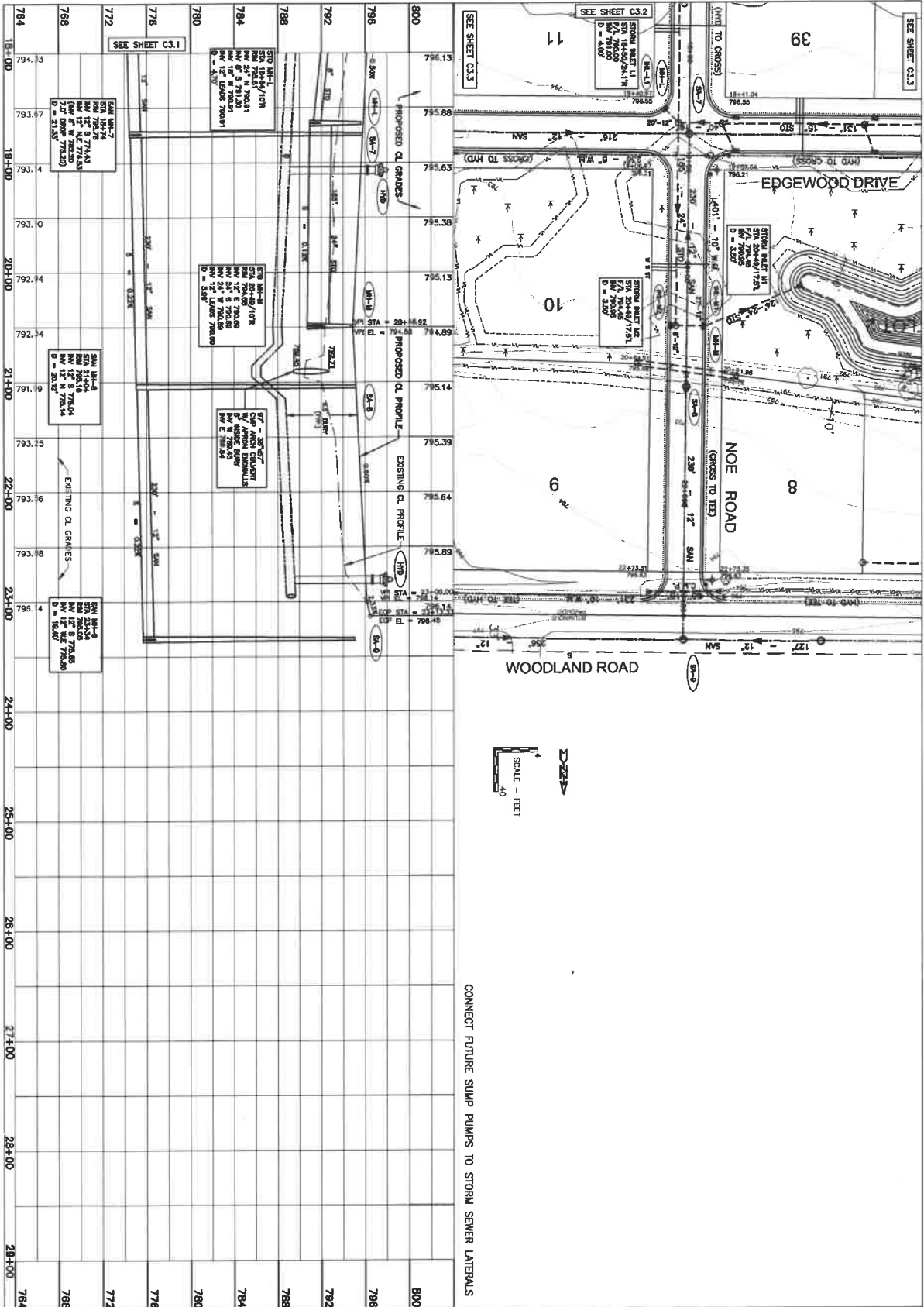
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

NO.	DATE	NO.	DATE	NO.	DATE
1	02-15-2019				
2	04-05-2019				
3	04-11-2019				
4	04-30-2019				

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DATE: 02-28-2019
 DRAWN BY: CA.1
 CHECKED BY: [Blank]
 APPROVED BY: [Blank]
 FIELDWORK BY: [Blank]



PLAN & PROFILE
NOE ROAD
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

CONNECT FUTURE SUMP PUMPS TO STORM SEWER LATERALS

NO.	DATE	NO.	DATE	NO.	DATE
1	02-15-2019				
2	04-08-2019				
3	04-11-2019				
4	04-30-2019				

NO.	DATE	NO.	DATE
1	02-15-2019		
2	04-08-2019		
3	04-11-2019		
4	04-30-2019		

DRAWN BY: CRC
 CHECKED: ALM
 APPROVED: MMS
 FIELDWORK:

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SCALE: DATE: 7/7B
 BAR SCALE: 02-28-2018
 COUNTY/STATE FILE: 1-00577-0000-000-000

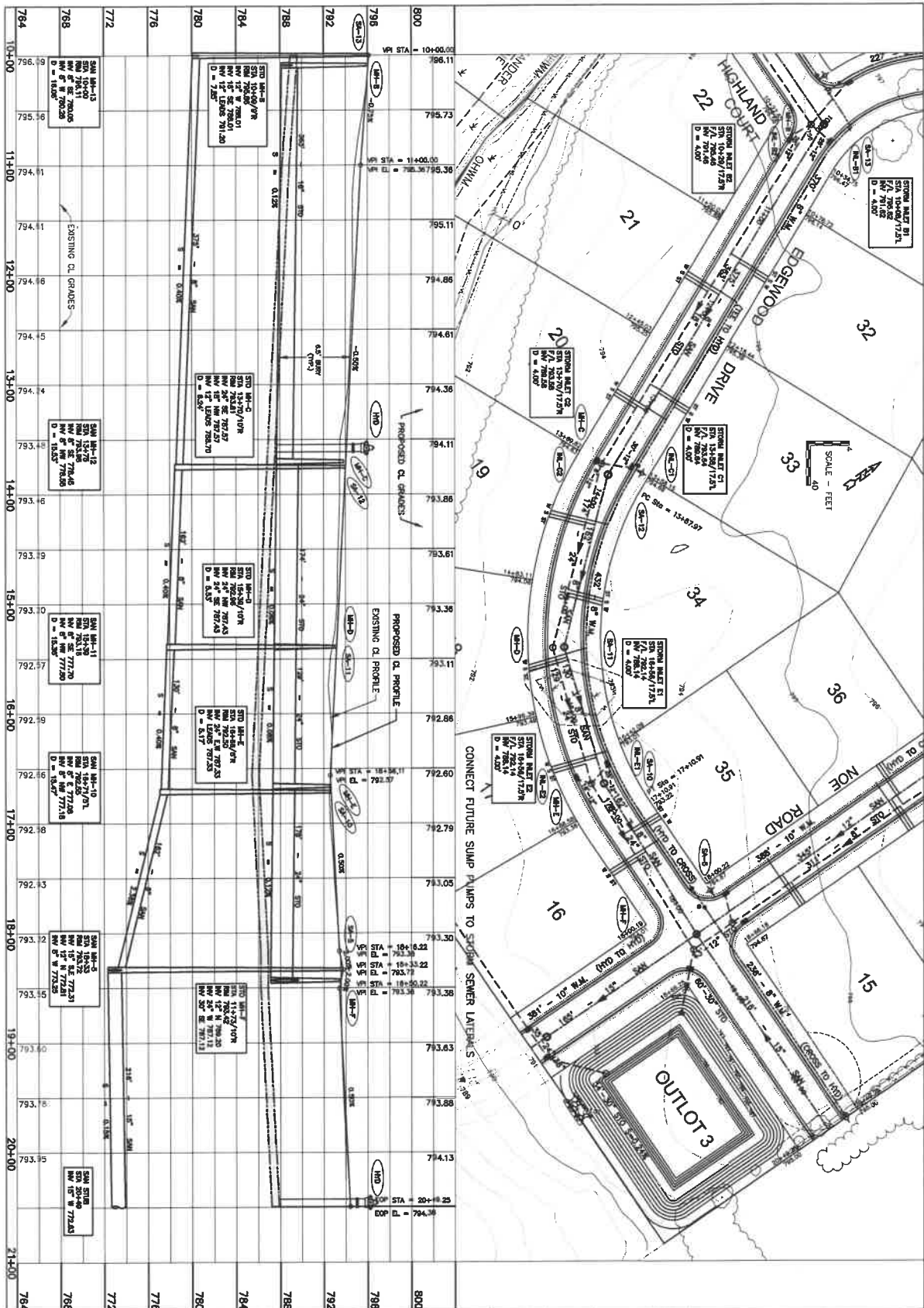


PLAN & PROFILE
EDGEWOOD DRIVE
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

NO.	DATE	NO.	DATE	NO.	DATE	DRAWN BY		CHECKED		APPROVED		FIELDWORK	
						NAME	NAME	NAME	NAME	NAME	NAME	NAME	NAME
1	05-13-2019												
2	04-09-2019												
3	04-11-2019												
4	04-30-2019												

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784	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
784	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
786	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
788	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
790	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
792	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
794	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
796	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
798	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34
800	10+00	756.19	11+00	794.11	12+00	794.16	13+00	794.4	14+00	793.16	15+00	793.0	16+00	792.16	17+00	792.13	18+00	793.12	19+00	793.15	20+00	794.13	21+00	794.34

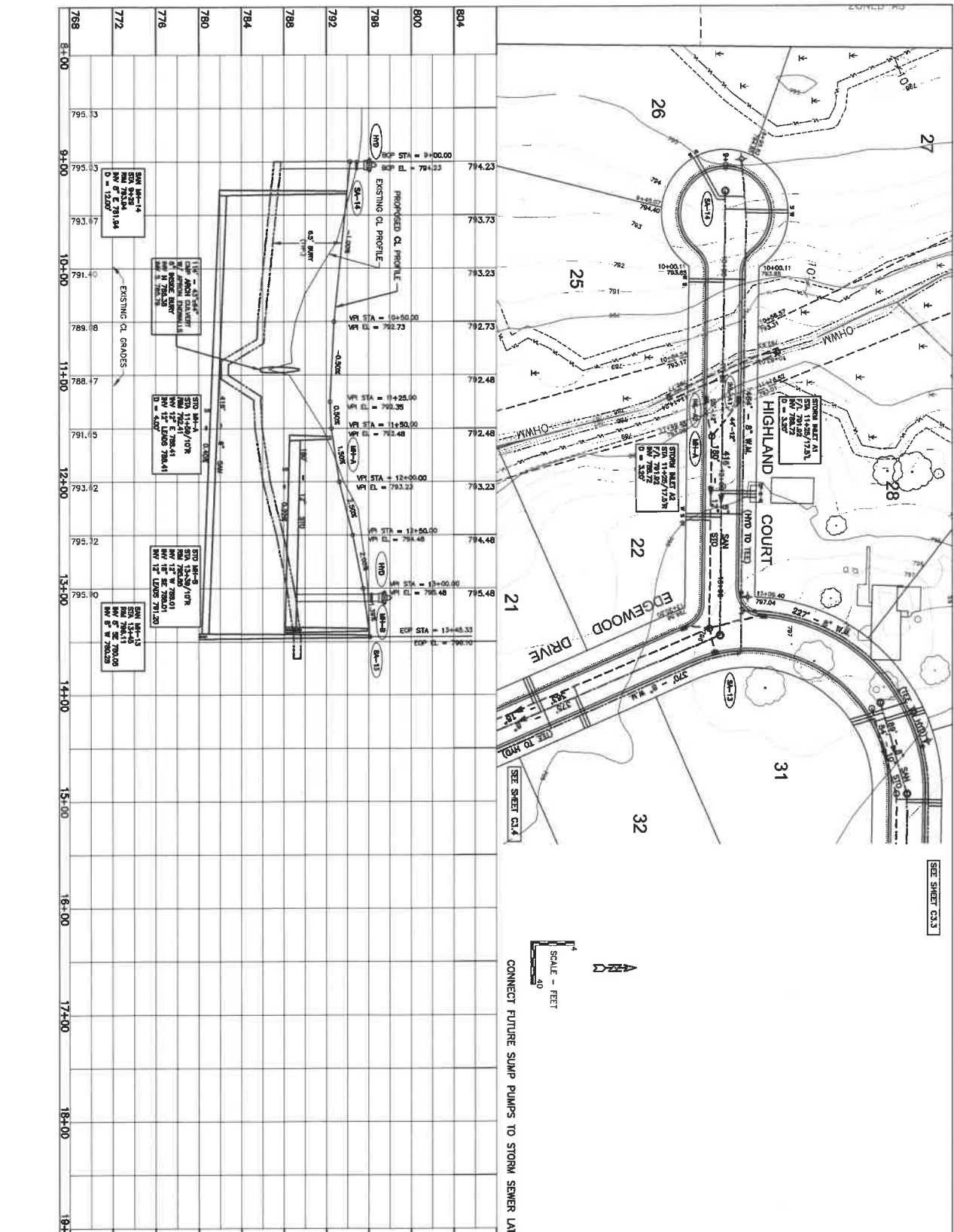
PLAN & PROFILE
EDGEWOOD DRIVE
CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

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REFER TO COVER SHEET FOR REVISION DESCRIPTIONS							
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	05-15-2018						
2	04-30-2018						
3	04-11-2018						
4	04-30-2018						

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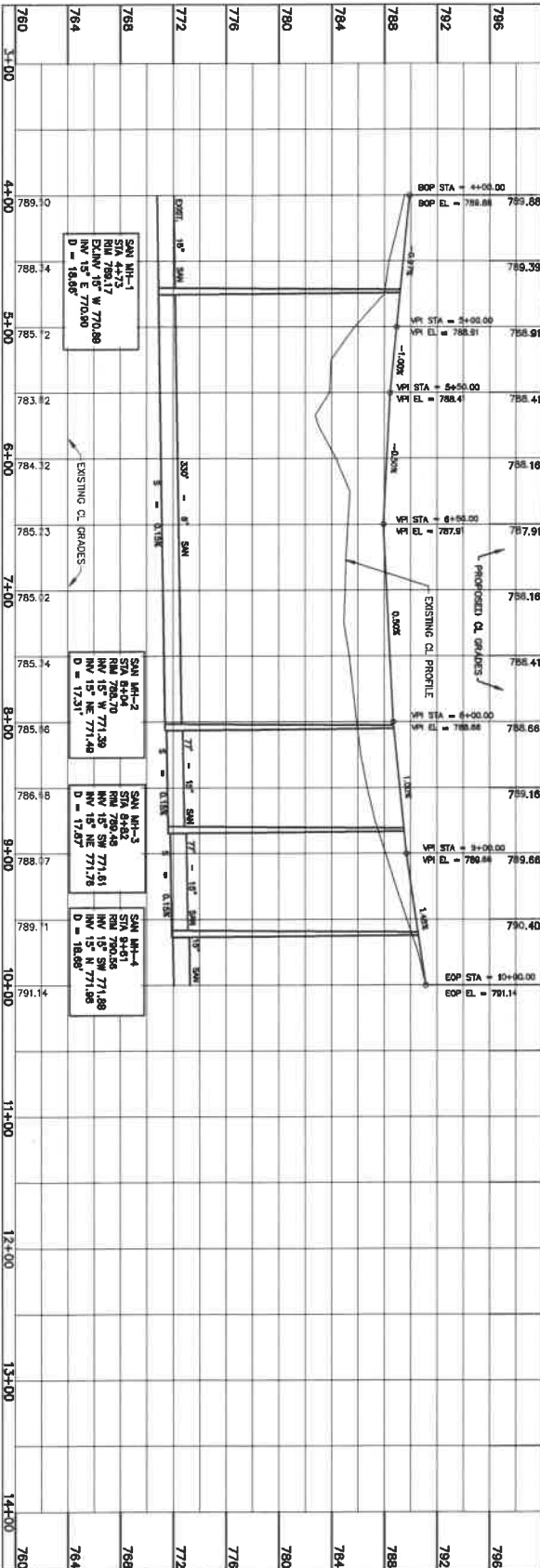
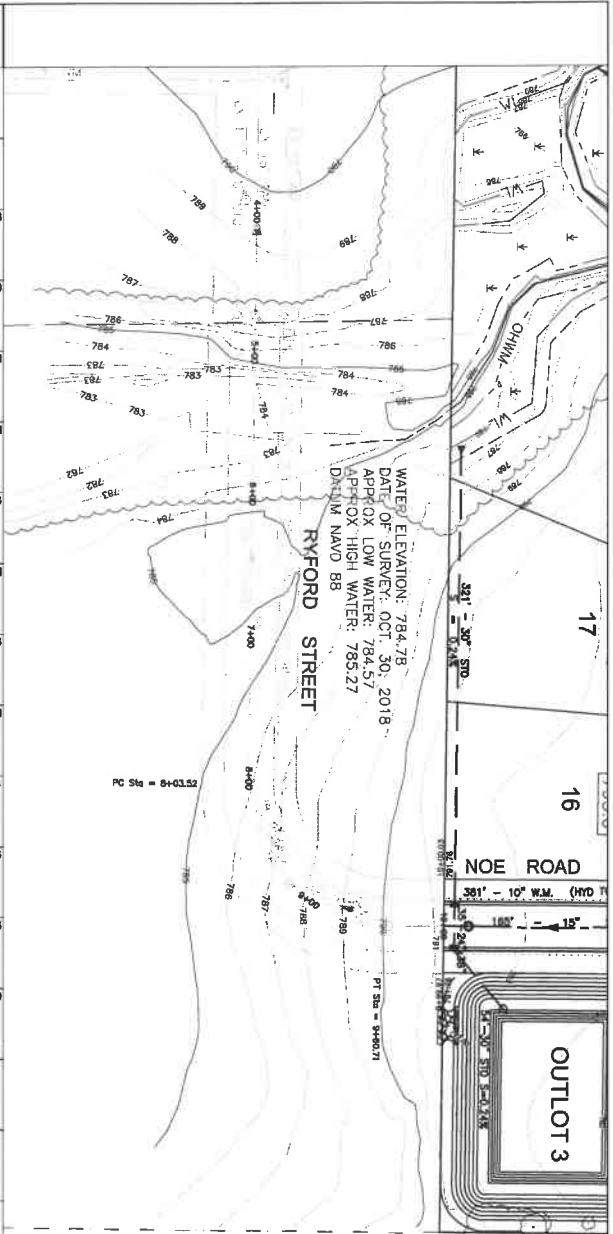
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795.3	793.3	791.3	789.3	787.3	785.3	783.3	781.3

PLAN & PROFILE
HIGHLAND COURT
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

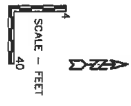
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1	03-13-2019				
2	04-08-2019				
3	04-11-2019				
4	04-30-2019				

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CS3	ALW	MS			
REFER TO COVER SHEET FOR REVISION DESCRIPTIONS					



CONNECT FUTURE SUMP PUMPS TO STORM SEWER LATERALS



PLAN & PROFILE
RYFORD STREET (BY OTHERS)
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

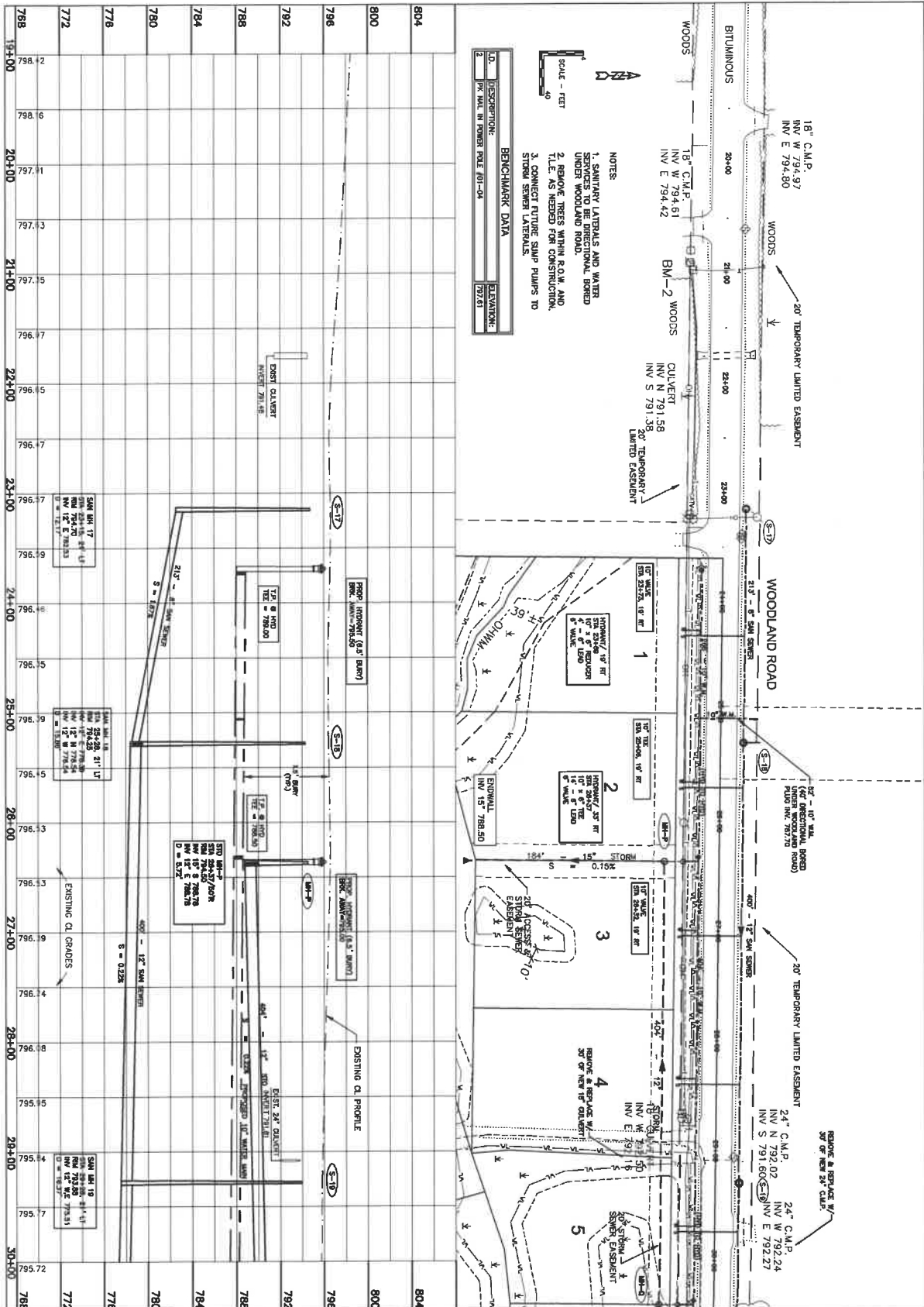
NO.	DATE	NO.	DATE	NO.	DATE
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2	01-09-2019				
3	04-11-2019				
4	04-30-2019				

DRAWN BY: CRC
 CHECKED: ALM
 APPROVED: MISS
 FIELDWORK: MISS

PLAN & PROFILE
RYFORD STREET (BY OTHERS)
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

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NOTES:

1. SANITARY LATERALS AND WATER SERVICES TO BE DIRECTIONAL BORED UNDER WOODLAND ROAD.
2. REMOVE TREES WITHIN R.O.W. AND TILE, AS NEEDED FOR CONSTRUCTION.
3. CONNECT FUTURE SLUMP PUMPS TO STORM SEWER LATERALS.

SCALE - FEET

1" = 40'

BENCHMARK DATA

NO.	DESCRIPTION	ELEVATION
1	BM - 1	797.61
2	BM - 2	797.61

**WOODLAND ROAD
LIFT STATION 6 SERVICE AREA
HARRISON UTILITIES**

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

NO.	DATE	REVISION
1	8/18/2017	REVISIONS TO WATER MAIN & SANITARY
2	8/22/2017	REVISIONS TO EROSION CONTROL PLANS
3	8/28/2017	ADD MAINS TO PLAN
4	10/18/2017	REVISED R.O.W. FOR KASTEN ROAD TO BE
5	10/26/2017	REVISED EROSION CONTROL PLANS PER DMR COMMENT
6	11/08/2017	WATER MAIN, SANITARY SEWER & LATERALS
7	12/14/2017	TEMP. EASEMENTS, SANITARY CONNECTION TO RM12
8	2/8/2018	WATER MAIN, SANITARY SEWER & LATERALS

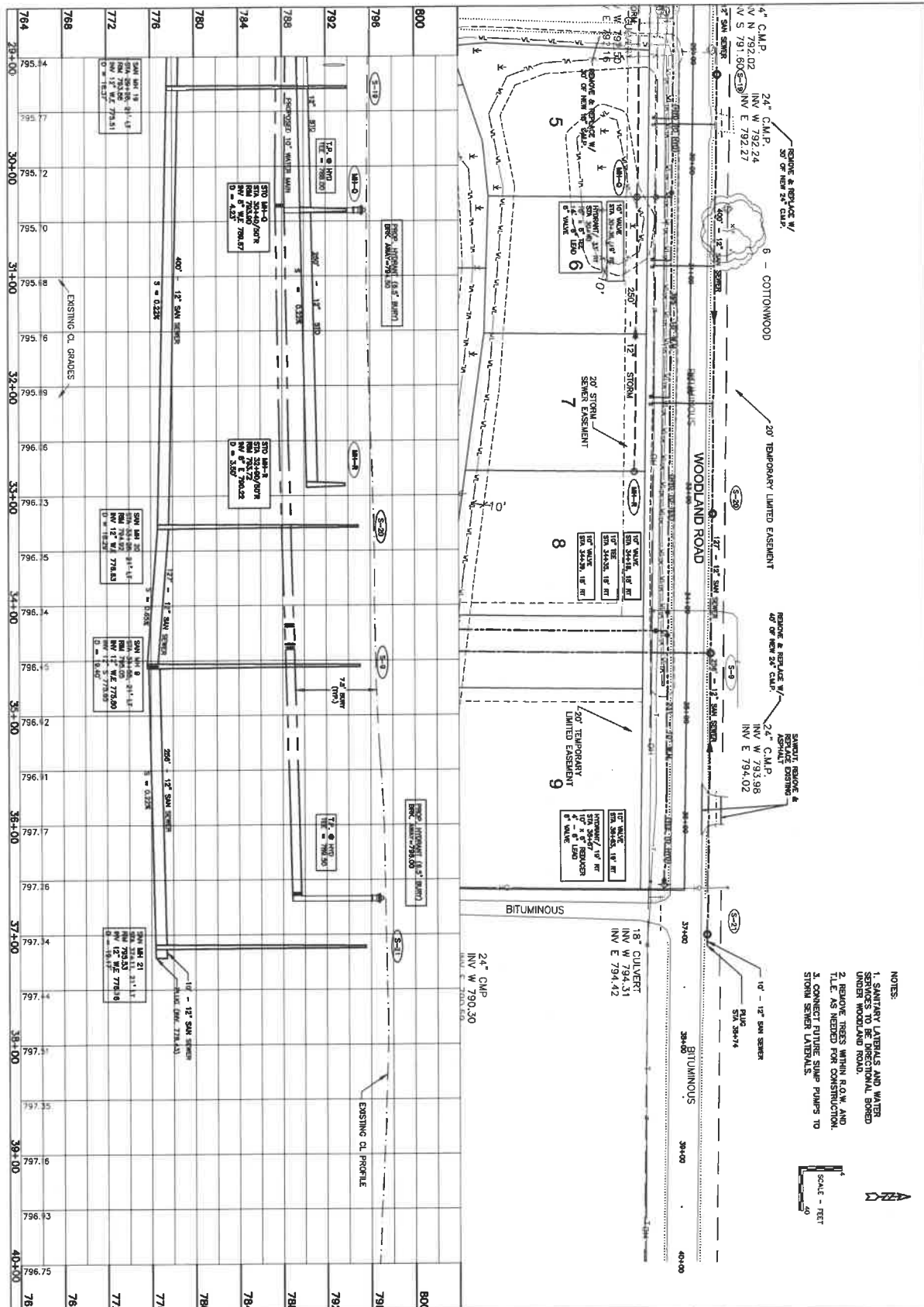
Martenson & Eisele, Inc.
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DRAWN BY: CSJ
 CHECKED: []
 APPROVED: []

DATE: 07-17-2017

SCALE: HORIZ. SCALE: VERT. SCALE: COMPUTER FILE: MCR0008



- NOTES:
1. SANITARY LATERALS AND WATER SERVICES TO BE DIRECTIONAL BORING UNDER WOODLAND ROAD.
 2. REMOVE TREES WITHIN R.O.W. AND T.I.E. AS NEEDED FOR CONSTRUCTION.
 3. CONNECT FUTURE SLUMP PUMPS TO STORM SEWER LATERALS.



DRAWN BY	CHECKED	APPROVED
NO. 1	DATE	REVISION
1	01/15/07	REVISIONS TO WATER MAIN & SANITARY
2	02/22/07	REVISIONS TO EROSION CONTROL PLANS
3	05/02/07	ADD MAINLINE S-2
4	10/18/07	REVISED R.O.W. FOR KASTEN ROAD TO 68'
5	10/29/07	REVISED EROSION CONTROL PLAN PER DMH COMMENTS
6	11/02/07	WATER MAIN, SANITARY SEWER & LATERALS
7	12/14/07	FINAL AGREEMENTS, SANITARY CONNECTION TO MH 22
8	2/8/09	WATER MAIN, SANITARY SEWER & LATERALS

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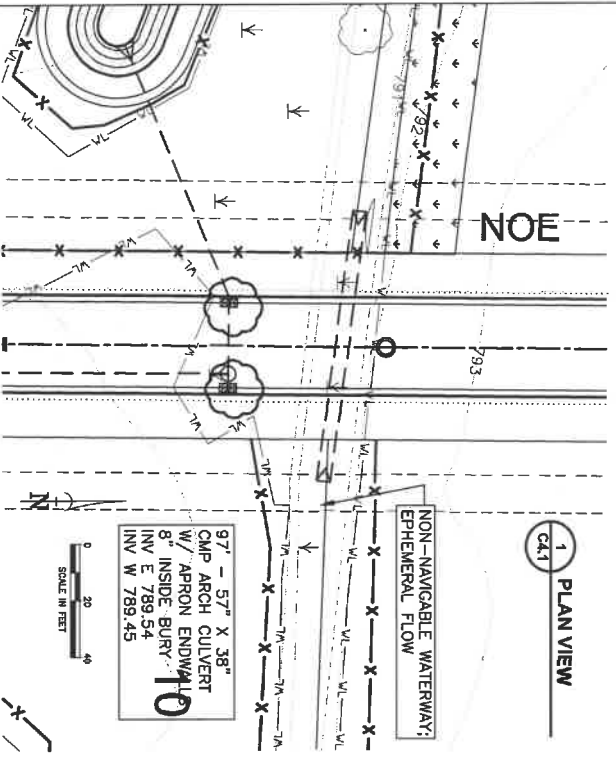
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**WOODLAND ROAD
 LIFT STATION 6 SERVICE AREA
 HARRISON UTILITIES**
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

NO.	DATE	REVISION
1	07-17-2009	CONTRACT FILE
2		REWORK

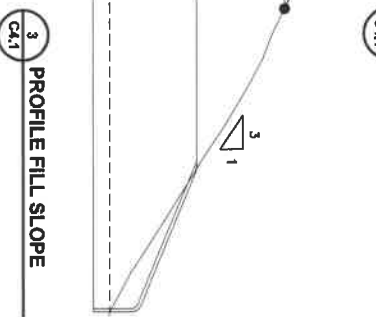
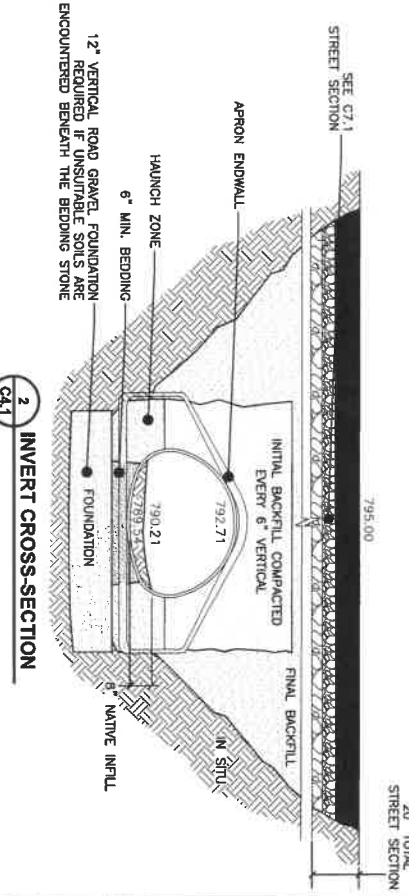
BAR SCALE: 1" = 40'
 BAR SCALE: 1" = 40'
 DATE: 07-17-2009
 CONTRACT FILE: [blank]
 REWORK: [blank]

CREEKSIDE ESTATES: NORTH CULVERT CROSSING DETAILS



- ### EROSION CONTROL NOTES
1. THE CONTRACTOR SHALL INSTALL EROSION CONTROL PRACTICES AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO ANY CONSTRUCTION.
 2. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
 3. THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
 4. THE CONTRACTOR SHALL UTILIZE PRACTICES USED TO REDUCE OR PREVENT EROSION AND SOIL LOSS THROUGHOUT THE CONSTRUCTION. METHODS OF DUST CONTROL SHALL BE PER WDNR STANDARD 1089.
 5. INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
 6. SILT FENCES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.
 7. ALL AREAS TO BE SEEDD AND MULCHED SHALL HAVE MULCH CRIMPED INTO PLACE.
 8. VEGETATION, SOIL STORAGE, OR EQUIPMENT CANNOT BE STORED IN WETLANDS OR SENSITIVE WETLANDS (WETLANDS OF ADVISORY CHARACTER). WETLANDS MUST BE MAINTAINED.
 9. CONTRACTOR SHALL MINIMIZE GRADING, EXCAVATING, AND DISTURBANCE TO WHAT IS NECESSARY FOR THE INSTALLATION OF THE CULVERT.
 10. THE WIDTH AND DEPTH OF THE EXISTING CHANNEL SHALL NOT BE ALTERED UPSTREAM OR DOWNSTREAM OF THE CULVERT.

97' - 57" X 38"
 CMP ARCH CULVERT
 W/ APRON ENDWALL
 8" INSIDE BURY
 INV. E 789.54
 INV. W 789.45



TOPOGRAPHIC LEGEND

SYMBOL	DESCRIPTION
(Symbol)	1" - 12" HIGH WOOD
(Symbol)	12" - 36" HIGH WOOD
(Symbol)	36" - 60" HIGH WOOD
(Symbol)	60" - 100" HIGH WOOD
(Symbol)	100" - 150" HIGH WOOD
(Symbol)	150" - 200" HIGH WOOD
(Symbol)	200" - 250" HIGH WOOD
(Symbol)	250" - 300" HIGH WOOD
(Symbol)	300" - 350" HIGH WOOD
(Symbol)	350" - 400" HIGH WOOD
(Symbol)	400" - 450" HIGH WOOD
(Symbol)	450" - 500" HIGH WOOD
(Symbol)	500" - 550" HIGH WOOD
(Symbol)	550" - 600" HIGH WOOD
(Symbol)	600" - 650" HIGH WOOD
(Symbol)	650" - 700" HIGH WOOD
(Symbol)	700" - 750" HIGH WOOD
(Symbol)	750" - 800" HIGH WOOD
(Symbol)	800" - 850" HIGH WOOD
(Symbol)	850" - 900" HIGH WOOD
(Symbol)	900" - 950" HIGH WOOD
(Symbol)	950" - 1000" HIGH WOOD
(Symbol)	1000" - 1050" HIGH WOOD
(Symbol)	1050" - 1100" HIGH WOOD
(Symbol)	1100" - 1150" HIGH WOOD
(Symbol)	1150" - 1200" HIGH WOOD
(Symbol)	1200" - 1250" HIGH WOOD
(Symbol)	1250" - 1300" HIGH WOOD
(Symbol)	1300" - 1350" HIGH WOOD
(Symbol)	1350" - 1400" HIGH WOOD
(Symbol)	1400" - 1450" HIGH WOOD
(Symbol)	1450" - 1500" HIGH WOOD
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(Symbol)	1550" - 1600" HIGH WOOD
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(Symbol)	1700" - 1750" HIGH WOOD
(Symbol)	1750" - 1800" HIGH WOOD
(Symbol)	1800" - 1850" HIGH WOOD
(Symbol)	1850" - 1900" HIGH WOOD
(Symbol)	1900" - 1950" HIGH WOOD
(Symbol)	1950" - 2000" HIGH WOOD
(Symbol)	2000" - 2050" HIGH WOOD
(Symbol)	2050" - 2100" HIGH WOOD
(Symbol)	2100" - 2150" HIGH WOOD
(Symbol)	2150" - 2200" HIGH WOOD
(Symbol)	2200" - 2250" HIGH WOOD
(Symbol)	2250" - 2300" HIGH WOOD
(Symbol)	2300" - 2350" HIGH WOOD
(Symbol)	2350" - 2400" HIGH WOOD
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(Symbol)	2750" - 2800" HIGH WOOD
(Symbol)	2800" - 2850" HIGH WOOD
(Symbol)	2850" - 2900" HIGH WOOD
(Symbol)	2900" - 2950" HIGH WOOD
(Symbol)	2950" - 3000" HIGH WOOD
(Symbol)	3000" - 3050" HIGH WOOD
(Symbol)	3050" - 3100" HIGH WOOD
(Symbol)	3100" - 3150" HIGH WOOD
(Symbol)	3150" - 3200" HIGH WOOD
(Symbol)	3200" - 3250" HIGH WOOD
(Symbol)	3250" - 3300" HIGH WOOD
(Symbol)	3300" - 3350" HIGH WOOD
(Symbol)	3350" - 3400" HIGH WOOD
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(Symbol)	4900" - 4950" HIGH WOOD
(Symbol)	4950" - 5000" HIGH WOOD
(Symbol)	5000" - 5050" HIGH WOOD
(Symbol)	5050" - 5100" HIGH WOOD
(Symbol)	5100" - 5150" HIGH WOOD
(Symbol)	5150" - 5200" HIGH WOOD
(Symbol)	5200" - 5250" HIGH WOOD
(Symbol)	5250" - 5300" HIGH WOOD
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(Symbol)	9800" - 9850" HIGH WOOD
(Symbol)	9850" - 9900" HIGH WOOD
(Symbol)	9900" - 9950" HIGH WOOD
(Symbol)	9950" - 10000" HIGH WOOD

NOT FOR CONSTRUCTION

NO.	DATE	NO.	DATE	NO.	DATE
1	05-15-2019	2	04-26-2019	3	04-11-2019
4	04-30-2019				

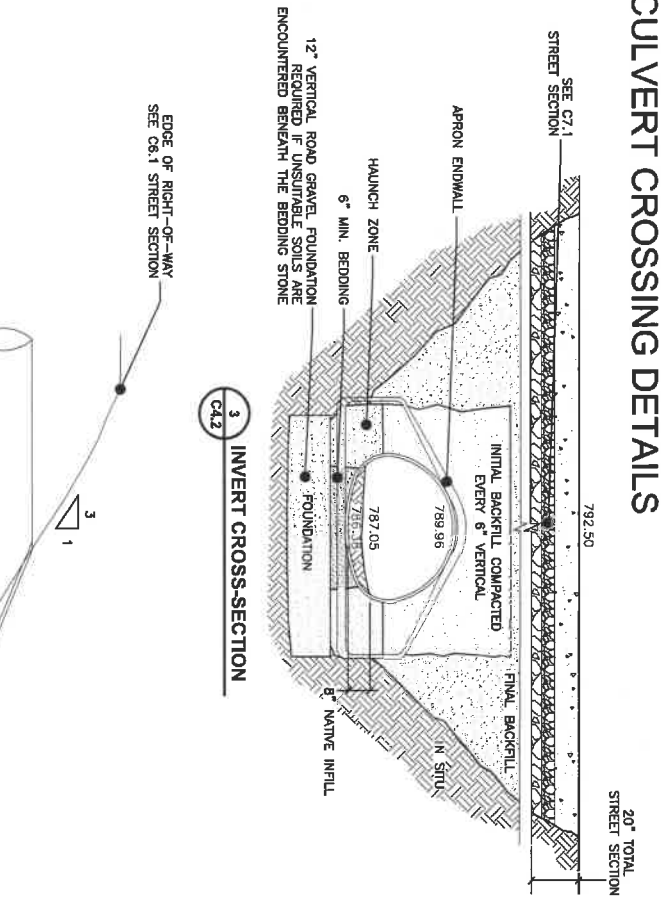
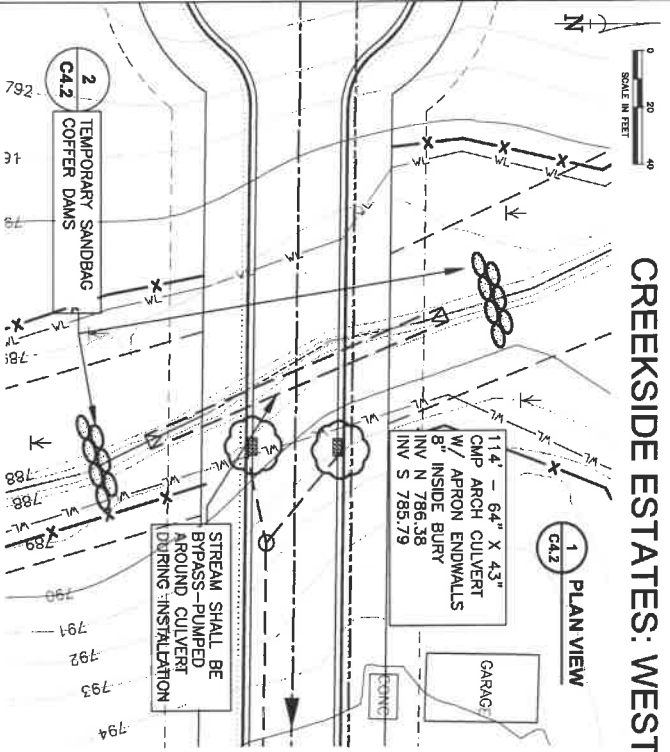
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 APPROVED: MSB
 FIELDWORK: MSB

REFER TO COVER SHEET FOR REVISION DESCRIPTIONS

NORTH CULVERT CROSSING
 CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

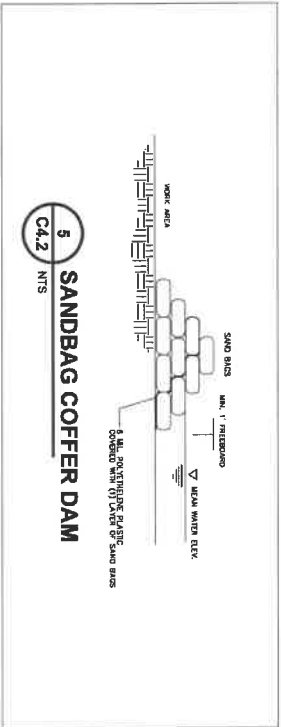
Martenson & Eisele, Inc.
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 Menasha, WI 54952
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 920.731.0361 1.800.298.0361

CREEKSIDE ESTATES: WEST CULVERT CROSSING DETAILS



- ### EROSION CONTROL NOTES
1. THE CONTRACTOR SHALL INSTALL EROSION CONTROL PRACTICES AS SHOWN ON THIS AND THE EROSION CONTROL PLANS PRIOR TO ANY CONSTRUCTION.
 2. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
 3. THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED SLOPE BE ACCORDING TO THE SPECIFICATIONS.
 4. THE CONTRACTOR SHALL UTILIZE PRACTICES USED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. METHODS OF DUST CONTROL SHALL BE PER WINOR STANDARD TOOL.
 5. INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE AS SOON AS FEASIBLE AFTER THE SPECIFICATIONS.
 6. SLOPES REPAIRED AFTER CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.
 7. ALL AREAS TO BE SEEDD AND MULCHED SHALL HAVE MULCH CRIMPED INTO PLACE.
 8. VEGETATION, SOIL STOCKPILES, OR EQUIPMENT CANNOT BE STORED IN WETLANDS EVEN TEMPORARILY. NATURAL HYDROLOGY OF ADJACENT WETLANDS MUST BE MAINTAINED.
 9. CONTRACTOR SHALL MINIMIZE GRADING, EXCAVATING, AND DISTURBANCE TO WHAT IS NECESSARY FOR THE INSTALLATION OF THE CULVERT.
 10. COFFER DAMS SHALL BE INSTALLED UPSTREAM AND DOWNSTREAM OF THE CULVERT AND SHALL BE PROTECTED FROM COLLAPSE AND SECURED AT THE BOTTOM OF THE CHANNEL AND TOP OF BANKS.

- ### EROSION CONTROL NOTES
12. EXPOSED PUMP INTAKES AND DISCHARGES SHALL BE PROTECTED TO PREVENT WINDLIFT AND BE PLACED TO MINIMIZE SCOUR OF NATURAL CHANNELS OR EROSION OF SIDE SLOPES.
 13. COFFER DAMS SHALL BE REMOVED IN A WAY THAT MINIMIZES RELEASE OF SEDIMENT DOWNSTREAM.
 14. THE WIDTH AND DEPTH OF THE EXISTING CHANNEL SHALL NOT BE ALTERED UPSTREAM OR DOWNSTREAM OF THE CULVERT.



TOPOGRAPHIC LEGEND	
Symbol: Dotted line	1" OF FINISH ELEVATION
Symbol: Solid line	2" OF FINISH ELEVATION
Symbol: Dashed line	3" OF FINISH ELEVATION
Symbol: Long dashed line	4" OF FINISH ELEVATION
Symbol: Short dashed line	5" OF FINISH ELEVATION
Symbol: Dash-dot line	6" OF FINISH ELEVATION
Symbol: Long dash-short dash line	7" OF FINISH ELEVATION
Symbol: Dotted line with dots	8" OF FINISH ELEVATION
Symbol: Dotted line with crosses	9" OF FINISH ELEVATION
Symbol: Dotted line with triangles	10" OF FINISH ELEVATION
Symbol: Dotted line with squares	11" OF FINISH ELEVATION
Symbol: Dotted line with diamonds	12" OF FINISH ELEVATION
Symbol: Dotted line with circles	13" OF FINISH ELEVATION
Symbol: Dotted line with stars	14" OF FINISH ELEVATION
Symbol: Dotted line with pluses	15" OF FINISH ELEVATION
Symbol: Dotted line with crosses	16" OF FINISH ELEVATION
Symbol: Dotted line with triangles	17" OF FINISH ELEVATION
Symbol: Dotted line with squares	18" OF FINISH ELEVATION
Symbol: Dotted line with diamonds	19" OF FINISH ELEVATION
Symbol: Dotted line with circles	20" OF FINISH ELEVATION
Symbol: Dotted line with stars	21" OF FINISH ELEVATION
Symbol: Dotted line with pluses	22" OF FINISH ELEVATION
Symbol: Dotted line with crosses	23" OF FINISH ELEVATION
Symbol: Dotted line with triangles	24" OF FINISH ELEVATION
Symbol: Dotted line with squares	25" OF FINISH ELEVATION
Symbol: Dotted line with diamonds	26" OF FINISH ELEVATION
Symbol: Dotted line with circles	27" OF FINISH ELEVATION
Symbol: Dotted line with stars	28" OF FINISH ELEVATION
Symbol: Dotted line with pluses	29" OF FINISH ELEVATION
Symbol: Dotted line with crosses	30" OF FINISH ELEVATION

NOT FOR CONSTRUCTION

DRAWING NO. CA2

WEST CULVERT CROSSING CREEKSIDE ESTATES

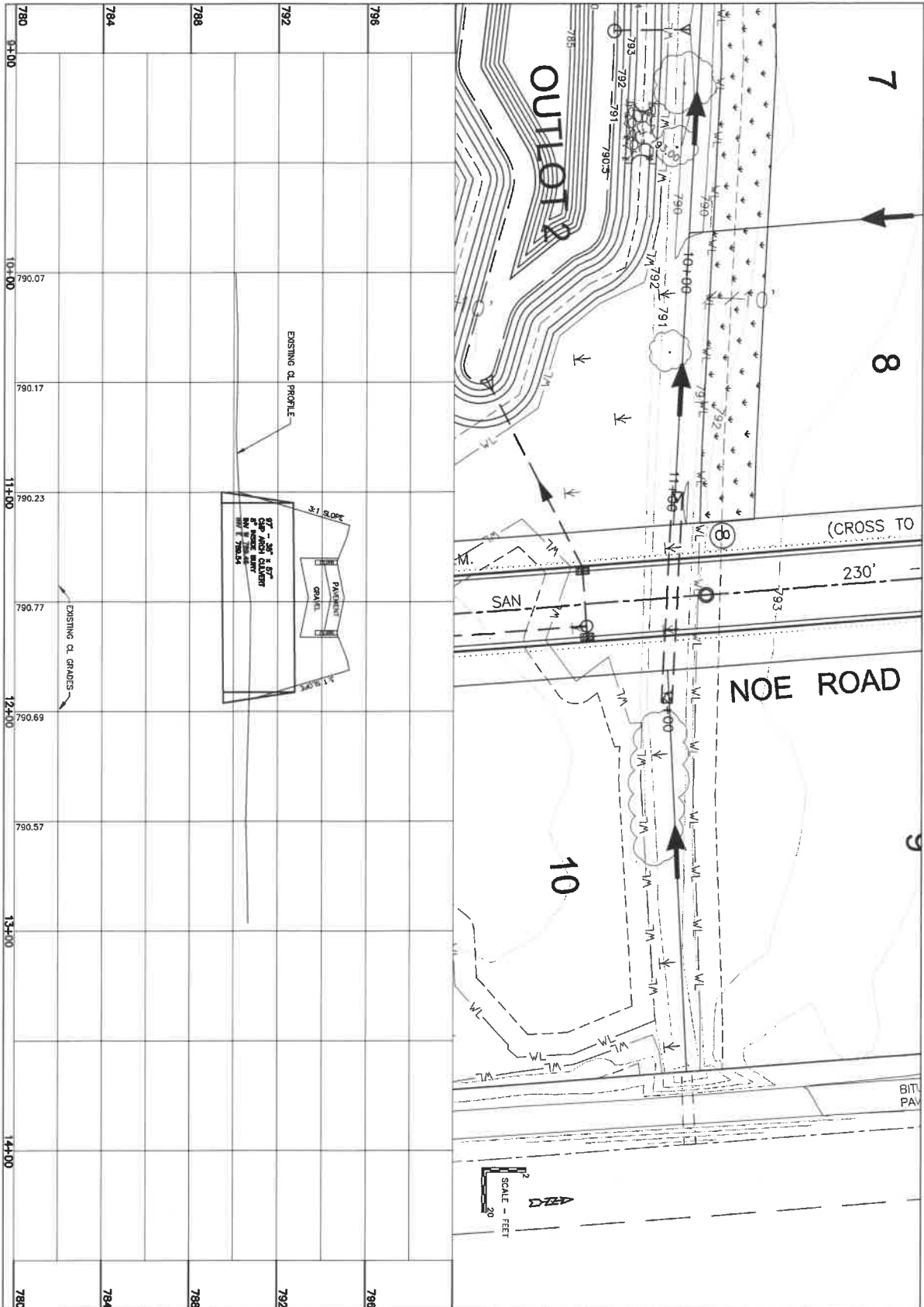
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

NO.	DATE	DRAWN BY		CHECKED		APPROVED		FIELDWORK	
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4	04-30-2019								

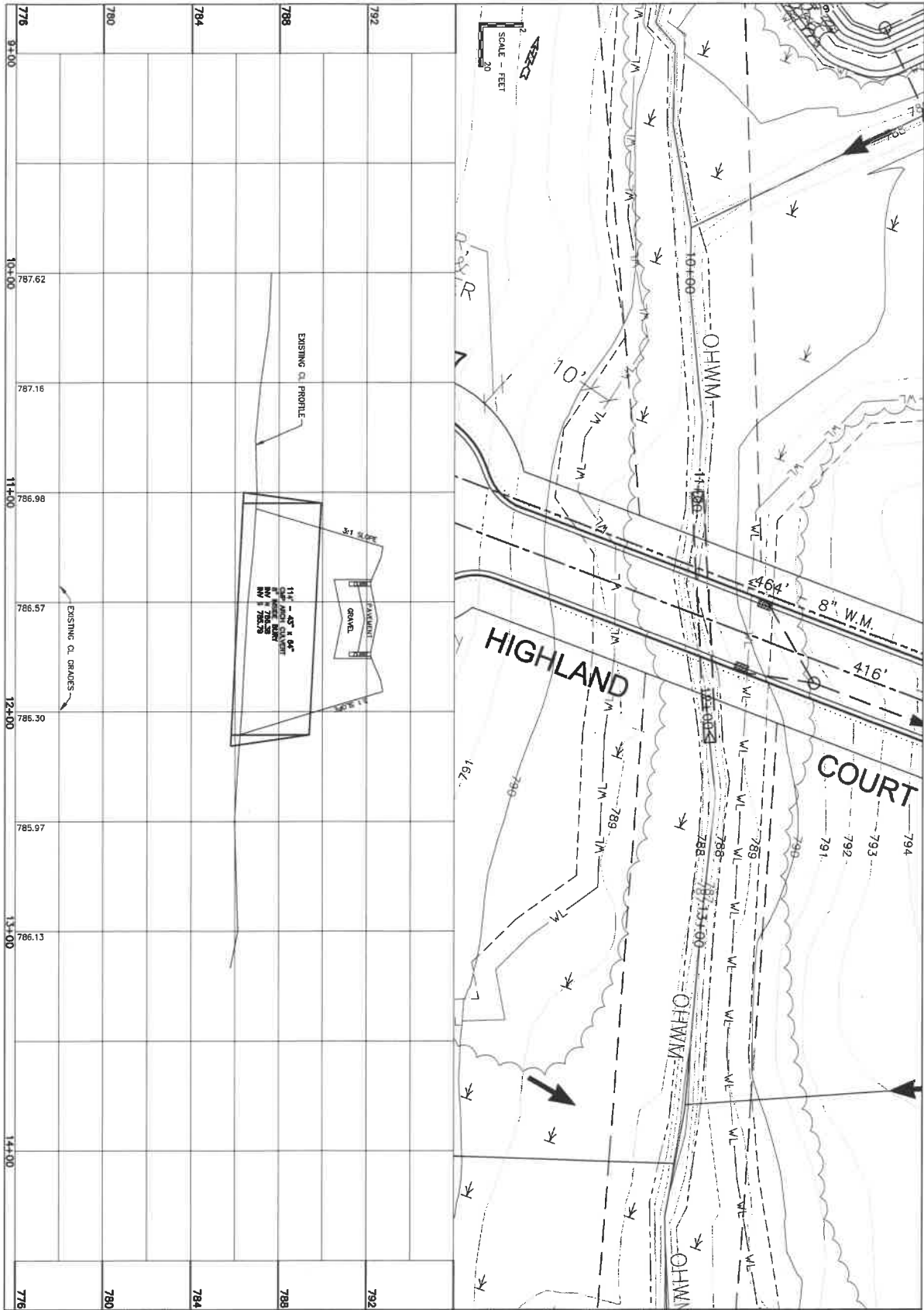
Martenson & Eisele, Inc.
1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
609.721.0381 1.800.256.0381



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DRAWING NO. C.A.3	SCALE AS SHOWN	DATE 02/28/2016	DRAWN BY C.A.3	CHECKED ALM	APPROVED MSE	FIELDWORK																																										
PLAN & PROFILE NORTH CULVERT CROSSING CREEKSIDE ESTATES VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN																																																
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			Martenson & Eisele, Inc. 1377 Midway Road Menasha, WI 54952 www.martenson-eisele.com info@martenson-eisele.com 920.731.0381 1.800.296.0381 Planning Environmental Surveying Engineering Architecture																																													



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CJC		ALM		MSB			
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2	04-09-2019						
3	04-11-2019						
4	04-30-2019						

PLAN & PROFILE
WEST CULVERT CROSSING
CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

Martenson & Eisele, Inc.
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.228.0381

Planning
 Environmental
 Surveying
 Engineering
 Architecture

SCALE	DATE
BARS SCALE	02-29-2019
COMPUTER FILE	
1:2000 (2004) A.M.	
776	780
784	788
792	796

DOCUMENT NO.
 CA 4

CREEKSIDE ESTATES: NORTHWEST POND

(N.T.S.)

CLASS I, TYPE A E.C. MAT

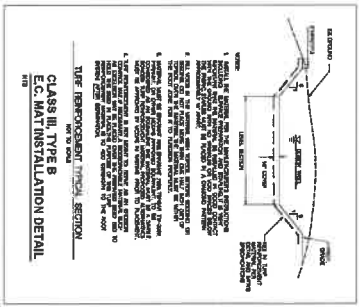
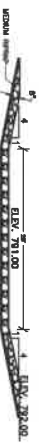
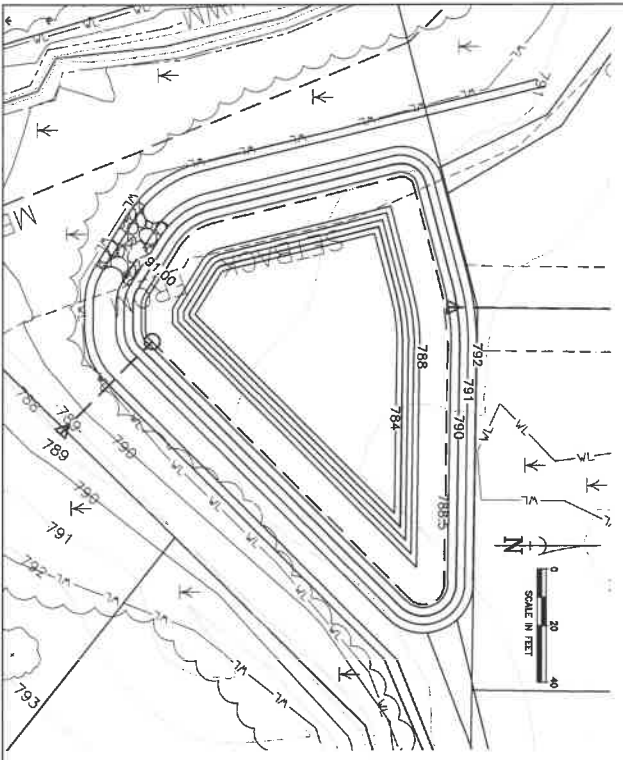
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 ALL SIDE SLOPES = 3:1 ABOVE NORMAL WATER ELEV.
 ALL SIDE SLOPES = 2:1 BELOW NORMAL WATER ELEV.
 SAFETY SHELF = 8.5' WIDE WITH 10:1 SLOPE
 WEIR BEING 0.5' BELOW WATER SURFACE
 OUTLET STRUCTURE: MULTI-STAGE STRUCTURE

GRATED HORIZONTAL ORIFICE
 (N.T.S.)

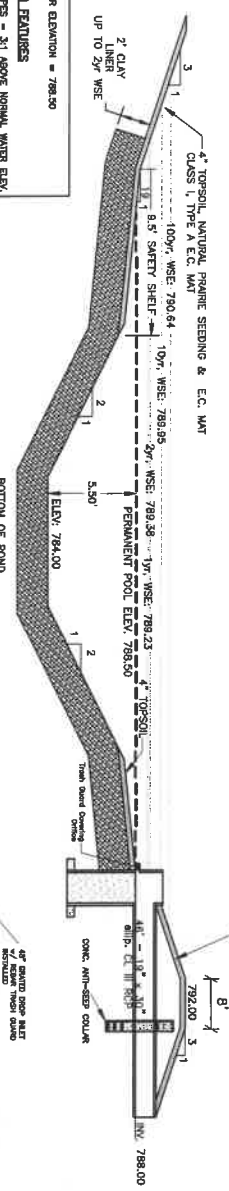
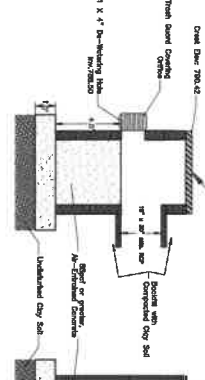
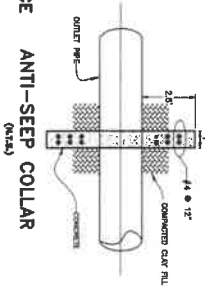
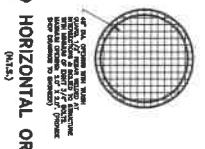
ANTI-SEEP COLLAR
 (N.T.S.)

OUTLET STRUCTURE
 (N.T.S.)

EMERGENCY/WEIR OUTLET STRUCTURE
 (N.T.S.)



TYPE B INTERDEPENDENT DETAIL
 CLASS II, TYPE B
 E.C. MAT INSTALLATION DETAIL



GENERAL NOTES

1. Refer to the General Notes on the title sheet for a complete list of notes.
2. All dimensions are in feet and inches unless otherwise noted.
3. All materials shall be of good quality and conform to the specifications listed.
4. The contractor shall be responsible for obtaining all necessary permits.
5. The contractor shall be responsible for protecting all existing utilities.
6. The contractor shall be responsible for maintaining access to all adjacent properties.
7. The contractor shall be responsible for maintaining the site in a safe condition at all times.
8. The contractor shall be responsible for removing all construction materials from the site.
9. The contractor shall be responsible for restoring the site to its original condition.
10. The contractor shall be responsible for providing all necessary safety measures.
11. The contractor shall be responsible for providing all necessary environmental protection.
12. The contractor shall be responsible for providing all necessary erosion control measures.
13. The contractor shall be responsible for providing all necessary sedimentation control measures.
14. The contractor shall be responsible for providing all necessary water quality control measures.
15. The contractor shall be responsible for providing all necessary air quality control measures.
16. The contractor shall be responsible for providing all necessary noise control measures.
17. The contractor shall be responsible for providing all necessary traffic control measures.
18. The contractor shall be responsible for providing all necessary public relations measures.
19. The contractor shall be responsible for providing all necessary community outreach measures.
20. The contractor shall be responsible for providing all necessary stakeholder engagement measures.

NOT FOR CONSTRUCTION

SCALE	DATE
BANK SCALE	02-28-2010
COMPUTER FILE	
1:4800 (Scale Only)	

NORTHWEST POND
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

DRAWN BY	CHECKED	APPROVED	FIELDWORK
ORC	ALM	MSB	
REFER TO COVER SHEET FOR REVISION DESCRIPTIONS			
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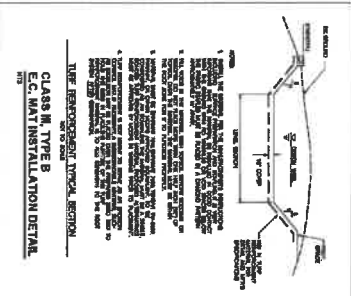
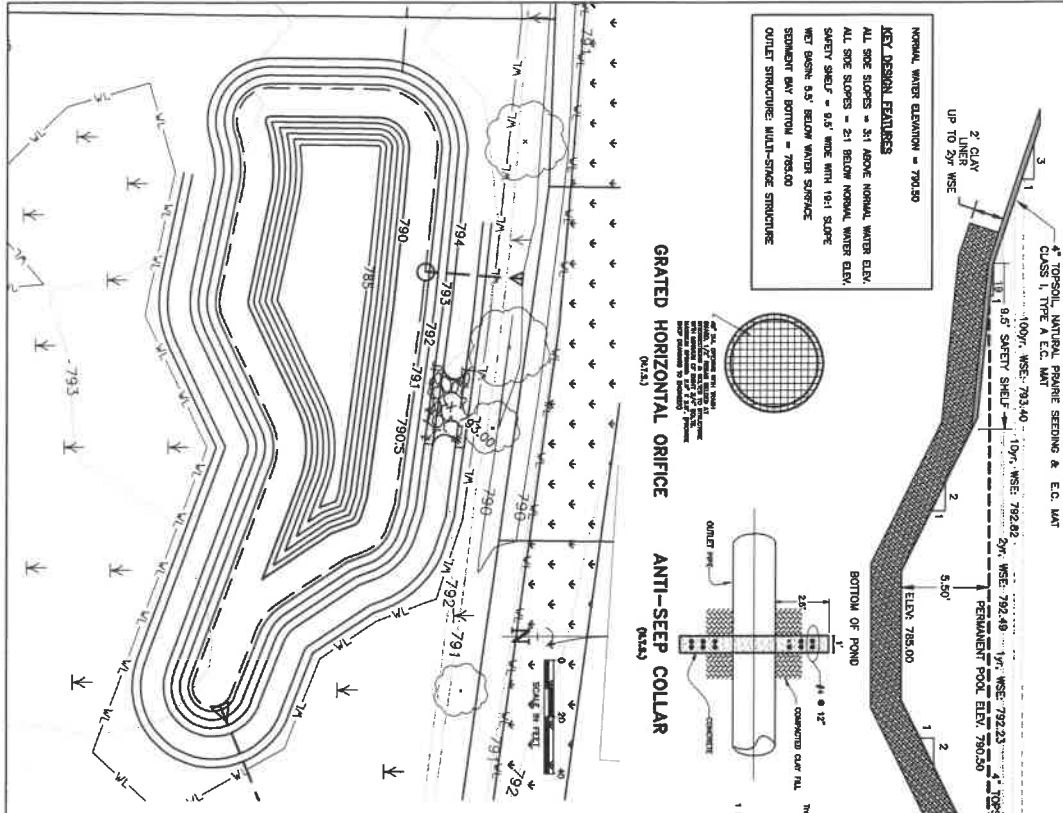
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 info@martenson-eisele.com
 920.751.0351 1.800.238.0361

Professional
 Environmental
 Surveying
 Engineering
 Architecture

CREEKSIDE ESTATES: NORTHEAST POND (N.T.S.)

CLASS I, TYPE A E.C. MAT

KEY DESIGN FEATURES
 ALL SOLE SLOPES = 3:1 ABOVE NORMAL WATER ELEV.
 ALL SOLE SLOPES = 2:1 BELOW NORMAL WATER ELEV.
 SAFETY SHELDS = 0.5' WIDE WITH 10:1 SLOPE
 WEIR BARGE 0.5' BELOW WATER SURFACE
 SEDIMENT BAY BOTTOM = 785.00
 OUTLET STRUCTURE: MULTI-STAGE STRUCTURE



EMERGENCY/WEIR OUTLET STRUCTURE (0.125)

CLASS II, TYPE B E.C. MAT

EMERGENCY/WEIR OUTLET STRUCTURE (0.125)

CLASS II, TYPE B E.C. MAT

EMERGENCY/WEIR OUTLET STRUCTURE (0.125)

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND SPECIFICATIONS:
 - a. AASHTO H-19.01 (1993) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, BRIDGES, AND STRUCTURES
 - b. AASHTO M-29.01 (1993) STANDARD SPECIFICATIONS FOR ASPHALT PAVEMENT
 - c. AASHTO M-31.01 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - d. AASHTO M-31.91 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - e. AASHTO M-31.10 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - f. AASHTO M-31.20 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - g. AASHTO M-31.30 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - h. AASHTO M-31.40 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - i. AASHTO M-31.50 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - j. AASHTO M-31.60 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - k. AASHTO M-31.70 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - l. AASHTO M-31.80 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
 - m. AASHTO M-31.90 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE
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 - m. AASHTO M-31.90 (1993) STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE

NOT FOR CONSTRUCTION

DRAWN BY		CHECKED		APPROVED		FIELDWORK	
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NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
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2	04-08-2019						
3	04-11-2019						
4	04-30-2019						

NORTHEAST POND
CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

SCALE: 1" = 40'

DATE SCALE: 02-26-2019

CONTRACT FILE: 1-0887-0004a.dwg

BROWNING INC. CS-2

Martenson & Eisele, Inc.

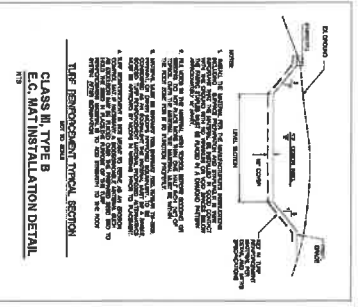
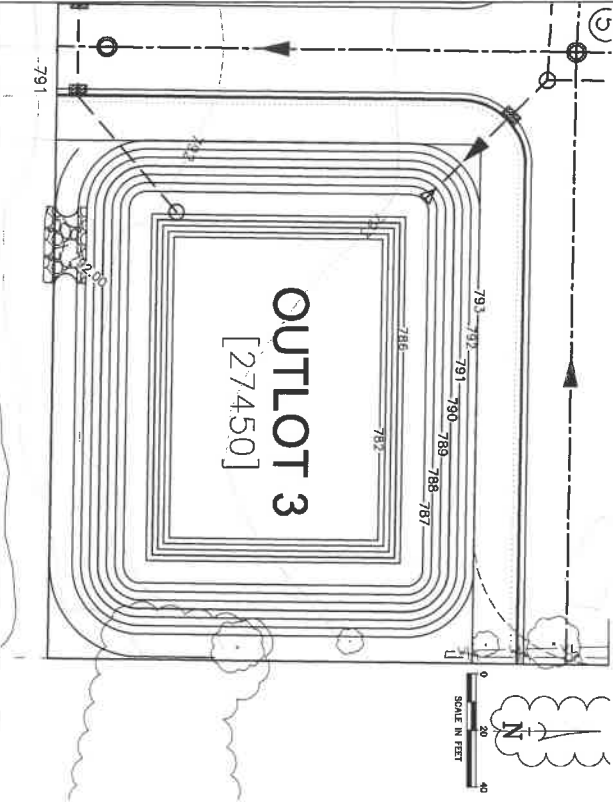
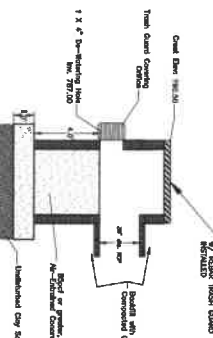
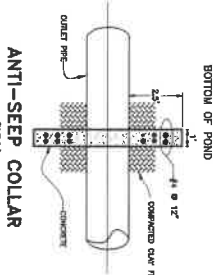
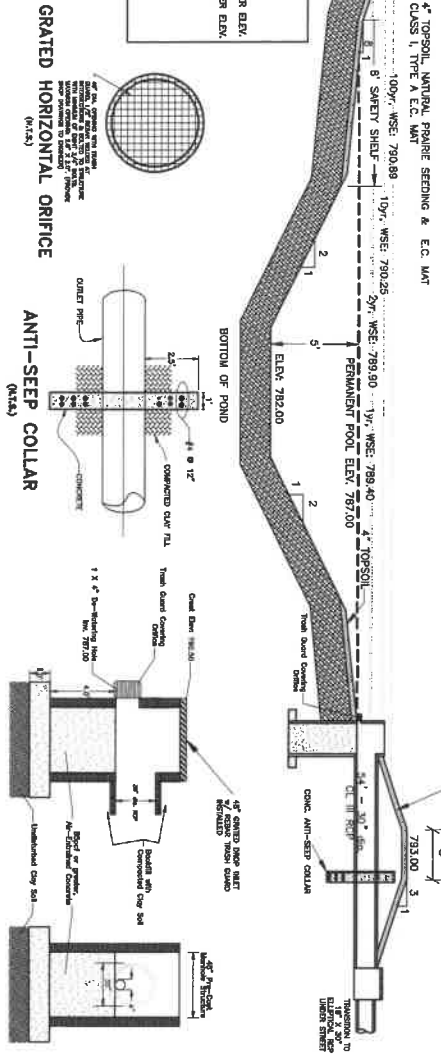
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 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.751.0351 • 920.750.0350

Planning
 Environmental
 Surveying
 Engineering
 Architecture

CREEKSIDE ESTATES: SOUTH POND (N.T.S.)

CLASS I, TYPE A E.C. MAT

KEY DESIGN FEATURES
 ALL SLOPES = 3:1 ABOVE NORMAL WATER ELEV.
 ALL SLOPES = 2:1 BELOW NORMAL WATER ELEV.
 SLOPE SHIELD = 8' WIDE WITH 8:1 SLOPE
 WET BASIN: 3' BELOW WATER SURFACE
 SEDIMENT BAY BOTTOM = 782.00
 OUTLET STRUCTURE: MULTI-STAGE STRUCTURE



CLASS III, TYPE B E.C. MAT INSTALLATION DETAIL

1. REMOVE ALL EXISTING VEGETATION AND TOPSOIL TO A MINIMUM DEPTH OF 6" BELOW THE PROPOSED MAT SURFACE.
2. GRADEN AND COMPACT THE SUBSTRATE TO A MINIMUM OF 95% PROCTOR DENSITY.
3. INSTALL THE E.C. MAT OVER THE GRADEN AND COMPACTED SUBSTRATE.
4. COVER THE E.C. MAT WITH A MINIMUM OF 2" OF TOPSOIL.
5. REVEGETATE THE AREA WITH APPROPRIATE PLANTING.

GENERAL NOTES
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 4. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS AND AS-BUILT DRAWINGS.
 5. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL WORK DONE AND MATERIALS USED.

DRAWN BY	CHECKED	APPROVED	FIELDWORK
CRC	ALM	AMS	
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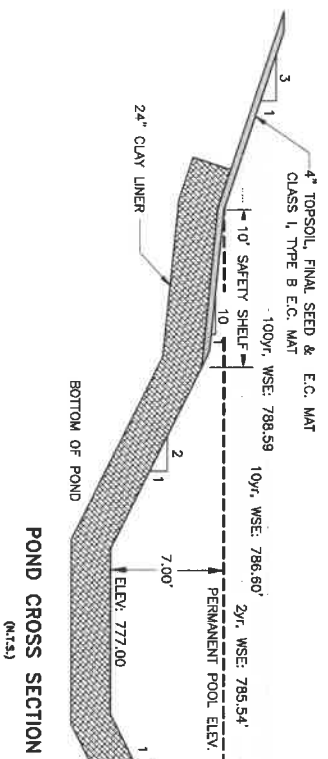
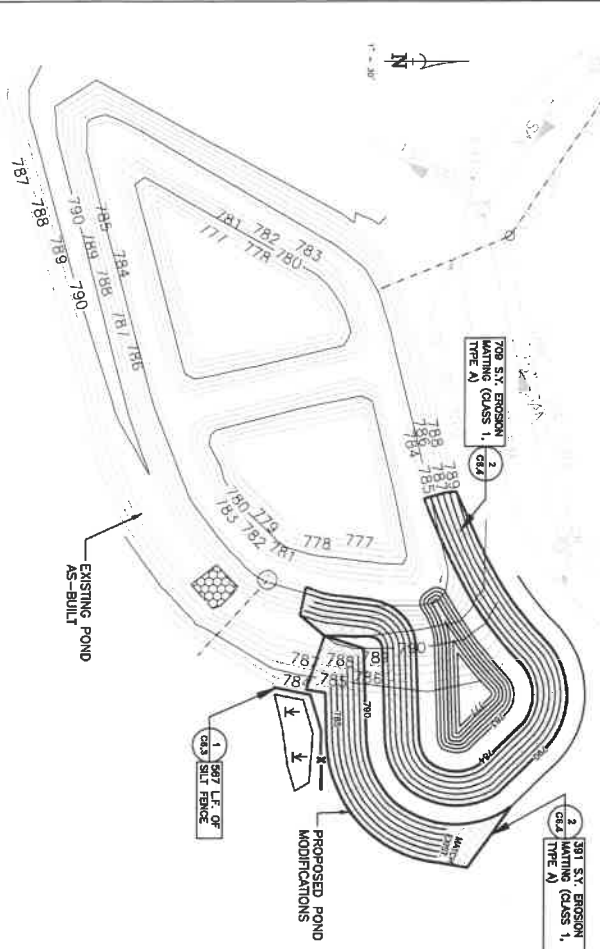
Martenson & Eisele, Inc.
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.751.0351 • 800.238.0890

NOT FOR CONSTRUCTION

DRAWING NO. CS-3

SOUTH POND CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

SCALE	DATE
BASIS SCALE	02-26-2019
CONTRACT SCALE	1:8000 (AS SHOWN)



Flow	Post (Prop. Control)	Post-Dry-Up (W.S. Elev.)
Flow (1yr Storm Event)	2.51 cfs	785.54
Flow (2yr Storm Event)	3.47 cfs	786.60
Flow (10yr Storm Event)	18.00 cfs	796.60
Flow (100yr Storm Event)	33.88 cfs	798.59
Detention (1yr Storm Event)	1.185 ac-ft	785.54
Detention (2yr Storm Event)	1.512 ac-ft	786.60
Detention (10yr Storm Event)	2.089 ac-ft	796.60
Detention (100yr Storm Event)	3.591 ac-ft	798.59

PERMITS/CONNECTIONS:
 1. Obtain all necessary permits from the local jurisdiction having authority over the project and all applicable state, county, and municipal agencies.
 2. Obtain all necessary utility location information and permits from the local utility companies.
 3. Obtain all necessary easements and rights-of-way from the local jurisdiction.
 4. Obtain all necessary approvals from the local jurisdiction.
 5. Obtain all necessary approvals from the state and federal agencies.
 6. Obtain all necessary approvals from the local jurisdiction.
 7. Obtain all necessary approvals from the local jurisdiction.
 8. Obtain all necessary approvals from the local jurisdiction.
 9. Obtain all necessary approvals from the local jurisdiction.
 10. Obtain all necessary approvals from the local jurisdiction.

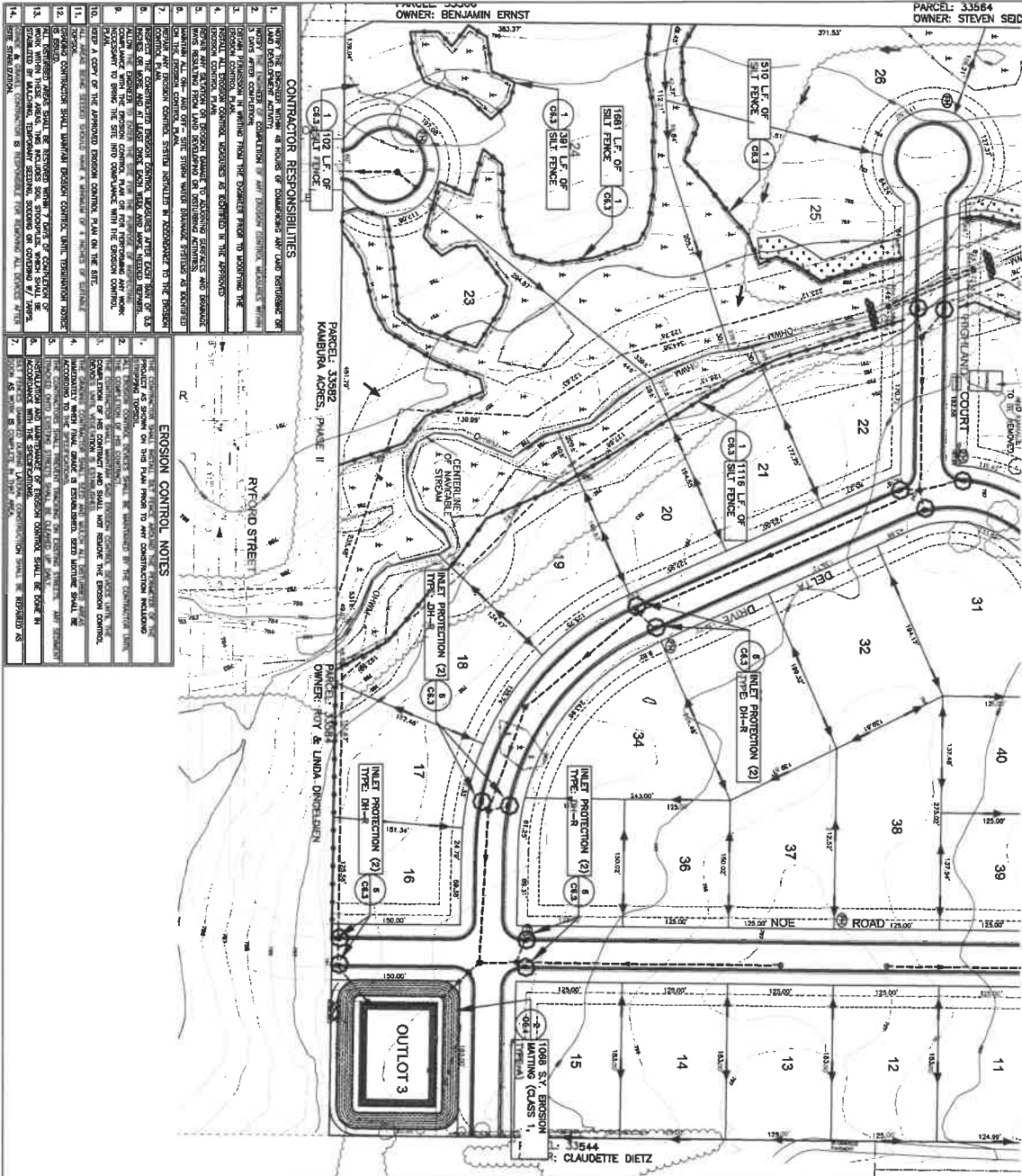
NOT FOR CONSTRUCTION

KAMBURA ACRES POND MODIFICATIONS
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

Martenson & Eisele, Inc.
 Planning
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 920.731.0381 1.800.238.0381

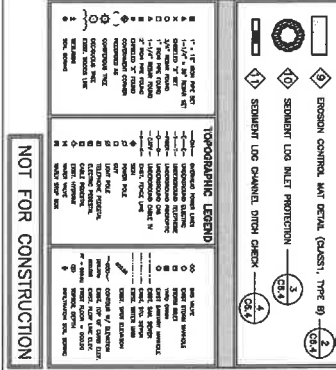
NO.	DATE	NO.	DATE	NO.	DATE
1	05-03-2019				
2	04-08-2019				
3	04-11-2019				
4	04-30-2019				

CREEKSIDE ESTATES: EROSION CONTROL PLAN (SOUTH)



- ### CONTRACTOR RESPONSIBILITIES
1. MAINTAIN THE EROSION CONTROL MEASURES AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.
 2. MAINTAIN THE EROSION CONTROL MEASURES AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.
 3. MAINTAIN THE EROSION CONTROL MEASURES AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.
 4. MAINTAIN THE EROSION CONTROL MEASURES AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.
 5. MAINTAIN THE EROSION CONTROL MEASURES AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.
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 13. MAINTAIN THE EROSION CONTROL MEASURES AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.
 14. MAINTAIN THE EROSION CONTROL MEASURES AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.

- ### EROSION CONTROL NOTES
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 14. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.



TOPOGRAPHIC LEGEND

Symbol	Description
Circle with dot	Spot Elevation
Circle with cross	Water
Circle with triangle	Structure
Circle with square	Boundary
Circle with diamond	Property Line
Circle with asterisk	Survey Point
Circle with plus	Control Point
Circle with X	Obstruction
Circle with hash	Other

NOT FOR CONSTRUCTION

GENERAL NOTES

1. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AS LONG AS CONSTRUCTION AND LAND REDEVELOPMENT IS IN PROGRESS.
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NO.	DATE	DESCRIPTION
1	04-20-2019	ISSUED FOR PERMIT
2	04-20-2019	ISSUED FOR PERMIT
3	04-20-2019	ISSUED FOR PERMIT
4	04-20-2019	ISSUED FOR PERMIT

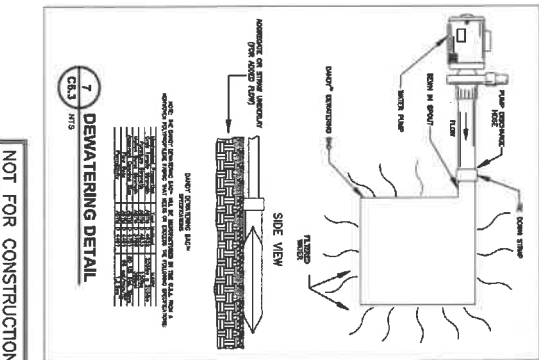
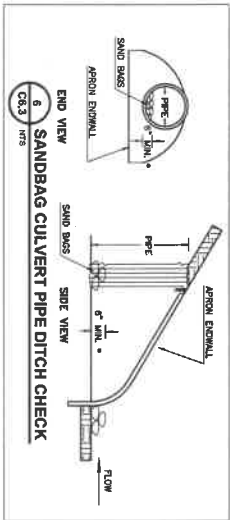
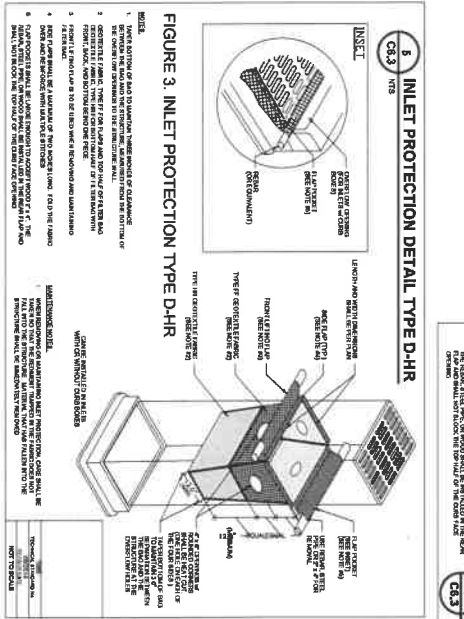
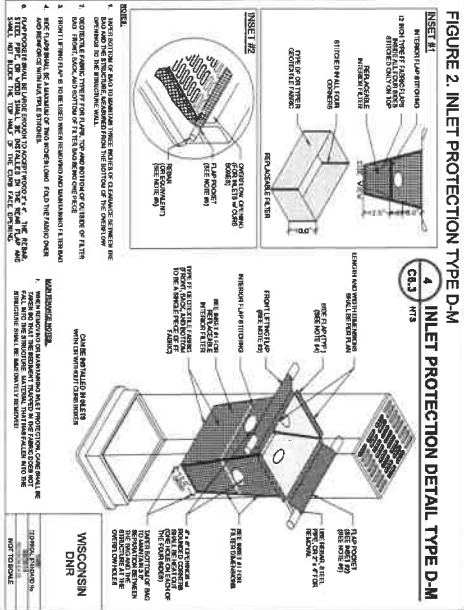
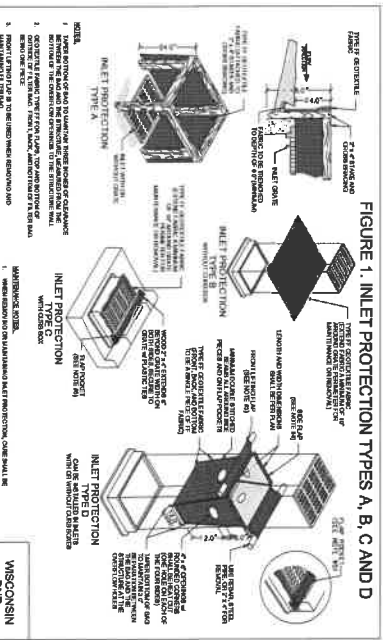
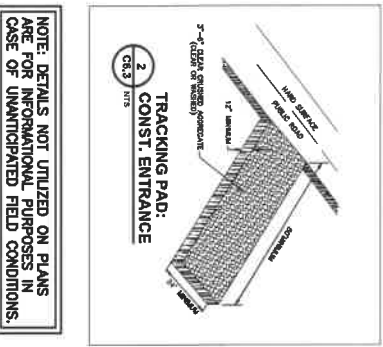
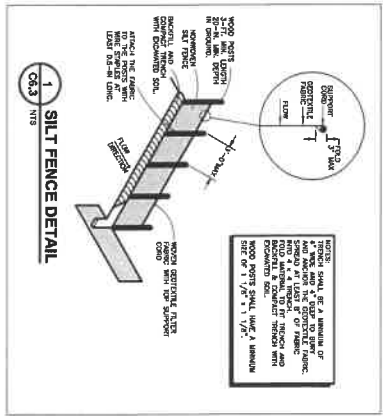
EROSION CONTROL PLAN (SOUTH)
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION
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2	04-20-2019	ISSUED FOR PERMIT
3	04-20-2019	ISSUED FOR PERMIT
4	04-20-2019	ISSUED FOR PERMIT

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 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.721.0331 1.800.238.0381

SCALE: AS SHOWN
 DATE: 02-28-2019
 DRAWING NO: 0812

CREEKSIDE ESTATES: EROSION CONTROL DETAILS



NO.	DATE	NO.	DATE	NO.	DATE
1	04-09-2018				
2	04-09-2019				
3	04-11-2019				
4	04-29-2019				

EROSION CONTROL PLAN DETAILS
CREEKSIDE ESTATES
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

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1377 Melway Road
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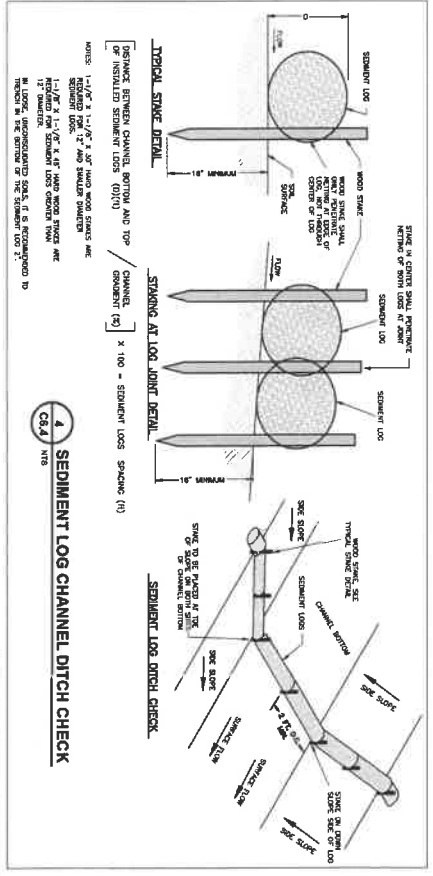
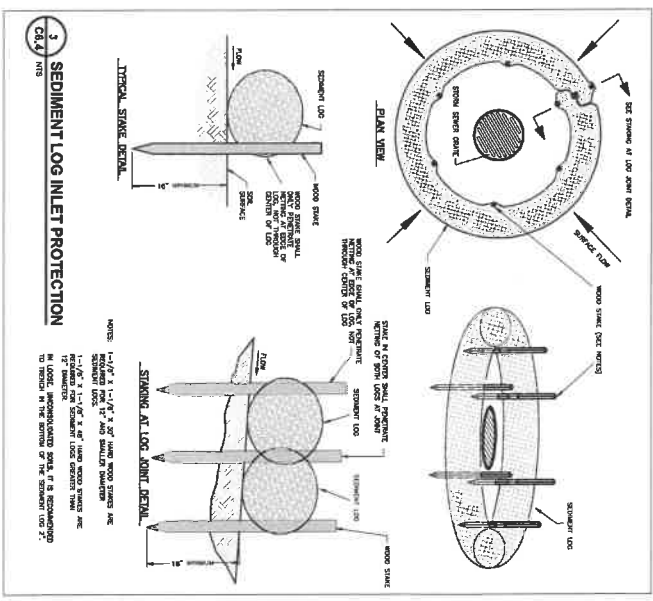
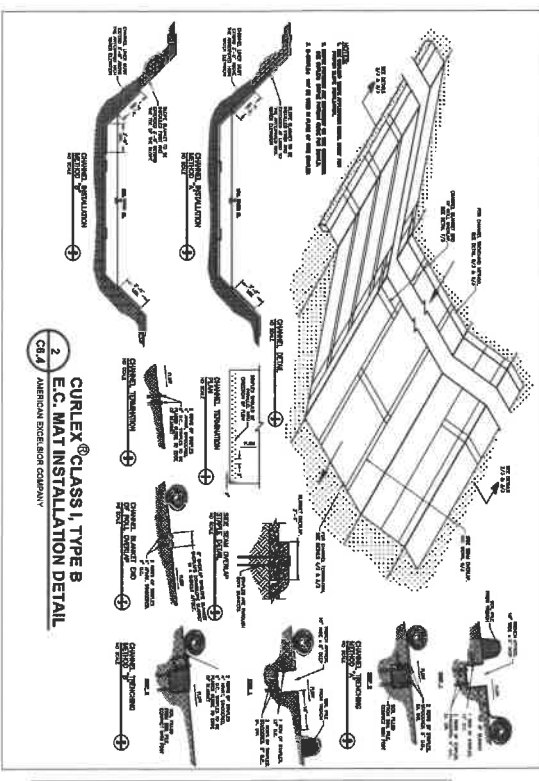
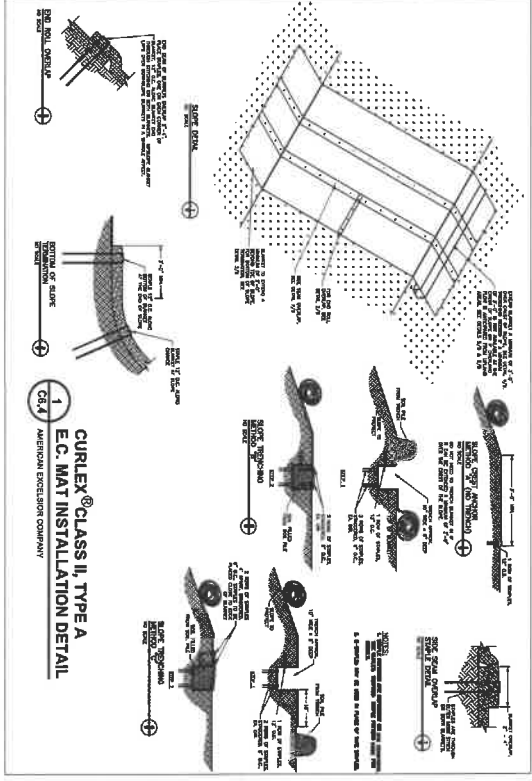
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COURTNEY T.E.	
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NOT FOR CONSTRUCTION

PROJECT NO. C&S

NOTE: DETAILS NOT UTILIZED ON PLANS ARE FOR INFORMATIONAL PURPOSES IN CASE OF UNANTICIPATED FIELD CONDITIONS.

CREEKSIDE ESTATES: EROSION CONTROL DETAILS



NOT FOR CONSTRUCTION

DRAWN BY		CHECKED		APPROVED		FIELDWORK	
CRC		ALM		MSS			
**REFER TO COVER SHEET FOR REVISION DESCRIPTIONS **							
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
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2	04-09-2019						
3	06-11-2019						
4	05-20-2019						

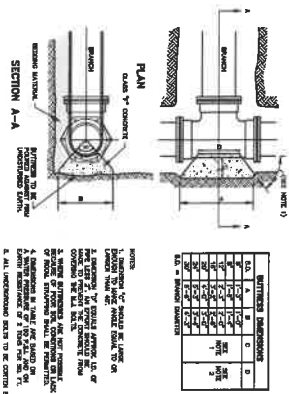
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 920.731.0381 1.800.238.0381

Planning
 Environmental
 Surveying
 Engineering
 Architecture

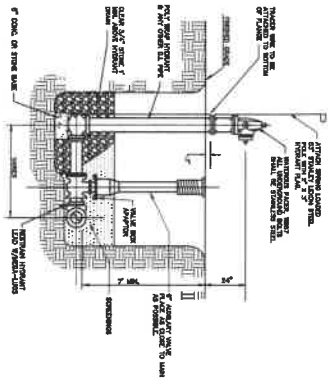
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 DATE: 02-28-2019
 SHEET NO.: 1-0001-0003-04-04

EROSION CONTROL PLAN DETAILS
CREEKSIDE ESTATES
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

CREEKSIDE ESTATES: STANDARD DETAILS

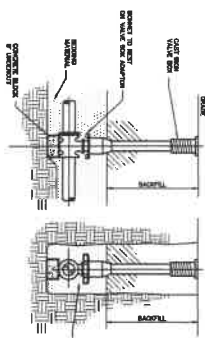
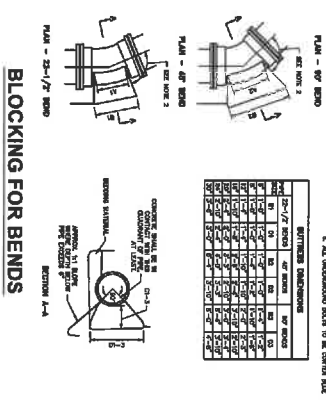


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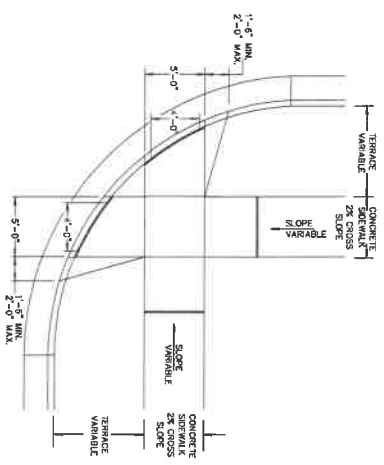


HYDRANT DETAIL

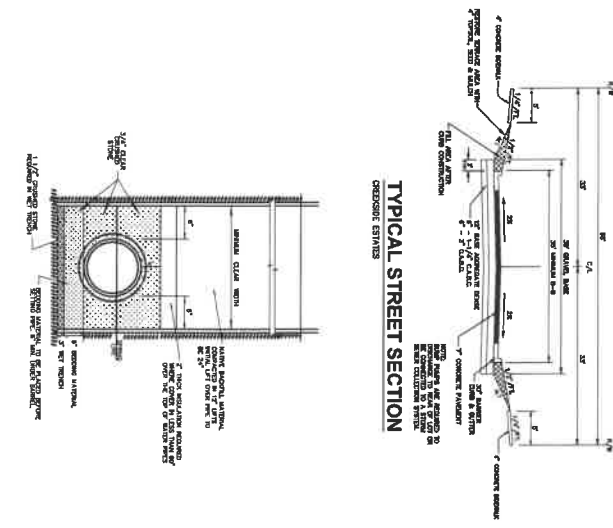
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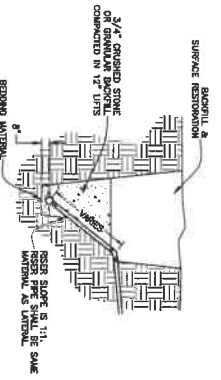
STANDARD VALVE & VALVE BOX SETTING



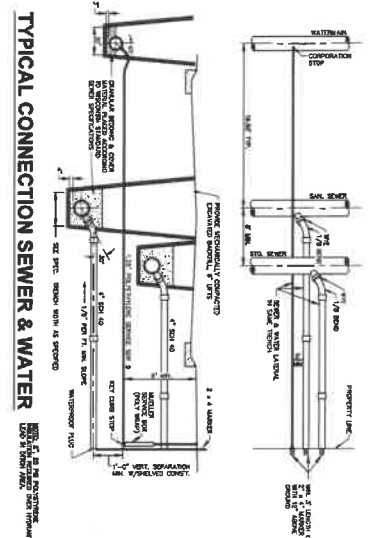
SIDEWALK INTERSECTION RAMPS



TYPICAL STREET SECTION



RISER DETAIL



TYPICAL CONNECTION SEWER & WATER

NOT FOR CONSTRUCTION

DRAWN BY		CHECKED		APPROVED		FIELDWORK	
CRC		ALM		MSS			
**REFER TO COVER SHEET FOR REVISION DESCRIPTIONS **							
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	02-11-2019						
2	04-08-2019						
3	04-11-2019						
4	04-30-2019						

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 1177 Highway Road
 Menasha, WI 54952
 www.martenson-eisele.com
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 920.751.8351 1.800.226.6385

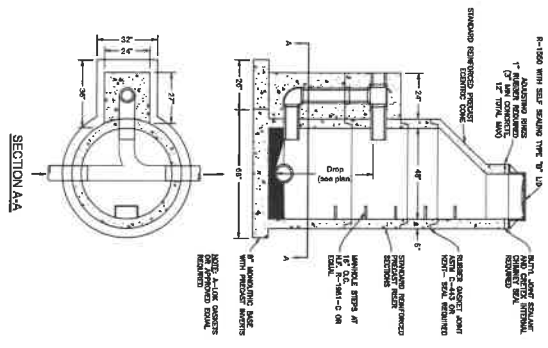
STANDARD DETAILS CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

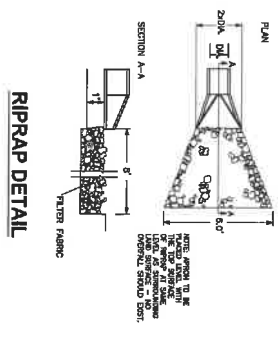
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DESIGNING NO. C7/1

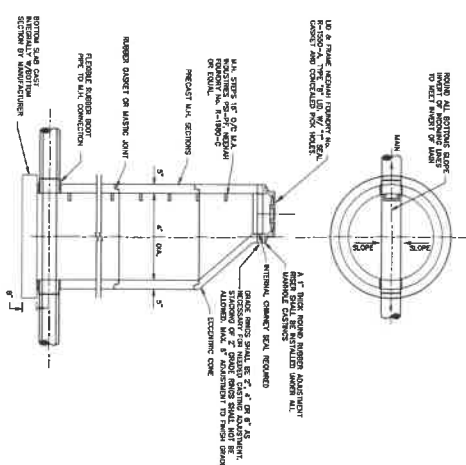
CREEKSIDE ESTATES: STANDARD DETAILS



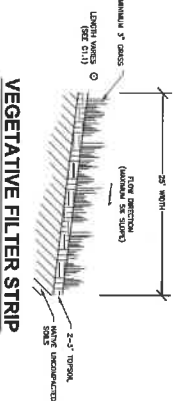
**PRECAST OUTSIDE DROP
SANITARY MANHOLE**



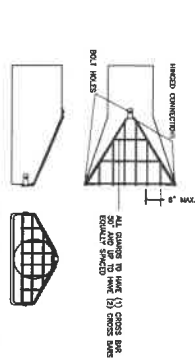
RIPRAP DETAIL



STANDARD PRECAST SANITARY MANHOLE

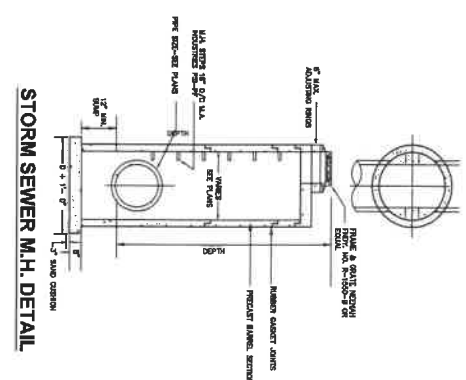


VEGETATIVE FILTER STRIP

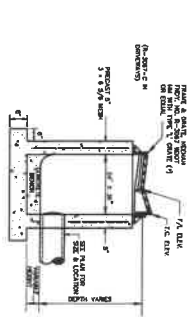


SAFETY/ TRASH GUARD FOR FLARED ENDS

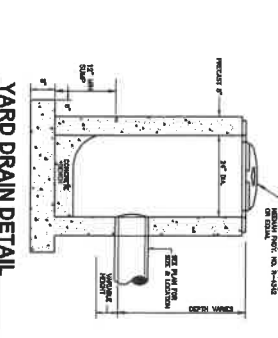
SECTION	DESCRIPTION	DEPTH	WIDTH	LENGTH	THICKNESS
1	CONCRETE	3'-0"	3'-0"	3'-0"	1'-0"
2	VEGETATION	2'-0"	2'-0"	2'-0"	2'-0"
3	TRASH GUARD	3'-0"	3'-0"	3'-0"	1'-0"



STORM SEWER M.H. DETAIL



STORM SEWER INLET DETAIL



YARD DRAIN DETAIL

NOT FOR CONSTRUCTION

DRAWN BY	CHECKED	APPROVED	FIELDWORK
NO.	DATE	NO.	DATE
1	03-13-13		
2	04-02-2019		
3	04-11-2019		
4	04-30-2019		

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 800.751.0351 1.800.239.0581

STANDARD DETAILS CREEKSIDE ESTATES

VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

SCALE	DATE
BARS SCALE 1/8"=1'-0"	02-29-2019
COMPUTER FILE	
1:4800=1:4800	

DRAWING NO.
C7.2

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Meeting Date:

May 14, 2019

Title:

Development Agreements for Hidden Pines

Issue:

Should the Board approve the draft development agreement for the Hidden Pines subdivision?

Background and Additional Information:

Staff revised the development agreement for Hidden Pines to include comments made from the previous meeting. Revisions include letting the “gravel” roads sit for at least one freeze/thaw cycle but not more than 3 years. During this time, the “gravel” roads will have a 1½” temporary asphalt binder as recommended by the DNR. Permits will be issued upon acceptance of the “gravel” roads. Final street paving and sidewalks will be installed by the developer and a financial guarantee will be submitted by the developer to cover the cost of street paving.

The developer is requesting the following amendments:

1. The stormwater pond buy-in fee reduced from \$6496.95 per acre (\$38,981.70 total) to \$4,585.85 per acre (\$27,515.10 total), difference of \$11,466.60. Staff initially quoted the \$4,585.85 per acre in Spring 2018. Staff was mistaken on the engineers submittal which did not include the plantings cost and land acquisition costs.
2. The stormwater pond buy-in fee and payment in-lieu of parkland fee be paid after lots are sold. The draft agreement states the fees must be paid prior to signing the final plat. If an alternate time is considered, staff suggests December 31, 2019.
3. A 30-foot storm sewer easement will be required along the east side of lots 7-11. The developer is requesting that the easement be reduced to 20-feet on Lot 7 in order to keep a decent buildable area on Lot 7. A 30-foot easement allows for a 53.5-foot wide buildable area. A 20-foot easement allows for a 63.5-foot wide buildable area.

Budget Impacts:

None

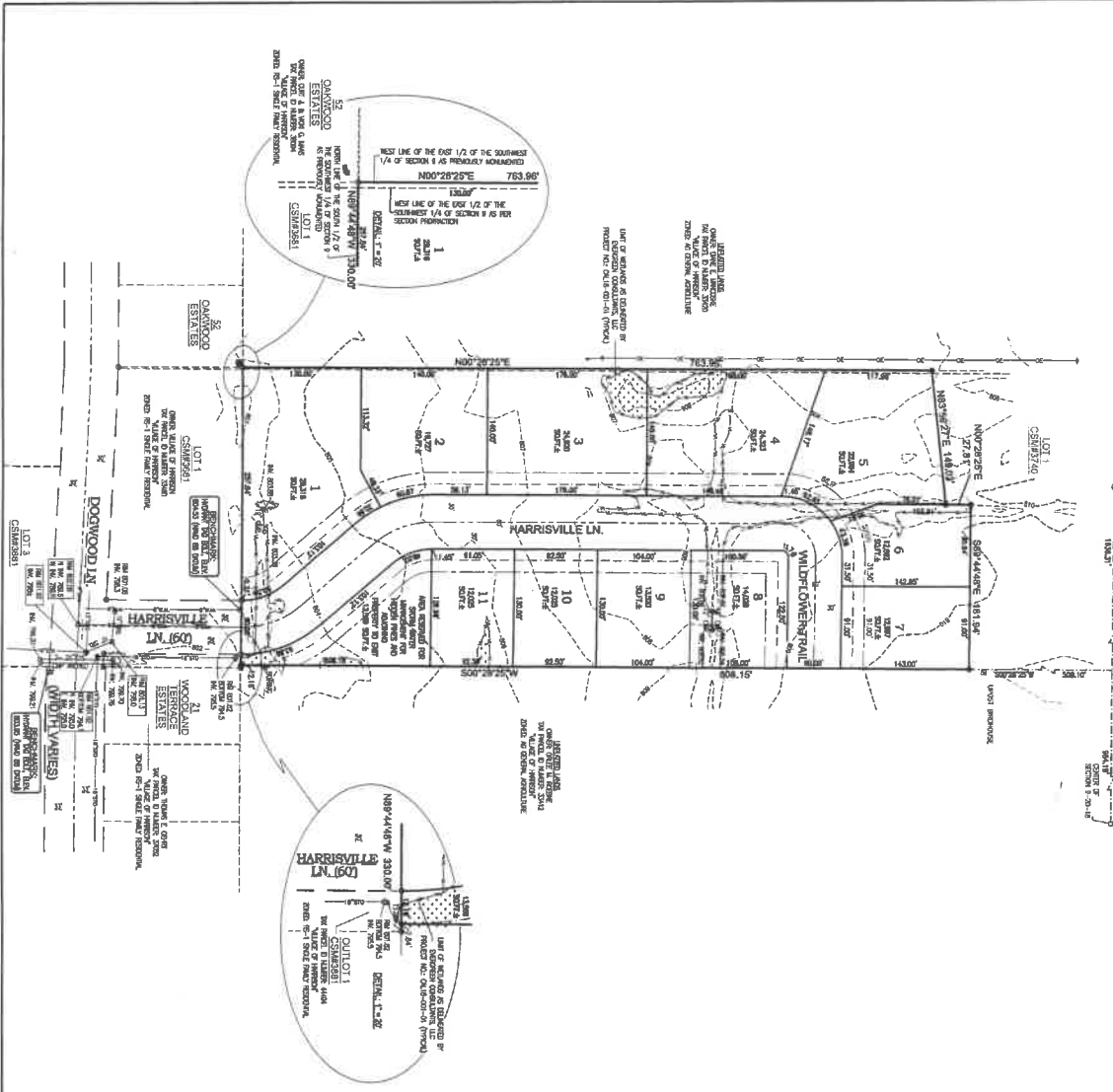
Recommended Action:

Staff recommends approval of the draft development agreement, with or without amendments.

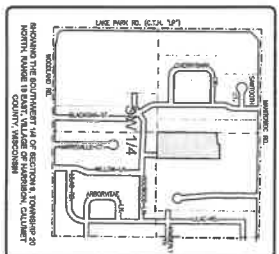
Attachments:

- Draft development agreement
- Revised Preliminary Plat

"HIDDEN PINES SUBDIVISION"
 PRELIMINARY PLAT
 BEING ALL OF LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 3740 AS RECORDED IN VOLUME 33 OF CERTIFIED SURVEY
 MAPS, PAGE 240, AS DOCUMENT NO. 935713, LOCATED IN NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9,
 TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



OWNER'S REPRESENTATION
 I, the undersigned, being the owner of the above described land, do hereby certify that the same is as shown on this plat, and that the same is not subject to any other claim or interest of any person other than myself.



LEGEND

- 1 - 1" = 100' SCALE
- 2 - 1" = 50' SCALE
- 3 - 1" = 25' SCALE
- 4 - 1" = 12.5' SCALE
- 5 - 1" = 6.25' SCALE
- 6 - 1" = 3.125' SCALE
- 7 - 1" = 1.5625' SCALE
- 8 - 1" = 0.78125' SCALE
- 9 - 1" = 0.390625' SCALE
- 10 - 1" = 0.1953125' SCALE
- 11 - 1" = 0.09765625' SCALE



ANY 1" = 100' SCALE SHOULD BE USED UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHOWN ON THIS PLAT ARE IN FEET AND INCHES. DIMENSIONS IN FEET SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER. DIMENSIONS IN INCHES SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER. DIMENSIONS IN FEET AND INCHES SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER. DIMENSIONS IN FEET AND INCHES SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

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RECEIVED
 MAY 07 2019
 HARRISON PLANNING

DATE	REVISION
3-28-2018	REVISION CORRECTED
4-11-2018	REVISION CHANGES
4-23-2018	MOVED ROAD TO NORTH ON EAST END
5-03-2018	REVISION SET LINES

CAROW LAND SURVEYING CO., INC.
 615 N. LYNDALE DRIVE
 APPLETON, WISCONSIN 54912-1297
 PHONE: (920)731-4168 FAX: (920)731-5673

LOUMAR PROPERTIES, LLC
 ATTENTION: KENT GROSS
 8349 DOCKWOOD LAKE
 MENASHA, WISCONSIN 54952
 PROJECT: PRELIMINARY PLAT "HIDDEN PINES SUBDIVISION", VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

RECEIVED
 MAY 07 2019
 HARRISON PLANNING

Mark Mommaerts

From: Kent Gross <klgmmhg@yahoo.com>
Sent: Monday, May 06, 2019 11:55 AM
To: Mark Mommaerts
Cc: Travis Parish; kevinhietpas@hotmail.com
Subject: Fw: 32180007--Hidden Pines--REVISED BID DRAWINGS

Mark,

Please see the below explanation provided by our engineer. We'd like to request that the easement be reduced to 20 feet wide along the east side of lot 7.

Thank you,
Kent

Sent from Yahoo Mail on Android

----- Forwarded Message -----

From: "Sandy McClaine" <SMcClaine@larsonengr.com>
To: "Kent Gross" <klgmmhg@yahoo.com>
Sent: Mon, May 6, 2019 at 11:36 AM
Subject: RE: 32180007--Hidden Pines--REVISED BID DRAWINGS

Hi Kent,

I took a fresh/closer look at the storm sewer on the north end of your plat (the line that's directing the off-site flow around the development).

I worked to see if it's at all possible to get that storm sewer to be located in the easement between lots 5 and 6. In order to get that to work we'd end up having to raise the proposed road profile in the neighborhood of 3-3.5'. This would then cause some additional issues with the lot grading for the homes around that corner...for example...the top of foundation elevation for lot 5 would want to be in the neighborhood of 812. The other issue with running it in the same easement we're using to drain that lots in the subdivision is getting appropriate (or really any) cover over that pipe when it crosses the swale we have there.

Realistically, I think the best option is still to run the pipe along the north boundary of lots 6 & 7 and then south along the east line of lot 7, and request the easement along the east line of lot 7 be reduced to 20' instead of 30' since there is good access to that area right off of the turn-around area being provided at the end of Wildflower Trail.

Sandy McClaine, P.E.

Project Manager

Larson Engineering, Inc.

2801 E. Enterprise Avenue, Suite 200
Appleton, WI 54913-8559
920.734.9867 Ext. 3115

smcclaine@larsonengr.com



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**SUBDIVISION DEVELOPMENT AGREEMENT
HIDDEN PINES**

THIS AGREEMENT, made this _____ day of _____, 20____, between LOUMAR PROPERTIES LLC, hereinafter called "Subdivider", and the Village of Harrison, a municipal corporation of the State of Wisconsin, located in Calumet and Outagamie counties, hereinafter called "Village".

WHEREAS, Subdivider is the owner of approximately 6.0-acres of land in the Village, said land being referred to as "Hidden Pines" described as:

Being all of Lot 2 of Certified Survey Map No. 3740 as recorded in Volume 33 of Certified Survey Maps, Page 240, as Document No. 535713, located in the Northeast ¼ of the Southwest ¼ of Section 9, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

WHEREAS, Subdivider desires to subdivide and develop said lands;

WHEREAS, said lands are presently zoned or planned to be zoned as **RS-1 | Single-Family Residential (Suburban)** which permits the above development; and

WHEREAS, the Plan Commission has recommended to the Village Board that the proposed subdivision of the above described lands be given final approval when the final plat thereof has been presented to the Village Board on the condition that the Subdivider enter into an agreement with the Village relative to the manner and method by which said lands are to be developed; and

WHEREAS, the Subdivider agrees to develop said land as herein described in accordance with this Agreement and in accordance with all of the ordinances and regulations of the Village of Harrison; and

WHEREAS, the developer/subdivider assures the Village and shall on the plat acknowledge:
"The owner/subdivider has no notice or knowledge of any environmental problems (the existence of hazardous or toxic substances) of any sort on the property being transferred. The owner/subdivider understands that it will pay for any costs to remediate any environmental problems encountered during construction of any of the public improvements required by the Village on the plat in the Developer's Agreement. The owner/subdivider understand that they shall be individually responsible for any environmental problems found on the land, transferred to the Village on the Plat of Survey or Certified Survey Map during the construction of roads or other dedications and agree to hold the Village harmless until construction, installation or grading is complete."; and

WHEREAS, the Village and Subdivider agree that the required dedications for surface water drainage and detention shall be dedicated with the plat acceptance, but shall be constructed by the developer as specified. Security for performance of the construction shall be secured by letter of credit or escrow. Security for performance shall not be released in full or in part, at the discretion of the Village, until performance is complete and sufficient development of the subdivision has occurred to satisfy the Village that further development related impairment or damage of surface water structures will not occur.

NOW, THEREFORE, in consideration of the granting of approval of a final plat for **Hidden Pines** and the development thereof by the Village Board, the Subdivider does hereby agree to subdivide and develop said lands as follows:

SECTION 1 – IMPROVEMENTS

All public improvements shall be in accordance with the Village of Harrison standards and specifications as established in the *Standard Specifications Manual*, the Land Division Ordinance, and all other ordinances for the Village of Harrison. All plans and specifications for the public improvements shall require approval from the Village Engineer and Public Works Director prior to proceeding with construction.

A. ROADS AND STREETS The Subdivider hereby agrees:

To furnish, construct, grade and surface all roads and streets in the subdivision, all in accordance with the FINAL plat, plans, specifications and drawings approved by the Village.

The Village has given consideration to the installation required and completion dates shall hereinafter be established and specified below. The completion dates are based upon the developer's installation in accordance with the land division ordinance and the FINAL plan specifications and drawings approved by the Village.

All street construction, including but not limited to, sanitary sewer, watermain, storm sewer and associated laterals, subgrade, and gravel base shall be inspected by the Subdivider's engineer, in accordance with this Section, with weekly reports provided to the Village.

After the inspecting engineer has certified that the Village of Harrison standards have been met, the Village Board will review the engineer's certification and take action respectively, to accept the listed roads in a graveled state. Acceptance of a gravel road may only occur after all utilities (sanitary sewer, water, storm sewer, gas, electric, cable/phone, etc.) have been installed and inspected, the subgrade and gravel has been installed and inspected, temporary 1½" asphalt binder has been installed and inspected, and all terraces and primary drainage swales and ditches have been graded, seeded, and mulched and inspected. A financial guarantee, in an amount sufficient to cover the anticipated costs of curb and gutter, concrete paving, and sidewalk and/or trail construction, shall be submitted to the Village prior to acceptance of the roads in a graveled state. Once approved, the roads will sit in a gravel state for a period of at least one (1) freeze/thaw cycle but not more than three (3) years after acceptance by the Village Board.

During the specified time period, the curb and gutter shall be installed, the concrete paving completed, and sidewalks and/or trails installed. The Subdivider shall be responsible for the construction of the curb and gutter, concrete paving, and sidewalk and/or trail construction. Village will perform snow plowing and ice removal upon the roadways after acceptance in a graveled state at no cost to the Subdivider.

Prior to paving, the temporary asphalt binder shall be incorporated into the gravel base. The road base shall be inspected by the Village to ensure the gravel is sufficient for paving. If the gravel is insufficient, the Subdivider shall bring the gravel base into compliance prior to paving. The Subdivider shall also cause the curb and gutter to be installed, the paving completed, and the sidewalks and/or trails installed. Once the inspecting engineer has certified that the Village of Harrison standards have been met, the Village Board will review the engineer's certification and take action respectively, to accept the listed roads in a finished state.

Any variation to the proposed schedule of the improvements as set forth in the contract below may be extended where requests are made by the Subdivider for construction during periods within the determination of the Public Works Director and the Village's Engineer, require

extension of time periods to assure the Village that the improvements will not suffer from premature degeneration as a result of said construction.

For new utility or street construction between November 15th and May 1st, there will be an additional warranty period of three years beginning from the time the road is accepted by the Village. Such warranty shall apply to all improvements in case of failure. Such warranty shall be in the form of a Performance Bond, Letter of Credit or Cash Escrow in an amount sufficient, as approved by the Public Works Department and/or Village engineer, to repair defects in the roadway. Repair of such defects shall be determined by the Public Works Department.

The schedule for construction shall be as follows:

Timeframe	
Subdivision	Hidden Pines
Final Subdivision Approval	Spring 2019
Sanitary, Water, and Storm Sewers	September 2019
Utilities (Gas, Electric, Phone, Cable, etc.)	September 2019
Grade & Gravel	September 2019
Terraces	September 2019
1½ "Asphalt Binder	September 2019
Concrete Integral Curb & Gutter	Prior to September 2022
7" Concrete Pavement	Prior to September 2022
Sidewalks/Trails	Prior to September 2022
Final Terrace Restoration	Prior to September 2022

B. CURB AND GUTTER The Subdivider hereby agrees:

1. To furnish, construct and install curb and gutter in accordance with the plat, plans, specifications and drawings attached hereto as Exhibit "A" and to complete said installation as set forth in the schedule above with such costs to be equally assessed to all lots within the subdivision.

C. SIDEWALKS The Subdivider hereby agrees:

1. To furnish, construct and install concrete sidewalks in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above with such costs to be equally assessed to all lots within the subdivision. Sidewalks are to be constructed on both sides of the street.

D. TRAILS None are proposed.

E. SANITARY SEWER The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete sewerage systems throughout the entire subdivision, all in accordance with the plat plans, specifications and drawings *as per the requirements of Harrison Utilities* and the Standards Specifications Manual for the Village of Harrison.

2. To install separate sanitary sewer laterals six (6') feet into each lot within the subdivision in accordance with the Standards Specifications Manual for the Village of Harrison.
3. The sanitary sewer system will not be accepted until the sanitary sewers have been installed and tested in accordance with *Harrison Utilities* specifications on file with the Department of Natural Resources and the Subdivider's plan specifications as *Harrison Utilities* and the Village's engineer.

F. WATER The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete water distribution system throughout the entire subdivision, all in accordance with the plat, plans, specifications and drawings as per the requirements of *Harrison Utilities* and the Standards Specifications Manual for the Village of Harrison.
2. To install separate water laterals six (6') feet into each lot within the subdivision in accordance with the Standards Specifications Manual for the Village of Harrison.
3. The water distribution system will not be accepted until the water distribution system has been installed and tested in accordance with *Harrison Utilities* specifications on file with the Department of Natural Resources and Public Service Commission and the Subdivider's plans and specifications approved by *Harrison Utilities* and the Village's engineer.

G. SURFACE WATER DRAINAGE The Subdivider & Village hereby agrees:

1. The Subdivider agrees to pay a stormwater "buy-in" fee of \$6,496.95 per acre, for a total of \$38,981.70, for total suspended solids (TSS) stormwater treatment in the Lakeview Regional Pond.
2. The Subdivider agrees to furnish, construct, install and provide adequate facilities for storm and surface water drainage throughout the entire subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village and, where applicable, the Garners Creek Storm Water Utility and the Village of Harrison Storm Water regulations.
3. The Subdivider agrees that all stormwater management facility construction, including but not limited to, retention/detention ponds, primary drainage swales, and associated piping systems shall be inspected by the Subdivider's engineer, with all reports provided to the Village, before acceptance by the Village.
4. The Subdivider agrees to install separate storm sewer laterals six (6') feet into each lot within the subdivision in accordance with the Standards Specifications Manual for the Village of Harrison.
5. The Subdivider agrees that the Village Board will not accept the storm and surface water drainage improvements until the same have been installed and tested in accordance with the Village's specifications and the Subdivider's plans and specifications approved by the Village. The storm water and surface water drainage improvements shall be completed before a release of the performance guarantee specified by this contract.

H. EROSION CONTROL The **Subdivider** hereby agrees:

1. To install silt fence at the right-of-way line along all streets in the **FINAL** plat prior to acceptance of the street(s) in a graveled state. Silt fence to be installed in accordance with the Wisconsin Department of Natural Resources (WDNR) Technical Standards.
2. Maintain silt fence along the right-of-way line until all land disturbances have been stabilized in accordance with WDNR Technical Standards.
3. Maintain all other erosion control practices for stormwater management facilities, environmental protections, etc., in accordance with WDNR Technical Standards.

I. GRADING The **Subdivider** hereby agrees:

1. To complete rough grading and finish grading along all primary drainage swales and ditches in the subdivision all in accordance with **FINAL** plat, plans specifications and drawings approved by the Village.
2. To complete rough grading along all property lines to the design grade.
3. To seed and establish a vegetative cover over all disturbed areas.

J. LANDSCAPING RESTORATION The **Subdivider** hereby agrees:

1. To preserve to the maximum extent possible existing trees, shrubbery, vines and grasses not actually lying within public roadways, drainageways, building foundations sites, private driveways, solid absorption waste disposal areas, paths and trails by use of sound conservation practices.
2. To remove and lawfully dispose of all destroyed trees, brush, tree trunks, shrubs and other natural growth and all rubbish.
3. To provide topsoil, seed, fertilizer and mulch for primary drainage swales and ditches and seed fertilizer and mulch for terrace areas in order to provide permanent growth of grass prior to acceptance of the street(s) in a graveled state.
4. To provide a growth of grass and warranty for washouts or other destruction of the drainage plan structures.

K. INSPECTIONS The **Subdivider** hereby agrees:

1. To provide an inspector on-site for the purposes of inspecting the improvements to ensure compliance with the Standard Specifications Manual for the Village of Harrison.
2. To pay for all costs associated with the inspection of improvements within the subdivision development.
3. To provide written reports weekly of all activities occurring with regards to the improvements and to provide any other information that is reasonably requested by the Village.

L. PAYMENT IN LIEU OF PARKLAND The Subdivider hereby agrees:

1. To pay the Village a fee in lieu of parkland dedication in an amount equal to **\$5,266** prior to the Village signing the Final Plat. Fee in lieu of parkland is based on the following assumptions in the park impact fee and public needs assessment document: \$25,000 per acre of parkland, 6.65-acres of parkland per 1,000 residents, and 2.88 persons per household ($\$25,000 * 6.65 / 1,000 * 2.88 =$ per lot fee). There are 11-lots in Hidden Pines subdivision.

M. STREET LIGHTS The Subdivider hereby agrees:

1. None proposed for this portion of the subdivision.

SECTION II – MISCELLANEOUS REQUIREMENTS

- A. Survey Monuments. The Subdivider hereby agrees to properly place and install all survey or other monuments required by statute and ordinance.
- B. Grade. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner, the final signed plan set showing the finished grade at each lot corner, proposed grade around the foundation, and benchmarks on all hydrant tag bolts.
- C. Plans. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner all plans and specifications identified in the Land Division Ordinance of the Village of Harrison.
- D. Compliance with Ordinances and Statutes. The Subdivider hereby agrees to comply with the requirements and provisions of all Village ordinances and state statutes.
- E. Record Drawings. The Subdivider agrees to provide the Village with grade sheets and record drawings of the sanitary sewer, water main, storm sewer improvements, and streets showing location of all the appurtenances and features of the systems as required by the standard specifications.
- F. Locations for Laterals or Other Improvements. If locates are necessary for any reason prior to final acceptance, the developer shall either provide adequate record drawings to the Village or the developer shall provide the field locates of utilities (such as laterals).

SECTION III – PUBLIC IMPROVEMENT GUARANTEE

- A. The Village will not approve a final plat until such improvement is guaranteed as listed in A(1).
 1. The Subdivider shall provide an irrevocable letter of credit or cash escrow for an amount equal to the cost of furnishings, constructing, installing, staking, inspecting and testing the improvement as required by this contract. The amount shall include construction engineering costs and shall be subject to final approval by the Village. (Improvements are described in this contract in Section I hereof) The improvements shall be guaranteed prior to the Village approving the final plat.

That amount of the remaining improvements, as provided by the developer's engineer is
\$ _____

A detail of the estimated cost shall be attached as Exhibit "B".

- B. The Subdivider shall furnish, construct, install, stake, inspect and test the improvement. The improvement shall be dedicated to and accepted by the Village prior to the Village approving any release of a public improvement guarantee.
- C. The Subdivider hereby agrees to guarantee the improvements described in Section I hereof against defects due to faulty materials or workmanship which appear within a period of one year from the date of acceptance by the Village as herein provided and shall pay for any damages resulting therefrom to Village property.
- D. As improvements required by this Agreement are completed, approved and accepted by the Village, the Subdivider may request a reduction of the public improvement guarantee based upon a demonstration that there exists no necessity for a guarantee in the full amount as originally required. Reductions in the amount of the public improvement guarantee shall be solely within the discretion of the Village Board and shall be made only upon recommendation by the Road Superintendent and Village Engineer.

SECTION IV – BUILDING & ZONING PERMITS

- A. The Village will not allow building permits or zoning permits to be issued to any person in the said subdivision until all improvements required herein have been dedicated to and accepted by the Village. *Issuance of permits may commence upon the dedication and acceptance of the roadways in a graveled state.*
- B. Building permits and zoning permits may be issued by the Village upon all outstanding inspection and plan review fees or charges being paid and dedication acceptance and verification by the Village that the provisions of this Agreement have been complied with.
- C. The Village shall also require verification that all public improvements have been paid for in the form of Lien Waivers from all persons providing materials or performing work on the Public Improvements for which certification is sought, and upon recording of the final plat, provided that the Subdivider has filed a sufficient Financial Guarantee with the Village to cover the cost of remaining items. Should the Subdivider fail to complete any items pursuant to the terms of the contract by the date set forth herein, the Village shall have the right to complete the said improvement and the Village shall have unrestricted access to the Subdivider's land for said purpose and assess any cost back to the benefitting properties.
- D. Further, in the event that during the construction of the improvements specified herein, it is determined by the Public Works Department, or Village's Engineer, that the Subdivider and/or its subcontractors installing said improvements have created a situation that is hazardous to the public and requires guarding improvement or repair, the Village may access the Subdivider's property for the purpose of making said repairs and any

costs associated with the maintenance of roadways, filling of holes, removal of obstructions or other necessary work may be charged against the cash escrow or irrevocable letter of credit. The Public Works Department shall make an effort to notify the Subdivider of the situation. The Public Works Department and the Engineer in their judgment may determine the necessity of the repairs are urgent in nature and complete those repairs without notice to the Subdivider.

SECTION V – AMENDMENTS

The Village Board and Subdivider by mutual consent may amend this Agreement at any regularly scheduled meeting of the Village Board of the Village of Harrison. The Village Board shall not, however, consent to an amendment until after having first received a recommendation from the Public Works Director and/or the Village’s Engineer.

The rest of this page left blank intentionally.

SUBDIVIDER

IN WITNESS WHEREOF, the Subdivider has caused this Agreement to be signed this _____ day of _____, 2019.

LOUMAR PROPERTIES, LLC

BY: _____
Print Name: _____
Title: _____

BY: _____
Print Name: _____
Title: _____

STATE OF WISCONSIN)
) SS
COUNTY OF CALUMET)

Personally came before me this _____ day of _____, 20____, the above named _____ and _____, to me known to be the persons who executed the foregoing instrument.

Notary Public-State of Wisconsin
My Comm. Exp. _____

VILLAGE OF HARRISON

Adopted by the Village Board of the Village of Harrison this _____ day of _____, 2019.

VILLAGE OF HARRISON

By: _____
Kevin Hietpas, Village President

Attest: _____
Jennifer Weyenberg, Village Clerk

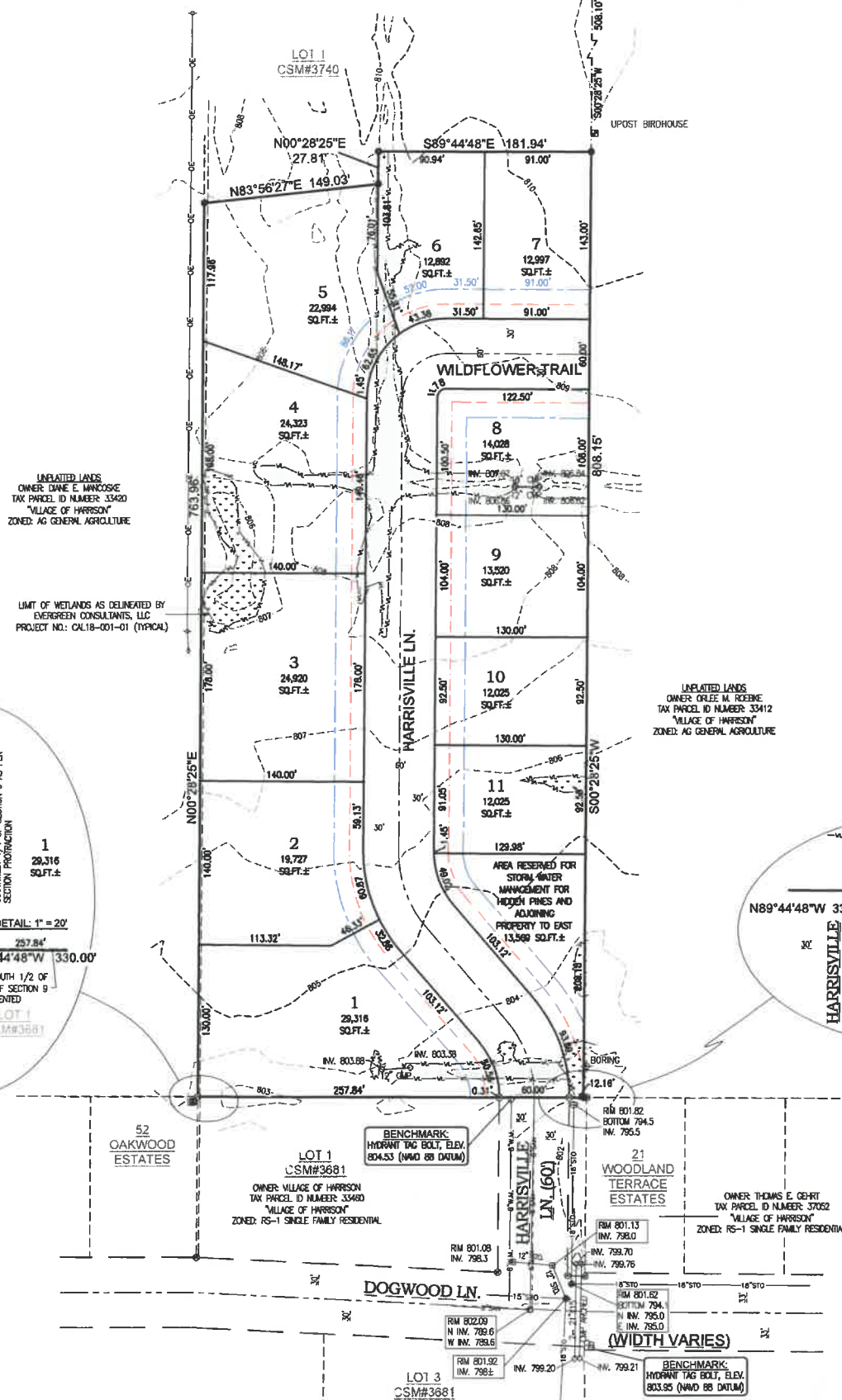
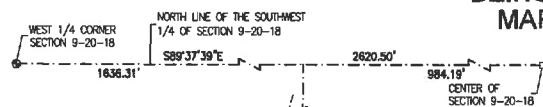
EXHIBIT A

Final Plat, Plans, and Drawings as approved by the Village.

Draft 5-9-19

PRELIMINARY PLAT "HIDDEN PINES SUBDIVISION"

BEING ALL OF LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 3740 AS RECORDED IN VOLUME 33 OF CERTIFIED SURVEY MAPS, PAGE 240, AS DOCUMENT NO. 535713, LOCATED IN NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



UNPLATED LANDS
OWNER: LANE E. WINKOSKE
TAX PARCEL ID NUMBER: 33420
"VILLAGE OF HARRISON"
ZONED: AG GENERAL AGRICULTURE

LIMIT OF WETLANDS AS DELINEATED BY
EVERGREEN CONSULTANTS, LLC
PROJECT NO.: CAL18-001-01 (TYPICAL)

UNPLATED LANDS
OWNER: GRACE W. ROEBBE
TAX PARCEL ID NUMBER: 33412
"VILLAGE OF HARRISON"
ZONED: AG GENERAL AGRICULTURE

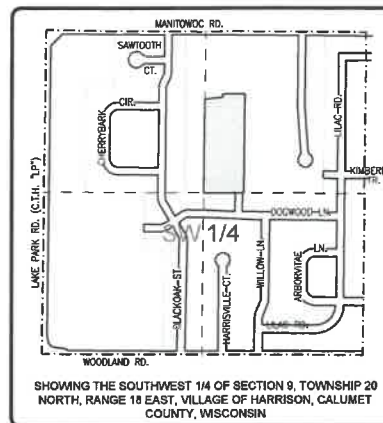
OWNERS & SUBDIVIDER:
LOUMAR PROPERTIES, LLC
6249 DOGWOOD LANE
MENASHA, WISCONSIN 54952

PRESENT ZONING:
AG GENERAL AGRICULTURE

PROPOSED ZONING:
RS-1 SINGLE FAMILY RESIDENTIAL (SUBURBAN)

SURROUNDING ZONING:
AG GENERAL AGRICULTURE
RS-1 SINGLE FAMILY RESIDENTIAL (SUBURBAN)

REVIEWING AGENCIES:
DEPARTMENT OF ADMINISTRATION
VILLAGE OF HARRISON
CALUMET COUNTY
EAST CENTRAL WISCONSIN REGIONAL PLANNING COMMISSION
WISCONSIN ELECTRIC POWER COMPANY D/B/A WE ENERGIES,
WISCONSIN GAS, LLC
AT&T
SPECTRUM

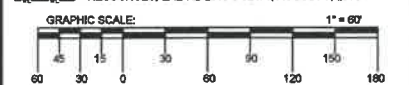


SHOWING THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

- LEGEND:**
- = COUNTY MONUMENT
 - = 3/4" X 1/8" SOLID ROUND #6 IRON REBAR SET, WEIGHING 1.522 LBS. PER LIN. FT.
 - ⊙ = 3/4" SOLID ROUND IRON REBAR FOUND
 - = P.K. NAIL FOUND
 - = SANITARY MANHOLE
 - ⊙ = STORM MANHOLE
 - ⊙ = CATCH BASIN
 - = CULVERT
 - = WATER VALVE
 - = FIRE HYDRANT
 - = POWER POLE
 - = DOWN GUT
 - = GAS VALVE
 - = ELECTRICAL PEDESTAL
 - = TELEPHONE PEDESTAL
 - = CABLE PEDESTAL
 - = SIGN
 - = SOIL BORING LOCATION
 - () = RECORDED AS BEARING/DISTANCE
 - OE = OVERHEAD ELECTRICAL
 - OC = OVERHEAD ELECTRICAL & COMMUNICATIONS
 - UC = UNDERGROUND COMMUNICATIONS

LIMIT OF WETLANDS AS DELINEATED BY EVERGREEN CONSULTANTS, LLC PROJECT NO.: CAL18-001-01 (TYPICAL)

ARTIFICIAL WETLAND EXCEPTION DETERMINATION PER THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES, EXE-NE-2018-8-02471, AUGUST 7, 2018



NORTH IS REFERENCED TO THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, WHICH BEARS S88°37'39"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM (CALUMET COUNTY)



Know what's below.
Call before you dig.

- 3/4" X 3/4" SOLID ROUND #6 IRON REBAR SET AT ALL OTHER LOT CORNERS, 1.522 LBS. PER LIN. FT.
- ALL DIMENSIONS COMPUTED AND MEASURED TO THE NEAREST 0.01 FOOT.
- ALL BEARINGS COMPUTED AND MEASURED TO THE NEAREST SECOND.

FRONT YARD SETBACK TO BE 25' UNLESS NOTED OTHERWISE

DENOTES 12' UTILITY EASEMENT UNLESS NOTED OTHERWISE

NOTES:

- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO. PRIOR TO CONSTRUCTION DIGGERS HOTLINE MUST BE CALLED FOR FIELD LOCATION. DIGGERS HOTLINE WAS CONTACTED UNDER TICKET NO. 20183301653 AND 20183301653 AND THIS SURVEY DRAWING REPRESENTS THE LOCATION OF ALL UTILITIES MARK.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITHIN THIS DRAWING, INDIVIDUAL CONTRACTORS AND SUBCONTRACTORS MUST VERIFY CORRESPONDING DETAILS AND DIMENSIONS FOR THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.
- ALL EASEMENTS TO BE SHOWN ON THE FINAL PLAT

LEGAL DESCRIPTION:
LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 3740 AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR CALUMET COUNTY, WISCONSIN ON DECEMBER 7, 2018 IN VOLUME 33 OF CERTIFIED SURVEY MAPS, PAGE 240, AS DOCUMENT NO. 535713, SAID MAP BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

SURVEYORS CERTIFICATE:
I, ROBERT F. REIDER, CERTIFY THAT THIS PRELIMINARY PLAT IS A CORRECT REPRESENTATION OF ALL EXISTING LAND DIVISIONS AND FEATURES AND THAT I HAVE FULLY COMPLIED WITH THE SUBDIVISION ORDINANCES OF THE VILLAGE OF HARRISON.

Robert F. Reider
ROBERT F. REIDER, PLS-1251 DATED 3-25-2019

SOIL BORING CERTIFICATION:
I, ROBERT F. REIDER, CERTIFY THAT THE SOIL TEST LOCATIONS SHOWN ON THIS PRELIMINARY PLAT AREA ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Robert F. Reider
ROBERT F. REIDER, PLS-1251 DATED 3-25-2019



NO.	DATE	REVISIONS
1	3-25-2019	REVIEW CHANGES
2	4-01-2019	REVIEW CHANGES
3	4-03-2019	MARKED ROAD 10' NORTH ON EAST SIDE
4	5-03-2019	REVISED EAST LOTS

CAROW LAND SURVEYING CO., INC.
615 N. LYNDALE DRIVE
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168 FAX: (920)731-5673



DESIGNED: MCR
DRAWN: MCR
CHECKED: RFR

LOUMAR PROPERTIES, LLC
ATTENTION: KENT GROSS
6249 DOGWOOD LANE
MENASHA, WISCONSIN 54952
PROJECT: PRELIMINARY PLAT "HIDDEN PINES SUBDIVISION", VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

SCALE: 1" = 60'
DATE: 3-25-2019
PROJECT NO.: 10PP

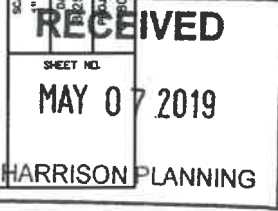


EXHIBIT B

Engineer's Cost Estimate for Improvements.

Draft 5-9-19

EXHIBIT C

Financial Guarantee.

Draft 5-9-19

EXHIBIT D

Waiver of Special Assessment.

Draft 5-9-19