

NOTICE OF VILLAGE BOARD MEETING

DATE: Tuesday, October 29, 2019
TIME: 7:00pm
PLACE: Harrison Municipal Building
W5298 State Road 114
Harrison, WI 54952

NOTICE IS HEREBY GIVEN that a Village of Harrison Board Meeting will be held on Tuesday, October 29, 2019 at 7:00pm. The agenda is listed below.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call of Village Board
4. Correspondence or Communications from Board and Staff
5. Public Comments
Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three-minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.
6. Consent Agenda
 - a) Certified Survey Map – Hopfensperger – W4958 Schmidt Road
 - b) Certified Survey Map – Mueller – Pigeon Road
 - c) Application for Operator License (expiring June 30, 2020)- Kasey Lawson, Brianna Moss
 - d) Certificate for Payment #3 in the amount of \$401893.73 to PTS Contractors for 2019 Paving Program.
7. Items Removed from Consent Agenda (if any)
8. Appointments
 - a) None
9. Unfinished Business from Previous Meetings for Consideration or Action
 - a) None
10. New Business for Consideration or Action

- a) Application for "Class B" Intoxicating Liquor and Beer License for Vargas Bros LLC, N8331 State Park Road
- b) Approve Agent Jose Vargas, Vargas Bros LLC
- c) Permission to Occupy Drainage Easement – Calmes – W5435 Mile Long Drive
- d) Ord V19-10 – Adopting Amendments to Comprehensive Plan – Premier Real Estate Management, LLC – Friendship Drive
- e) Ord V19-11 – Zoning Map Amendment – Premier Real Estate Management, LLC – Friendship Drive
- f) Conditional Use Permit – Premier Real Estate Management, LLC – Friendship Drive
- g) Ord V19-12 – Adopting Amendments to Comprehensive Plan – Southtowne Place – Manitowoc Road
- h) Ord V19-13 - Zoning Map Amendment – Southtowne Place – Manitowoc Road
- i) Ord V19-14 – Adopting Amendments to Comprehensive Plan – Novotny/Sweere – County KK
- j) Ord V19-15 – Zoning Map Amendment – Novotny/Sweere – County KK
- k) Amy Avenue Extension – Novotny/Sweere – County KK
- l) Certified Survey Map – Novotny/Sweere – County KK
- m) Ord V19-16 – Zoning Map Amendment – Kimberly Heights 4 – Schmidt Road
- n) Certified Survey Map – Kimberly Heights 4 – Schmidt Road
- o) Conditional Use Permit – Bill's Custom Conveying – Hwy 114
- p) Ord V19-17 – Zoning Text Amendment – Driveway Openings & Drainage Easements
- q) Updates to Discharge of Firearms Map
- r) Acceptance of Gravel Road for Kambura Acres III
- s) Request for mini-storm sewer on Bailey Drive – Ken Quella, W5574 Bailey Drive
- t) Harrison Utilities – Discussion/Approval of sewer and water extensions to 2nd Addition to Southfield in the City of Menasha
- u) Harrison Utilities – Discussion/Approval of sewer and water extensions to 3rd Addition to Woodland Hills in the City of Menasha
- v) Approve using Village Attorney Rossmeissl to contest Orlee Roebke small claims filing
- w) Approve payment to Calumet County for property located at W6505 Manitowoc Rd.

11. Reports

- a) Calumet Co. Sheriff's Department
- b) Zoning Permits

12. Adjournment

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

Carie Krause, Deputy Village Clerk-Treasurer

Agenda posted 10/25/19 and posted at www.harrison-wi.org and Municipal Building lobby

VILLAGE BOARD MEETING

From:

Mark J. Mommaerts, AICP, Planner

VILLAGE OF HARRISON

Meeting Date:

October 29, 2019

Title:

CSM - Hopfensperger

Issue:

Should the Village Board approve the CSM?

Background and Additional Information:

The applicant is proposing a 1-lot Certified Survey Map (CSM) for the property located at W4958 Schmidt Road (Tax ID 39070). There is an existing house that is proposed to be divided from the remaining lands. The house is currently served with private septic and well. The proposed lot is approximately 267-feet by 162-feet and 43,560-square feet in area. The property is currently zoned General Agricultural [AG]. The AG zoning district requires a minimum of 150-feet of road frontage and a minimum of 1-acre (43,560-square feet) area for new lots.

As proposed, the lot does meet the minimum area requirement of the zoning district. The remnant parcel will have approximately 70-feet of road frontage along Schmidt Road. This could serve as a future road access to the property.

Budget Impacts:

None

Recommended Action:

The Plan Commission will meet prior to the Village Board to discuss and act on the CSM. The Plan Commission decision will be presented at the meeting.

Staff recommends approval of the Certified Survey Map received October 9, 2019.

Attachments:

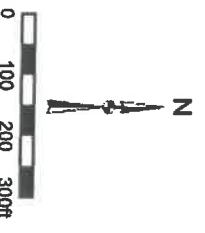
- CSM
- Aerial Map

Calumet County, WI

Legend

- Address Point
- ▭ County Boundary
- ▭ Wisconsin Water
- Unincorporated Community
- ▭ Town Boundary
- ▭ Point of Interest
- ▭ Parcel Boundary
- ▭ Property Hook
- ▭ PLSS Section
- ▭ State Parks
- ▭ County Parks
- ▭ Lake
- ▭ River and Stream
- ▭ Major Roads
- ▭ Local Roads
- ▭ Local Roads
- ▭ Municipal Streets
- ▭ Trail
- ▭ Railroad

- Color 2018
- Red: Band 1
- Green: Band 2
- Blue: Band 3



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

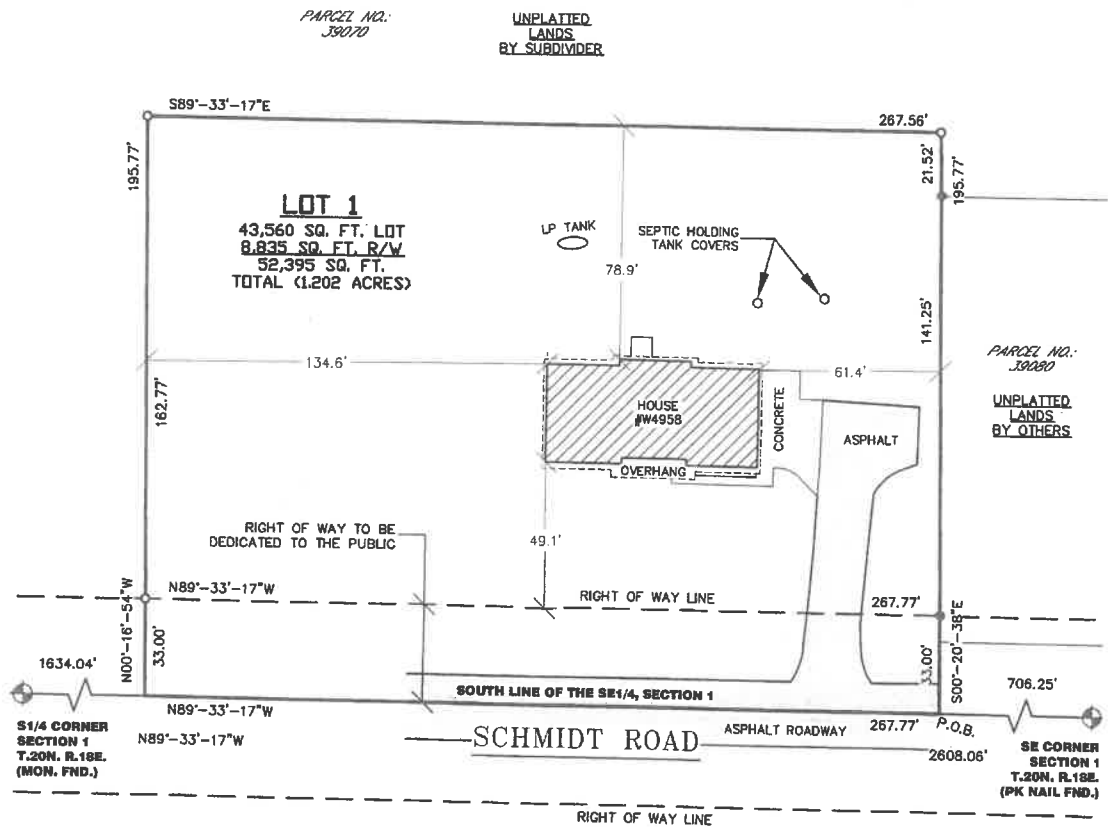
Author:	
Date Printed:	10/14/19 11:44 AM
Source:	



RECEIVED
 OCT 09 2019
 HARRISON PLANNING

CERTIFIED SURVEY MAP NO. _____

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E.,
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

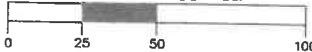


BEARINGS REFERENCED TO THE CALUMET COUNTY COORDINATE SYSTEM AND THE SOUTH LINE OF THE SE1/4 OF SECTION 1, T.20N., R.18E., WHICH BEARS N89°-33'-17"W

SURVEY NOTES:

- PARCEL ID NO.: 39070
- SITE ADDRESS: W4958 SCHMIDT RD. KAUKAUNA, WI 54130

GRAPHIC SCALE
 1 inch = 50 ft.



-LEGEND-

- = 1" X 18" IRON PIPE SET (1.130 LB./FT.)
- = 3/4" REBAR FOUND
- ⊕ = COUNTY MONUMENT FOUND
- P.O.B. = POINT OF BEGINNING

MERIDIAN SURVEYING, LLC 19637 Friendship Drive Kaukauna, WI 54130 Office: 920-993-0881 Fax: 920-273-6037	DRAWN BY: J.B.	FIELD WORK DATE: 8-27-19	SURVEYED FOR: RALPH HOPFENSPERGER N9227 HWY 55 KAUKAUNA, WI 54130
	CHECKED BY: S.C.D.	FIELD BOOK: N/A	
	JOB NO.: 11515	SHEET 1 OF 6	

STATE OF WISCONSIN)
CALUMET COUNTY) SS

CERTIFIED SURVEY MAP NO. _____

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,
CALUMET COUNTY, WISCONSIN
(Sheet 2 of 6)

SURVEYOR'S CERTIFICATE

I, Steven C. De Jong, Wisconsin Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed, divided, monumented and mapped under the direction of Ralph Hopfensperger, a part of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, Village of Harrison, Calumet County, Wisconsin containing 52,395 square feet (1.202 acres) of land and being described by:

Commencing at the Southeast Corner of said Section 1; thence N89°-33'-17"W 706.25 feet along the south line of the SE1/4 of said Section 1 to the point of beginning; thence continue N89°-33'-17"W 267.77 feet along said south line of the SE1/4 of said Section 1; thence N00°-16'-54"W 195.77 feet; thence S89°-33'-17"E 267.56 feet; thence S00°-20'-38"E 195.77 feet to the point of beginning; being subject to any and all easements and restrictions of record.

That such is a correct representation of all exterior boundaries of the land surveyed.
That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Land Subdivision Ordinance of the Village of Harrison in surveying, dividing, monumenting, dedicating and mapping the same.

Dated this _____ day of _____, 2019.

Wisconsin Professional Land Surveyor
Steven C. De Jong, S-2791

Survey Notes:

- This survey is wholly contained within Document No. 305740
- This survey is wholly contained within Calumet County Parcel No. 131-0000-0000000-000-0-201801-00-440A (Tax ID 39070)
- Property Owners of Record: Ralph M. Hopfensberger, John P. Hopfensperger, James D. Steger and Geraldine A. Steger Joint Revocable Trust, Martha L. Vanevenhoven, Marilyn R. Portman, and Suzanne M. Weyers

STATE OF WISCONSIN)
CALUMET COUNTY) SS

CERTIFIED SURVEY MAP NO. _____

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,
CALUMET COUNTY, WISCONSIN
(Sheet 3 of 6)

VILLAGE OF HARRISON CERTIFICATE

This Certified Survey Map in Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, is hereby approved.

Village of Harrison - President

Date

Village of Harrison - Clerk

Date

VILLAGE TREASURER'S CERTIFICATE

I being the duly elected qualified and acting treasurer of the Village of Harrison, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid assessments as of this _____ day of _____, 2019 on any lands included in this Certified Survey Map.

Village of Harrison - Treasurer

Date

COUNTY TREASURER'S CERTIFICATE:

I hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this minor subdivision as of this _____ day of _____, 2019.

County Treasurer: Calumet County

Date

STATE OF WISCONSIN)
CALUMET COUNTY) SS

CERTIFIED SURVEY MAP NO. _____

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,
CALUMET COUNTY, WISCONSIN
(Sheet 4 of 6)

OWNER'S CERTIFICATE

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

Ralph M. Hopfensberger Date

NOTARY CERTIFICATE

Personally came before me this _____ day of _____ 2019.
The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

Notary Public _____ County, Wisconsin.

My Commission Expires _____

OWNER'S CERTIFICATE

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

John P. Hopfensperger Date

NOTARY CERTIFICATE

Personally came before me this _____ day of _____ 2019.
The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

Notary Public _____ County, Wisconsin.

My Commission Expires _____

STATE OF WISCONSIN)
CALUMET COUNTY) SS

CERTIFIED SURVEY MAP NO. _____

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,
CALUMET COUNTY, WISCONSIN
(Sheet 5 of 6)

OWNER'S CERTIFICATE

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

Martha L. Vanevenhoven Date

NOTARY CERTIFICATE

Personally came before me this _____ day of _____ 2019.
The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

Notary Public _____ County, Wisconsin.

My Commission Expires _____

OWNER'S CERTIFICATE

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

Marilyn R. Portman Date

NOTARY CERTIFICATE

Personally came before me this _____ day of _____ 2019.
The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

Notary Public _____ County, Wisconsin.

My Commission Expires _____

STATE OF WISCONSIN)
CALUMET COUNTY) SS

CERTIFIED SURVEY MAP NO. _____

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,
CALUMET COUNTY, WISCONSIN
(Sheet 6 of 6)

OWNER'S CERTIFICATE

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

Suzanne M. Weyers

Date

NOTARY CERTIFICATE

Personally came before me this _____ day of _____ 2019.

The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

Notary Public _____ County, Wisconsin.

My Commission Expires _____

OWNER'S CERTIFICATE

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

Trustee – James D. Steger and
Geraldine A. Steger Joint
Revocable Trust

Date

NOTARY CERTIFICATE

Personally came before me this _____ day of _____ 2019.

The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

Notary Public _____ County, Wisconsin.

My Commission Expires _____

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Meeting Date:

October 29, 2019

Title:

CSM - Mueller

Issue:

Should the Village Board approve the CSM?

Background and Additional Information:

The applicant is proposing a 1-lot Certified Survey Map (CSM) for a parcel on Pigeon Road, Tax ID 43380. The property is approximately 5.05-acres. The property will have a 33-foot access out to Pigeon Road. This 33-foot strip was identified when parcel Tax ID 40180 was created a few years ago via CSM #3578.

Budget Impacts:

None

Recommended Action:

The Plan Commission will meet prior to the Village Board to discuss and act on the CSM. The Plan Commission decision will be presented at the meeting.

Staff recommends approval of the Certified Survey Map.

Attachments:

- CSM
- Aerial Map

Calumet County, WI

Legend

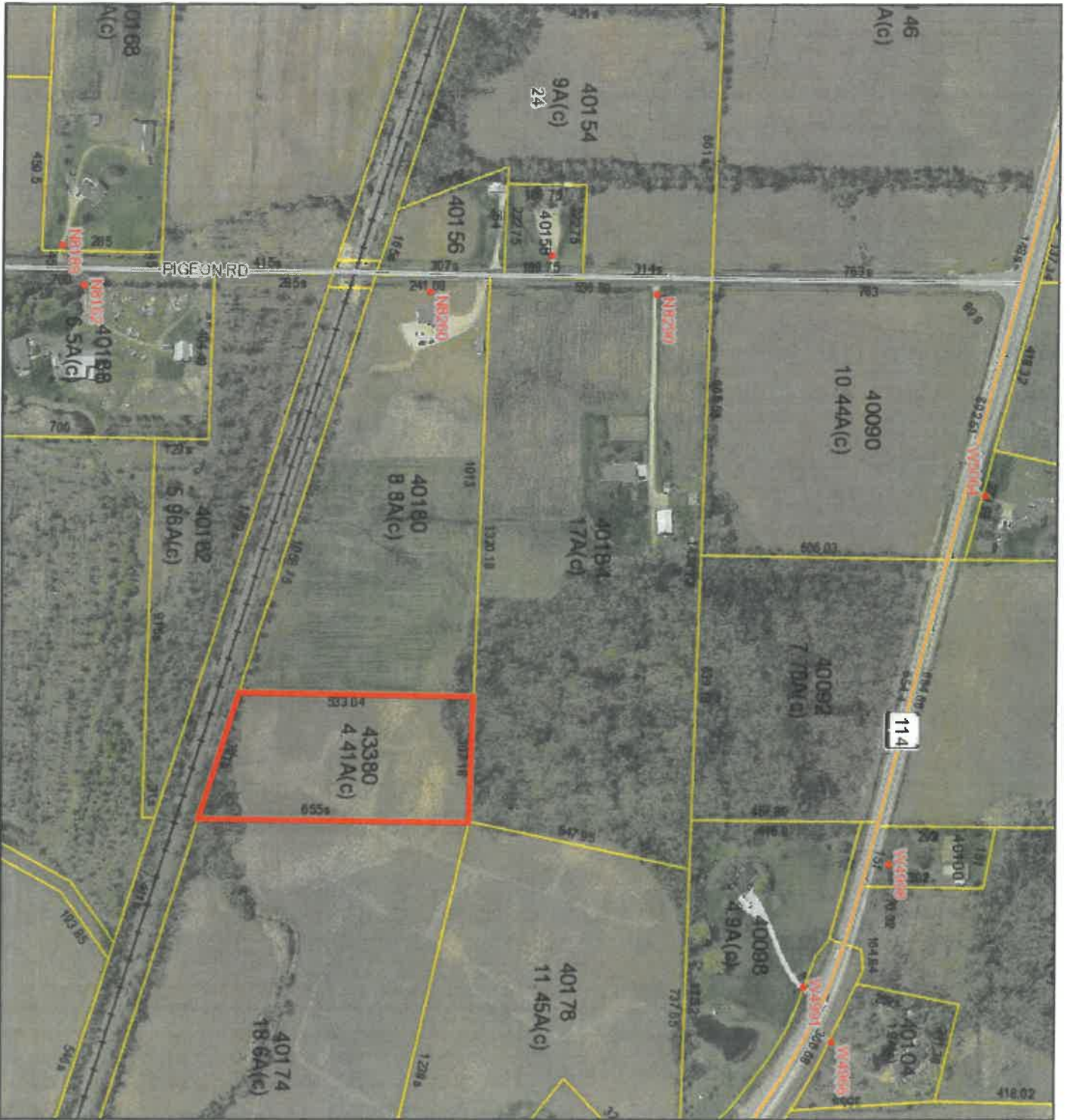
- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad

- Color 2018
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

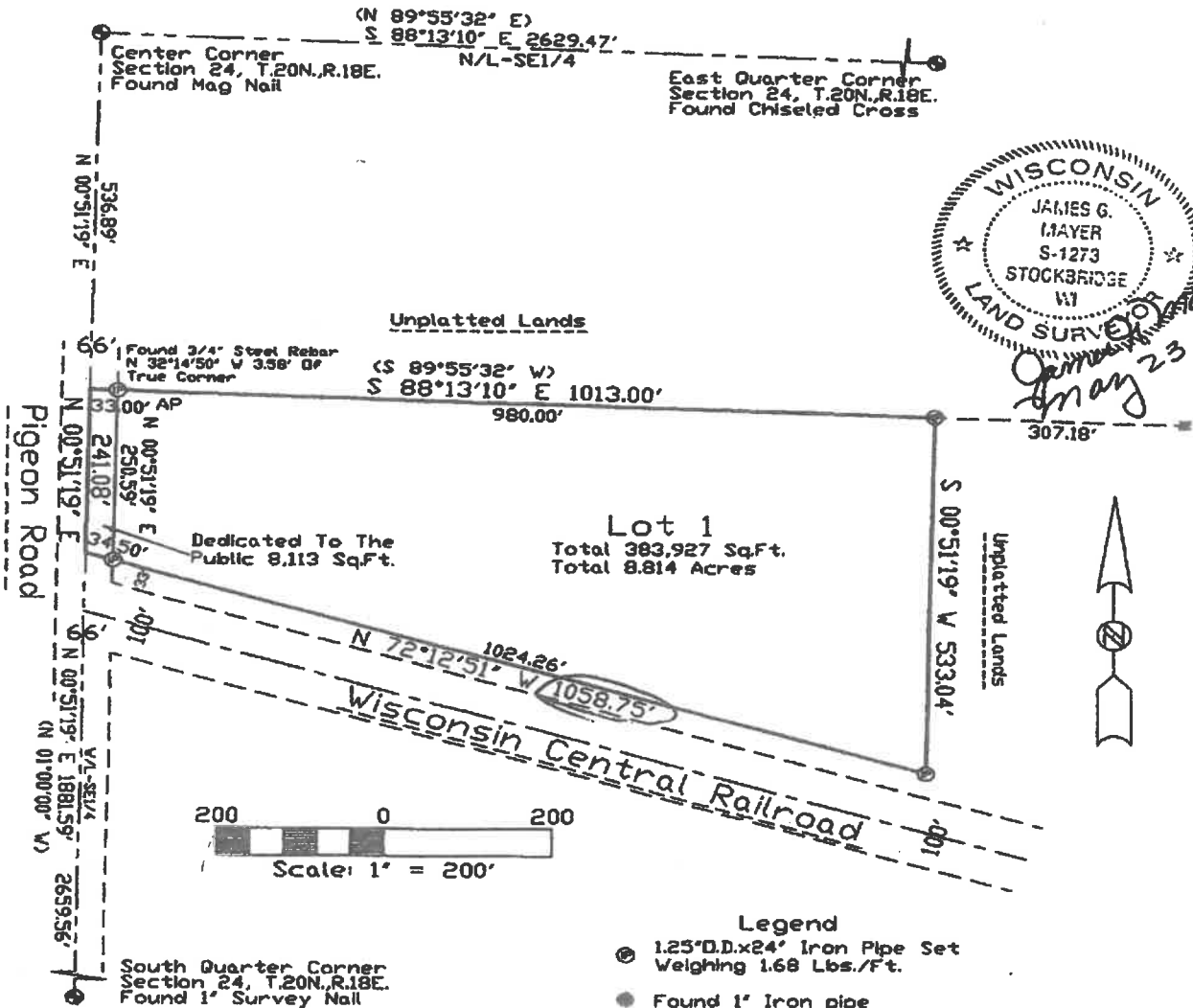
Author:	
Date Printed:	10/21/19 11:40 AM
Source:	



CERTIFIED SURVEY MAP NO. 3578

Sheet 1 of 3

PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, (FORMERLY TOWN OF HARRISON), CALUMET COUNTY, WISCONSIN.



WISCONSIN
 JAMES G. MAYER
 S-1273
 STOCKBRIDGE
 WI
 LAND SURVEYOR
James G. Mayer
May 23, 2016

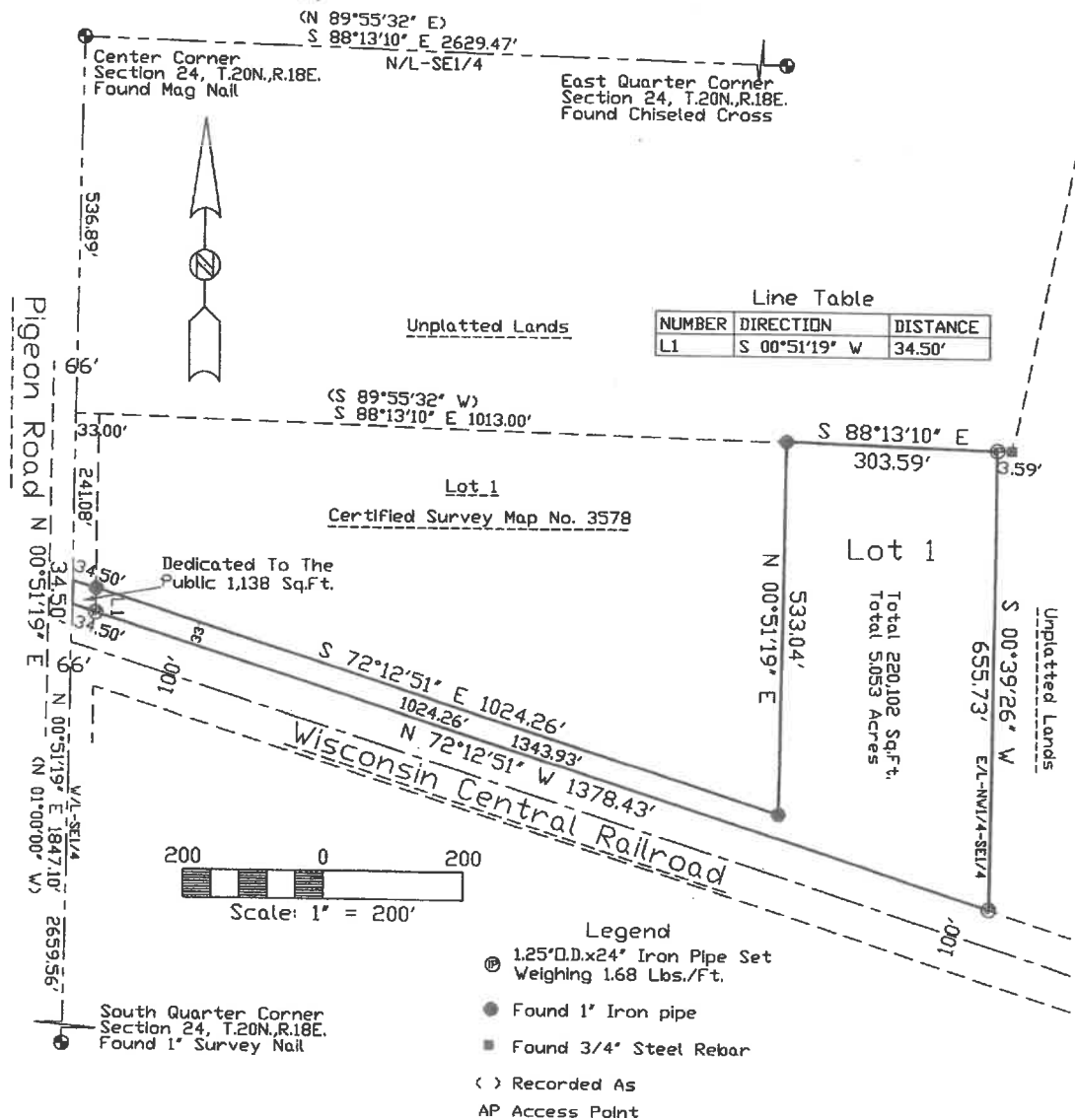
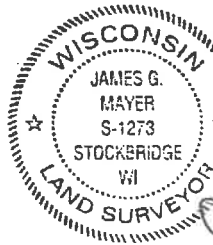
- Legend**
- ⊙ 1.25"D.D.x24" Iron Pipe Set Weighing 1.68 Lbs./Ft.
 - Found 1" Iron pipe
 - Found 3/4" Steel Rebar
 - < > Recorded As
 - AP Access Point

C:\Projects\MielkeDon16\csm.dwg
 BEARINGS REFERENCED TO COUNTY
 DATUM WEST LINE OF THE SOUTHEAST
 QUARTER BEARS NORTH 00°51'19" WEST.
 THIS INSTRUMENT DRAFTED BY J.G. MAYER"
 NOTEBOOK NO.44 PAGE 13.

MAYER LAND SURVEYING
 N 5698 LAKE SHORE DRIVE
 HILBERT, WI. 920-439-1761

SURVEYED FOR
 DONALD MIELKE
 N8127 STATE PARK ROAD
 MENASHA, WI

PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 24,
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY,
WISCONSIN.



MAYER LAND SURVEYING
N 5698 LAKE SHORE DRIVE
HILBERT, WI 920-439-1761

SURVEYED FOR
TROY MUELLER
N8260 PIGEON ROAD
MENASHA, WI

C:\Projcets\MuellerTroy19\csm.dwg
BEARINGS REFERENCED TO COUNTY
DATUM WEST LINE OF THE SOUTHEAST
QUARTER BEARS NORTH 00°51'19" WEST.
THIS INSTRUMENT DRAFTED BY J.G. MAYER"
NOTEBOOK NO.44 PAGE 13.

SURVEYOR'S CERTIFICATE

I, James G. Mayer, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed, divided, and mapped under the direction of Troy Mueller, part of Northwest Quarter of the Southeast Quarter of Section 24, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin containing 221,240 square feet or 5.079 acres of land and described as follows.

Commencing at the South Quarter Corner of Section 24, thence North 00°51'19" East a distance of 1,847.10 feet along the west line of the southeast quarter to the north right-of-way line of the Wisconsin Central Railroad and the point of beginning; thence continuing North 00°51'19" East a distance of 34.50 feet along the west line to the south line of Lot 1, Certified Survey Map No. 3578; thence South 72°12'51" East a distance of 1,024.26 feet along the south line to the east line of Lot 1; thence North 00°51'19" East a distance of 533.04 feet along the east line; thence South 88°13'10" East a distance of 303.59 feet to the east line of the northwest quarter of the southeast quarter; thence South 00°39'26" West a distance of 655.73 feet along the east line to the north right-of-way line of the Wisconsin Central Railroad; thence North 72°12'51" West a distance of 1,378.43 feet along the north right-of-way line to the point of beginning. Subject to all easements and restrictions of record. Liability hereunder is expressly limited to the cost of this survey.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division made thereof. That I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the Village of Harrison in surveying, dividing and mapping such lands.

Dated this 12th day of September, 2019.

James G. Mayer
James G. Mayer, S-1273
Wis. Professional Land Surveyor



OWNER'S CERTIFICATE

As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided mapped and dedicated as represented on the plat. I (we) also certify that this plat is required by s. 236.10 or s. 236.12 to be submitted to the following for approval or objection: Village of Harrison.

Dated this _____ day of _____, 2019

Troy Mueller, Owner

Molly Mueller, Owner

Jason Clark, Owner

Nicole Clark, Owner

State of Wisconsin)
Calumet County)ss

Personally came before me on the _____ day of _____, 2019, the above named owners to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires: _____

Notary Public, Calumet County, Wisconsin

VILLAGE BOARD CERTIFICATE

Resolved that the above certified survey map in the Village of Harrison was approved by the Village Board on this _____ day of _____, 2019.

Village President

Village Clerk

VILLAGE TREASURER'S CERTIFICATE

I being the duly elected qualified and acting village treasurer of the Village of Harrison, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of _____, 2019 on any of the lands included in this Certified Survey Map.

Village Treasurer

Date

COUNTY TREASURER'S CERTIFICATE

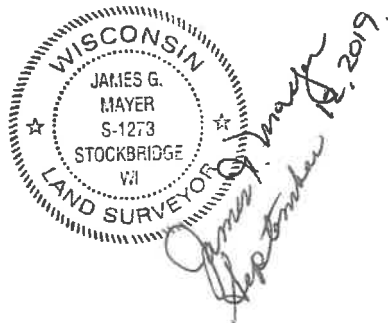
I being the duly elected qualified and acting treasurer of the County of Calumet, do hereby certify the records in my office show unredeemed tax sales and no unpaid taxes or special assessments as of _____, 2019 affecting the lands included in this Certified Survey Map.

County Treasurer

Date

Notes:

This CSM is all of tax parcel no. 43380. This CSM is contained wholly within the property described in the following recorded instrument: Doc. No. 541179. The property owners of record are Troy Mueller, Molly Mueller, Jason Clark and Nicole Clark, N7847 State Park Road, Sherwood WI 54169.





APPLICATION FOR LICENSE TO SERVE FERMENTED MALT BEVERAGES AND INTOXICATING LIQUORS

Village of Harrison, Wisconsin

To the Board of the Village of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2019, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: MOSS First Name: Brianna Middle I: J
 Street Address: NA649 Gina Dr City: Appleton Zip: 54915
 Day Phone: 920-277-8763 Evening Phone: 920-277-8763
 Date of Birth: _____ Where will you be working?: Waukegan Beach
 Driver's License Number: _____
 Do you currently hold or have held an operator's license within the last 2 years? YES / NO
 If yes, please list the municipality which issued your license: Harrison

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Violation	County or Municipality	Approximate Date
Speeding	brown township	6-27-19
Failure	portage brown	11-20-18
retail theft	calumet	10-14-16

WITNESS SIGNATURE:

Subscribed and sworn to before me this 19 day
 of October 2018/19

Deb Harrison
 Witness Signature

Witness Address: 512 Cortland Ct.
Kimberly, WI 54136

X Brianna Moss
 Applicant Signature

10-19-19
 Date

Office Use Only: \$35.00
 Reported to the Board:

Background Check
 Course Completion

Fax: 920-989-1077



APPLICATION FOR LICENSE TO SERVE FERMENTED MALT BEVERAGES AND INTOXICATING LIQUORS

Village of Harrison, Wisconsin

To the Board of the Village of Harrison, WI:

I hereby apply for a license to serve, from date hereof to June 30, 2019, inclusive (unless sooner revoked), Fermented Malt Beverages and Intoxicating Liquors, subject to the limitation imposed by Section 125 of the Wisconsin Statutes and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations, Federal, State or Local, affecting the sale of such beverages and liquors if a license be granted to me.

I understand that any falsification, omissions, or misleading information on this application is grounds for denial of my license application or revocation of any license issued.

Last Name: Lawson First Name: Kasey Middle I: W
Street Address: 1433 mission st City: Menasha Zip: 54952
Day Phone: 920-858-2043 Evening Phone:
Date of Birth: Where will you be working?: Wauwaukee Beach
Driver's License Number:

Do you currently hold or have held an operator's license within the last 2 years? YES / NO

If yes, please list the municipality which issued your license:

List any offenses you have been convicted of in the last 5 years which were felony, misdemeanor, or local ordinance. Include juvenile convictions and alcohol related traffic violations (drunk driving, open intoxicant in vehicle, etc.) Failure of full disclosure may prohibit approval of license.

Table with 3 columns: Violation, County or Municipality, Approximate Date

WITNESS SIGNATURE:

Subscribed and sworn to before me this 16 day of October 2018/19

Applicant Signature Date 10/16/19

Witness Signature Deb Harrison

Witness Address: 512 Cortland Ct. Kimberly, WI 54136

Office Use Only: \$35.00 Background Check Course Completion +15 prov.



October 11, 2019

Village of Harrison
W5298 HWY '114'
Menasha, WI 54952

Re: Village of Harrison
2019 Storm Sewer & Drainage Improvements and
Asphalt Paving Program
Certificate For Payment #3
McM. No. H0006-9-18-00913.08

Enclosed herewith is Certificate for Payment #3 for the above referenced project. This Certificate is issued to PTS Contractors, Inc. in the amount of \$401,893.73 for partial payment for work performed through October 10, 2019.

Please process the enclosed, and forward payment to PTS Contractors, Inc. Should you have any questions, please contact our office at your convenience.

Respectfully,

McMahon Associates, Inc.

Lee R. Reibold, P.E.
Associate / Municipal & Civil Engineer

LRR:car

cc: PTS Contractors, Inc.

Enclosure: Certificate For Payment #3

**CERTIFICATE FOR
 PAYMENT**

VILLAGE OF HARRISON
 W5298 HWY '114'
 Menasha, WI 54952

Contract No. H0006-9-18-00913
 Project File No. H0006-9-18-00913.08 / 9-18-00917.08
 Certificate No. Three (3)
 Issue Date: October 11, 2019
 Project: Village of Harrison
2019 Storm Sewer & Drainage
Improvements & Asphalt Paving

This Is To Certify That, In Accordance With The Contract Documents Dated: June 3, 2019

PTS CONTRACTORS, INC.
 4075 Eaton Road
 Green Bay, WI 54311

Is Entitled To Partial Payment For Work Performed Through: October 10, 2019

- Contractor's Application For Payment Attached.
- Itemized Cost Breakdown Attached.

Original Contract	<u>\$1,432,158.65</u>	Completed To Date	<u>\$1,374,968.54</u>
Net Change Orders	<u>\$0.00</u>	Retainage 2.5%	<u>\$35,803.97</u>
Current Contract Amount	<u>\$1,432,158.65</u>	Subtotal	<u>\$1,339,164.57</u>
		Previously Certified	<u>\$937,270.84</u>

Amount Due This Payment: \$401,893.73

Certified By:
McMAHON ASSOCIATES, INC.
Neenah, Wisconsin


 Lee R. Reibold, P.E.
 Associate / Municipal & Civil Engineer

Village of Harrison
 2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program
 Preliminary Opinion of Probable Cost Based Upon As-Constructed Quantities
 MCM No. H0006-9-18-00913 \ 9-18-00917

A. Gina Drive and Michelle Way:

Item	Description	Bid Qty	Unit	Unit Cost	Total Bid Cost	Certificate for Payment #3		Total to Date
						Qty	Cost	
1	Remove existing culvert	31	EACH	\$ 155.00	\$ 4,805.00			
2	18-inch storm sewer	129	L.F.	\$ 66.00	\$ 8,514.00			
3	18-inch RCP storm sewer	42	L.F.	\$ 68.00	\$ 2,856.00			
4	18-inch RCP flared end section	1	EACH	\$ 527.00	\$ 527.00			
5	12-inch storm sewer	482	L.F.	\$ 49.00	\$ 23,618.00			
6	8-inch storm sewer	1,093	L.F.	\$ 39.00	\$ 42,627.00			
7	48-inch storm sewer manhole	8.7	V.F.	\$ 722.00	\$ 6,281.40			
8	36-inch storm sewer manhole	27.3	V.F.	\$ 410.00	\$ 11,193.00			
9	4-inch SCH 40 PVC storm sewer lateral	1,070	L.F.	\$ 35.00	\$ 37,450.00	353	\$ 12,337.50	\$ 37,450.00
10	4-inch cleanout	30	EACH	\$ 270.00	\$ 8,100.00	9	\$ 2,430.00	\$ 8,100.00
11	Bore storm sewer lateral	8	EACH	\$ 1,818.00	\$ 14,544.00			
12	Storm sewer lateral connection	30	EACH	\$ 76.00	\$ 2,280.00			
13	15" x 23" CMP-Arch culvert	940	L.F.	\$ 64.00	\$ 60,160.00			
14	15" x 23" CMP-Arch flared end section	58	EACH	\$ 415.00	\$ 24,070.00			
15	Ditching	3,550	L.F.	\$ 15.50	\$ 55,025.00			
16	Lawn restoration	6,100	S.Y.	\$ 7.30	\$ 44,530.00			
17	Inlet protection	1	EACH	\$ 205.00	\$ 205.00			
18	Culvert pipe ditch check	31	EACH	\$ 155.00	\$ 4,805.00			
19	Temporary ditch check	25	EACH	\$ 155.00	\$ 3,875.00			
20	Pulverize existing asphalt pavement	5,150	S.Y.	\$ 0.57	\$ 2,935.50	5,150	\$ 2,935.50	\$ 2,935.50
21	30-inch concrete curb & gutter removal & replacement	55	L.F.	\$ 52.00	\$ 2,860.00			
22	Fine grading & compaction of road base	6,000	S.Y.	\$ 1.45	\$ 8,700.00			
23	Adjusting Manhole Covers (WisDOT Item No. 611.8110)	3	EACH	\$ 780.00	\$ 2,340.00	6,000	\$ 8,700.00	\$ 8,700.00
24	1 3/4-inch HMA pavement, 3 LT 58-28 S	540	TONS	\$ 55.00	\$ 29,700.00	3	\$ 2,340.00	\$ 2,340.00
25	1 3/4-inch HMA pavement, 4 LT 58-28 S	540	TONS	\$ 64.40	\$ 34,776.00	595.23	\$ 32,737.65	\$ 32,737.65
26	Sawing asphalt (WisDOT Item No. 690.0150)	250	L.F.	\$ 2.00	\$ 500.00	566.48	\$ 36,481.31	\$ 36,481.31
27	Sawing concrete (WisDOT Item No. 690.0250)	25	L.F.	\$ 4.00	\$ 100.00			
28	Base aggregate dense, 1 1/4-inch for driveway aprons	1,300	TONS	\$ 17.90	\$ 23,270.00			
29	3-inch HMA driveway pavement	17,500	S.F.	\$ 2.30	\$ 40,250.00	17,553	\$ 40,371.90	\$ 40,371.90
30	Driveway apron slope paving	27	EACH	\$ 213.00	\$ 5,751.00	30	\$ 6,390.00	\$ 6,390.00
31	Contractor Quality Control Testing	1	L.S.	\$ 2,960.00	\$ 2,960.00	1	\$ 2,960.00	\$ 2,960.00
					\$ 509,607.90		\$ 147,683.86	\$ 440,856.88

Village of Harrison
 2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program
 Preliminary Opinion of Probable Cost Based Upon As-Constructed Quantities
 MCM No. H0006-9-18-00913 \ 9-18-00917

B. Handel Drive, Holly Street & Hopfensperger Road

Item	Description	Bid Qty	Unit	Unit Cost	Total Bid Cost	Certificate for Payment #3		Total to Date	
						Qty	Cost	Qty	Cost
1	Remove existing culvert	45	EACH	\$ 155.00	\$ 6,975.00			22	\$ 3,410.00
2	18-inch storm sewer	90	L.F.	\$ 70.00	\$ 6,300.00			90	\$ 6,300.00
3	12-inch storm sewer	550	L.F.	\$ 49.00	\$ 26,950.00			547	\$ 26,803.00
4	8-inch storm sewer	1,670	L.F.	\$ 36.00	\$ 60,120.00			1,657	\$ 59,652.00
5	6-inch storm sewer	105	L.F.	\$ 38.00	\$ 3,990.00			175.5	\$ 6,669.00
6	6-inch cleanout	2	EACH	\$ 135.00	\$ 270.00			2	\$ 270.00
7	48-inch storm sewer manhole	23.5	V.F.	\$ 582.00	\$ 13,677.00			24.4	\$ 14,200.80
8	36-inch storm sewer manhole	37.5	V.F.	\$ 386.00	\$ 14,475.00			38	\$ 14,668.00
9	4-inch SCH 40 PVC storm sewer lateral	1,200	L.F.	\$ 35.00	\$ 42,000.00			1,199.5	\$ 41,982.50
10	4-inch cleanout	33	EACH	\$ 270.00	\$ 8,910.00	788	\$ 27,580.00	21	\$ 5,670.00
11	Bore storm sewer lateral	13	EACH	\$ 1,820.00	\$ 23,660.00			13	\$ 23,660.00
12	Storm sewer lateral connection	33	EACH	\$ 77.00	\$ 2,541.00			33	\$ 2,541.00
13	18" CMP culvert	82	L.F.	\$ 55.00	\$ 4,510.00			85	\$ 4,675.00
14	18" CMP flared end section	2	EACH	\$ 415.00	\$ 830.00			2	\$ 830.00
15	15" x 23" CMP-Arch culvert	1,150	L.F.	\$ 64.00	\$ 73,600.00			1,503.5	\$ 96,224.00
16	15" x 23" CMP-Arch flared end section	88	EACH	\$ 415.00	\$ 36,520.00			88	\$ 36,520.00
17	Ditching	4,860	L.F.	\$ 15.50	\$ 75,330.00			3,817	\$ 59,163.50
18	Lawn restoration	8,000	S.Y.	\$ 7.30	\$ 58,400.00			8,000	\$ 58,400.00
19	Inlet protection	2	EACH	\$ 78.00	\$ 156.00			2	\$ 156.00
20	Culvert pipe ditch check	44	EACH	\$ 155.00	\$ 6,820.00			52	\$ 8,060.00
21	Temporary ditch check	28	EACH	\$ 155.00	\$ 4,340.00			0	\$ -
22	Pulverize existing asphalt pavement	7,530	S.Y.	\$ 0.57	\$ 4,292.10	7,530	\$ 4,292.10	7,530	\$ 4,292.10
23	30-inch concrete curb & gutter removal & replacement	25	L.F.	\$ 54.00	\$ 1,350.00			20	\$ 1,080.00
24	Fine grading & compaction of road base	8,150	S.Y.	\$ 1.45	\$ 11,817.50	8,150	\$ 11,817.50	8,150	\$ 11,817.50
25	Adjusting Manhole Covers (WISDOT Item No. 611.8110)	2	EACH	\$ 780.00	\$ 1,560.00	2	\$ 1,560.00	2	\$ 1,560.00
26	1 3/4-inch HMA pavement, 3 LT 58-28 S	800	TONS	\$ 55.10	\$ 44,080.00	872.66	\$ 48,083.57	872.66	\$ 48,083.57
27	1 3/4-inch HMA pavement, 4 LT 58-28 S	800	TONS	\$ 64.40	\$ 51,520.00	877.48	\$ 56,509.71	877.48	\$ 56,509.71
28	Sawing asphalt (WISDOT Item No. 690.0150)	850	L.F.	\$ 2.00	\$ 1,700.00	801	\$ 1,602.00	850	\$ 1,700.00
29	Sawing concrete (WISDOT Item No. 690.0250)	3	L.F.	\$ 4.00	\$ 12.00	3	\$ 12.00	3	\$ 12.00
30	Base aggregate dense, 1 1/4-inch for driveway aprons	1,550	TONS	\$ 17.90	\$ 27,745.00	12.03	\$ 215.34	117.42	\$ 2,101.82
31	3-inch HMA driveway pavement	21,000	S.F.	\$ 2.20	\$ 46,200.00	19,825	\$ 43,615.00	19,825	\$ 43,615.00
32	Driveway apron slope paving	39	EACH	\$ 213.00	\$ 8,307.00	37	\$ 7,881.00	37	\$ 7,881.00
33	Contractor Quality Control Testing	1	L.S.	\$ 2,960.00	\$ 2,960.00	1	\$ 2,960.00	1	\$ 2,960.00
					\$ 671,917.60		\$ 206,128.22		\$ 651,467.50

Village of Harrison
 2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program
 Preliminary Opinion of Probable Cost Based Upon As-Constructed Quantities
 McM No. H0006-9-18-00913 \ 9-18-00917

C. Handel Drive (Sumac Lane to Mile Long Drive)

Item	Description	Bid Qty	Unit	Unit Cost	Total Bid Cost	Certificate for Payment #3 Qty	Cost	Total to Date Qty	Cost
1	Pulverize existing asphalt pavement	2,120	S.Y.	0.57	\$ 1,208.40	2,464	\$ 1,404.48	2,464	\$ 1,404.48
2	30-inch concrete curb & gutter	120	L.F.	47.00	\$ 5,640.00		-	100	\$ 4,700.00
3	Fine grading & compaction of road base	2,120	S.Y.	1.45	\$ 3,074.00	2,464	\$ 3,572.80	2,464	\$ 3,572.80
4	Adjusting Manhole Covers (WISDOT Item No. 611.8110)	5	EACH	780.00	\$ 3,900.00	4	\$ 3,120.00	4	\$ 3,120.00
5	1 3/4-inch HMA pavement, 3 LT 58-28 S	230	TONS	55.00	\$ 12,650.00	219.4	\$ 12,067.00	219.4	\$ 12,067.00
6	1 3/4-inch HMA pavement, 4 LT 58-28 S	230	TONS	64.40	\$ 14,812.00	260.13	\$ 16,752.37	260.13	\$ 16,752.37
7	Sawing asphalt (WISDOT Item No. 690.0150)	90	L.F.	2.00	\$ 180.00	90	\$ 180.00	90	\$ 180.00
8	Contractor Quality Control Testing	1	L.S.	4,260.00	\$ 4,260.00	1	\$ 4,260.00	1	\$ 4,260.00
					\$ 45,724.40		\$ 41,356.65		\$ 46,056.65

E. Kambura Acres II - Zach Street

Item	Description	Bid Qty	Unit	Unit Cost	Total Bid Cost	Certificate for Payment #3 Qty	Cost	Total to Date Qty	Cost
1	30-inch concrete curb & gutter	1,925	L.F.	14.55	\$ 28,008.75		-	1,938	\$ 28,197.90
2	Excavation for 5-ft concrete sidewalk	350	C.Y.	26.00	\$ 9,100.00		-	381.2	\$ 9,911.20
3	Base aggregate dense 1 1/4-inch for sidewalk	350	TONS	18.70	\$ 6,545.00		-	619.4	\$ 11,582.78
4	4-inch concrete sidewalk (5-ft width)	7,800	S.F.	4.65	\$ 36,270.00		-	6,613	\$ 30,750.45
5	6-inch concrete sidewalk (5-ft width)	1,500	S.F.	5.20	\$ 7,800.00		-	2,830.5	\$ 14,718.60
6	Detectable warning field, natural patina	20	S.F.	42.00	\$ 840.00		-	16	\$ 672.00
7	6-inch concrete driveway apron	2,200	S.F.	5.20	\$ 11,440.00		-	4,189.9	\$ 21,787.48
8	Fine grading & compaction of road base	3,290	S.Y.	2.10	\$ 6,909.00		-	3,290	\$ 6,909.00
9	Adjusting Manhole Covers (WISDOT Item No. 611.8110)	7	EACH	780.00	\$ 5,460.00	8	\$ 6,240.00	16	\$ 12,480.00
10	1 3/4-inch HMA pavement, 3 LT 58-28 S	350	TONS	56.10	\$ 19,635.00		-	328.39	\$ 18,422.68
11	1 3/4-inch HMA pavement, 4 LT 58-28 S	350	TONS	64.40	\$ 22,540.00		-	331.05	\$ 21,319.62
12	Sawing asphalt (WISDOT Item No. 690.0150)	85	L.F.	2.00	\$ 170.00	85	\$ 170.00	85	\$ 170.00
13	Lawn restoration	1,600	S.Y.	8.40	\$ 13,440.00		-	1,397	\$ 11,734.80
14	Inlet protection	6	EACH	130.00	\$ 780.00		-	2	\$ 260.00
15	Contractor Quality Control Testing	1	L.S.	3,305.00	\$ 3,305.00		-	1	\$ 3,305.00
					\$ 172,242.75		\$ 6,410.00		\$ 192,221.51

Village of Harrison
 2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program
 Preliminary Opinion of Probable Cost Based Upon As-Constructed Quantities
 McM No. H0006-9-18-00913 \ 9-18-00917

Alternate Bid #1: Jochman Drive Mini-Storm Sewer

Item	Description	Bid Qty	Unit	Unit Cost	Total Bid Cost	Certificate for Payment #3 Qty	Cost	Total to Date Qty	Cost
1	6-inch storm sewer	480	L.F.	\$ 33.00	\$ 15,840.00			480	\$ 15,840.00
2	4-inch SCH 40 PVC storm sewer lateral	40	L.F.	\$ 38.00	\$ 1,520.00			67.5	\$ 2,565.00
3	6-inch cleanout	5	EACH	\$ 310.00	\$ 1,550.00			5	\$ 1,550.00
4	4-inch cleanout	4	EACH	\$ 204.00	\$ 816.00			5	\$ 1,020.00
5	Storm sewer inlet connection	2	EACH	\$ 200.00	\$ 400.00			4	\$ 800.00
6	Bore 6-inch storm sewer	3	EACH	\$ 2,080.00	\$ 6,240.00			3	\$ 6,240.00
7	Lawn restoration	750	S.Y.	\$ 8.40	\$ 6,300.00			356	\$ 2,990.40
					\$ 32,666.00				\$ 31,005.40

Subtotal Project Costs = \$ 1,432,158.65

\$ 401,578.73

\$ 1,361,607.94

* Change Order Items

Item	Description	Bid Qty	Unit	Unit Cost	Total Bid Cost	Certificate for Payment #3 Qty	Cost	Total to Date Qty	Cost
1.1	Erosion Mat, Class I, Type A urban		S.Y.	\$ 2.30	\$ -			5,672	\$ 13,045.60
1.2	4-inch underdrain		L.F.	\$ 10.50	\$ -	5	\$ 52.50	5	\$ 52.50
1.3	Cut and shorten driveway culvert		L.S.	\$ 262.50	\$ -	1	\$ 262.50	1	\$ 262.50
					\$ -		\$ 315.00		\$ 13,360.60

Total Project Costs = \$ 1,432,158.65

\$ 401,893.73

\$ 1,374,968.54

Completed to Date =	\$ 1,374,968.54
Project Retainage =	\$ 35,803.97
Subtotal =	\$ 1,339,164.57
Previously Certified =	\$ 937,270.84
Amount Due this Payment =	\$ 401,893.73

Payment Request

Request for: Partial Payment No: 3 Date: 10/10/2019
(Partial/Final)

Project: 2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program

Owner: Village of Harrison

Contractor: PTS Contractors, Inc. - 4075 Eaton Road - Green Bay, WI 54311

Original Contract Amount as Bid:	<u>\$ 1,432,158.65</u>
Net Add (Deduct) by Revised Quantities:	_____
Net Add (Deduct) by Change Order:	_____
Total Contract This Date	<u>\$ 1,432,158.65</u>

Value of Work Completed to Date:	<u>\$ 1,374,968.54</u>
Less <u>5</u> Per Cent Retainage: (Of the first 50%)	<u>\$ 35,803.97</u>
Net Total	<u>\$ 1,339,164.57</u>

Project on Schedule: XX Yes No 96% Complete

Record of Previous Pay Requests:

1 <u>\$ 465,106.98</u>	6 _____
2 <u>\$ 472,163.86</u>	7 _____
3 _____	8 _____
4 _____	9 _____
5 _____	10 _____

Amount Previously Billed \$ 937,270.84

Amount Due This Request \$ 401,893.73

This is to certify that, in accordance with the terms of the Contract, the Contractor is entitled to a payment in the amount requested.

By: *Mark Cheloni*
PTS Contractors, Inc.

Engineers Approval: By: _____

Owner's Approval
for Payment: By: _____

Date: 10/10/2019
*See Attachments

PTS Contractors, Inc.
4075 Eaton Road - Green Bay, WI 54311
Phone#: (920) 468-5217 Fax#: (920) 468-4087

Village of Harrison
2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program
Payment Request

PTS JOB #19-738

Payment Request: \$1,374,968.54
Date: 10/10/2019

Bid Item #	Description	Units	Qty	Scheduled		Previous Request Totals		This Request Totals		Total Completed		Completed to Date		Balance to Finish	
				Unit Price	Amount	Qty	Amount	Qty	Amount	Qty	Amount	Amount	Qty		
A-01	GINA & MICHELLE REMOVE EXISTING CULVERT	EA	31	\$ 155.00	\$ 4,805.00	30.00	\$ 4,650.00		\$ -	30.00	\$ 4,650.00		\$ 155.00	1.00	
A-02	18" STORM SEWER	LF	128	\$ 66.00	\$ 8,514.00	134.50	\$ 8,877.00		\$ -	134.50	\$ 8,877.00		\$ (363.00)	(5.50)	
A-03	18" RCP STORM SEWER	LF	42	\$ 68.00	\$ 2,856.00	43.00	\$ 2,924.00		\$ -	43.00	\$ 2,924.00		\$ (68.00)	(1.00)	
A-04	18" RCP FLARED END SECTION	EA	1	\$ 527.00	\$ 527.00	1.00	\$ 527.00		\$ -	1.00	\$ 527.00		\$ -	-	
A-05	12" STORM SEWER	LF	482	\$ 49.00	\$ 23,618.00	471.00	\$ 23,079.00		\$ -	471.00	\$ 23,079.00		\$ 539.00	11.00	
A-06	8" STORM SEWER	LF	1,093	\$ 39.00	\$ 42,627.00	1,087.50	\$ 42,412.50		\$ -	1,087.50	\$ 42,412.50		\$ 214.50	5.50	
A-07	48" STORM SEWER MANHOLE	VF	9	\$ 722.00	\$ 6,281.40	9.00	\$ 6,498.00		\$ -	9.00	\$ 6,498.00		\$ (216.60)	(0.30)	
A-08	36" STORM SEWER MANHOLE	VF	27	\$ 410.00	\$ 11,193.00	27.51	\$ 11,279.10		\$ -	27.51	\$ 11,279.10		\$ (86.10)	(0.21)	
A-09	4" SCH 40 P/C STORM SEWER LATERAL	LF	1,070	\$ 35.00	\$ 37,450.00	717.50	\$ 25,112.50		\$ -	352.50	\$ 12,337.50		\$ 8,100.00	-	
A-10	4" CLEANOUT	EA	30	\$ 270.00	\$ 8,100.00	21.00	\$ 5,670.00		\$ -	9.00	\$ 2,430.00		\$ 8,100.00	-	
A-11	BORE STORM SEWER LATERAL	EA	8	\$ 1,818.00	\$ 14,544.00	8.00	\$ 14,544.00		\$ -	8.00	\$ 14,544.00		\$ -	-	
A-12	STORM SEWER LATERAL CONNECTION	EA	30	\$ 76.00	\$ 2,280.00	30.00	\$ 2,280.00		\$ -	30.00	\$ 2,280.00		\$ -	-	
A-13	ARCH CULVERT	LF	940	\$ 64.00	\$ 60,160.00	950.00	\$ 60,800.00		\$ -		\$ -		\$ (640.00)	(10.00)	
A-14	ARCH FLARED END SECTIONS	EA	58	\$ 415.00	\$ 24,070.00	59.00	\$ 24,485.00		\$ -		\$ -		\$ (415.00)	(1.00)	
A-15	DITCHING	LF	3,550	\$ 15.50	\$ 55,025.00	1,812.10	\$ 28,087.55		\$ -		\$ -		\$ 26,937.45	1,737.90	
A-16	LAWN RESTORATION	SY	6,100	\$ 7.30	\$ 44,530.00	2,676.00	\$ 19,534.80		\$ -		\$ -		\$ 24,995.20	3,424.00	
A-17	INLET PROTECTION	EA	1	\$ 205.00	\$ 205.00	1.00	\$ 205.00		\$ -		\$ -		\$ -	-	
A-18	CULVERT PIPE DITCH CHECK	EA	31	\$ 155.00	\$ 4,805.00		\$ -		\$ -		\$ -		\$ 4,805.00	31.00	
A-19	TEMPORARY DITCH CHECK	EA	25	\$ 155.00	\$ 3,875.00	12.00	\$ 1,860.00		\$ -		\$ -		\$ 2,015.00	13.00	
A-20	PULVERIZE EXISTING ASPHALT PAVEMENT	SY	5,150	\$ 0.57	\$ 2,935.50		\$ -		\$ -	5,150.00	\$ 2,935.50		\$ -	-	
A-21	30" CONCRETE CURB & GUTTER REMOVAL & REPLACEMENT	LF	55	\$ 52.00	\$ 2,860.00	55.00	\$ 2,860.00		\$ -		\$ -		\$ -	-	
A-22	FINE GRADING & COMPACTION OF ROAD BASE	SY	6,000	\$ 1.45	\$ 8,700.00		\$ -		\$ -	6,000.00	\$ 8,700.00		\$ -	-	
A-23	ADJUSTING MANHOLE COVERS (WISDOT # 611.8110)	EA	3	\$ 780.00	\$ 2,340.00		\$ -		\$ -	3.00	\$ 2,340.00		\$ -	-	
A-24	3/4" HMA PAVEMENT 3 LT	TN	540	\$ 55.00	\$ 29,700.00		\$ -		\$ -	595.23	\$ 32,737.65		\$ (3,037.65)	(65.23)	

PTS Contractors, Inc.
4075 Eaton Road - Green Bay, WI 54311
Phone: (920) 468-5217 Fax: (920) 468-4087

Village of Harrison
2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program
Payment Request

PTS JOB #19-738

Payment Request: 3
Date: 10/10/2015

Bid Item #	Description	Units	Qty	Scheduled		Previous Request Totals		This Request Totals		Total Completed		Balance to Finish		
				Unit Price	Amount	Qty	Amount	Qty	Amount	%	Qty	Amount	Amount	Qty
A-25	3/4" HMA PAVEMENT 4 LT	TN	540	\$ 64.40	\$ 34,776.00		\$ -	566.48	\$ 36,481.31	105%	566.48	\$ 36,481.31	\$ (1,705.31)	(26.48)
A-26	WIDOT #890.0150	LF	250	\$ 2.00	\$ 500.00		\$ -		\$ -			\$ -	\$ 500.00	250.00
A-27	WIDOT # 890.0250	LF	25	\$ 4.00	\$ 100.00		\$ -		\$ -			\$ -	\$ 100.00	25.00
A-28	Base Aggregate Dense 1-1/4" for Driveway Apron	TN	1,300	\$ 17.90	\$ 23,270.00	418.30	\$ 7,487.57		\$ -	32%	418.30	\$ 7,487.57	\$ 15,782.43	881.70
A-29	3" HMA DRIVEWAY PAVEMENT	SF	17,500	\$ 2.30	\$ 40,250.00		\$ -	17,553.00	\$ 40,371.90	100%	17,553.00	\$ 40,371.90	\$ (121.90)	(53.00)
A-30	DRIVEWAY APRON SLOPE PAVING	EA	27	\$ 213.00	\$ 5,751.00		\$ -	30.00	\$ 6,390.00	111%	30.00	\$ 6,390.00	\$ (639.00)	(3.00)
A-31	CONTRACTOR QUALITY CONTROL TESTING	LS	1	\$ 2,960.00	\$ 2,960.00		\$ -	1.00	\$ 2,960.00	100%	1.00	\$ 2,960.00	\$ -	-
B-01	REMOVE EXISTING CULVERT	EA	45	\$ 155.00	\$ 6,975.00	22.00	\$ 3,410.00		\$ -	49%	22.00	\$ 3,410.00	\$ 3,565.00	23.00
B-02	18" STORM SEWER	LF	90	\$ 70.00	\$ 6,300.00	90.00	\$ 6,300.00		\$ -	100%	90.00	\$ 6,300.00	\$ -	-
B-03	12" STORM SEWER	LF	550	\$ 49.00	\$ 26,950.00	547.00	\$ 26,803.00		\$ -	99%	547.00	\$ 26,803.00	\$ 147.00	3.00
B-04	8" STORM SEWER	LF	1,670	\$ 36.00	\$ 60,120.00	1,657.00	\$ 59,652.00		\$ -	99%	1,657.00	\$ 59,652.00	\$ 468.00	13.00
B-05	6" STORM SEWER	LF	105	\$ 36.00	\$ 3,990.00	175.50	\$ 6,669.00		\$ -	167%	175.50	\$ 6,669.00	\$ (2,679.00)	(70.50)
B-06	6" CLEANOUT	EA	2	\$ 135.00	\$ 270.00	2.00	\$ 270.00		\$ -	100%	2.00	\$ 270.00	\$ -	-
B-07	48" STORM SEWER MANHOLE	VF	24	\$ 582.00	\$ 13,977.00	24.40	\$ 14,200.80		\$ -	104%	24.40	\$ 14,200.80	\$ (523.80)	(0.90)
B-08	36" STORM SEWER MANHOLE	VF	38	\$ 386.00	\$ 14,475.00	38.00	\$ 14,668.00		\$ -	101%	38.00	\$ 14,668.00	\$ (193.00)	(0.50)
B-09	4" SCH 40 PVC STORM SEWER LATERAL	LF	1,200	\$ 35.00	\$ 42,000.00	411.50	\$ 14,402.50	788.00	\$ 27,580.00	100%	1,199.50	\$ 41,982.50	\$ 17.50	0.50
B-10	4" CLEANOUT	EA	33	\$ 270.00	\$ 8,910.00	21.00	\$ 5,670.00		\$ -	64%	21.00	\$ 5,670.00	\$ 3,240.00	12.00
B-11	BORE STORM SEWER LATEAL	EA	13	\$ 1,820.00	\$ 23,660.00	13.00	\$ 23,660.00		\$ -	100%	13.00	\$ 23,660.00	\$ -	-
B-12	STORM SEWER LATERAL CONNECTION	EA	33	\$ 77.00	\$ 2,541.00	33.00	\$ 2,541.00		\$ -	100%	33.00	\$ 2,541.00	\$ -	-
B-13	18" CMP CULVERT	LF	82	\$ 55.00	\$ 4,510.00	85.00	\$ 4,675.00		\$ -	104%	85.00	\$ 4,675.00	\$ (165.00)	(3.00)
B-14	18" CMP FLARED END SECTION	EA	2	\$ 415.00	\$ 830.00	2.00	\$ 830.00		\$ -	100%	2.00	\$ 830.00	\$ -	-
B-15	ARCH CULVERT	LF	1,150	\$ 64.00	\$ 73,800.00	1,503.50	\$ 96,224.00		\$ -	131%	1,503.50	\$ 96,224.00	\$ (22,824.00)	(353.50)
B-16	ARCH FLARED END SECTION	EA	88	\$ 415.00	\$ 36,520.00	88.00	\$ 36,520.00		\$ -	100%	88.00	\$ 36,520.00	\$ -	-
B-17	DITCHING	LF	4,880	\$ 15.50	\$ 75,330.00	3,817.00	\$ 59,163.50		\$ -	79%	3,817.00	\$ 59,163.50	\$ 16,166.50	1,043.00
B-18	LAWN RESTORATION	SY	8,000	\$ 7.30	\$ 58,400.00	8,000.00	\$ 58,400.00		\$ -	100%	8,000.00	\$ 58,400.00	\$ -	-

Total Completed \$1,374,968.54

PTS Contractors, Inc.
 4075 Eaton Road - Green Bay, WI 54311
 Phone#: (920) 468-5217 Fax#: (920) 468-4087

Village of Harrison
 2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program
 Payment Request

PTS JOB #19-738

Payment Request: 3
 Date: 10/10/2019

Bid	Description	Units	Qty	Scheduled		Previous Request Totals		This Request Totals		%	Total Completed		Balance to Finish	Qty
				Unit Price	Amount	Qty	Amount	Qty	Amount		Qty	Amount		
B-19	INLET PROTECTION	EA	2	78.00	\$ 156.00	2.00	\$ 156.00		\$ -	100%	2.00	\$ 156.00	\$ -	-
B-20	CULVERT PIPE DITCH CHECK	EA	44	155.00	\$ 6,820.00	52.00	\$ 8,060.00		\$ -	118%	52.00	\$ 8,060.00	\$ (1,240.00)	(8.00)
B-21	TEMPORARY DITCH CHECK	EA	28	155.00	\$ 4,340.00		\$ -		\$ -			\$ -	\$ 4,340.00	28.00
B-22	PULVERIZE EXISTING ASPHALT PAVEMENT	SY	7,530	0.57	\$ 4,292.10		\$ -	7,530.00	\$ 4,292.10	100%	7,530.00	\$ 4,292.10	\$ -	-
B-23	30" CONCRETE CURB & GUTTER REMOVAL & REPLACEMENT	LF	25	54.00	\$ 1,350.00	20.00	\$ 1,080.00		\$ -	80%	20.00	\$ 1,080.00	\$ 270.00	5.00
B-24	FINE GRADING & COMPACTION OF ROAD BASE	SY	8,150	1.45	\$ 11,817.50		\$ -	8,150.00	\$ 11,817.50	100%	8,150.00	\$ 11,817.50	\$ -	-
B-25	ADJUST MANHOLE COVERS	EA	2	780.00	\$ 1,560.00		\$ -	2.00	\$ 1,560.00	100%	2.00	\$ 1,560.00	\$ -	-
B-26	3/4" HMA PAVEMENT 3 LT	TN	800	55.10	\$ 44,080.00		\$ -	872.66	\$ 48,083.57	109%	872.66	\$ 48,083.57	\$ (4,003.57)	(72.66)
B-27	3/4" HMA PAVEMENT 4 LT	TN	800	64.40	\$ 51,520.00		\$ -	877	\$ 56,509.71	110%	877.48	\$ 56,509.71	\$ (4,989.71)	(77.48)
B-28	SAWMING ASPHALT	LF	850	2.00	\$ 1,700.00	49.00	\$ 98.00	801.00	\$ 1,602.00	100%	850.00	\$ 1,700.00	\$ -	-
B-29	SAWMING CONCRETE	LF	3	4.00	\$ 12.00		\$ -	3.00	\$ 12.00	100%	3.00	\$ 12.00	\$ -	-
B-30	Base Aggregate Dense 1-1/4" for Driveway Apron	TN	1,550	17.90	\$ 27,745.00	105.39	\$ 1,886.48	12.03	\$ 215.34	8%	117.42	\$ 2,101.82	\$ 25,643.18	1,432.58
B-31	3" HMA DRIVEWAY PAVEMENT	SF	21,000	2.20	\$ 46,200.00		\$ -	19,825.00	\$ 43,615.00	94%	19,825.00	\$ 43,615.00	\$ 2,585.00	1,175.00
B-32	DRIVEWAY APRON SLOPE PAVING	EA	39	213.00	\$ 8,307.00		\$ -	37	\$ 7,881.00	95%	37.00	\$ 7,881.00	\$ 426.00	2.00
B-33	CONTRACTOR QUALITY CONTROL TESTING	LS	1	2,980.00	\$ 2,980.00		\$ -	1	\$ 2,980.00	100%	1.00	\$ 2,980.00	\$ -	-
C-01	PULVERIZE EXISTING ASPHALT PAVEMENT	SY	2,120	0.57	\$ 1,208.40		\$ -	2,464	\$ 1,404.48	116%	2,464.00	\$ 1,404.48	\$ (195.08)	(344.00)
C-02	30" MOUNTABLE CONCRETE CURB & GUTTER	LF	120	47.00	\$ 5,640.00	100.00	\$ 4,700.00		\$ -	83%	100.00	\$ 4,700.00	\$ 940.00	20.00
C-03	FINE GRADING & COMPACTION OF ROAD BASE	SY	2,120	1.45	\$ 3,074.00		\$ -	2,464	\$ 3,572.80	116%	2,464.00	\$ 3,572.80	\$ (488.80)	(344.00)
C-04	ADJUSTING MANHOLE COVERS	EA	5	780.00	\$ 3,900.00		\$ -	4	\$ 3,120.00	80%	4.00	\$ 3,120.00	\$ 780.00	1.00
C-05	3/4" HMA PAVEMENT 3 LT	TN	230	55.00	\$ 12,650.00		\$ -	219	\$ 12,067.00	95%	219.40	\$ 12,067.00	\$ 583.00	10.60
C-06	3/4" HMA PAVEMENT 4 LT	TN	230	64.40	\$ 14,812.00		\$ -	260	\$ 16,752.37	113%	260.13	\$ 16,752.37	\$ (1,940.37)	(30.13)
C-07	SAWMING ASPHALT	LF	90	2.00	\$ 180.00		\$ -	90	\$ 180.00	100%	90.00	\$ 180.00	\$ -	-
C-08	CONTRACTOR QUALITY CONTROL TESTING	LS	1	4,260.00	\$ 4,260.00		\$ -	1.00	\$ 4,260.00	100%	1.00	\$ 4,260.00	\$ -	-

PTS Contractors, Inc.
 4075 Eaton Road - Green Bay, WI 54311
 Phone#: (920) 468-5217-Fax#: (920) 468-4087

Village of Harrison
 2019 Storm Sewer & Drainage Improvements & Asphalt Paving Program
 Payment Request

PTS JOB #19-738
 Payment Request: 3
 Date: 10/7/2019

Bid Item #	Description	Units	Qty	Scheduled		Previous Request Totals		This Request Totals		%	Total Completed		Balance to Finish	
				Unit Price	Amount	Qty	Amount	Qty	Amount		Qty	Amount	Amount	Qty
D-01	6" STORM SEWER	LF	480	\$ 33.00	\$ 15,840.00	480.00	\$ 15,840.00		\$ -	100%	480.00	\$ 15,840.00	\$ -	
D-02	4" SCH 40 PVC STORM SEWER LATERAL	LF	40	\$ 38.00	\$ 1,520.00	67.50	\$ 2,565.00		\$ -	169%	67.50	\$ 2,565.00	\$ (1,045.00)	(27.50)
D-03	6" CLEANOUT	EA	5	\$ 310.00	\$ 1,550.00	5.00	\$ 1,550.00		\$ -	100%	5.00	\$ 1,550.00	\$ -	
D-04	4" CLEANOUT	EA	4	\$ 204.00	\$ 816.00	5.00	\$ 1,020.00		\$ -	125%	5.00	\$ 1,020.00	\$ (204.00)	(1.00)
D-05	STORM SEWER INLET CONNECTION	EA	2	\$ 200.00	\$ 400.00	4.00	\$ 800.00		\$ -	200%	4.00	\$ 800.00	\$ (400.00)	(2.00)
D-06	BORE 6" STORM SEWER	EA	3	\$ 2,080.00	\$ 6,240.00	3.00	\$ 6,240.00		\$ -	100%	3.00	\$ 6,240.00	\$ -	
D-07	LAWN RESTORATION	SY	750	\$ 8.40	\$ 6,300.00	356.00	\$ 2,990.40		\$ -	47%	356.00	\$ 2,990.40	\$ 3,309.60	394.00
D-08	6" CONCRETE DRIVEWAY APRON	SF		\$ 6.25			\$ -		\$ -			\$ -	\$ -	
E-01	30" MOUNTABLE CONCRETE CURB & GUTTER	LF	1,925	\$ 14.55	\$ 28,008.75	1,938.00	\$ 28,197.90		\$ -	101%	1,938.00	\$ 28,197.90	\$ (189.15)	(13.00)
E-02	EXCAVATION FOR 6" CONCRETE SIDEWALK	CY	350	\$ 26.00	\$ 9,100.00	381.20	\$ 9,911.20		\$ -	109%	381.20	\$ 9,911.20	\$ (811.20)	(31.20)
E-03	Base Aggregate Dense 1-1/4" for Sidewalk	TN	350	\$ 18.70	\$ 6,545.00	619.40	\$ 11,582.78		\$ -	177%	619.40	\$ 11,582.78	\$ (5,037.78)	(269.40)
E-04	4" Sidewalk (5-ft wide)	SF	7,800	\$ 4.65	\$ 36,270.00	6,613.00	\$ 30,750.45		\$ -	85%	6,613.00	\$ 30,750.45	\$ 5,519.55	1,187.00
E-05	6" Sidewalk (5-ft wide)	SF	1,500	\$ 5.20	\$ 7,800.00	2,830.50	\$ 14,718.80		\$ -	189%	2,830.50	\$ 14,718.80	\$ (6,918.80)	(1,330.50)
E-06	DETECTABLE WARNING FIELD, NATURAL PATINA	SF	20	\$ 42.00	\$ 840.00	16.00	\$ 672.00		\$ -	80%	16.00	\$ 672.00	\$ 168.00	4.00
E-07	6" CONCRETE DRIVEWAY APRON	SF	2,200	\$ 5.20	\$ 11,440.00	4,189.90	\$ 21,787.48		\$ -	190%	4,189.90	\$ 21,787.48	\$ (10,347.48)	(1,989.90)
E-08	FINE GRADING & COMPACTION OF ROAD BASE	SY	3,290	\$ 2.10	\$ 6,909.00	3,290.00	\$ 6,909.00		\$ -	100%	3,290.00	\$ 6,909.00	\$ -	
E-09	ADJUSTING MANHOLE COVERS	EA	7	\$ 780.00	\$ 5,460.00	8.00	\$ 6,240.00		\$ -	229%	16.00	\$ 12,480.00	\$ (7,020.00)	(9.00)
E-10	3/4" HMA PAVEMENT 3 LT	TN	350	\$ 56.10	\$ 19,635.00	328.39	\$ 18,422.68		\$ -	94%	328.39	\$ 18,422.68	\$ 1,212.32	21.61
E-11	3/4" HMA PAVEMENT 4 LT	TN	350	\$ 64.40	\$ 22,540.00	331.05	\$ 21,319.62		\$ -	95%	331.05	\$ 21,319.62	\$ 1,220.38	18.95

Original Alcohol Beverage Retail License Application

(Submit to municipal clerk.)

For the license period beginning: 09/13/19 ending: _____
(mm dd yyyy) (mm dd yyyy)

To the Governing Body of the: Town of } Harrison
 Village of }
 City of }

County of Calumet Aldermanic Dist. No. _____
(if required by ordinance)

Check one: Individual Limited Liability Company
 Partnership Corporation/Nonprofit Organization

Applicant's Wisconsin Seller's Permit Number <u>456-0002293425-08</u>	
FEIN Number <u>76-0789831</u>	
TYPE OF LICENSE REQUESTED	FEE
<input type="checkbox"/> Class A beer	\$
<input checked="" type="checkbox"/> Class B beer	\$ 100
<input type="checkbox"/> Class C wine	\$
<input type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class A liquor (cider only)	\$ N/A
<input checked="" type="checkbox"/> Class B liquor	\$ 350
<input type="checkbox"/> Reserve Class B liquor	\$
<input type="checkbox"/> Class B (wine only) winery	\$
Publication fee	\$ 17
TOTAL FEE	\$ 467

Name (individual / partners give last name, first, middle; corporations / limited liability companies give registered name)
Vargas Bros. LLC

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the full name and place of residence of each person.

President / Member Last Name <u>Vargas</u>	(First) <u>Jose</u>	(Middle Name) <u>A</u>	Home Address (Street, City or Post Office, & Zip Code) <u>N8331 State Park Rd. Menasha, WI 54952</u>
Vice President / Member Last Name <u>Vargas</u>	(First) <u>Rosa</u>	(Middle Name) <u>I</u>	Home Address (Street, City or Post Office, & Zip Code) <u>N8331 State Park Rd. Menasha, WI 54952</u>
Secretary / Member Last Name	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)
Treasurer / Member Last Name	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)
Agent Last Name	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)
Directors / Managers Last Name	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)

1. Trade Name Vargas Bros. Business Phone Number (920) 540-3693
 2. Address of Premises N8331 State Park Rd. Menasha, WI 54952 Post Office & Zip Code 54952

3. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, consumption, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.)
Premises includes all acres on land including the buildings on premises.

4. Legal description (omit if street address is given above): _____

5. (a) Was this premises licensed for the sale of liquor or beer during the past license year? Yes No
 (b) If yes, under what name was license issued? _____

6. Is individual, partners or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period? **If yes, explain** Yes No
Currently Completing
7. Is the applicant an employe or agent of, or acting on behalf of anyone except the named applicant? Yes No
If yes, explain.
8. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business? **If yes, explain** Yes No
9. (a) **Corporate/limited liability company applicants only:** Insert state WI and date 01/2002 of registration.
- (b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company? **If yes, explain** Yes No
- (c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin? **If yes, explain.** Yes No
10. Does the applicant understand they must register as a Retail Beverage Alcohol Dealer with the federal government, Alcohol and Tobacco Tax and Trade Bureau (TTB) by filing (TTB form 5630.5d) before beginning business? [phone 1-877-882-3277] Yes No
11. Does the applicant understand they must hold a Wisconsin Seller's Permit? [phone (608) 266-2776] Yes No
12. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? Yes No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000. Signer agrees to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants, or one member of a partnership applicant must sign; one corporate officer, one member/manager of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

Contact Person's Name (Last, First, M.I.) <i>Vargas Jose A</i>	Title/Member <i>Owner</i>	Date <i>09/13/19</i>
Signature <i>[Signature]</i>	Phone Number <i>(920) 378-2080</i>	Email Address <i>vargasrines@yahoo.com</i>

TO BE COMPLETED BY CLERK

Date received and filed with municipal clerk <i>9/13/19</i>	Date reported to council / board	Date provisional license issued <i>9/13/19</i>	Signature of Clerk / Deputy Clerk <i>[Signature]</i>
Date license granted	Date license issued	License number issued <i>No. 15519-13</i>	

Schedule for Appointment of Agent by Corporation / Nonprofit Organization or Limited Liability Company

Submit to municipal clerk.

All corporations/organizations or limited liability companies applying for a license to sell fermented malt beverages and/or intoxicating liquor must appoint an agent. The following questions must be answered by the agent. The appointment must be signed by an officer of the corporation/organization or one member/manager of a limited liability company and the recommendation made by the proper local official.

To the governing body of: Town Village City of Harrison County of Calumet

The undersigned duly authorized officer/member/manager of Vargas Bros. LLC.
(Registered Name of Corporation / Organization or Limited Liability Company)

a corporation/organization or limited liability company making application for an alcohol beverage license for a premises known as Vargas Bros.
(Trade Name)

located at N8331 State Park Rd. Menasha, WI

appoints Jose Vargas
(Name of Appointed Agent)

N8331 State Park Rd. Menasha, WI
(Home Address of Appointed Agent)

to act for the corporation/organization/limited liability company with full authority and control of the premises and of all business relative to alcohol beverages conducted therein. Is applicant agent presently acting in that capacity or requesting approval for any corporation/organization/limited liability company having or applying for a beer and/or liquor license for any other location in Wisconsin?

Yes No If so, indicate the corporate name(s)/limited liability company(ies) and municipality(ies).

Is applicant agent subject to completion of the responsible beverage server training course? Yes No

How long immediately prior to making this application has the applicant agent resided continuously in Wisconsin? 24

Place of residence last year 914 E. Washington St.

For: Vargas Bros.
(Name of Corporation / Organization / Limited Liability Company)

By: Jose Vargas
(Signature of Officer / Member / Manager)

Any person who knowingly provides materially false information in an application for a license may be required to forfeit not more than \$1,000.

ACCEPTANCE BY AGENT

I, Jose Vargas, hereby accept this appointment as agent for the
(Print / Type Agent's Name)

corporation/organization/limited liability company and assume full responsibility for the conduct of all business relative to alcohol beverages conducted on the premises for the corporation/organization/limited liability company.

Jose Vargas 09/13/19 Agent's age 43
(Signature of Agent) (Date)
N8331 State Park Rd. Menasha, WI Date of birth 01/11/76
(Home Address of Agent)

APPROVAL OF AGENT BY MUNICIPAL AUTHORITY (Clerk cannot sign on behalf of Municipal Official)

I hereby certify that I have checked municipal and state criminal records. To the best of my knowledge, with the available information, the character, record and reputation are satisfactory and I have no objection to the agent appointed.

Approved on _____ by _____ Title _____
(Date) (Signature of Proper Local Official) (Town Chair, Village President, Police Chief)

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Meeting Date:

October 29, 2019

Title:

Fence in Drainage Easement – W5435 Mile Long Drive

Issue:

Should the Village Board approve the placement of a fence in a drainage easement?

Background and Additional Information:

The property owner at W5435 Mile Long Drive is requesting permission to place a fence within a drainage easement along the rear property line. The applicant wishes to construct a split rail fence along the rear property line. The applicant also wishes to construct a chain-link fence approximately 3-feet into the drainage easement, on the house side of the easement. The property is Lot 34 of the State Park Meadows subdivision. There is a main 30-foot drainage & utility easement along the rear (south) side of the property. Staff does not have a concern about allowing a fence at the proposed placement since the fence is on the top side of the drainageway and does not cross the flowline.

The zoning ordinance requires approval from the easement holder prior to issuance of a zoning permit for the fence. In this case, the Village Board must decide if a fence is allowed in the drainage easement.

Budget Impacts:

None

Recommended Action:

Staff has no objection to a chain-link fence 3-feet within this drainage easement (from the house side) or a split rail fence on the drainage easement line along the rear property line. If the Village Board approves the fence, staff recommends the standard Permission to Occupy Drainage Easement Agreement be signed and recorded with the Calumet County Register of Deeds.

Attachments:

- Applicant Email & Site Plan
- Subdivision Plan
- Draft Agreement

Calumet County, WI

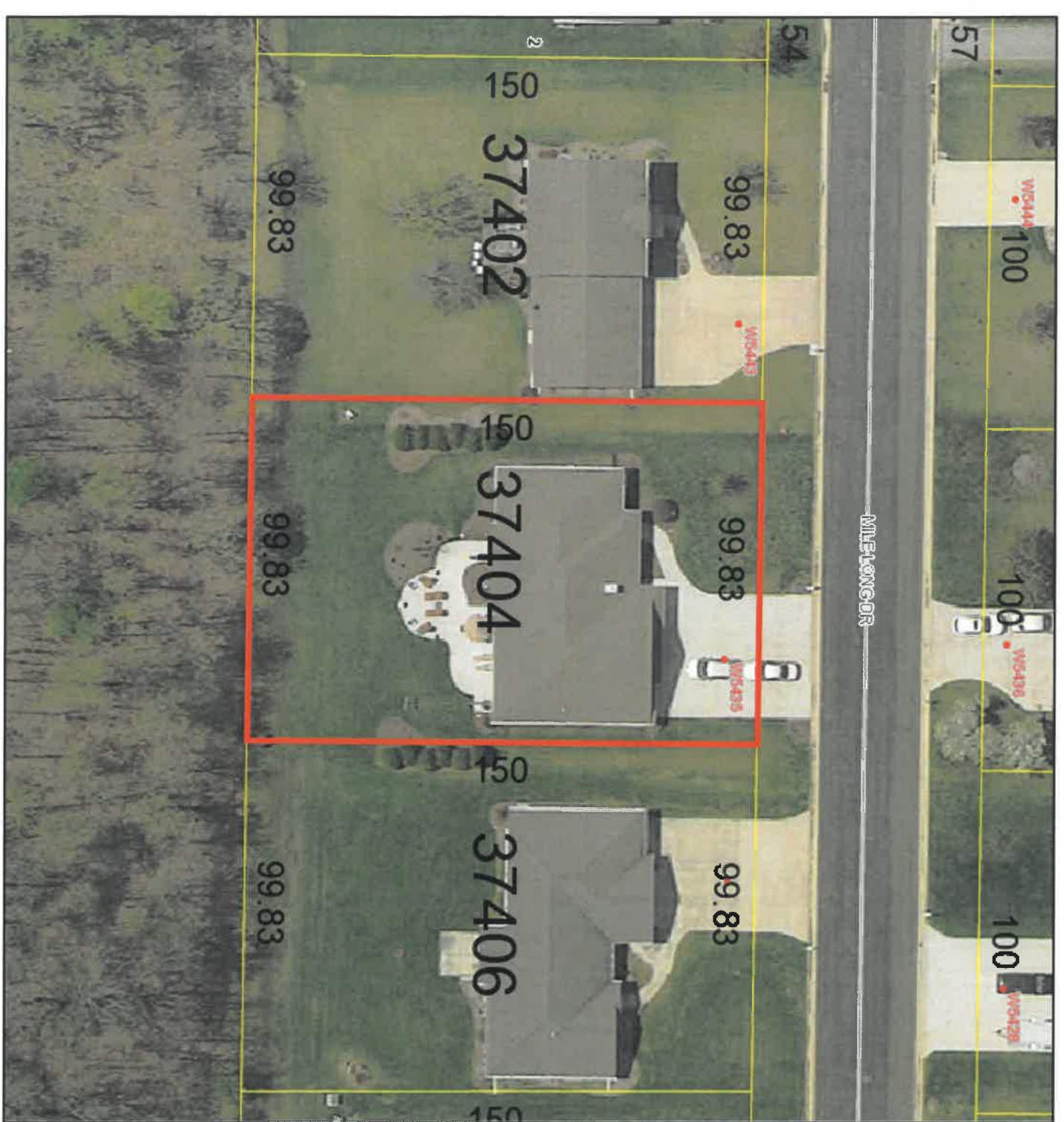
Legend

- Address Point
- County Boundary
- Wisconsin Water
- ★ Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad
- Color 2018**
- Red: Band_1
- Green: Band_2
- Blue: Band_3



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author: Date Printed: 10/24/18 11:17 AM Source:	
--	--



Mark Mommaerts

From: Kevin Calmes <kcwhitetails1@yahoo.com>
Sent: Tuesday, October 01, 2019 3:12 PM
To: Mark Mommaerts
Subject: Kevin Calmes fence request

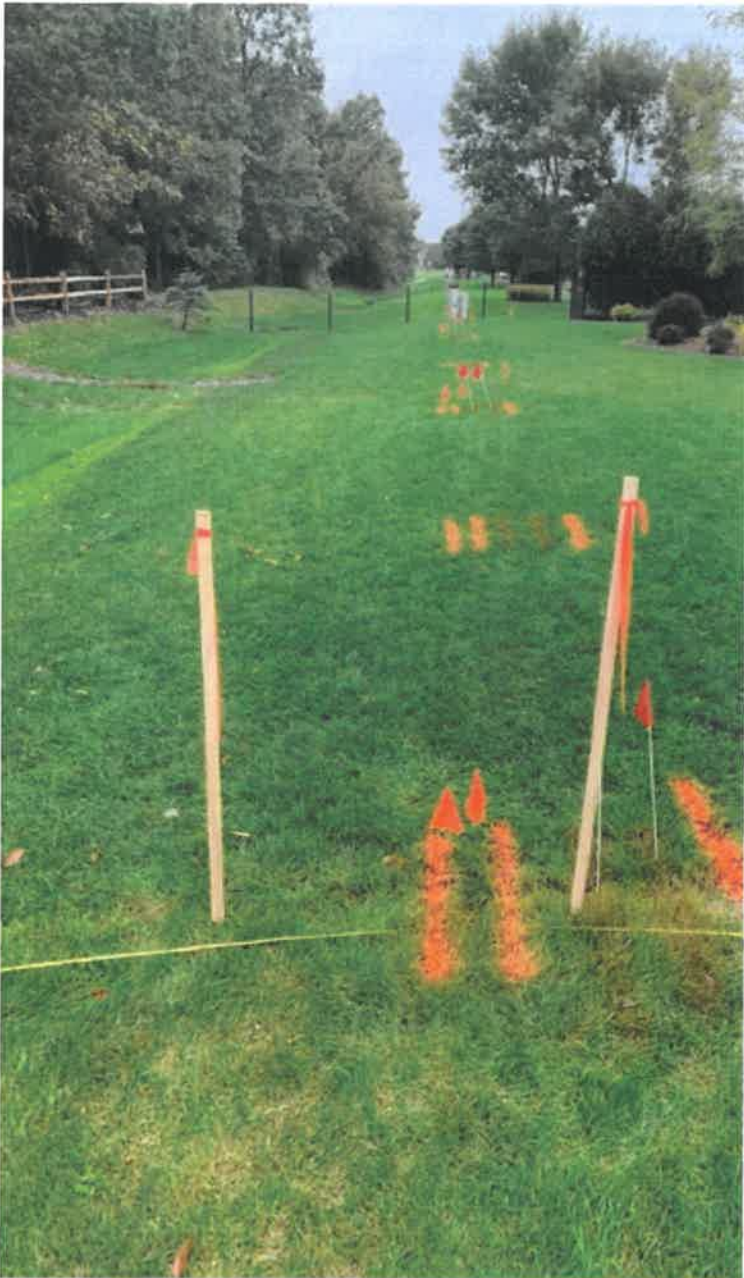
Mark this is Kevin Calmes at W5435 Mile Long Drive. Can the board look at letting me move 2-3' into the easement so I have some back yard to enjoy. I would like to install a fence just like the top picture across the back of my yard. I would like to put the fence 3' to the left or (into the easement) as shown by the 2 wooden stakes with orange tape. The stake to the right is 30' off the back property line. I have a very expensive female dog that I need to make sure doesn't get bred by the neighbor dogs, so this fence would help that. If you have any other questions please feel free to call me at: (920)609-2416

Thanks for your time.

①



2



VILLAGE OF HARRISON
CALUMET & OUTAGAMIE COUNTIES, WISCONSIN

Permission to Occupy Drainage Easement Agreement

This agreement is entered into by and between the Village of Harrison, Calumet & Outagamie Counties, hereinafter referred to as "Village" and Kevin & Tracy Calmes, hereinafter referred to as "Owner", owners of property described as Lot 34 of State Park Meadows, being a part of the NE1/4 and NW1/4 of the SE1/4 of Section 2, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, located at W5435 Mile Long Drive.

This agreement authorizes the Owner to place a chain-link fence three (3') feet into the drainage easement (or twenty-seven (27') feet from the south property line) and a split rail fence on the south property line, hereinafter referred to as "Improvement", within the recorded drainage easement on their property subject to the following provisions and/or conditions:

1. The Owner agrees that if the Village determines that stormwater runoff is impeded or obstructed at any time because of the Improvement, then the Village may order the Owner to remove such Improvement and return the property grades/elevations to that of the approved grading/drainage plan. If the Owner fails to comply, the Village may cause removal of the Improvement and shall place the cost on the property tax bill as a special assessment.
2. The Owner agrees to remove the Improvement upon reasonable notice from the Village that work needs to be completed within the easement area or that access needs to be obtained through the easement area.
3. In case of emergency, the Village may remove the Improvement without giving notice to the Owner.
4. The Village is not responsible for any damage done during removal.
5. The Village will not replace the Improvement for any reason or reimburse Owner for removal of Improvement.
6. The Owner agrees to maintain the drainage easement, including but not limited to mowing and removal of debris, on both sides of the Improvement.

Return to:
Village of Harrison
W5298 Hwy 114
Menasha, WI 54952

Parcel No.(s): 131-0554-000340A-000-
0-201802-00-4100 (37404)

This Agreement shall be binding upon the owner, its successors, assigns, and heirs, until such time as the Improvement is removed and the easement is restored to its original state.

The rest of this page left blank intentionally.

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Meeting Date:

October 29, 2019

Title:

Ord V19-10 - Comprehensive Plan Amendment – Premier Real Estate Management
Ord V19-11 - Zoning Map Amendment – Premier Real Estate Management
Conditional Use Permit – Premier Real Estate Management

Issue:

Should the Village Board approve a Comprehensive Plan Amendment from commercial to multi-family residential, a Zoning Map Amendment from AG to MF, and Conditional Use Permit?

Background and Additional Information:

The applicant is proposing a multi-family residential development on property located along Friendship Drive between County KK and Hwy 55, Tax IDs 38988 & 39024. The development consists of ten (10) 12-unit buildings, all two-bedroom units with attached garages, outside parking areas, office/garage, and mailroom. Phase 1 will consist of 4 12-unit buildings (48-units total), office/garage, mailroom, boulevard entrance off Friendship Drive, associated driveways and parking areas, and a wet detention pond. Phase 2 will consist of 6 12-unit buildings (72-units total), driveway off Highline Road, associated driveways and parking areas, and a second wet detention pond. The applicant is requesting a Comprehensive Plan Amendment, Zoning Map Amendment, and a Conditional Use Permit.

Comprehensive Plan Amendment:

The applicant is proposing to amend the future land use map in the Comprehensive Plan to allow for multiple-family residential. Currently, the future land use map identifies this area as commercial. When the Village updated the Comprehensive Plan several years ago, this site received much discussion as to whether it should be commercial or multi-family residential. At the time, it was decided to keep it as commercial until a development project was proposed, either commercial or multi-family. There are commercial uses on the north, south and east side of the property and residential uses on the west and south sides. Multi-family residential can be a buffer between the commercial and residential uses.

Zoning Map Amendment:

The applicant is proposing to rezone from General Agricultural [AG] to Multiple-Family Residential [RM] the area for the development.

Conditional Use Permit:

The zoning ordinance requires a Conditional Use Permit for any multiple-family developer greater than 3-buildings or greater than 24-units. The applicant is proposing a 10-building

development with 120-units total. Landscaping and buffering should be provided along the single-family residential uses to the west and south. Potentially relocating the dumpster enclosure in the southwest corner of the site to a different area to reduce noise and nuisance issues with the adjacent properties.

Basis for Approval: *(from the Zoning Ordinance Section 117-319)*

1. *Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of this chapter. Where there is an existing nonconforming structure, the design standards of the underlying zoning district may be waived by the plan commission and town board.* If the Comprehensive Plan and Zoning Map amendments are approved, then the proposed multi-family development is an allowable use in the MF zoning district.
2. *Plans. The proposed use conforms to the comprehensive plan and any other officially adopted plan.* If the Comprehensive Plan and Zoning Map amendments are approved, then the proposed multi-family development conforms to the Comprehensive Plan.
3. *Traffic. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.* The main entrance is anticipated to connect with Friendship Drive, which has connections to Hwy 55 and County KK.
4. *Landscaping and screening. Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in article VI, Access, Parking, and Loading and article IX, Landscaping and Screening Standards.* The development plans indicate a line of plantings along the south and west sides. Additional landscaping may be required to meet buffering requirements.
5. *Neighborhood compatibility. The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust.* The multi-family residential proposed will be a buffer between the commercial development to the north and east and the single-family homes to the south and west. Landscape screening and buffering should be utilized to further reduce potential light nuisance.
6. *Services. Adequate facilities, access roads, drainage and/or necessary services have been or will be provided.* Sanitary sewer and water can be provided to the site. Stormwater management is proposed on-site.

Findings of Fact:

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan if the Comprehensive Plan Amendment is approved.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Budget Impacts:

None are anticipated. Developer may request assistance through Tax Incremental Financing District.

Recommended Action:

The Plan Commission will meet prior to the Village Board to discuss and act on the Comprehensive Plan Amendment, Zoning Map Amendment, and Conditional Use Permit. The Plan Commission decision will be presented at the meeting.

Staff recommends approval of Plan Commission Resolution PC2019-02, recommending the Village Board amend the comprehensive plan.

Staff recommends approval of the Zoning Map Amendment from General Agricultural [AG] to Multiple-Family Residential [RM].

Staff recommends approval the Conditional Use Permit with the following conditions:

1. The applicant works with the Darboy Sanitary District and Village of Harrison on sanitary sewer and water main routing to ensure adjacent properties can be adequately served with water and sanitary sewer.
2. A 20-foot wide berm and landscape area be provided along the south and west sides of the development. The berm should be approximately 5-feet in height with evergreen and other plantings. Care should be taken to design the berm and plantings to shield vehicle headlights shining into adjacent properties.
3. The dumpster enclosure in the southwest corner of the site shall be relocated between buildings 5/8 or 8/9.
4. All exterior parking area lighting shall be direct cut-off fixtures to reduce/eliminate any glare.
5. All provisions of the zoning ordinance and all other Village ordinances shall be met.
6. Any comments or revisions from Village staff during the site plan review process shall be incorporated as conditions of approval.
7. All necessary permits shall be obtained prior to construction.

Attachments:

- Ord V19-10 & Ord V19-11
- Aerial Map
- Future Land Use Map
- Zoning Map
- Project Narrative
- Plan Set
- Plan Commission Resolution PC2019-02

ORDINANCE V19-10

AN ORDINANCE ADOPTING AMENDMENTS TO THE COMPREHENSIVE PLAN FOR THE VILLAGE OF HARRISON, WISCONSIN. (Premier Real Estate Management, LLC)

WHEREAS, the Harrison Plan Commission received an application from Premier Real Estate Management, LLC to amend the Comprehensive Plan Future Land Use Map land use designations from Commercial to Multi-Family Residential for the following described property:

PARCEL I - ID NO. 131-0000-0000000-000-0-201801-00-110A (ALT. ID #38988)
Lot One (1) of Certified Survey Map Number 3615, said Certified Survey Map having been recorded on December 22, 2016 in Volume 32 of Survey Maps on page 92, as Document No.519102 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the Northeast Quarter (NE 1/4) of the Fractional Northeast Quarter (NE 1/4), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin. Said parcel contains 467,091 square feet (10.723 acres), more or less.

PARCEL II - ID NO. 131-0000-0000000-000-0-201801-00-140A (ALT. ID #39024)

Note: The following legal description was obtained, in part, from the Warranty Deed, recorded as Document #530374, recorded in the Register of Deeds Office, Calumet County, Wisconsin. It was corrected to reflect the recording of CSM #3615 and the sale of Lot 2 of CSM #3615 to Meridian Investments, LLC (Doc. 519575).

The North Sixty-three and 60/100ths (63.60) acres of the East Half of the Northeast Quarter (E 1/2 of NE 1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Excepting therefrom the following parcel: A parcel of land in the North Sixty-three and sixty hundredths (63.60) acres of the East one-half (E 1/2) of the Northeast in one-quarter (NE 1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, more fully described as follows: Beginning at the Southeast (SE) corner of above mentioned lands; thence North 140.0 feet; thence West 241.25 feet; thence South 140.0 feet; thence East 241.25 feet to the point of beginning, less the East 41.25 feet reserved for road purposes.

Also excepting therefrom the following parcel, to-wit: A parcel of land in the North Sixty-three and sixty hundredths (63.60) acres of the East one-half (E 1/2) of the Northeast in one-quarter (NE 1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, more fully described as follows: Beginning at the Southwest (SW) corner of above mentioned lands; thence North 140.0 feet; thence East 311.1 feet; thence South 140.0 feet; thence West 311.1 feet to the point of beginning.

Also excepting therefrom the following parcel, to-wit: Part of the Northeast Quarter of the Northeast Quarter (NE 1/4 NE 1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, being described as: Commencing at the Northeast Corner, Section 1; thence West along the N/L Section 1 (C/L C.T.H. "KK") 590.24 feet to the point of beginning; thence continue West 338.54 feet, thence South 386.01 feet to an iron pin; thence East 338.54 feet to an iron pin; thence North 386.01 feet to the point of beginning. Reserving the North 40.00 feet for highway purposes. NOW KNOWN and described as Certified Survey Map No.460 recorded in the office of the Register of Deeds for Calumet County, Wisconsin on August 16, 1976 In Volume 3 of Survey Maps on page 152, as Document No.140471.

Also excepting therefrom the following parcel, to-wit: Lots One (1), Two (2) and Three (3) of Certified Survey Map Number 700, said Certified Survey Map having been recorded on June 14, 1979 in Volume 5 of Survey Maps on page 94, as Document No.152540 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the East Half (E ½) of the Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: A parcel of land located in the East Half (E ½) of the Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, and described as follows: Commencing at the East ¼ corner of Section One (1); thence North 746.65 feet along the East line of Section 1 to the point of beginning; thence continue North 48.00 feet; thence N 89°11'54" W, 319.04 feet to a ¾" rebar set; thence South 48.00 feet to a ¾" rebar set; thence S 89°11'54" E, 319.04 feet to the point of beginning. Said parcel in addition to 98R625, 159R33 and Lot 3, Certified Survey Map No. 700, reserving a portion on the East for highway purposes.

Also excepting therefrom the following parcel, to-wit: A parcel of land located in the Southeast ¼ of the fractional Northeast ¼ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, more fully described as follows: Commencing at the East ¼ Corner of said Section 1; thence N 89°25'00" W, 130.15 feet along the East-West ¼ line of said Section 1 to the Southwest Corner of the East ½, fractional Northeast ¼; thence N 0°02'56" E, 835.19 feet along the West line of the East ½ fractional Northeast ¼ of said Section 1; thence S 89°11'54" E, 359.16 feet to the point of beginning; thence continuing S 89°11'54" E, 622.30 feet; thence S 0°00'00" W, 83.59 feet to the Northeast Corner of Lot 2 of Certified survey Map No. 700; thence N 89°11'54" W, 622.30 feet along the North Line of said Lot 2 to the Northeast Corner of Lot 1 of Certified Survey Map No. 700; thence N 0°00'00" E, 83.59 feet to the point of beginning.

Also excepting therefrom the following parcel, to-wit: All of Lot One (1) of Certified Survey Map 966, recorded April 27, 1983 at 2:33 P.M. in Volume 6 of Certified Survey Maps on Page 422, Document No. 168069 in the Calumet County Registry, Chilton, Wisconsin. Being a part of the East One-half (E ½) of the Northeast Quarter (NE ¼) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1) of Certified Survey Map No. 1099 filed February 25, 1985 at 3:50 p.m. in Volume 7 of Survey Maps, Page 352, as Document No. 176523 in the Calumet County Registry, being a part of the Northeast ¼ of the fractional Northeast ¼, Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1), of Certified Survey Map No. 1344 recorded in Volume 9 of Certified Survey Maps on Page 256 as Document No. 200843, being a part of the Northeast ¼ of the fractional Northeast ¼ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1), of Certified Survey Map No. 1885 filed in the office of the Register of Deeds for Calumet County, Wisconsin, in Volume 13 of Certified Survey Maps on page 240 as Document No. 256361, being part of the Northeast ¼ of the Fractional Northeast ¼ of Section One (1),

Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: All of Certified Survey Map Number 2089, filed on May 4, 1998 in Volume 15 of Survey Maps on page 80, as Document No.277455 In the Office of the Register of Deeds Calumet County, Wisconsin being a part of the East ½ of the Northeast ¼, Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel: All of Certified Survey Map Number 2275, filed on April 17, 2000 in Volume 17 of Survey Maps on page 47, as Document No.302595 in the Office of the Register of Deeds Calumet County, Wisconsin being a part of the Northeast ¼ of the Northeast ¼ Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel: All of Certified Survey Map Number 2307, filed on August 28, 2000 in Volume 17 of Survey Maps on page 136, as Document No.306750 in the Office of the Register of Deeds Calumet County, Wisconsin being a part of the Northeast ¼ of the Northeast 1/4 Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Premises convey to Calumet County by Warranty Deed recorded in Jacket 2248, Image 29, as Document No. 228017.

Also excepting therefrom the following parcel, to-wit: Lot One (1) and Lot Two (2) of Certified Survey Map Number 3615, said Certified Survey Map having been recorded on December 22, 2016 in Volume 32 of Survey Maps on page 92, as Document No.519102 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the Northeast Quarter (NE 1/4) of the Fractional Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin. Said parcel contains 502,856 square feet (11.544 acres), more or less.; and

WHEREAS, the proposed amendment is attached as “Exhibit A”; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on this amendment on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

WHEREAS, the Plan Commission recommended approval of the amendment by adoption of Plan Commission Resolution 2019-02.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet & Outagamie Counties, Wisconsin, that Section 109-2 of the Code of Ordinances is amended to add the following:

- 7) The Village Board of the Village of Harrison, Wisconsin, does, by enactment of this ordinance, formally adopt amendments to the Harrison Comprehensive Plan, pursuant to

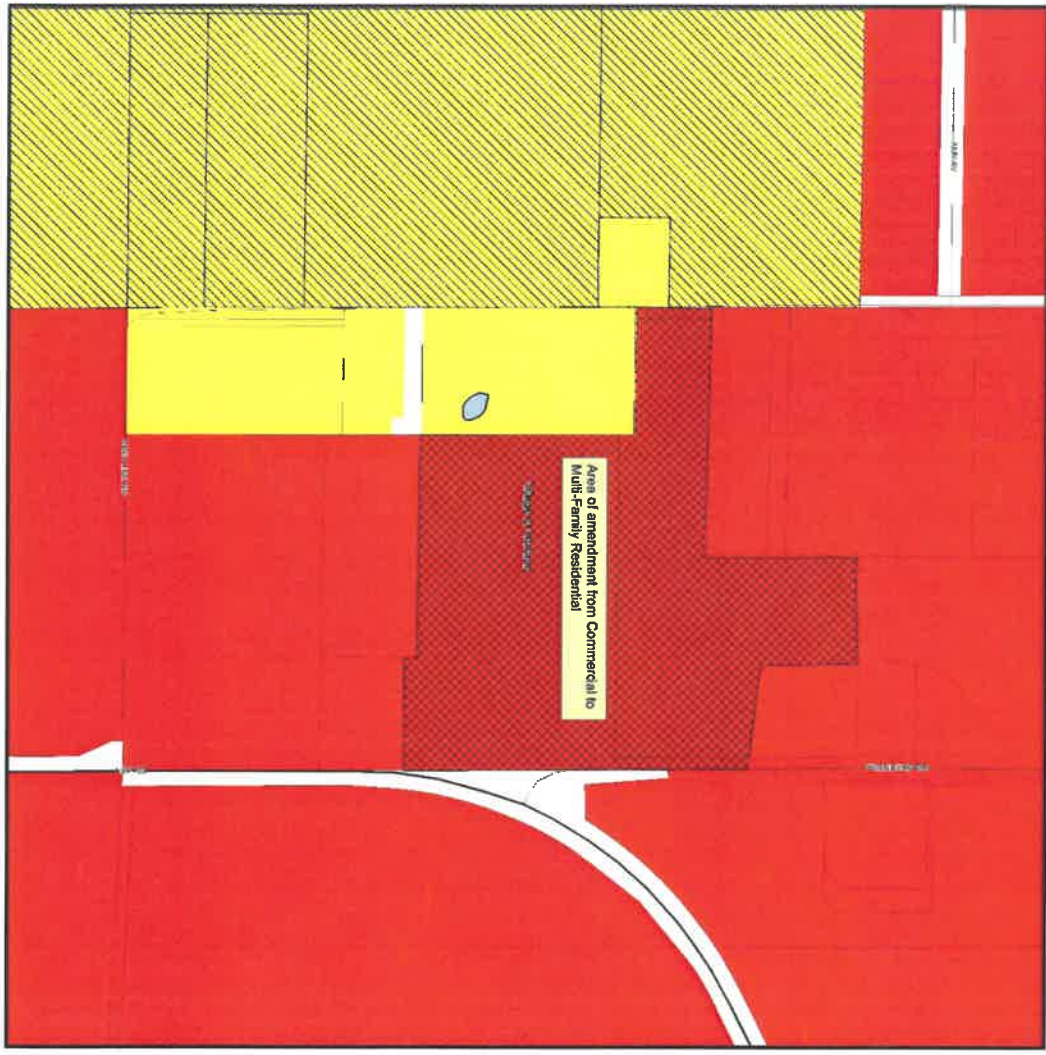
section 66.1001(4)(c) of the Wisconsin Statutes as recommended by Plan Commission
Resolution 2019-02.

Adopted by the Village Board of the Village of Harrison, Wisconsin this 29th day of October,
2019.

Kevin Hietpas, Village President

Attest: Jennifer Weyenberg, Village Clerk

Harrison Future Land Use Map 2004-2023



Legend

	Parcels		Future Land Use
	County Boundary		Single-Family Residential (sewered)
	Railroads		Single-Family Residential (transitional)
	Road Centerline		Single-Family Residential (unsewered)
	Local		Multi-Family Residential
	Federal		Mobile Home Park
	State		Farmstead Homes
	County		Village Center
	Private		Commercial
			Mixed Use
			Parks and Recreation
			Industrial
			Public/Institutional
			Ag, Vacant, Underdeveloped
			Special Agriculture
			Woodslands
			Utilities/Quarries
			Wetlands



This map was created using data provided by the Harrison Planning Commission and the Harrison City and Township. The Harrison City and Township are not responsible for any errors or omissions on this map. The Harrison City and Township are not responsible for any errors or omissions on this map. The Harrison City and Township are not responsible for any errors or omissions on this map.



Exhibit A

ORDINANCE V19-11

AN ORDINANCE AMENDING THE VILLAGE OF HARRISON OFFICIAL ZONING MAP. (Premier Real Estate Management, LLC)

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on October 29, 2019; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Multiple-Family Residential [RM]:

PARCEL I - ID NO. 131-0000-0000000-000-0-201801-00-110A (ALT. ID #38988) Lot One (1) of Certified Survey Map Number 3615, said Certified Survey Map having been recorded on December 22, 2016 in Volume 32 of Survey Maps on page 92, as Document No.519102 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the Northeast Quarter (NE 1/4) of the Fractional Northeast Quarter (NE 1/4), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin. Said parcel contains 467,091 square feet (10.723 acres), more or less.

PARCEL II - ID NO. 131-0000-0000000-000-0-201801-00-140A (ALT. ID #39024)

Note: The following legal description was obtained, in part, from the Warranty Deed, recorded as Document #530374, recorded in the Register of Deeds Office, Calumet County, Wisconsin. It was corrected to reflect the recording of CSM #3615 and the sale of Lot 2 of CSM #3615 to Meridian Investments, LLC (Doc. 519575).

The North Sixty-three and 60/100ths (63.60) acres of the East Half of the Northeast Quarter (E 1/2 of NE 1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Excepting therefrom the following parcel: A parcel of land in the North Sixty-three and sixty hundredths (63.60) acres of the East one-half (E 1/2) of the Northeast in one-quarter (NE 1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, more fully described as follows: Beginning at the Southeast (SE) corner of above mentioned lands; thence North 140.0 feet; thence West 241.25 feet; thence South 140.0 feet; thence East 241.25 feet to the point of beginning, less the East 41.25 feet reserved for road purposes.

Also excepting therefrom the following parcel, to-wit: A parcel of land in the North Sixty-three and sixty hundredths (63.60) acres of the East one-half (E 1/2) of the Northeast in one-quarter (NE 1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, more fully described as follows: Beginning at the Southwest (SW) corner of above mentioned lands; thence North 140.0 feet; thence East 311.1 feet; thence South 140.0 feet; thence West 311.1 feet to the point of beginning.

Also excepting therefrom the following parcel, to-wit: Part of the Northeast Quarter of the Northeast Quarter (NE 1/4 NE 1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, being described

as: Commencing at the Northeast Corner, Section 1; thence West along the N/L Section 1 (C/L C.T.H. "KK") 590.24 feet to the point of beginning; thence continue West 338.54 feet, thence South 386.01 feet to an iron pin; thence East 338.54 feet to an iron pin; thence North 386.01 feet to the point of beginning. Reserving the North 40.00 feet for highway purposes. NOW KNOWN and described as Certified Survey Map No.460 recorded in the office of the Register of Deeds for Calumet County, Wisconsin on August 16, 1976 In Volume 3 of Survey Maps on page 152, as Document No.140471.

Also excepting therefrom the following parcel, to-wit: Lots One (1), Two (2) and Three (3) of Certified Survey Map Number 700, said Certified Survey Map having been recorded on June 14, 1979 in Volume 5 of Survey Maps on page 94, as Document No.152540 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the East Half (E ½) of the Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: A parcel of land located in the East Half (E ½) of the Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, and described as follows: Commencing at the East ¼ corner of Section One (1); thence North 746.65 feet along the East line of Section 1 to the point of beginning; thence continue North 48.00 feet; thence N 89°11'54" W, 319.04 feet to a ¾" rebar set; thence South 48.00 feet to a ¾" rebar set; thence S 89°11'54" E, 319.04 feet to the point of beginning. Said parcel in addition to 98R625, 159R33 and Lot 3, Certified Survey Map No. 700, reserving a portion on the East for highway purposes.

Also excepting therefrom the following parcel, to-wit: A parcel of land located in the Southeast ¼ of the fractional Northeast ¼ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, more fully described as follows: Commencing at the East ¼ Corner of said Section 1; thence N 89°25'00" W, 130.15 feet along the East-West ¼ line of said Section 1 to the Southwest Corner of the East ½, fractional Northeast ¼; thence N 0°02'56" E, 835.19 feet along the West line of the East ½ fractional Northeast ¼ of said Section 1; thence S 89°11'54" E, 359.16 feet to the point of beginning; thence continuing S 89°11'54" E, 622.30 feet; thence S 0°00'00" W, 83.59 feet to the Northeast Corner of Lot 2 of Certified survey Map No. 700; thence N 89°11'54" W, 622.30 feet along the North Line of said Lot 2 to the Northeast Corner of Lot 1 of Certified Survey Map No. 700; thence N 0°00'00" E, 83.59 feet to the point of beginning.

Also excepting therefrom the following parcel, to-wit: All of Lot One (1) of Certified Survey Map 966, recorded April 27, 1983 at 2:33 P.M. in Volume 6 of Certified Survey Maps on Page 422, Document No. 168069 in the Calumet County Registry, Chilton, Wisconsin. Being a part of the East One-half (E ½) of the Northeast Quarter (NE ¼) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1) of Certified Survey Map No. 1099 filed February 25, 1985 at 3:50 p.m. in Volume 7 of Survey Maps, Page 352, as Document No. 176523 in the Calumet County Registry, being a part of the Northeast ¼ of the fractional Northeast ¼, Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1), of Certified Survey Map No. 1344 recorded in Volume 9 of Certified Survey Maps on Page 256 as Document No. 200843, being a part of the Northeast ¼ of the fractional Northeast ¼ of Section One (1),

Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1), of Certified Survey Map No. 1885 filed in the office of the Register of Deeds for Calumet County, Wisconsin, in Volume 13 of Certified Survey Maps on page 240 as Document No. 256361, being part of the Northeast ¼ of the Fractional Northeast ¼ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: All of Certified Survey Map Number 2089, filed on May 4, 1998 in Volume 15 of Survey Maps on page 80, as Document No.277455 In the Office of the Register of Deeds Calumet County, Wisconsin being a part of the East ½ of the Northeast ¼, Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel: All of Certified Survey Map Number 2275, filed on April 17, 2000 in Volume 17 of Survey Maps on page 47, as Document No.302595 in the Office of the Register of Deeds Calumet County, Wisconsin being a part of the Northeast ¼ of the Northeast ¼ Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel: All of Certified Survey Map Number 2307, filed on August 28, 2000 in Volume 17 of Survey Maps on page 136, as Document No.306750 in the Office of the Register of Deeds Calumet County, Wisconsin being a part of the Northeast ¼ of the Northeast 1/4 Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Premises convey to Calumet County by Warranty Deed recorded in Jacket 2248, Image 29, as Document No. 228017.

Also excepting therefrom the following parcel, to-wit: Lot One (1) and Lot Two (2) of Certified Survey Map Number 3615, said Certified Survey Map having been recorded on December 22, 2016 in Volume 32 of Survey Maps on page 92, as Document No.519102 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the Northeast Quarter (NE 1/4) of the Fractional Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin. Said parcel contains 502,856 square feet (11.544 acres), more or less.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 29th day of October, 2019.

Kevin Hietpas, Village President

Attest: Jennifer Weyenberg, Clerk

Zoning Map

Village of Harrison

Calumet & Outagamie Counties

Wisconsin

Legend

Zoning Districts

- AG | General Agriculture
- RS-1 | Single-Family Residential (Suburban)
- RS-2 | Single-Family Residential (Traditional)
- RT | Two-Family Residential
- RM | Multiple-Family Residential
- CN | Neighborhood Commercial
- COR1 | Office & Retail Commercial
- CC | Community Commercial
- BP | Business Park
- IM | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- PDO | Planned Development Overlay
- SHO | Shoreland Overlay*
- SWO | Shoreland-Wetland Overlay*

RoadCenterline

- County Highway
- State Highway
- US Highway
- Parcel

* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

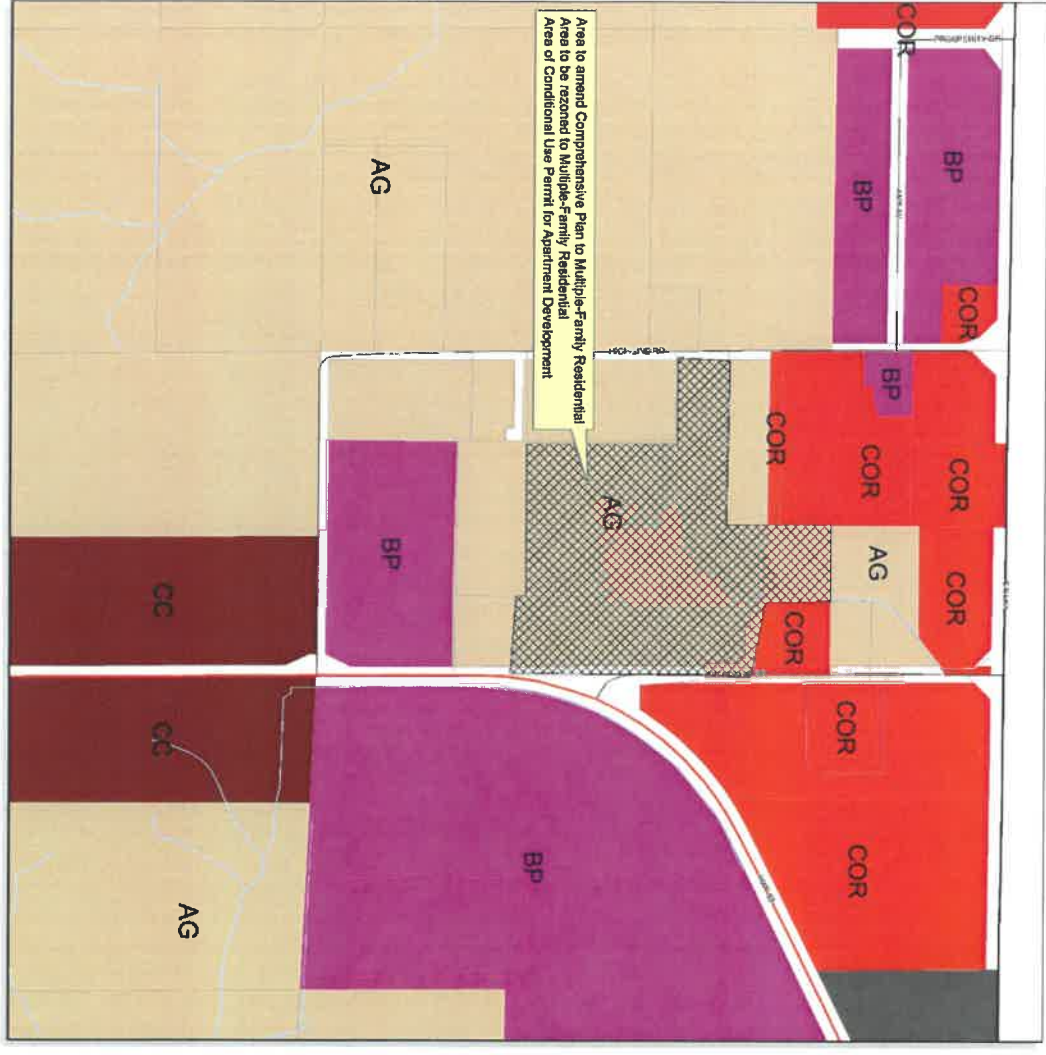
This map was created by:

Village of Harrison
 45285 Hwy 14
 Harrison, WI 54945
 Phone: 920-688-0822
 Adopted: July 27, 2010
 Effective: November 1, 2010
 Current as of: September 24, 2019



Disclaimer:
 This map was created using data obtained from Calumet County.

This map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not make any representation or warranty, expressed or implied, as to the accuracy or completeness of the information or the delineation, into or from the Calumet County or the Town of Harrison's records, of the information shown on this map. The user of this map for any purpose other than the use or review of those maps and files is at their own risk. The Village of Harrison is not responsible for any errors or omissions on this map. The Village of Harrison is not responsible for Calumet County's business. Calumet County's business is not responsible for the accuracy of the information shown on this map. Calumet County shall remain the exclusive owner of all rights, title, and interest in all documents, copyrights, and other information.



Calumet County, WI

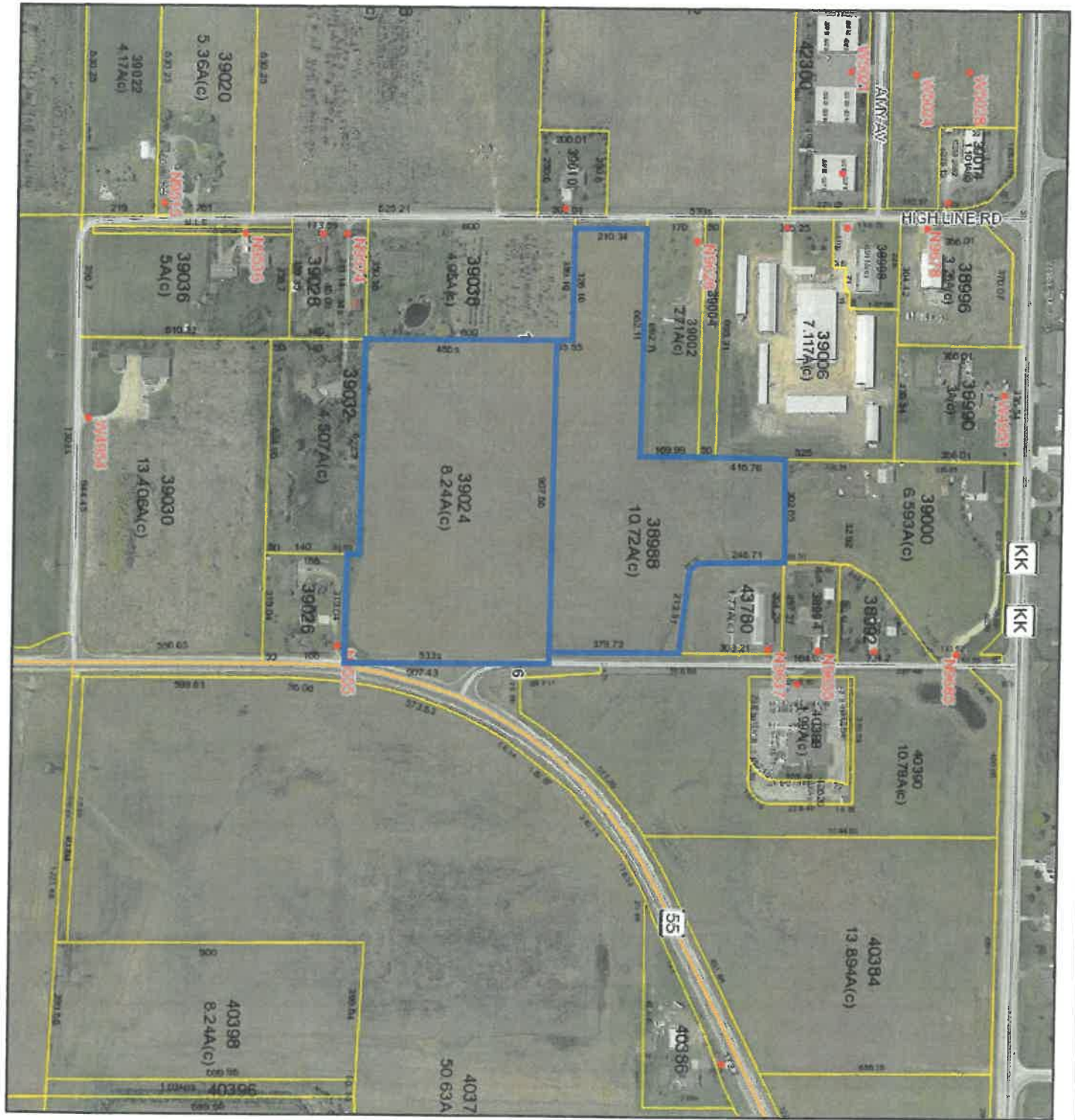
Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad
- Cedar 2018
- Red: Band_1
- Green: Band_2
- Blue: Band_3

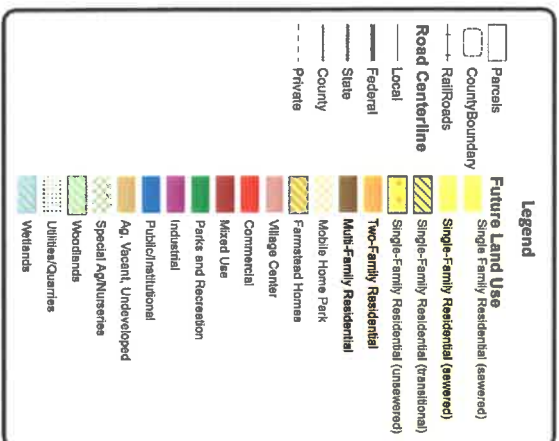
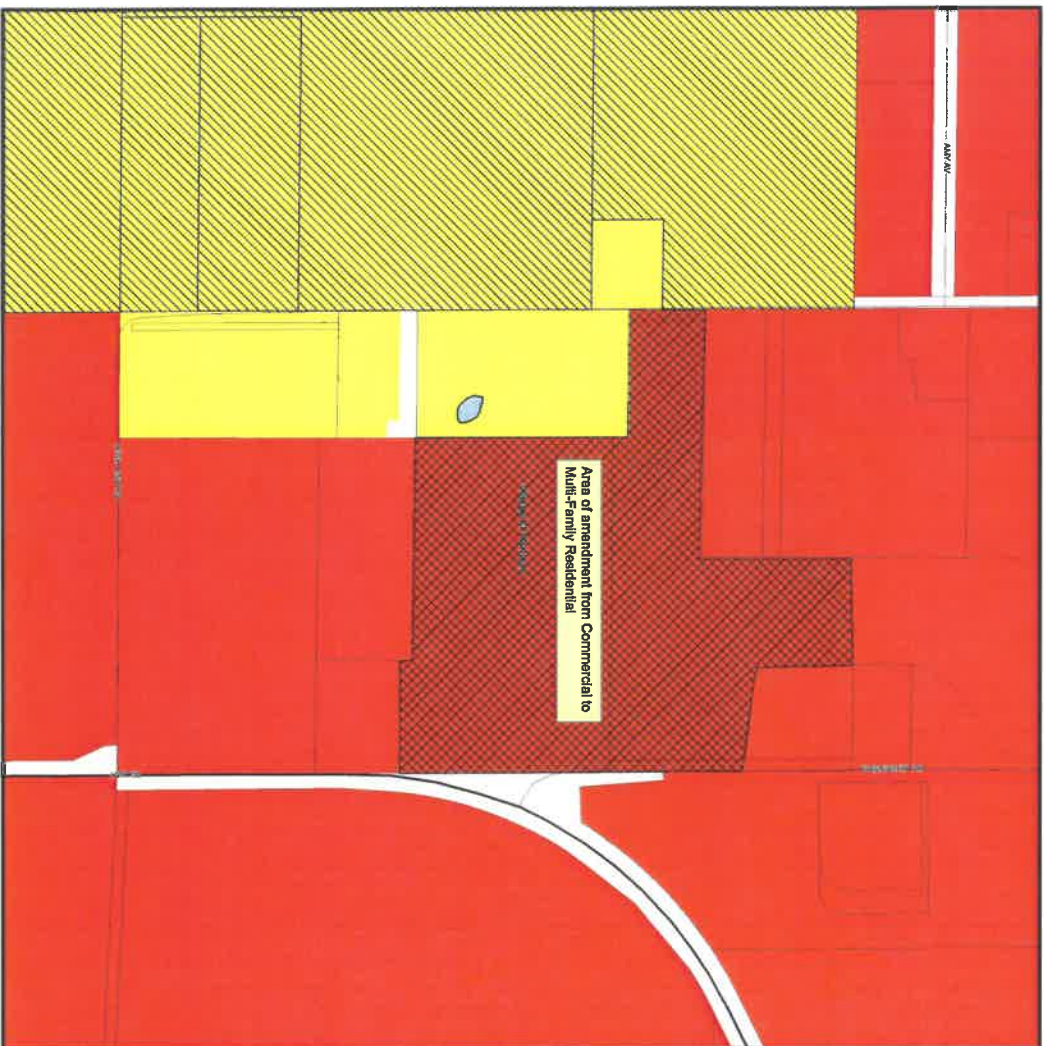


DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author: Date Printed: 11/02/19 11:18 AM Sources:	
---	--



Harrison Future Land Use Map 2004-2023



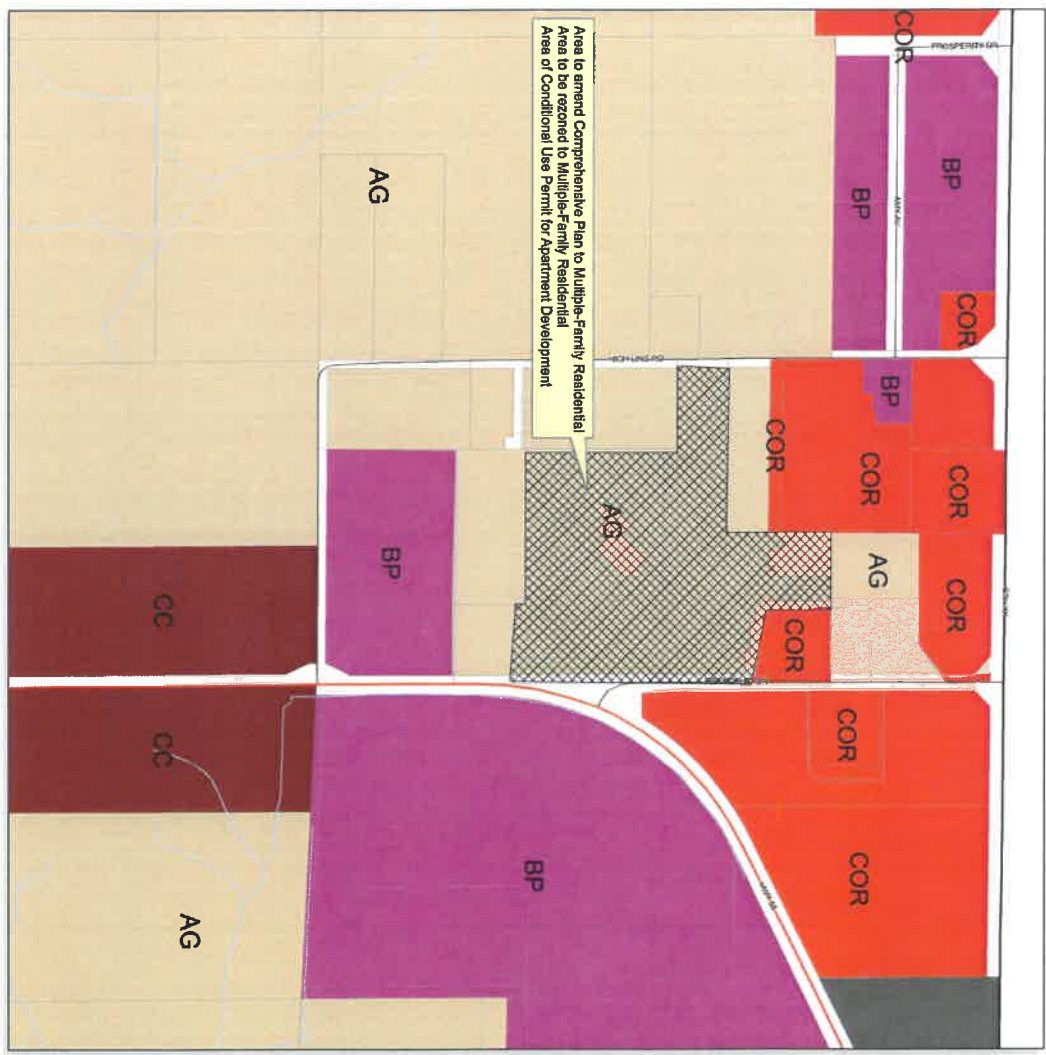
Disclaimer:
This map was prepared using data obtained from various sources. Additional data was obtained from Department and Transportation, Wisconsin Department of Transportation, and other sources. The accuracy of the data is not guaranteed. The map is intended for informational purposes only. The map is not intended to be used as a legal document. The map is not intended to be used as a legal document. The map is not intended to be used as a legal document.



Zoning Map

Village of Harrison

Calumet & Outagamie Counties Wisconsin



Area to be rezoned to Multiple-Family Residential
 Area to be rezoned to Multiple-Family Residential
 Area of Conditional Use Permit for Apartment Development

Zoning Districts

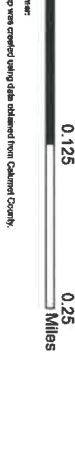
- AG | General Agriculture
- RS-1 | Single-Family Residential (Suburban)
- RS-2 | Single-Family Residential (Traditional)
- RT | Two-Family Residential
- RM | Multiple-Family Residential
- CM | Neighborhood Commercial
- COR | Office & Retail Commercial
- CC | Community Commercial
- SP | Business Park
- IM | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- PDO | Planned Development Overlay
- SHO | Shoreland Overlay*
- SWO | Shoreland-Wetland Overlay*

Legend

- Town of Harrison
- Railroads
- Streams
- RoadCenterline
- Local Roads
- County Highway
- State Highway
- US Highway
- Parcels

* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

This map was created by:
 Village of Harrison
 Planning & Zoning
 Harrison, WI 54952
 920-980-1062
 Adopted: July 27, 2018
 Effective: September 24, 2018
 Current as of: September 24, 2018



This map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not warrant the accuracy of the information shown on this map. The information shown on this map is for informational purposes only and is not intended to be used as a basis for any legal action. The information shown on this map is not a representation of the Administration or its officials. In no event shall Calumet County or the Town of Harrison be liable to any person for any damages, including reasonable attorneys' fees, arising out of the use or reliance on the information shown on this map. Original recorded source documents located in the county courthouse should be used for legal or survey purposes. Calumet County shall remain the exclusive owner of all rights, title, and interest in all specially copyrighted information.

**DETAILED PROJECT NARRATIVE
PREMIER FREINDSHIP DRIVE ESTATES
OFF FRIENDSHIP DRIVE AND HIGH LINE ROAD
VILLAGE OF HARRISON, WISCONSIN**

**Prepared by: JMM Consulting, LLC
Prepared date: September 27, 2019**

*JMM
9/30/19*

Purpose:

This Detailed Project Narrative has been prepared to provide a clear understanding of the proposed project to aid the Village's Staff, members of the Planning Commission and members of the Village Board during their review of the proposed project.

We are providing the detailed project narrative in the following paragraphs and exhibits attached hereto.

Perspective Land Owner/Developer:

Premier Real Estate Management, LLC
3120 Gateway Road
Brookfield, WI 53045
Attn: Mr. Chris Slater, President
(262) 790-4560

Consultant:

John M. Maas, P.E.
— JMM Consulting, LLC
840 Challenger Drive – Suite 140
Green Bay, WI 54311
(920) 592-9606

General Contractor:

Nicolet Lumber Company
4050 Nicolet Drive
Green Bay, WI 54311
Attn: Mr. Jon Hermans
(920) 866-2629

Current Legal Description, Owner & Existing Conditions of the Subject Property:

The Northern portion of the subject property is all of Lot 1 of CSM #3615 (Parcel ID #38988) and the Southern portion of the subject property is unplatted lands (Parcel ID #39024). The subject property is currently owned by Haen Enterprises/Verhagen Thomas & Judith JT Revoc Trust. The subject property is currently undeveloped farmlands and wetlands that is gently sloping to the North/Northeast. The subject property consists of approximately 22.267 acres of land, more or less. The subject property has frontage on Friendship Drive on the East and High Line Road on the West. Refer to the map provided in Exhibit "A" which shows the location of the subject property in the Village of Harrison ("Village").

The subject property is currently shown on the Village's Comprehensive Plan to be developed as commercial and is currently zoned General Agriculture. As such, in order to have the project proceed as planned, we have requested that an amendment be made to the Village's Comprehensive Plan to show the subject property to be residential and that the parcels be rezoned from General Agriculture to Multi-Family (RM).

Proposed Development/CSM:

The proposed development is planned to be constructed in two (2) Phases. Phase I will consist of the construction of four (4) 12-unit all two bedroom apartment buildings for a total of 48 units, an office/garage & mailroom on a boulevard entrance off Friendship Drive and associated drive aisles, parking lots and a wet detention pond.

Phase II will consist of the construction of an additional six (6) 12-unit all two bedroom apartment buildings for a total of 72 units, a driveway off of High Line Road and associated drive aisles, parking lots and an additional wet detention pond. Construction of Phase II is dependent on the demand for market rate rentals in this area of the Village.

Phase I and Phase II will be constructed on Lot 1 and Lot 2 of a proposed 2-Lot CSM that will be prepared for the subject property to create the lots, confirm the property boundaries of the unplatted lands and simplify the legal description.

For details on Phase I and Phase II refer to the Phasing Plan provided in Exhibit "B".

Request for an Amendment to the Village's Comprehensive Plan

The Village's Comprehensive Plan was adopted in February 2017 apparently when the Village of Harrison was incorporated. The Comprehensive Plan is intended to be a guide for the future land uses in the Village. It provides the frame work for the development of over 19,000 acres (approximately 30 square miles). The Comprehensive Plan is very well crafted but, like any other planning tool, its needs to be amended over time to reflect an ever-changing society and its needs and demands.

The comprehensive plan directs the C.T.H. "KK" and S.T.H. "55" corridors in the Village to be developed in the future as Commercial/Business. The Comprehensive Plan also recognizes the need for transition residential uses to buffer the Commercial/Business uses along those corridors from the future single family housing development proposed outside those corridors/areas of the Village.

Although the subject property is shown in the Comprehensive Plan to be developed as commercial/business it does not have direct access to either C.T.H. "KK" or S.T.H. "55" and, as such, it is better suited to be developed as a transitional buffer to the future single family residential land uses further away from the designated commercial/business corridors.

The proposed development of the subject property is a perfect fit to provide that transitional buffer from the future Commercial/Business land and provide quality affordable rental housing for the employees of those businesses.

Request to Rezone the Land from General Agricultural to Residential Multi-Family (RM)

As previously mentioned, in order to construct the proposed project as planned, the two (2) parcels of property have to be rezoned from General Agriculture to Multi-Family Residential (RM). Based on review of the Village's Zoning Map, it appears that the vast majority of the undeveloped land in the Village is zoned General Agriculture. As such, any development of the land would require a rezoning from General Agriculture to something else.

As previously indicated, the proposed development is a perfect fit to provide a transitional buffer from the proposed Commercial/Business uses in the C.T.H. "KK" and S.T.H. "55" corridors and to provide quality affordable rental housing, so it is without question the greatest and best use of the subject property.

Request for a Conditional Use Permit ("CUP")

According to Mr. Mark Mommaerts, the Village Planner, in order to construct a multi-family housing project of more than 24 units the Village must approve a CUP.

To comply with Mr. Mommaerts' instructions, we have submitted a request for a CUP. According to the Application for a CUP, we are providing herein the following drawings.

Site Plan
Phasing Plan
On-Site Utility Plan
Grading and Drainage Plan
Lighting Plan
Landscaping Plan
1st Floor Plan
2nd Floor Plan
Building Elevation Views

A copy of these drawings are provided in Exhibit "C".

We will provide a very brief summary of how the aforementioned plans provide the information required by the Application for a CUP in the following paragraphs.

The Site Plan shows the construction of ten (10) 12 unit all two bedroom units with attached garages, outside parking areas, the office/garage and a mailroom. The proposed development will operate 24 hours a day seven days a week. There will be one part-time employee being the On-Site Manager. Traffic is estimated at between 720 – 800 vehicular movements a day when it completely built out. There are two means of ingress/egress for the tenants to use that will disburse the traffic to C.T.H. "KK" and S.T.H. "55".

The Phasing Plan shows the project being constructed in two (2) Phases with the second Phase being dependent on sufficient demand for the additional market rate rental units.

The On-Site Utility Plan shows the intended construction of a totally private sanitary sewer, water and storm sewer system being constructed on the subject property. The storm sewer system will route the runoff from the proposed development to one of the proposed wet detention ponds for detention and treatment of the runoff to comply with the Village's SWM ordinance.

The Grading and Drainage Plan details the existing and proposed elevations of the land at 1 foot intervals.

The Lighting Plan shows that the proposed development uses a combination of recessed lights and lantern fixtures to tastefully light the traveled routes of the tenants. There will be 0 foot-candles of light at the property lines.

The Landscaping Plan has been prepared to comply with Section 117-256 of the Village's Zoning Ordinance which, among other things, requires a buffer of plantings to provide a "living fence" along the property lines that abut residential uses and to provide a scattering of plantings throughout the site to enhance the overall appeal of the project and to be compatible with the surrounding areas.

There will be at least two dumpster enclosures with wood board fences on three sides. Each dumpster enclosure will have two dumpsters (one for trash and one for recyclables).

Proposed Building/Exterior Colors: _____

As previously mentioned, the proposed buildings are two story with 12 all two bedroom units with attached garages for a total of 48 units in Phase I and 72 units in Phase II. Each unit has a garage space and access to the units through a private access hallway.

For details on proposed buildings interiors, please refer to the 1st and 2nd floor plans, provided in Exhibit "D".

The proposed exterior colors have not been chosen but they will consist of a mixture of earth-tone siding colors with accent shutters and entrance doors, grey/black roof, reddish grey brick and white garage doors, soffit, gutters and trim.

In lieu of providing brick, block or some other type of masonry material on "75% of the exterior walls that face a public street", Premier is proposing to provide approximately 50% brick on all sides of the proposed buildings. If the goal of that zoning code requirement is to have more durable exterior facades, then the proposed buildings will provide substantially more square feet of durable materials on the exteriors of the proposed buildings than what is required.

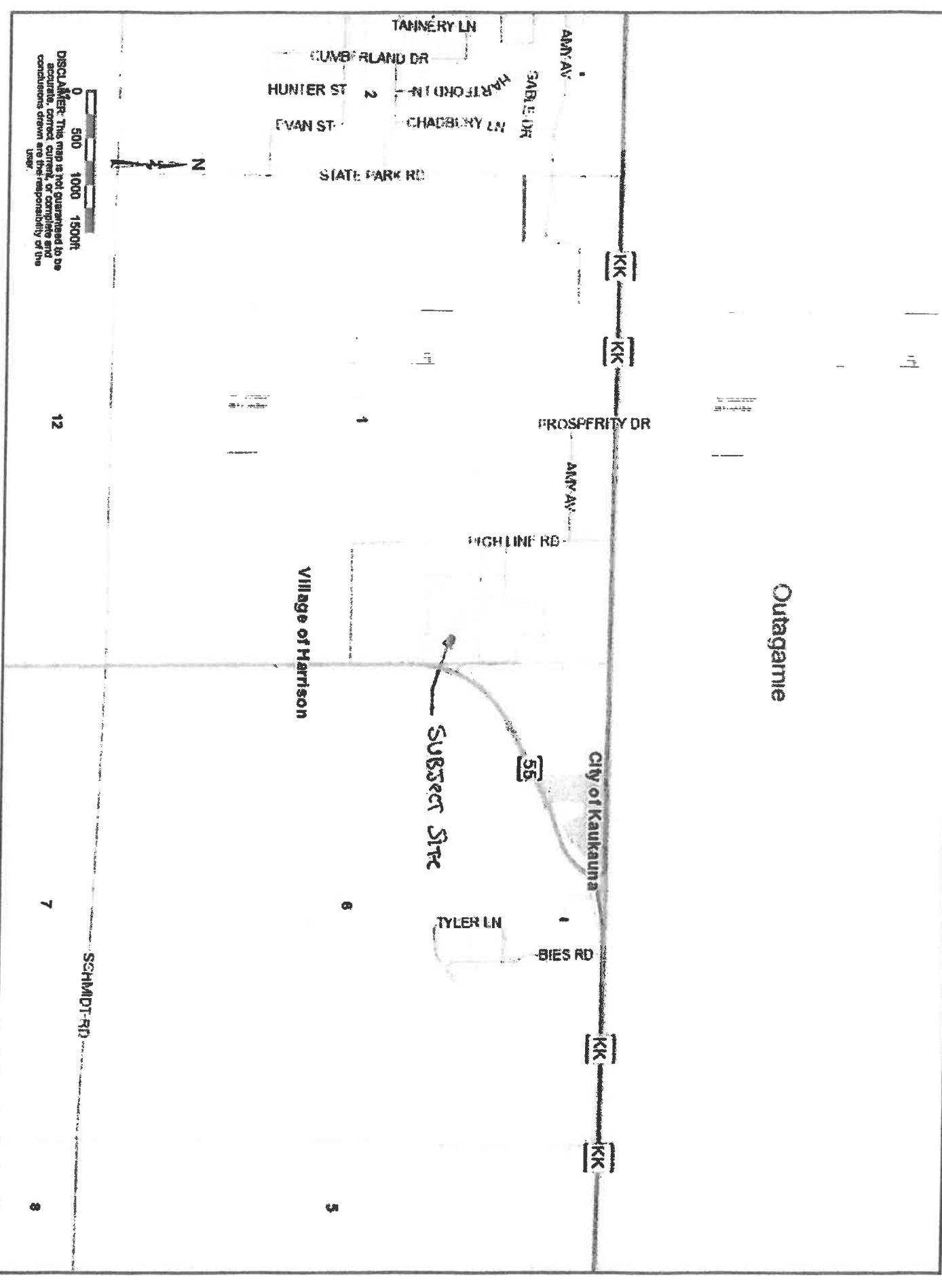
For details on proposed buildings exteriors, please refer to the Elevations Views, provided in Exhibit "C". It is our plan to have the colors chosen by Premier before the October 29, 2019 meeting, that a colored rendering of the proposed building exterior be prepared and be presented at that meeting.

Construction Schedule:

The work on Phase I is anticipated to start on, or around, April 1, 2020 with the installation of the erosion control BMPs, the stripping of the topsoil and the grading of the pond as a temporary sedimentation basin. Once that is completed, the on-site utilities will be installed. The foundations are expected to be poured by May 15, 2020. The buildings will be framed in summer of 2020 with the 1st building being ready for occupancy by September of 2020.

The site will be bare ground until around August 1, 2020 when the site will be top soiled and sodded/seeded. The entire area of Phase I will be seeded/sodded and blacktopped next year.

Outagamie



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.



12

7

8

Village of Harrison

Subsect Site

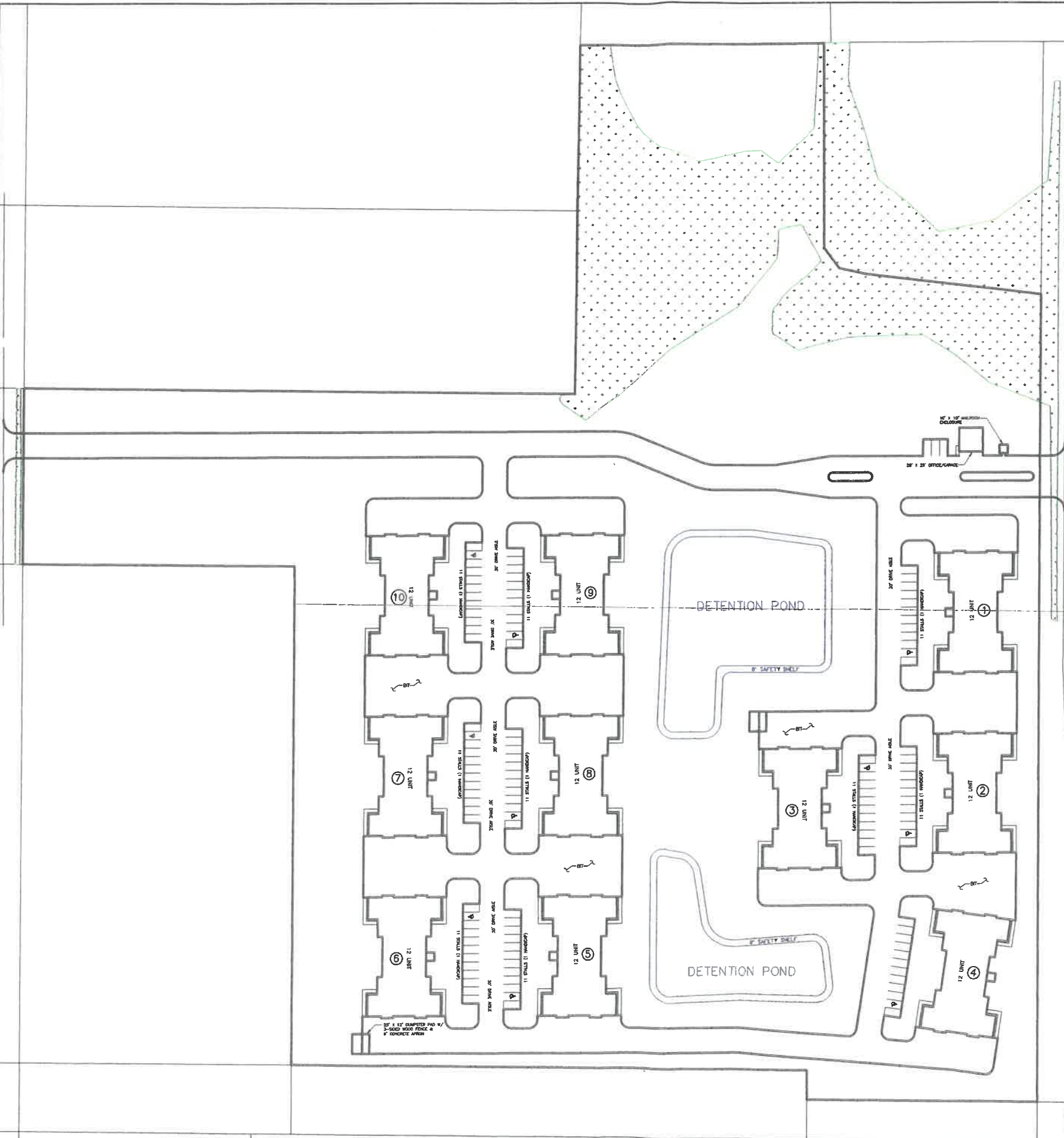
City of Kaukauna

56

In: J:\14\14000\14000.dwg, Revision: 1/25/19, User: JME, Date: 10/27/2019

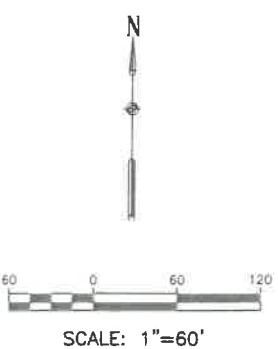
HIGH LINE ROAD

FRIENDSHIP DRIVE



- LEGEND**
- PROPERTY CORNER (THEORETICAL)
 - REBAR FOUND
 - ⊕ MONUMENT FOUND
 - SITE PROPERTY LINE
 - - - PROPERTY OR RIGHT-OF-WAY LINE
 - · - · - FUTURE RIGHT-OF-WAY LINE
 - · - · - BUILDING SETBACK
 - · - · - EASEMENT
 - ||||| EXISTING FENCE
 - ||||| EXISTING RAILROAD
 - ||||| GRAVEL
 - CURB & GUTTER (ALL C & G 18" REVERSE SLOPE)
 - TREE LINE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATERMAIN
 - EXISTING UNDERGROUND GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING UNDERGROUND PHONE LINE
 - ⊕ EXISTING CATCH BASIN MANHOLE
 - ⊕ EXISTING CATCH BASIN INLET
 - ⊕ EXISTING STORM OR SANITARY MANHOLE
 - ⊕ EXISTING SANITARY MANHOLE
 - ⊕ EXISTING STORM MANHOLE
 - ⊕ EXISTING HYDRANT
 - ⊕ EXISTING WATER VALVE
 - ⊕ EXISTING PEDESTAL
 - ⊕ POWER POLE
 - ⊕ EXISTING LIGHT POLE
 - ⊕ GAS VALVE
 - ⊕ PAD MOUNTED TRANSFORMER
 - EXISTING CULVERT

RECEIVED
 OCT 03 2019
 HARRISON PLANNING



REVISED - 9/27/2019

RELEASE DATE: BY:	
Project Review	
6	
4	
3	
2	
1	
NO:	DATE: BY:
DESCRIPTION	
REVISIONS	

NICOLET LUMBER CO.
 4050 NICOLET DRIVE
 GREEN BAY, WI 54311

840 CHALLENGER DRIVE - SUITE 140
 Green Bay, WI 54311-8551
 Phone: 920/592-9606 Fax: 920/592-8613

SITE PLAN

PROPOSED MULTI-FAMILY
 DEVELOPMENT
 VILLAGE OF HARRISON, WISCONSIN

DRAWN BY: MJE
 DATE: 9/27/2019
 SCALE: 1" = 60'
 DRAWING NO.

1

HIGH LINE ROAD

FRIENDSHIP DRIVE

PARCEL ID # 39006
EX. LAND USE: BUSINESS
(STORAGE UNITS)

PARCEL ID # 39004
EX. LAND USE: BUSINESS

PARCEL ID # 39002
EX. LAND USE: RESIDENTIAL

PARCEL ID # 39000
EX. LAND USE: UNDEVELOPED

PARCEL ID # 38994
EX. LAND USE: BUSINESS
(MERIDIAN SURVEYING)

PARCEL ID # 40390
EX. LAND USE: UNDEVELOPED

PARCEL ID # 43780
EX. LAND USE: UNDEVELOPED

PHASE I
(PROPOSED LOT 1)

PHASE II
(PROPOSED LOT 2)

PARCEL ID # 39038
EX. LAND USE: NORTH 1/2 ± UNDEVELOPED
SOUTH 1/2 ± TENNIS COURTS

PARCEL ID # 39028
EX. LAND USE: RESIDENTIAL

PARCEL ID # 39032
EX. LAND USE: RESIDENTIAL

PARCEL ID # 39026
EX. LAND USE: RESIDENTIAL

S.T.H. "55"

S.T.H. "55"



SCALE: 1"=60'

REVISED - 9/27/2019

- LEGEND**
- PROPERTY CORNER (THEORETICAL)
 - REBAR FOUND
 - ⊕ MONUMENT FOUND
 - SITE PROPERTY LINE
 - PROPERTY OR RIGHT-OF-WAY LINE
 - FUTURE RIGHT-OF-WAY LINE
 - BUILDING SETBACK
 - EASEMENT
 - EXISTING FENCE
 - EXISTING RAILROAD
 - GRAVEL
 - CURB & GUTTER (ALL C & G 18" REVERSE SLOPE)
 - TREE LINE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATERMAIN
 - EXISTING UNDERGROUND GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING UNDERGROUND PHONE LINE
 - EXISTING CATCH BASIN MANHOLE
 - EXISTING CATCH BASIN INLET
 - EXISTING STORM OR SANITARY MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING HYDRANT
 - EXISTING WATER VALVE
 - EXISTING PEDESTAL
 - POWER POLE
 - EXISTING LIGHT POLE
 - GAS VALVE
 - PAD MOUNTED TRANSFORMER
 - EXISTING CULVERT

RELEASE	DATE	BY
5		
4		
3		
2		
1		

NO.	DATE	BY	DESCRIPTION
REVISIONS			

NICOLET LUMBER CO.
4050 NICOLET DRIVE
GREEN BAY, WI 54311

JMM CONSULTING, LLC
CONSULTING ENGINEERS
840 CHALLENGER DRIVE - SUITE 140
Green Bay, WI 54311-8851
Phone: 920/592-9608 Fax: 920/592-9613

PHASING PLAN

PROPOSED MULTI-FAMILY
DEVELOPMENT
VILLAGE OF HARRISON, WISCONSIN

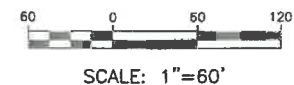
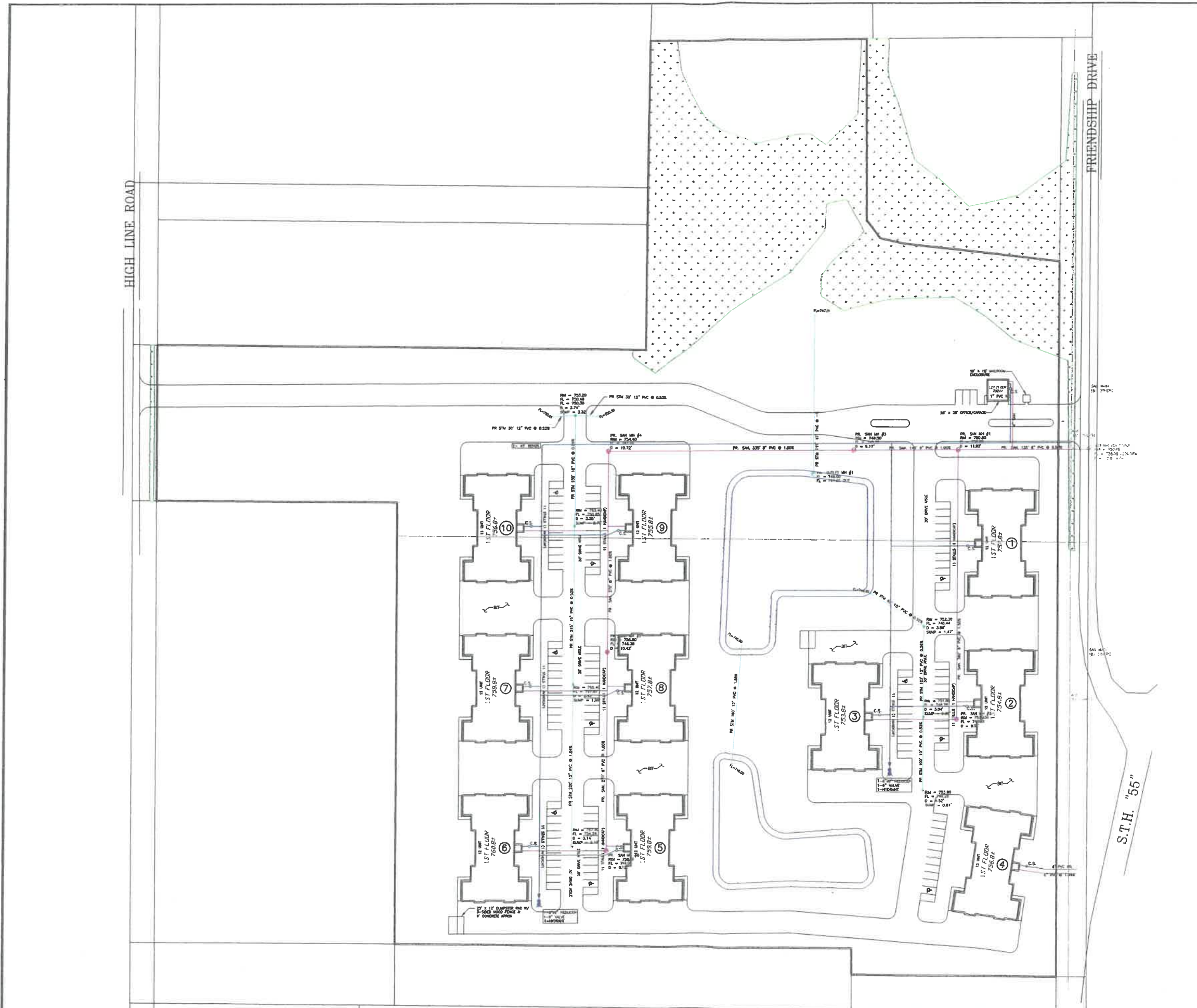
DRAWN BY: MJF

DATE: 9/27/2019

SCALE: 1" = 60'

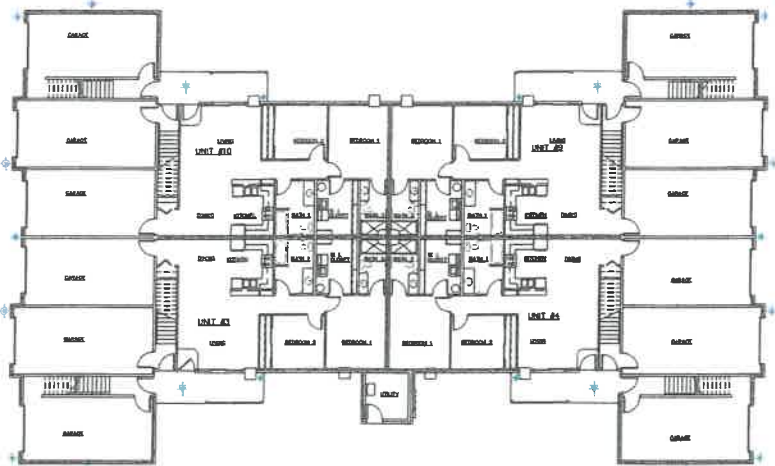
DRAWING NO.

2

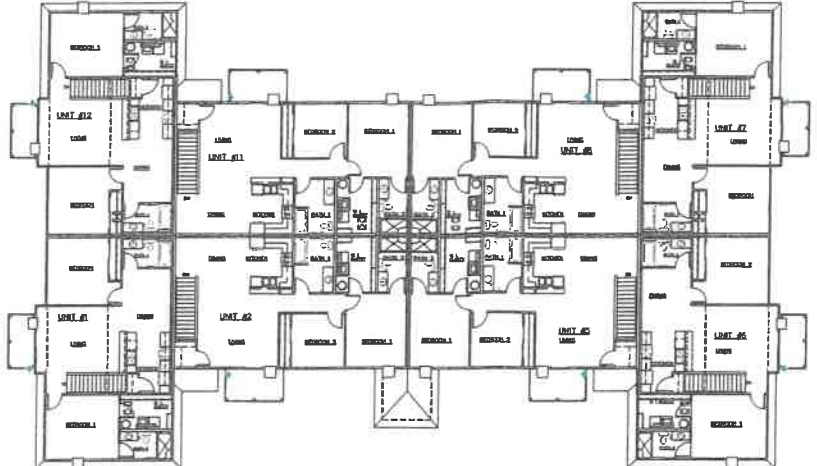


REVISED - 9/26/2019

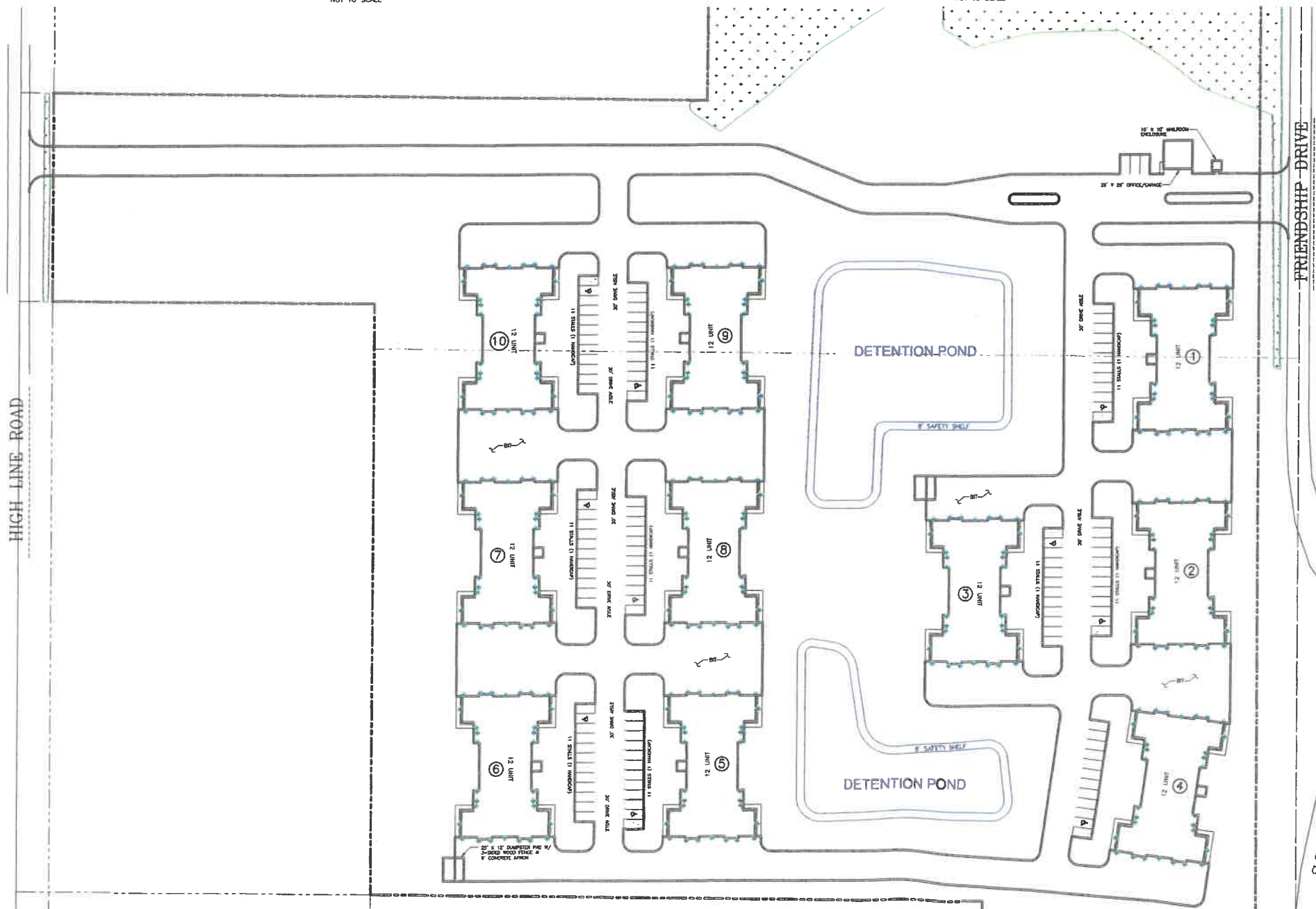
RELEASE DATE:		BY:		
	Project Review			
	1			
	2			
	3			
	4			
	5			
	6			
	7			
	8			
	9			
	10			
	11			
	12			
	13			
	14			
	15			
	16			
	17			
	18			
	19			
	20			
	21			
	22			
	23			
	24			
	25			
	26			
	27			
	28			
	29			
	30			
	31			
	32			
	33			
	34			
	35			
	36			
	37			
	38			
	39			
	40			
	41			
	42			
	43			
	44			
	45			
	46			
	47			
	48			
	49			
	50			
	51			
	52			
	53			
	54			
	55			
	56			
	57			
	58			
	59			
	60			
	61			
	62			
	63			
	64			
	65			
	66			
	67			
	68			
	69			
	70			
	71			
	72			
	73			
	74			
	75			
	76			
	77			
	78			
	79			
	80			
	81			
	82			
	83			
	84			
	85			
	86			
	87			
	88			
	89			
	90			
	91			
	92			
	93			
	94			
	95			
	96			
	97			
	98			
	99			
	100			
	101			
	102			
	103			
	104			
	105			
	106			
	107			
	108			
	109			
	110			
	111			
	112			
	113			
	114			
	115			
	116			
	117			
	118			
	119			
	120			
	121			
	122			
	123			
	124			
	125			
	126			
	127			
	128			
	129			
	130			
	131			
	132			
	133			
	134			
	135			
	136			
	137			
	138			
	139			
	140			
	141			
	142			
	143			
	144			
	145			
	146			
	147			
	148			
	149			
	150			
	151			
	152			
	153			
	154			
	155			
	156			
	157			
	158			
	159			
	160			
	161			
	162			
	163			
	164			
	165			
	166			
	167			
	168			
	169			
	170			
	171			
	172			
	173			
	174			
	175			
	176			
	177			
	178			
	179			
	180			
	181			
	182			
	183			
	184			
	185			
	186			
	187			
	188			
	189			
	190			
	191			
	192			
	193			
	194			
	195			
	196			
	197			
	198			
	199			
	200			
	201			
	202			
	203			
	204			
	205			
	206			
	207			
	208			
	209			
	210			
	211			
	212			
	213			
	214			
	215			
	216			
	217			
	218			
	219			
	220			
	221			
	222			
	223			
	224			
	225			
	226			
	227			
	228			
	229			
	230			
	231			
	232			
	233			
	234			
	235			
	236			
	237			
	238			
	239			
	240			
	241			
	242			
	243			
	244			
	245			
	246			
	247			
	248			
	249			
	250			
	251			
	252			
	253			
	254			
	255			
	256			
	257			
	258			
	259			
	260			
	261			
	262			
	263			
	264			
	265			
	266			
	267			
	268			
	269			
	270			
	271			
	272			
	273			
	274			
	275			
	276			
	277			
	278			
	279			
	280			
	281			
	282			
	283			
	284			



FIRST FLOOR PLAN
NOT TO SCALE



SECOND FLOOR PLAN
NOT TO SCALE



Patriot Lighting® Manor 16" Royal Bronze Transitional 1-Light Outdoor Wall Light
Model Number: ow4817dc 1 Menard® SKU: 3554817

Hardware or Plug-In: Hardware
Fixture Color / Finish: Royal Bronze
Shade / Diffuser Color / Finish: Clear
Energy Star Compliant: No
Filter Size: N/A

Includes: Mounting Hardware, Instructions, Fixture, (1) 1 light outdoor wall light, installation instructions, hardware kit
Fixture Color / Finish: Royal Bronze
Warranty: 5 year
Total Wattage: 100 Watt
Power Source: 120V AC Input
Maximum Wattage Per Socket: 100 Watt
Bulb Base: E26
Light Color Temperature: N/A
Material: Steel
Style: Transitional
Location Rating: Wet Location
Manufacturer Warranty: 5 year



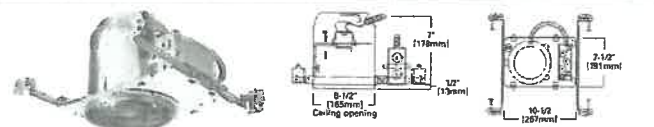
Patriot Lighting® Manor 10" Royal Bronze 1-Light Outdoor Wall Light
Model Number: ow4826dc 1 Menard® SKU: 3554820

Hardware or Plug-In: Hardware
Fixture Color / Finish: Royal Bronze
Shade / Diffuser Color / Finish: Clear, Clear Seeded
Energy Star Compliant: No
Filter Size: N/A

Includes: Mounting Hardware, Instructions, Fixture, (1) 1 light outdoor wall light, installation instructions, hardware kit
Fixture Color / Finish: Royal Bronze
Warranty: 5 year
Total Wattage: 100 Watt
Power Source: 120V AC Input
Maximum Wattage Per Socket: 100 Watt
Bulb Base: E26
Light Color Temperature: N/A
Material: Aluminum
Style: Transitional
Location Rating: Wet Location
Manufacturer Warranty: 5 year

NOTE: 2 DENOTES 2ND FLOOR

E26 Screw Base IC Housing
H7ICAT **6 INCH**



H7ICAT
6" IC, All-Title, New Construction, 120V

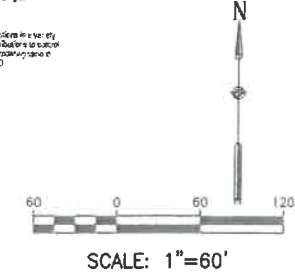
The H7 recessed housing is the standard in the industry for both light commercial and residential applications. H7 series features full-trim design, robust construction, lead-through listing, Got Mail™ bar hangers, and may support use of high wattage lamps. A wide variety of trim allows a number of different lighting effects to be created with one basic housing. H7ICAT is the most robust of the housing will be in direct contact with insulation, and its Air-Tite design will also meet restrictive air flow code requirements. May be retrofit with compatible Halo LED lighting systems.

Special Features	Compatible Trims
Got Mail™ bar hangers	36 36 48 60 72 84 96
c-Channel bars with Pass-N-Thru™	36 36 48 60 72 84 96
Slide-N-Side™ junction box	36 36 48 60 72 84 96
Bank Connect™ push wire nuts	36 36 48 60 72 84 96
Air-Tite™ code compliant	36 36 48 60 72 84 96

- Features**
- Housing
 - Single wall aluminum housing
 - Flame retardant, 100% plastic-free
 - Shielded and grounded for A-I-Tite™ leads to trim
 - Designed for excellent surface in direct contact with insulation
 - Socket Trim
 - Right angled side slots and leads without back for easy lamp access
 - Socket trim and lead wire are mounted within socket
 - Prevents back-siphon for ceiling traps
 - Clearance for easy lamp changing
 - Lead wire termination on panel
 - Lead wires may be removed from panel name to avoid contact on panel or trim
 - Includes
 - Got Mail™ bar hangers (See Fig. 8)
 - c-Channel bars with Pass-N-Thru™ (See Fig. 9)
 - Slide-N-Side™ junction box (See Fig. 10)
 - Bank Connect™ push wire nuts (See Fig. 11)
 - Air-Tite™ code compliant (See Fig. 12)
 - Compliance
 - UL listed for use in wet and damp locations
 - UL listed for use in wet and damp locations
 - UL listed for use in wet and damp locations

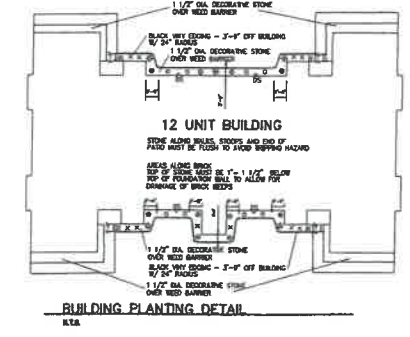
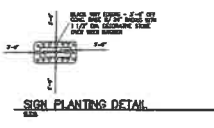
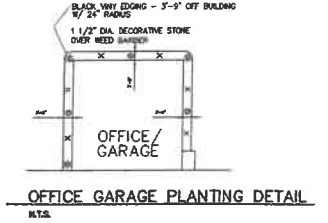
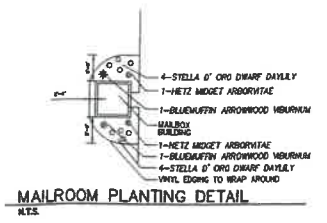
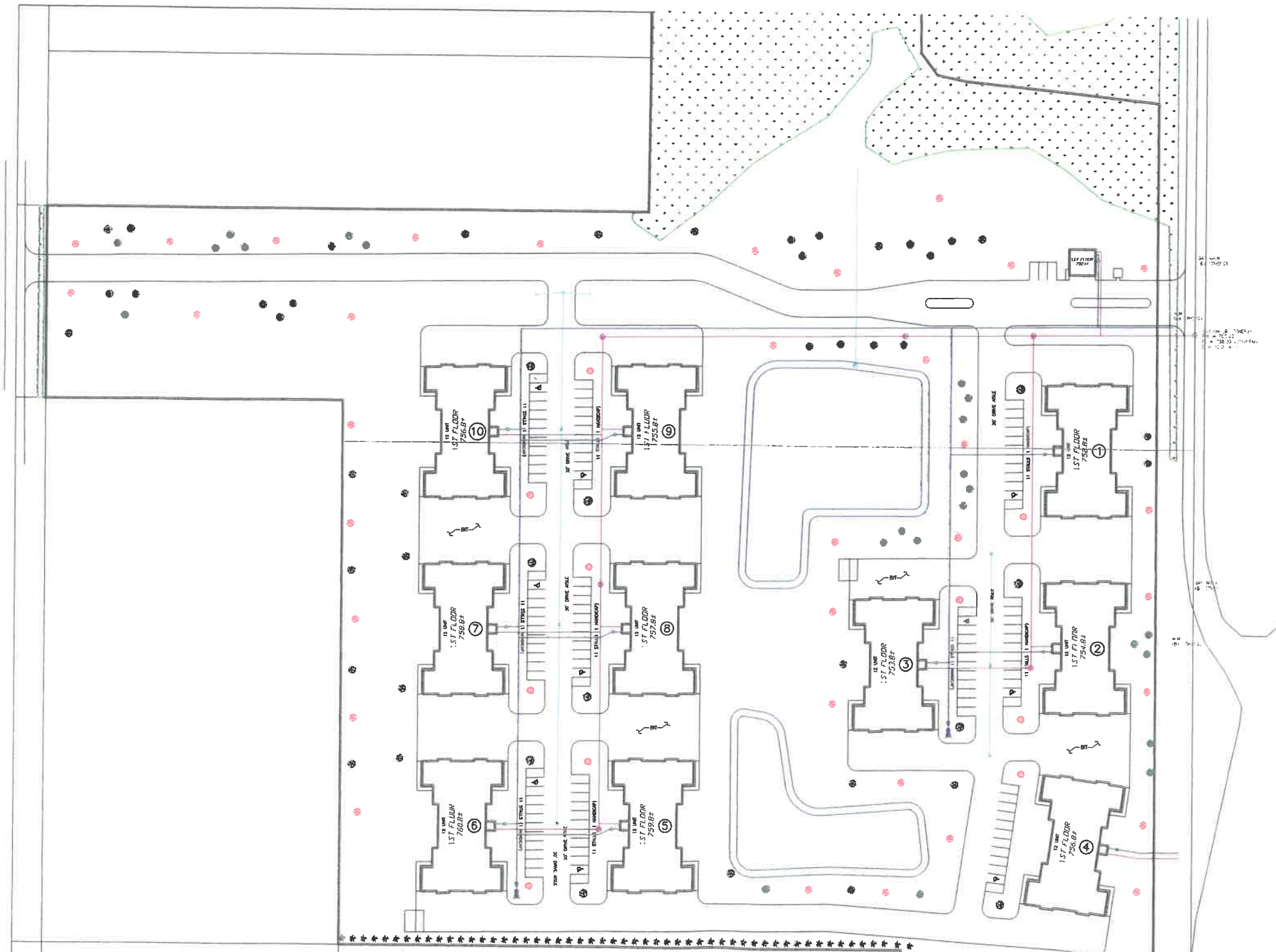
TYPICAL FIXTURE DETAIL
NOT TO SCALE

NOTE: ALL LAMPS ARE 9 WATT LED.



RELEASE DATE: BY:	Project Review
NO. DATE: BY:	DESCRIPTION
REVISIONS	
NICOLET LUMBER CO. 4050 NICOLET DRIVE GREEN BAY, WI 54311	
JMM CONSULTING, LLC 840 CHALLENGER DRIVE - SUITE 140 Green Bay, WI 54311-8351 Phone: 920/595-9613 Fax: 920/595-9613	
PROPOSED MULTI-FAMILY DEVELOPMENT VILLAGE OF HARRISON, WISCONSIN	
DRAWN BY:	MJE
DATE:	9/24/2019
SCALE:	1" = 60'
DRAWING NO.	5

3:10000 1/16"=1'-0" 2019 10/25/2019 10:25:19 AM



PLANT SCHEDULE

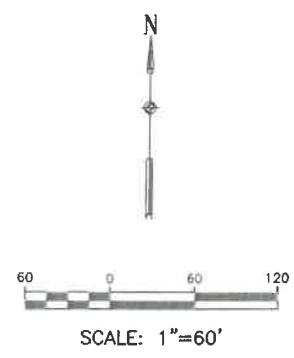
KEY	SYMBOL	COMMON NAME	PLANT SIZE	QUANTITY PER BUILDING	POINTS	POINT TOTAL
○	○	STELLA D'ORO DWARF DAYLILY	3 GAL	8	4	32
●	●	NETZ MIDGET ARBORYTAE	5 GAL	14	4	56
✱	✱	HELENIUM ARBORYTAE	5 GAL	5	4	20
X	X	STELLA D'ORO DWARF DAYLILY	3 GAL	10	4	40
○	○	NETZ MIDGET ARBORYTAE	1 GAL	8	4	32
TOTALS				45		180

3 ROLLS 4'X30' 3.2 OZ WEED BARRIER

PLANT SCHEDULE

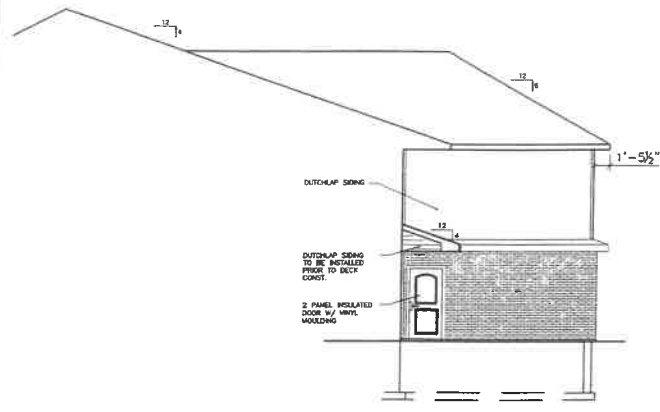
KEY	SYMBOL	COMMON NAME	PLANT SIZE	QUANTITY	POINTS	POINT TOTAL
○	○	ADONIS	2" CALIPER	18	30	490
●	●	RED MAPLE	2" CALIPER	34	30	800
✱	✱	BLACK HILLS SPRUCE	6" TALL	44	30	1,350
○	○	NETZ MIDGET ARBORYTAE	5 GAL	77	30	2,310
○	○	PURPLE PRINCE CRAB	2" CALIPER	10	20	200
○	○	SPRING SNOW CRAB	2" CALIPER	10	20	200
TOTALS				171		3,330

PERMANENT TO SEC. 117-258
 TOTAL IMPERVIOUS AREA = 337,484 SF ±
 x 20 POINTS / 1,000 SF = 6,750 POINTS REQUIRED



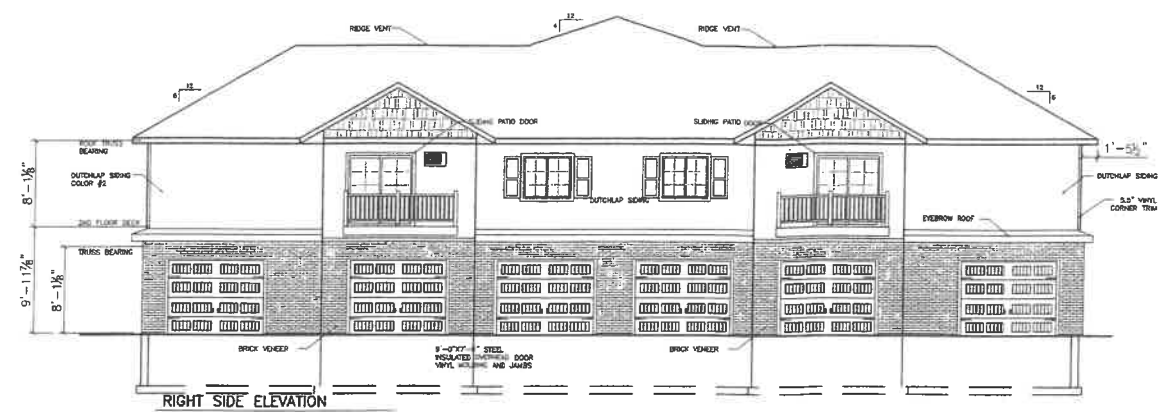
REVISED - 9/25/2019

RELEASE DATE:		BY:	
Project Review			
5			
4			
3			
2			
1			
NO. DATE: BY:			
DESCRIPTION			
REVISIONS			
NICOLET LUMBER CO. 4050 NICOLET DRIVE GREEN BAY, WI 54311			
JJM CONSULTING, LLC CONSULTING ENGINEERS		840 CHALLENGER DRIVE - SUITE 140 Green Bay, WI 54311-8551 Phone: 920/562-9608 Fax: 920/562-9613	
LANDSCAPING PLAN			
PROPOSED MULTI-FAMILY DEVELOPMENT VILLAGE OF HARRISON, WISCONSIN			
DRAWN BY: MJE		DATE: 9/25/2019	
SCALE: 1" = 60'		DRAWING NO.:	
		6	



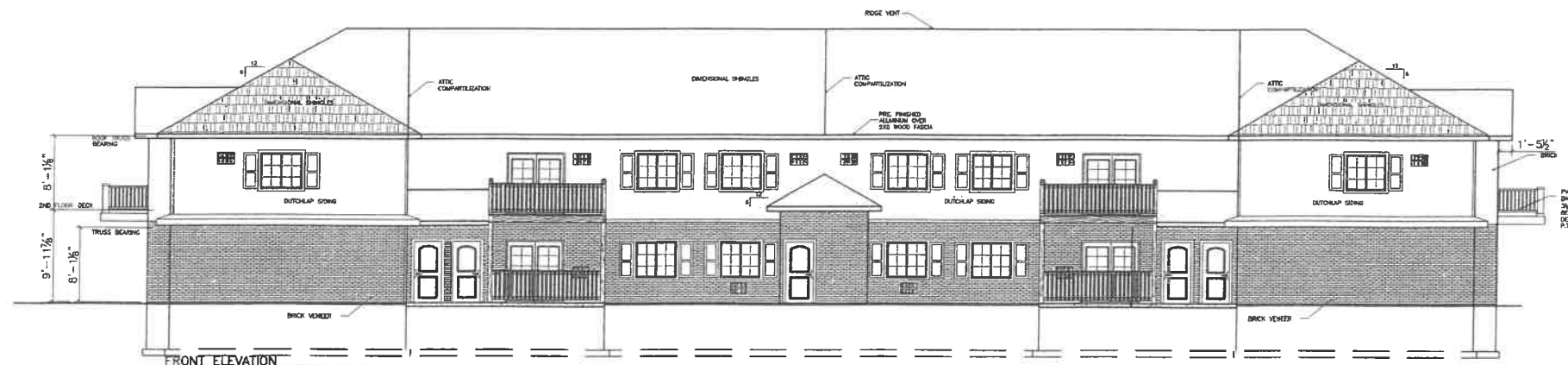
FRONT & REAR RIGHT SIDE GARAGE ELEVATION

SCALE: 1/8" = 1'-0"



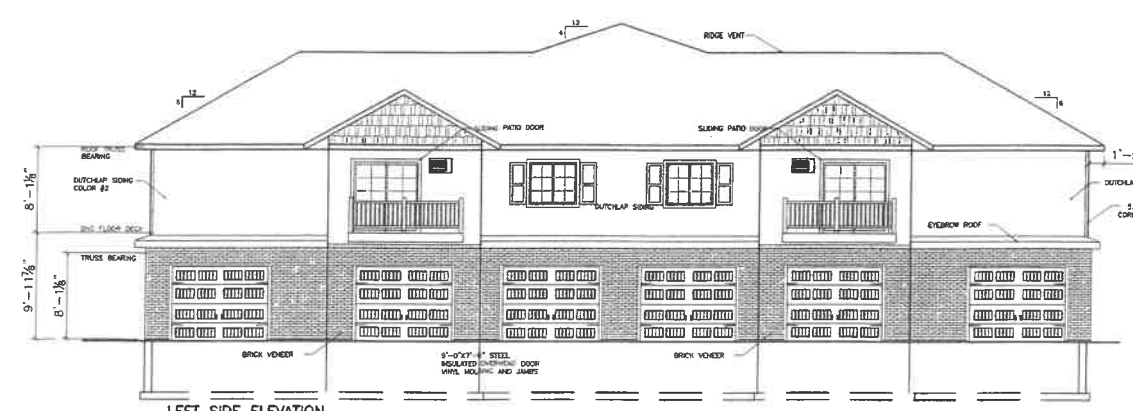
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



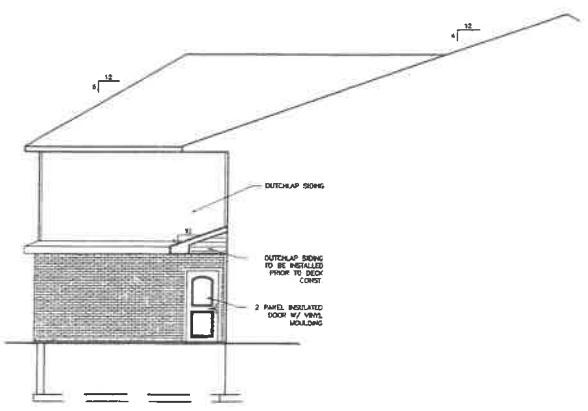
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



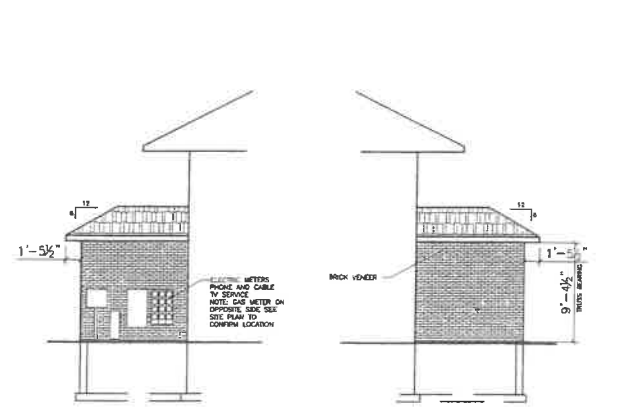
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



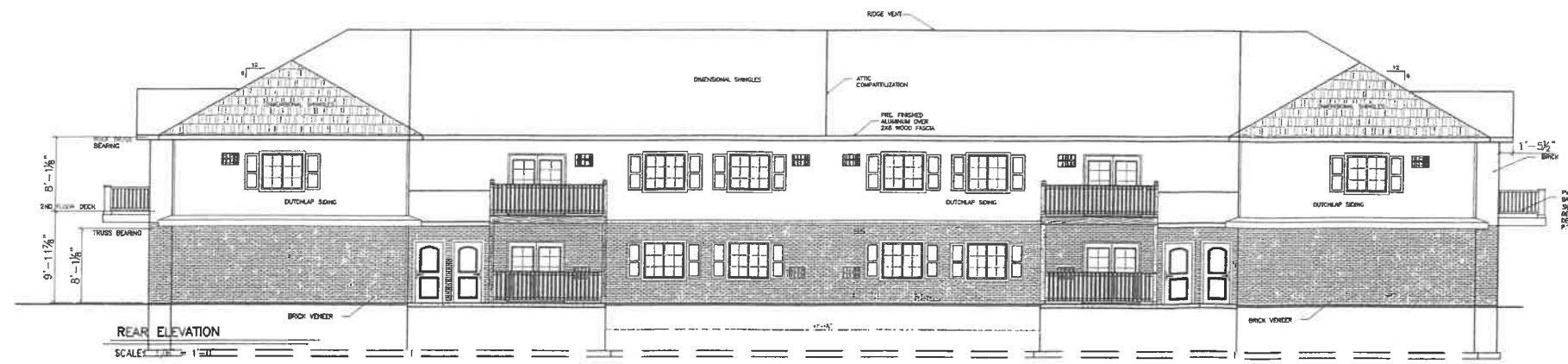
FRONT & REAR LEFT SIDE GARAGE ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT & LEFT SIDE UTILITY ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

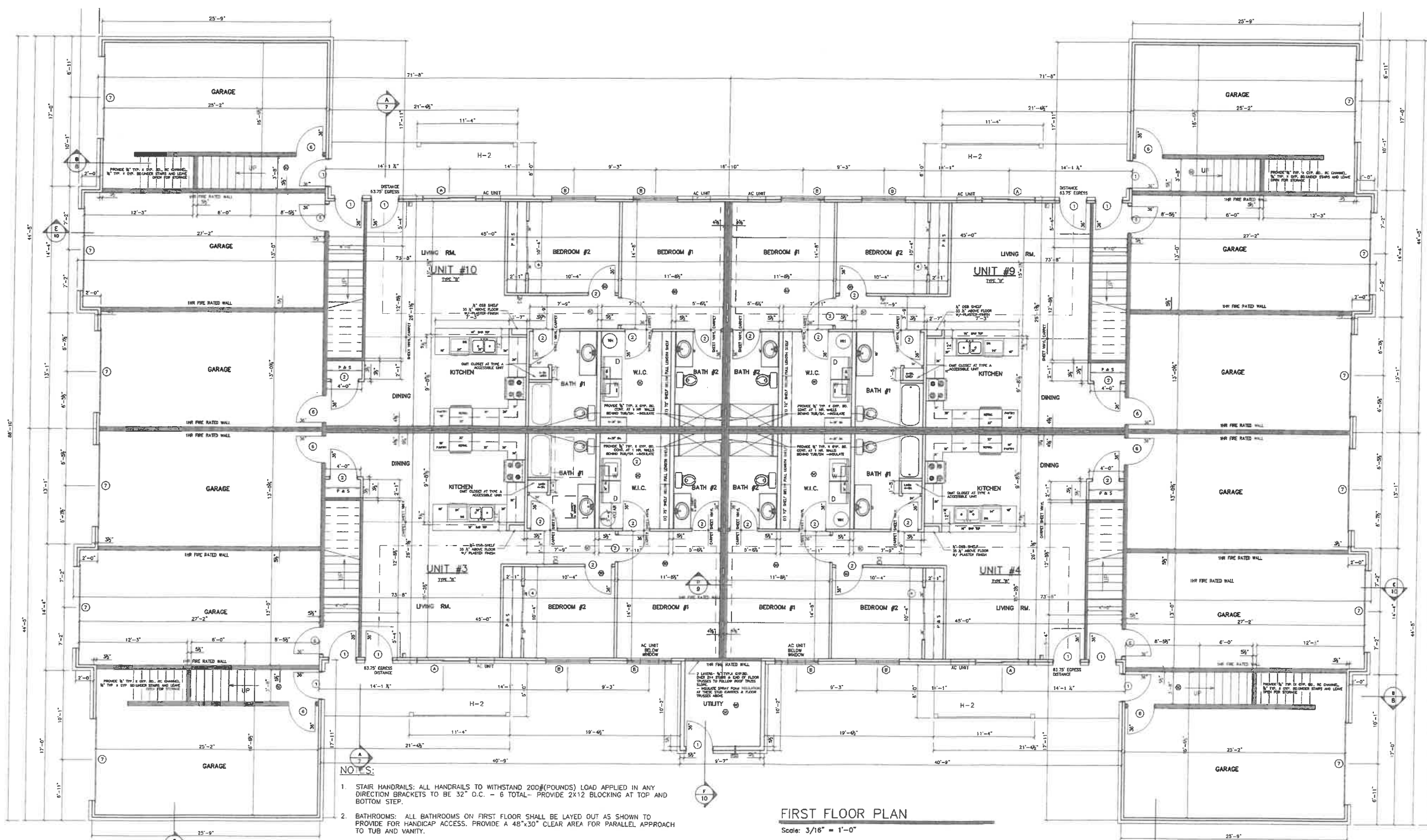
24 LIGHT FIXTURES AROUND BUILDING AND STANDARD (6X6) J-BLOCK FOR RECEPTACLES (12)
 NOTE: SIDING INSTALLER TO PROVIDE HOODED STYLE 4" DRYER DUCT VENTS W/ FLAPPER (8) AND HOODED STYLE 4" BATH EXHAUST VENTS W/ FLAPPER (8) TO MATCH SIDING COLOR AND DEFLECT-O SOFFIT STYLE DRYER EXHAUST VENTS W/ FLAPPER (4) WHITE COLOR TRIM OUT GRILLES PER MANF. INSTRUCTION FOR DRYERS.
 NOTE: SIDING INSTALLER TO CONNECT TO BATH EXHAUST DUCT AND INSTALL SOFFIT GRILLE WITH MID AMERICA MASTER EXHAUST VENT WHITE COLOR. (16)
 NOTE: SIDING INSTALLER TO PROVIDE CLEAR EXTERIOR GRADE SEALANT AND CAULK ALONG STONE, AC SLEEVES, DOOR MOLDINGS, DECK JOIST AND RAILINGS, J-TRIM.
 TAPE OFF VENTED SOFFIT WITH TYVEK LIKE TAPE 24" EACH SIDE OF SOFFIT EXHAUST VENT.

NOTE: THROUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS & CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION

PROPOSED 12 UNIT APARTMENT
NICOLET LUMBER CO.
HARRISON, WI.

LLOYD CARPENTER-ARCHITECT, LLC
 2663 MAPLE HILLS DRIVE, GREEN BAY, WI. 54313
 (920) 655-3829
 CARPARCH@GMAIL.COM

DATE: _____
 FILE: _____
 JOB: _____
 SHEET: _____

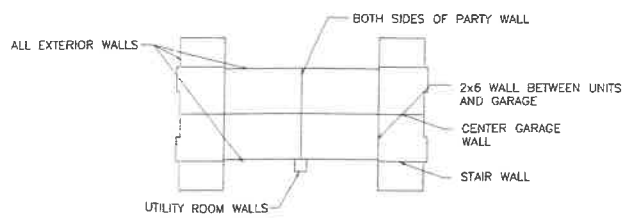


FIRST FLOOR PLAN

Scale: 3/16" = 1'-0"

NOTES:

1. STAIR HANDRAILS: ALL HANDRAILS TO WITHSTAND 200#(POUNDS) LOAD APPLIED IN ANY DIRECTION BRACKETS TO BE 32" O.C. - 6 TOTAL- PROVIDE 2X12 BLOCKING AT TOP AND BOTTOM STEP.
2. BATHROOMS: ALL BATHROOMS ON FIRST FLOOR SHALL BE LAYED OUT AS SHOWN TO PROVIDE FOR HANDICAP ACCESS. PROVIDE A 48"x30" CLEAR AREA FOR PARALLEL APPROACH TO TUB AND VANITY.
3. PROVIDE BLOCKING IN FIRST FLOOR BATHROOMS FOR FUTURE GRAB BARS. SEE DETAILS ON SHEET 6.
4. DOORS: ALL FIRST FLOOR DOORS SHALL BE A MINIMUM OF 3'-0" TO PROVIDE A NOMINAL CLEAR OPENING OF 34".
5. LUMBER FOR JOISTS, HEADERS, RAFTERS, AND OTHER STRUCTURAL FRAMING, SPF #1/#2 OR BETTER. ALL TOP PLATES FOR ROOF TRUSS BEARING TO BE SPF #1/#2 EXCEPT AT LOWER GARAGE ROOF GIRDER BEARING AND SECOND FLOOR BUMPOUT GIRDER BEARING S. YELLOW PINE ALL OTHER LUMBER - SPF STUD GRADE OR BETTER.
6. ALL WALLS BETWEEN UNITS SHALL BE ONE HOUR FIRE RATED.
7. EXTERIOR SHEATHING TO BE DOW BRAND 1" EXTRUDED POLYSTYRENE TYPE IV. PER ASTM C578
8. AT ALL FIRST FLOOR WINDOWS ONLY INSTALL 2X4 PLATE BOTTOM OF HEADERS
9. HEADERS MADE UP OF MULTIPLE PLIES OF LUMBER SHALL BE FULL LENGTH CONTINUOUS BETWEEN POSTS. SPLICES OF PLIES BETWEEN POSTS ARE NOT PERMITTED.
10. PROVIDE MINIMUM DOUBLE STUD POST AT EACH END OF ALL WINDOW HEADERS AND GIRDER TRUSS BEARING PROVIDE MIN. 3 STUD POSTS
11. PROVIDE SOLID BLOCKING IN THE FIRST FLOOR TRUSS SPACE BETWEEN POSTS ON THE SECOND FLOOR AND POSTS ON THE FIRST FLOOR.
12. UNDER TUBS AND SHOWERS AT RSECOND FLOOR INSTALL 1/2" APA RATED OSB SHEATHING PER APA SPEC PR-108 PER UL550 SYSTEM 1
13. AC SLEEVES ARE 26 1/4"x16 1/4". BEDROOM 5 ARE 42" ABOVE FLOOR TO SILL. LIVING ROOM IS 3" BELOW WINDOW TO TOP.



14. FRAMER TO ATTACH EXTERIOR TREATED WALL BASE PLATES WITH DRILLED IN ANCHOR BOLTS LOCATED 48" O.C. AND 12" FROM EACH END. WITH 1/2" DIA. x 5" SILL BOLTS (2 1/4" MIN. EMBEDMENT INTO CONCRETE) ATTACH INTERIOR TREATED WALL BASE PLATES AT SHORT PARTY WALLS (SHEAR WALLS) WITH ANCHOR BOLTS 48" O.C. AND 12" FROM EACH END. WITH 1/2" DIA. x 5" SILL BOLTS (2 1/4" MIN. EMBEDMENT INTO CONCRETE). MINIMUM TWO ANCHOR BOLTS PER ANY LENGTH OF PLATE.

NOTES: FIRE ALARM SYSTEM

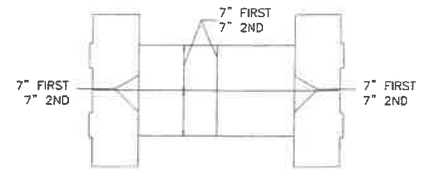
1. EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT AND A HORN LOCATED IN THE HALL BY THE BEDROOMS.
2. ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
3. SMOKE DETECTORS SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
4. SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT WITH EMERGENCY POWER BACKUP.

- SMOKE ALARM
- FIRE ALARM HORN
- FIRE ALARM FULL STATION
- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- FIRE DEPT. CONNECTION

15. THE FOLLOWING IS A SCHEDULE FOR FASTENING GYPSUM BOARD AT SUPPORTED PANEL EDGES AND FIELD OF PANELS:

FIRST FLOOR CEILINGS 8" O.C. OVER CHANNELS @ 12" O.C.
2ND FLOOR CEILINGS 10" O.C.

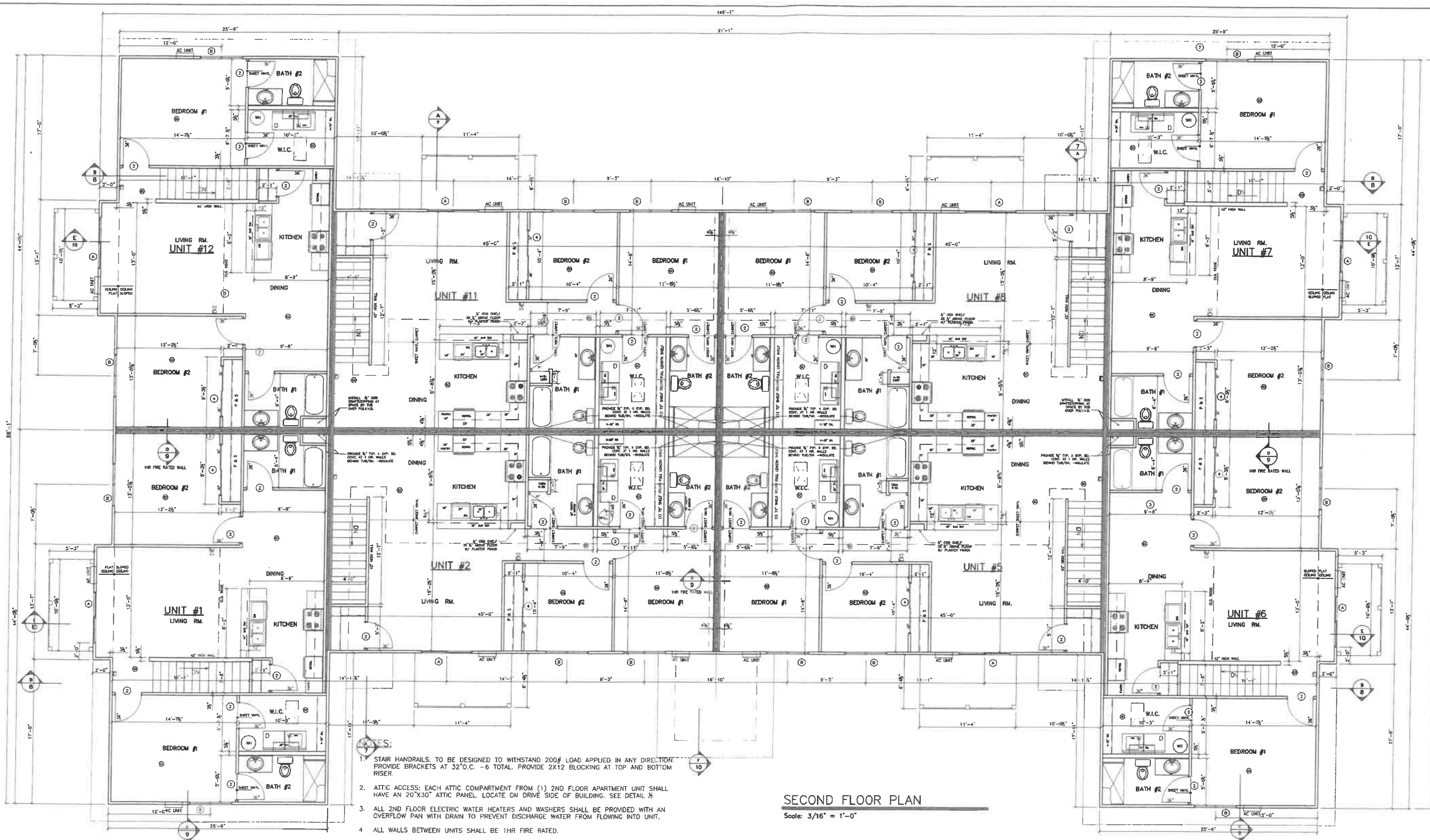
WALL FASTENER SPACING SHALL BE AS SHOWN BELOW



NOTE: THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS, & CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION

PROPOSED 12 UNIT
NICOLET LUMBER CO.
HARRISON, WISCONSIN
LLOYD CARPENTER-ARCHITECT, LLC
2668 MAPLE HILLS DRIVE, GREEN BAY, WI. 54313
(920) 655-3829
CARPARCH@GMAIL.COM

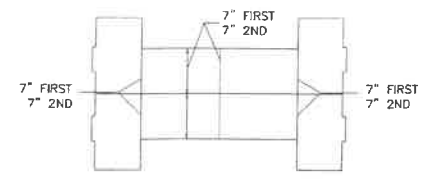
DATE:	FILE:	JOB:	SHEET:
	3		2



SECOND FLOOR PLAN

Scale: 3/16" = 1'-0"

11) THE FOLLOWING IS A SCHEDULE FOR FASTENING GYPSUM BOARD AT SUPPORTED PANEL EDGES AND FIELD OF PANELS:
 FIRST FLOOR CEILINGS 8" O.C. OVER CHANNELS @ 12" O.C.
 2ND FLOOR CEILINGS 10" O.C.
 WALL FASTENER SPACING SHALL BE AS SHOWN BELOW



- NOTES:**
1. STAIR HANDRAILS, TO BE DESIGNED TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. PROVIDE BRACKETS AT 32" O.C. - 6 TOTAL. PROVIDE 2X12 BLOCKING AT TOP AND BOTTOM RISER.
 2. ATTIC ACCESS: EACH ATTIC COMPARTMENT FROM (1) 2ND FLOOR APARTMENT UNIT SHALL HAVE AN 20"X30" ATTIC PANEL. LOCATE ON DRIVE SIDE OF BUILDING. SEE DETAIL 1/2
 3. ALL 2ND FLOOR ELECTRIC WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM FLOWING INTO UNIT.
 4. ALL WALLS BETWEEN UNITS SHALL BE 1HR FIRE RATED.
 5. PLUMBER TO INSTALL 5/8" TYPE X CYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB/SH. BEFORE RUNNING DRAIN LINE THRU FLOOR AND FIRE CAULK OPENING.
 6. PORCHES: ALL LUMBER USED IN THE CONSTRUCTION OF THE 2ND FLOOR DECKS SHALL BE TREATED, DECAY RESISTANT LUMBER. DECK CONSTRUCTION SHALL HAVE MIN. LIVE LOAD OF 100#PSF. ALL PORCH RAILINGS SHALL HAVE A HEIGHT OF 42" FROM DECK. RAILINGS SHALL BE CONSTRUCTED SO AN 4" OBJECT CANNOT PASS THRU RAILINGS, HANDRAILS AND GUARDRAILS TO BE DESIGNED FOR 200# LOAD APPLIED IN ANY DIRECTION.
 7. AC SLEEVES TO BE 26 1/2" X 16 1/4" R.O. 1ST FLOOR ARE 42" A.F.F. 2ND FLOOR TOP OF SLEEVE IS WINDOW HEADER HT.
 8. BEFORE INSTALLING 3/4" CYP. BD. BEHIND TUB SHOWERS INSTALL 3 1/2" BATT INSUL. AT SHOWERS AT CORNER UNITS INSTALL R-13 BATTS & 4MIL V.B.
 9. UNDER TUBS AND SHOWERS AT 2ND FLOOR INSTALL 1/2" APA RATED OSB SHEATHING PER APA SPEC PR-108 PER UL L550 SYSTEM 1
 10. FIRE WALL PENETRATIONS: NO OPENINGS AROUND PIPE, ELECTRICAL BOXES, CONDUITS, DUCTS, OR OTHER PENETRATING ITEMS THROUGH A FIRE PROTECTIVE MEMBRANE (WHICH IS CYP. BD. OR FLOOR SHEATHING) SHALL BE MORE THAN 1/2". IF MORE THAN 1/2" ALL OPENINGS MUST BE SEALED WITH FIRE STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. IN FIRE WALLS ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESIST. OR METALLIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LAB. BOXES MUST NOT BE MORE THAN 16 SQ. INCHES. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS, SPACE 24" MIN. HORIZ. TOTAL AGGREGATE WIDTH OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN IN 100 SQ. FT. DUCT OPENING LARGER THAN 20 SQ. IN. SHALL BE PROTECTED WITH FIRE DAMPER OR 6" OF CONT. STEEL DUCTWORK FROM THE MEMBRANE PENETRATION TOWARD THE AIR HANDLING UNIT.

NOTES: FIRE ALARM SYSTEM

1. EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT AND A HORN LOCATED IN THE HALL BY THE BEDROOMS.
2. ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
3. SMOKE DETECTORS SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
4. SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT WITH EMERGENCY POWER BACKUP.

- SMOKE ALARM
- FIRE ALARM HORN
- FIRE ALARM PULL STATION
- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- FIRE DEPT. CONNECTION

NOTE: THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS & CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION

PROPOSED 12 UNIT APARTMENT
NICOLET LUMBER CO.
HARRISON, WISCONSIN
 LLOYD CARPENTER-ARCHITECT, LLC
 2663 MAPLE HILLS DRIVE, GREEN BAY, WI. 54313
 (920) 655-3829
 CARPARCH@GMAIL.COM

DATE: _____
 FILE: _____
 JOB: _____
 SHEET: _____

3

PLAN COMMISSION RESOLUTION 2019-02

TO RECOMMEND TO THE VILLAGE BOARD AN AMENDMENT TO THE HARRISON COMPREHENSIVE PLAN (Premier Real Estate Management, LLC)

WHEREAS, the Harrison Plan Commission received an application from Premier Real Estate Management, LLC to amend the Comprehensive Plan Future Land Use Map from Commercial to Multi-Family Residential; and

WHEREAS, the proposed amendment is attached to the Resolution as "Exhibit A"; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on these amendments on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

NOW, THEREFORE BE IT RESOLVED, the Harrison Plan Commission recommends to the Village Board the adoption of the amendment from Commercial to Multi-Family Residential for the property described as:

PARCEL I - ID NO. 131-0000-0000000-000-0-201801-00-110A (ALT. ID #38988)

Lot One (1) of Certified Survey Map Number 3615, said Certified Survey Map having been recorded on December 22, 2016 in Volume 32 of Survey Maps on page 92, as Document No.519102 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the Northeast Quarter (NE 1/4) of the Fractional Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin. Said parcel contains 467,091 square feet (10.723 acres), more or less.

PARCEL II - ID NO. 131-0000-0000000-000-0-201801-00-140A (ALT. ID #39024)

Note: The following legal description was obtained, in part, from the Warranty Deed, recorded as Document #530374, recorded in the Register of Deeds Office, Calumet County, Wisconsin. It was corrected to reflect the recording of CSM #3615 and the sale of Lot 2 of CSM #3615 to Meridian Investments, LLC (Doc. 519575).

The North Sixty-three and 60/100ths (63.60) acres of the East Half of the Northeast Quarter (E ½ of NE ¼) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Excepting therefrom the following parcel: A parcel of land in the North Sixty-three and sixty hundredths (63.60) acres of the East one-half (E ½) of the Northeast in one-quarter (NE ¼) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, more fully described as follows: Beginning at the Southeast (SE) corner of above mentioned lands; thence North 140.0 feet; thence West 241.25 feet; thence South 140.0 feet; thence East 241.25 feet to the point of beginning, less the East 41.25 feet reserved for road purposes.

Also excepting therefrom the following parcel, to-wit: A parcel of land in the North Sixty-three and sixty hundredths (63.60) acres of the East one-half (E ½) of the Northeast in one-quarter (NE ¼) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East,

more fully described as follows: Beginning at the Southwest (SW) corner of above mentioned lands; thence North 140.0 feet; thence East 311.1 feet; thence South 140.0 feet; thence West 311.1 feet to the point of beginning.

Also excepting therefrom the following parcel, to-wit: Part of the Northeast Quarter of the Northeast Quarter (NE $\frac{1}{4}$ NE $\frac{1}{4}$) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, being described as: Commencing at the Northeast Corner, Section 1; thence West along the N/L Section 1 (C/L C.T.H. "KK") 590.24 feet to the point of beginning; thence continue West 338.54 feet, thence South 386.01 feet to an iron pin; thence East 338.54 feet to an iron pin; thence North 386.01 feet to the point of beginning. Reserving the North 40.00 feet for highway purposes. NOW KNOWN and described as Certified Survey Map No.460 recorded in the office of the Register of Deeds for Calumet County, Wisconsin on August 16, 1976 In Volume 3 of Survey Maps on page 152, as Document No.140471.

Also excepting therefrom the following parcel, to-wit: Lots One (1), Two (2) and Three (3) of Certified Survey Map Number 700, said Certified Survey Map having been recorded on June 14, 1979 in Volume 5 of Survey Maps on page 94, as Document No.152540 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the East Half (E $\frac{1}{2}$) of the Northeast Quarter (NE $\frac{1}{4}$), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: A parcel of land located in the East Half (E $\frac{1}{2}$) of the Northeast Quarter (NE $\frac{1}{4}$), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, and described as follows: Commencing at the East $\frac{1}{4}$ corner of Section One (1); thence North 746.65 feet along the East line of Section 1 to the point of beginning; thence continue North 48.00 feet; thence N 89°11'54" W, 319.04 feet to a $\frac{3}{4}$ " rebar set; thence South 48.00 feet to a $\frac{3}{4}$ " rebar set; thence S 89°11'54" E, 319.04 feet to the point of beginning. Said parcel in addition to 98R625, 159R33 and Lot 3, Certified Survey Map No. 700, reserving a portion on the East for highway purposes.

Also excepting therefrom the following parcel, to-wit: A parcel of land located in the Southeast $\frac{1}{4}$ of the fractional Northeast $\frac{1}{4}$ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, more fully described as follows: Commencing at the East $\frac{1}{4}$ Corner of said Section 1; thence N 89°25'00" W, 130.15 feet along the East-West $\frac{1}{4}$ line of said Section 1 to the Southwest Corner of the East $\frac{1}{2}$, fractional Northeast $\frac{1}{4}$; thence N 0°02'56" E, 835.19 feet along the West line of the East $\frac{1}{2}$ fractional Northeast $\frac{1}{4}$ of said Section 1; thence S 89°11'54" E, 359.16 feet to the point of beginning; thence continuing S 89°11'54" E, 622.30 feet; thence S 0°00'00" W, 83.59 feet to the Northeast Corner of Lot 2 of Certified survey Map No. 700; thence N 89°11'54" W, 622.30 feet along the North Line of said Lot 2 to the Northeast Corner of Lot 1 of Certified Survey Map No. 700; thence N 0°00'00" E, 83.59 feet to the point of beginning.

Also excepting therefrom the following parcel, to-wit: All of Lot One (1) of Certified Survey Map 966, recorded April 27, 1983 at 2:33 P.M. in Volume 6 of Certified Survey Maps on Page 422, Document No. 168069 in the Calumet County Registry, Chilton, Wisconsin.

Being a part of the East One-half (E $\frac{1}{2}$) of the Northeast Quarter (NE $\frac{1}{4}$) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1) of Certified Survey Map No. 1099 filed February 25, 1985 at 3:50 p.m. in Volume 7 of Survey Maps, Page 352, as Document No. 176523 in the Calumet County Registry, being a part of the Northeast $\frac{1}{4}$ of

the fractional Northeast ¼, Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1), of Certified Survey Map No. 1344 recorded in Volume 9 of Certified Survey Maps on Page 256 as Document No. 200843, being a part of the Northeast ¼ of the fractional Northeast ¼ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1), of Certified Survey Map No. 1885 filed in the office of the Register of Deeds for Calumet County, Wisconsin, in Volume 13 of Certified Survey Maps on page 240 as Document No. 256361, being part of the Northeast ¼ of the Fractional Northeast ¼ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: All of Certified Survey Map Number 2089, filed on May 4, 1998 in Volume 15 of Survey Maps on page 80, as Document No.277455 In the Office of the Register of Deeds Calumet County, Wisconsin being a part of the East ½ of the Northeast ¼, Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel: All of Certified Survey Map Number 2275, filed on April 17, 2000 in Volume 17 of Survey Maps on page 47, as Document No.302595 in the Office of the Register of Deeds Calumet County, Wisconsin being a part of the Northeast ¼ of the Northeast ¼ Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel: All of Certified Survey Map Number 2307, filed on August 28, 2000 in Volume 17 of Survey Maps on page 136, as Document No.306750 in the Office of the Register of Deeds Calumet County, Wisconsin being a part of the Northeast ¼ of the Northeast 1/4 Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Premises convey to Calumet County by Warranty Deed recorded in Jacket 2248, Image 29, as Document No. 228017.

Also excepting therefrom the following parcel, to-wit: Lot One (1) and Lot Two (2) of Certified Survey Map Number 3615, said Certified Survey Map having been recorded on December 22, 2016 in Volume 32 of Survey Maps on page 92, as Document No.519102 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the Northeast Quarter (NE 1/4) of the Fractional Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin. Said parcel contains 502,856 square feet (11.544 acres), more or less.

Approved this 29th day of October, 2019.

Motion for adoption by: _____

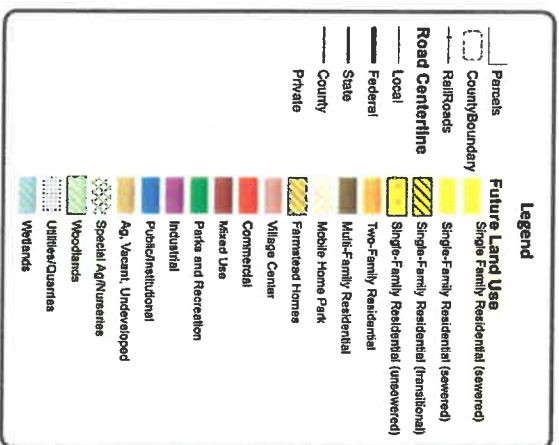
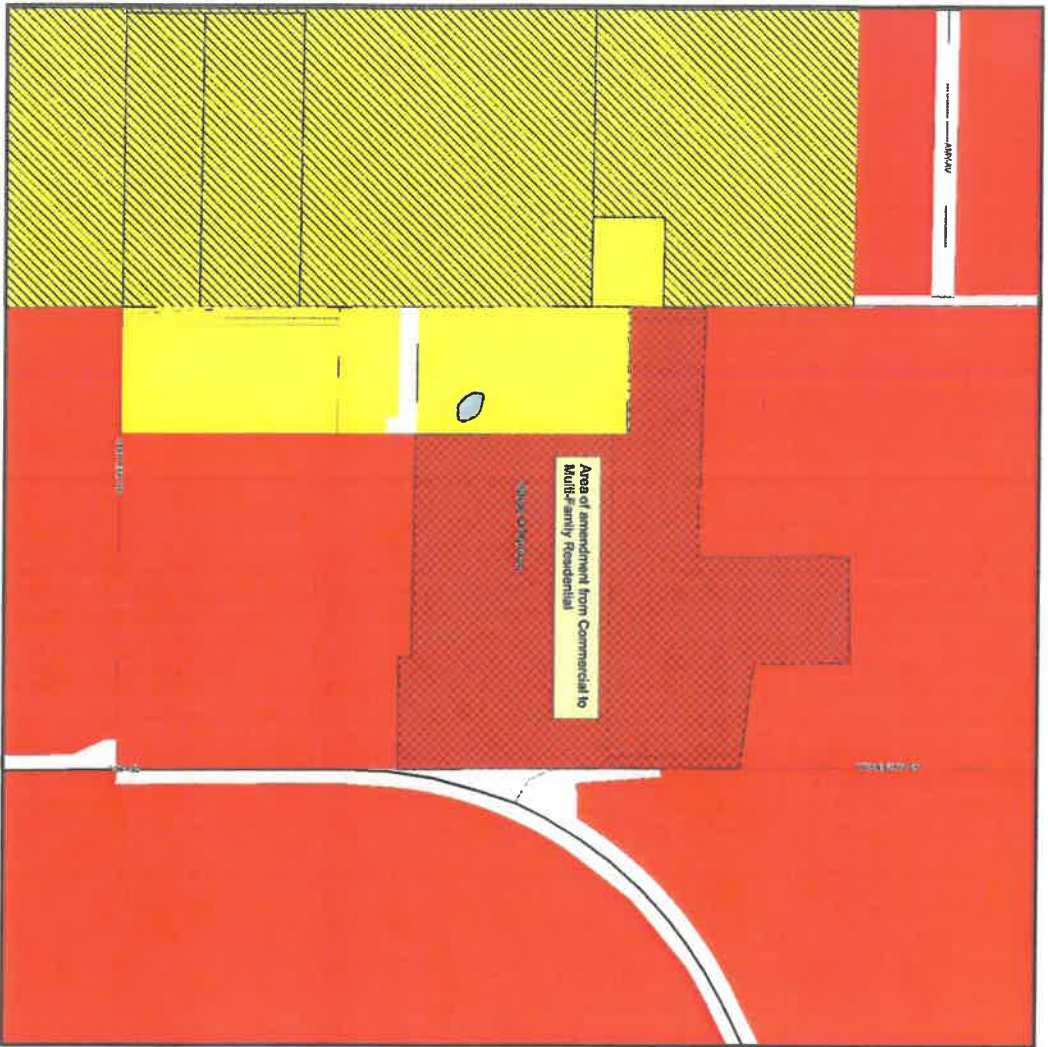
Seconded by: _____

Vote Aye: ____ Nay: ____

Kevin Hietpas, Plan Commission Chair

Attest: Mark J. Mommaerts, AICP, Harrison Planner

Harrison Future Land Use Map 2004-2023



Disclaimer:
This map was prepared by the Harrison Planning Commission. It is not intended to be used as a legal document. The Harrison Planning Commission and its staff do not warrant the accuracy of the information shown on this map. The Harrison Planning Commission and its staff do not assume any liability for any errors or omissions on this map. The Harrison Planning Commission and its staff do not assume any liability for any damages, including consequential damages, arising from the use of this map. The Harrison Planning Commission and its staff do not assume any liability for any damages, including consequential damages, arising from the use of this map.



Exhibit A

VILLAGE BOARD MEETING**From:**

Mark J. Mommaerts, AICP, Planner

VILLAGE OF HARRISON**Meeting Date:**

October 29, 2019

Title:

Ord V19-12 - Comprehensive Plan Amendment – Southtowne Place

Ord V19-13 - Zoning Map Amendment – Southtowne Place

Issue:

Should the Village Board approve a Comprehensive Plan Amendment from single-family to two-family and a Zoning Map Amendment from AG to RS-1 and RT?

Background and Additional Information:

Southtowne Place is proposed subdivision of mixed single-family and two-family (single-family attached or zero-lot line) homes. There are two issues to review and consider, 1) a Comprehensive Plan Amendment to identify portions of the property from single-family residential (sewered) to two-family residential, and 2) a Zoning Map Amendment (Rezoning) from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] and Two-Family Residential [RT]. The property is located at W6359 Manitowoc Road and currently has an existing house and accessory building that sit on 10-acres.

Comprehensive Plan Amendment:

The applicant is proposing to amend the future land use map in the Comprehensive Plan to allow for two-family residential on the northern portion of the property. Currently, the future land use map identifies this area as only single-family. The applicant wishes to create a slightly higher density residential area via zero lot line homes in order to reduce infrastructure costs per unit to create a more affordable development. The applicant is proposing 16-lots for single-family attached housing (8 zero lot line buildings). The remaining 13-lots will be for single-family detached homes.

Zoning Map Amendment:

The applicant is proposing to rezone from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] the area for single-family detached lots and the existing house lot, and from General Agricultural [AG] to Two-Family Residential [RT] that area for single-family attached or zero lot line.

Findings of Fact:

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan if the Comprehensive Plan Amendment is approved.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Recommended Action:

The Plan Commission will meet prior to the Village Board to discuss and act on the Comprehensive Plan Amendment and Zoning Map Amendment. The Plan Commission decision will be presented at the meeting.

Staff recommends approval of Plan Commission Resolution PC2019-03, recommending the Village Board amend the comprehensive plan.

Staff recommends approval of the Zoning Map Amendment from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] and Two-Family Residential [RT].

Attachments:

- Ord V19-12 & Ord V19-13
- Aerial Map
- Future Land Use Map
- Zoning Map
- Concept Plan
- Plan Commission Resolution PC2019-03

ORDINANCE V19-12

AN ORDINANCE ADOPTING AMENDMENTS TO THE COMPREHENSIVE PLAN FOR THE VILLAGE OF HARRISON, WISCONSIN. (Southtowne Place)

WHEREAS, the Harrison Plan Commission received an application from Al Lamers to amend the Comprehensive Plan Future Land Use Map land use designations from Single-Family Residential (Sewered) to Two-Family Residential for the following described property:

All that part of the West ½ of the Northeast ¼ of the Southwest ¼ of Section 9, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, bounded and described as follows: beginning at the northeast corner of the above described parcel; thence south, 651.68 feet along the east line of said described lands; thence west, 330 feet more or less to a point on the west line of the above described parcel that is located 651.10 feet south of the northwest corner of the above described parcel; thence north, 651.10 feet along said west line to the north line of the Southwest ¼ of Section 9; thence east, 330 feet more or less to the point of beginning. Said described parcel contains 4.89 acres of land more or less. Subject to all easements and restrictions of record. Reserving that part presently used for road purposes.; and

WHEREAS, the proposed amendment is attached as “Exhibit A”; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on this amendment on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

WHEREAS, the Plan Commission recommended approval of the amendment by adoption of Plan Commission Resolution 2019-03.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet & Outagamie Counties, Wisconsin, that Section 109-2 of the Code of Ordinances is amended to add the following:

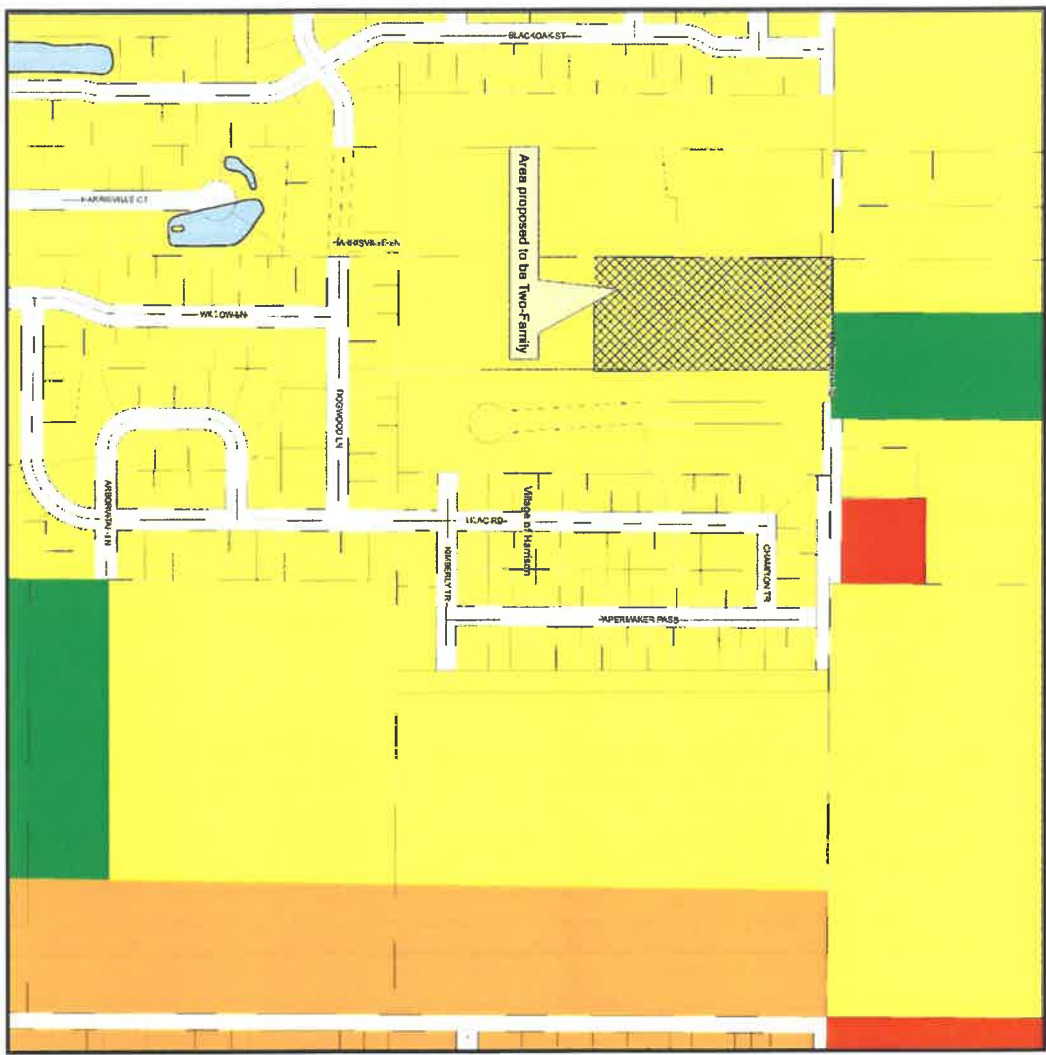
- 8) The Village Board of the Village of Harrison, Wisconsin, does, by enactment of this ordinance, formally adopt amendments to the Harrison Comprehensive Plan, pursuant to section 66.1001(4)(c) of the Wisconsin Statutes as recommended by Plan Commission Resolution 2019-03.

Adopted by the Village Board of the Village of Harrison, Wisconsin this 29th day of October, 2019.

Kevin Hietpas, Village President

Attest: Jennifer Weyenberg, Village Clerk

Harrison Future Land Use Map 2004-2023



Legend

Future Land Use

- Single-Family Residential (sewered)
- Single-Family Residential (unsewered)
- Multi-Family Residential
- Mobile Home Park
- Farmland
- Village Center
- Commercial
- Mixed Use
- Parks and Recreation
- Industrial
- Public/Institutional
- Ag, Vacant, Underdeveloped
- Special Ag/Nurseries
- Woodlands
- Utilities/Quarries
- Wetlands

Road Centerline

- Local
- Federal
- State
- County
- Private

Parcels

- County Boundary
- Railroads



This map was prepared by the Harrison Planning Commission for the Harrison Planning Commission. The Harrison Planning Commission is a public body created by the Harrison City Council. The Harrison Planning Commission is responsible for the development and implementation of the Harrison Comprehensive Zoning Ordinance. The Harrison Planning Commission is also responsible for the development and implementation of the Harrison Future Land Use Map. The Harrison Planning Commission is a public body created by the Harrison City Council. The Harrison Planning Commission is responsible for the development and implementation of the Harrison Comprehensive Zoning Ordinance. The Harrison Planning Commission is also responsible for the development and implementation of the Harrison Future Land Use Map.



ORDINANCE V19-13

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON
OFFICIAL ZONING MAP. (Southtowne Place)**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on October 29, 2019; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1]:

A parcel of land being part of the northeast ¼ of the southwest ¼ of section 9, township 20 north, range 18 east, Village of Harrison, Calumet County, Wisconsin, bounded and described as follows: commencing at the west ¼ corner of section 9; thence s89°37'39"e, 1636.31 feet along the north line of the southwest ¼ of section 9; thence s00°28'25"w, 651.10 feet to the point of beginning; thence s89°31'35"e, 327.02 feet; thence s00°28'35"w, 664.26 feet; thence n89°40'51"w, 324.12 feet; thence n89°44'48"w, 2.87 feet; thence n00°28'25"e, 665.15 feet to the point of beginning. Said described parcel contains 4.9899 acres of land more or less. Subject to all easements and restrictions of record. And a parcel of land being part of the northeast ¼ of the southwest ¼ of section 9, township 20 north, range 18 east, Village of Harrison, Calumet County, Wisconsin, bounded and described as follows: commencing at the west ¼ corner of section 9; thence s89°37'39"e, 1813.51 feet along the north line of the southwest ¼ of section 9 to the point of beginning; thence continuing s89°37'39"e, 149.85 feet along said north line; thence s00°28'35"w, 171.00 feet; thence n89°37'59"w, 149.54 feet; thence n00°22'21"e, 171.00 feet to the point of beginning. Said described parcel contains 0.5876 acres of land more or less. Subject to all easements and restrictions of record. Reserving that part presently used for road purposes.

THEREFORE, BE IT FURTHER ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Two-Family Residential [RT]:

A parcel of land being part of the northeast ¼ of the southwest ¼ of section 9, township 20 north, range 18 east, Village of Harrison, Calumet County, Wisconsin, bounded and described as follows: commencing at the west ¼ corner of section 9; thence s89°37'39"e, 1636.31 feet along the north line of the southwest ¼ of section 9 to the point of beginning; thence continuing s89°37'39"e, 177.20 feet along said north line; thence s00°22'21"w, 171.00 feet; thence s89°37'39"e, 149.54 feet; thence s00°28'35"w, 480.68 feet; thence n89°31'35"w, 327.02 feet; thence n00°28'25"e, 651.10 feet to the point of beginning. Said

described parcel contains 4.3028 acres of land more or less. Subject to all easements and restrictions of record. Reserving that part presently used for road purposes.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 29th day of October, 2019.

Kevin Hietpas, Village President

Attest: Jennifer Weyenberg, Clerk

Calumet County, WI

Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- P.L.S.S. Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad

Color 2018

Red: Band 1

Green: Band 2

Blue: Band 3



0 100 200 300ft

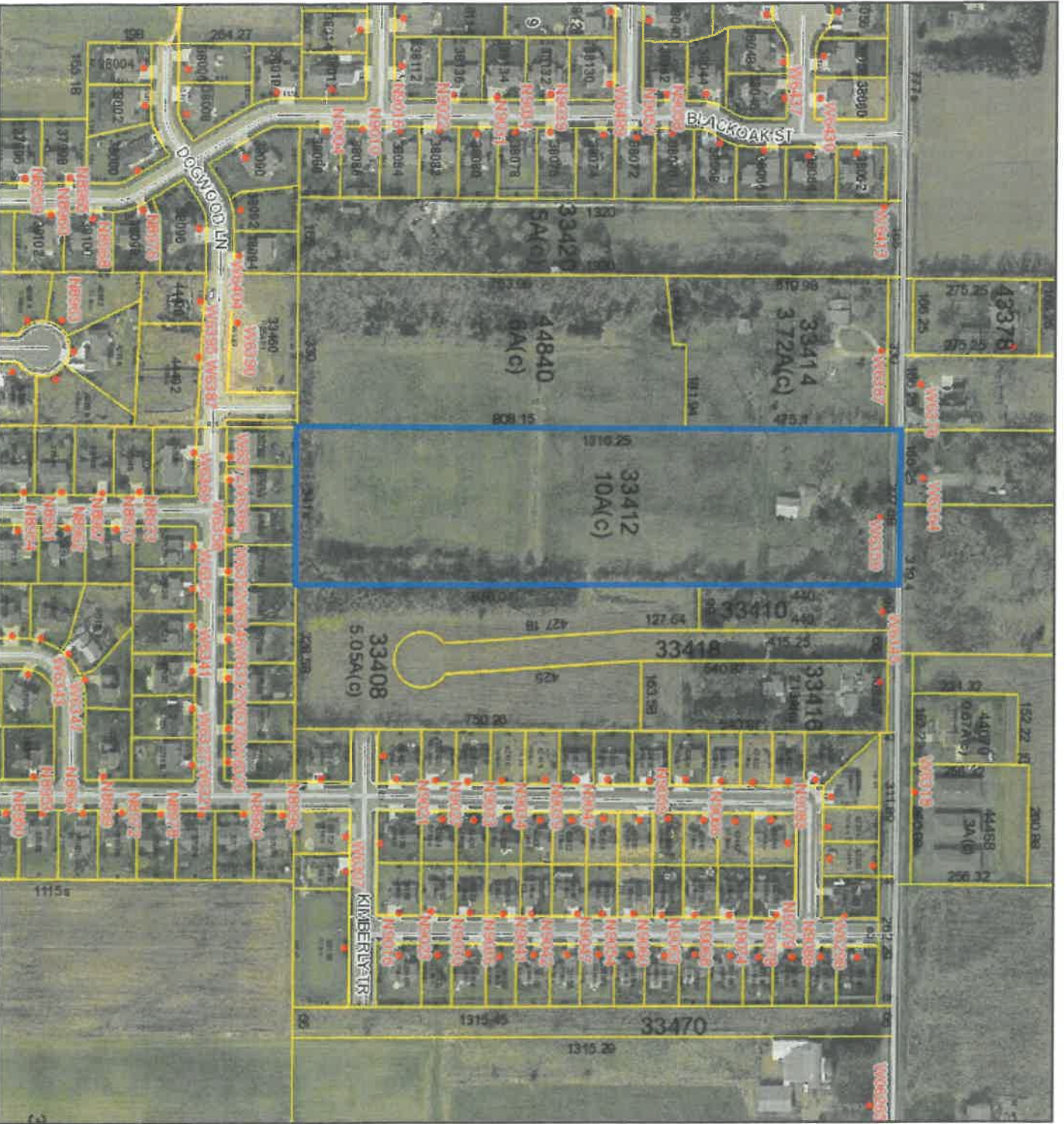
DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

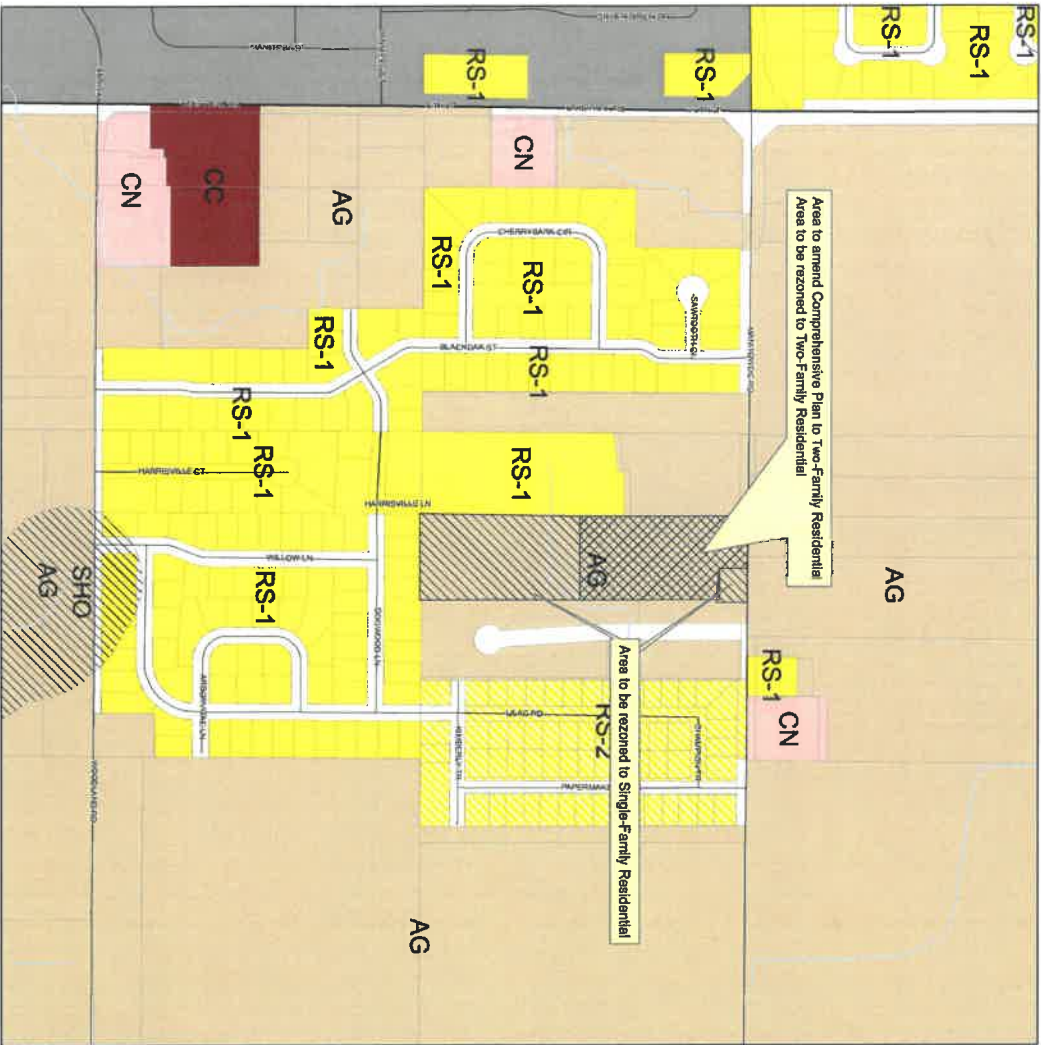
Author:

Date Printed:

10/18/19 1:3 PM

Source:





Zoning Map

Village of Harrison

Calumet & Outagamie Counties

Wisconsin

Legend

- | | | | |
|--|--|--|------------------|
| | AG General Agriculture | | Town of Harrison |
| | RS-1 Single-Family Residential (Suburban) | | Streams |
| | RS-2 Single-Family Residential (Traditional) | | Railroads |
| | RT Two-Family Residential | | Local Roads |
| | RM Multiple-Family Residential | | County Highway |
| | CN Neighborhood Commercial | | State Highway |
| | CC Office & Retail Commercial | | US Highway |
| | BP Business Park | | Parcels |
| | IM Industrial & Manufacturing | | |
| | NC Natural & Conservancy | | |
| | KH Mobile Home Overlay | | |
| | PDO Planned Development Overlay | | |
| | SHO Shoreland Overlay* | | |
| | SMO Shoreland-Wetland Overlay* | | |



0 0.125 0.25 Miles



This map was created using data obtained from Calumet County.
 The map is neither a legally recorded map nor a survey and is not designed to be used as such. The Town of Harrison does not warrant the accuracy of the information shown on this map. The map is intended for informational purposes only. The information shown on this map is not intended to be used for any purpose other than the use or reuse of these maps and data. In no event shall Calumet County or the Town of Harrison be liable in any way for any loss resulting from the use or misuse of these maps and data. For only complete information required by Calumet County business, original recorded survey documents located in the county courthouse should be used for legal or survey purposes.
 Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.

PLAN COMMISSION RESOLUTION 2019-03

**TO RECOMMEND TO THE VILLAGE BOARD AN AMENDMENT TO THE
HARRISON COMPREHENSIVE PLAN (Southtowne Place)**

WHEREAS, the Harrison Plan Commission received an application from Al Lamers to amend the Comprehensive Plan Future Land Use Map from Single-Family Residential (Sewered) to Two-Family Residential; and

WHEREAS, the proposed amendment is attached to the Resolution as “Exhibit A”; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on these amendments on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

NOW, THEREFORE BE IT RESOLVED, the Harrison Plan Commission recommends to the Village Board the adoption of the amendment from Single-Family Residential (Sewered) to Two-Family Residential for the property described as:

All that part of the West ½ of the Northeast ¼ of the Southwest ¼ of Section 9, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, bounded and described as follows: beginning at the northeast corner of the above described parcel; thence south, 651.68 feet along the east line of said described lands; thence west, 330 feet more or less to a point on the west line of the above described parcel that is located 651.10 feet south of the northwest corner of the above described parcel; thence north, 651.10 feet along said west line to the north line of the Southwest ¼ of Section 9; thence east, 330 feet more or less to the point of beginning. Said described parcel contains 4.89 acres of land more or less. Subject to all easements and restrictions of record. Reserving that part presently used for road purposes.

Approved this 29th day of October, 2019.

Motion for adoption by: _____

Seconded by: _____

Vote Aye: ____ Nay: ____

Kevin Hietpas, Plan Commission Chair

Attest: Mark J. Mommaerts, AICP, Harrison Planner

VILLAGE BOARD MEETING

From:

Mark J. Mommaerts, AICP, Planner

VILLAGE OF HARRISON

Meeting Date:

October 29, 2019

Title:

Ord V19-14 - Comprehensive Plan Amendment – Novotny/Sweere

Ord V19-15 - Zoning Map Amendment – Novotny/Sweere

Amy Avenue Extension – Novotny/Sweere

Certified Survey Map – Novotny/Sweere

Issue:

Should the Village Board approve a Comprehensive Plan Amendment from commercial to multiple-family residential, a Zoning Map Amendment from COR to MF, a future street amendment, and a Certified Survey Map?

Background and Additional Information:

The applicant is proposing a mixed used development for an 11-acre parcel they own along County KK, between State Park Road and Prosperity Drive, Tax ID 33114. The property is bounded by County KK on the north, a regional stormwater pond on the south, and commercial or future commercial development on the east and west sides. The property is currently identified on the future land use map in the Comprehensive Plan as Commercial and is currently zoned Office & Retail Commercial [COR]. The applicant is proposing multi-tenant commercial buildings on the norther portion of the property and multiple-family residential, townhome style units, on the southern portion of the property. The extension of Amy Avenue is also planned to go through the property and will follow the route of the existing sanitary sewer and water mains. The applicant is requesting a Comprehensive Plan Amendment, Zoning Map Amendment, elimination of the Amy Avenue street extension, and a Certified Survey Map.

Comprehensive Plan Amendment:

The applicant is proposing to amend the future land use map in the Comprehensive Plan to allow for multiple-family residential on the southern portion of the property. Currently, the future land use map identifies this area as commercial. The applicant wishes to create a higher density residential area via townhomes (single-family attached dwellings) in order to reduce infrastructure costs per unit to create a more affordable development. The applicant feels that the area adjacent to the stormwater pond will create attractive views for residential development.

Zoning Map Amendment:

The applicant is proposing to rezone from Office & Retail Commercial [COR] to Multiple-Family Residential [RM] the area for townhome development.

Amy Avenue Extension:

The applicant is requesting that the extension of Amy Avenue be eliminated. There is a temporary cul-de-sac at the end of Amy Avenue on the west side the property for access and a driveway access out to County KK. The applicant is proposing emergency vehicle access between the residential and commercial developments as secondary access points. Staff has concerns about stopping Amy Avenue at each end of this property. The intent was for Amy Avenue to extend from State Park Road to Highline Road. The missing component of Amy Avenue is on this property and a small stretch along the adjacent property. In addition, Darboy Sanitary District has a sanitary sewer & water easement over the land where Amy Avenue is mapped for their existing sewer & water mains.

Certified Survey Map:

The applicant is proposing a 2-lot Certified Survey Map (CSM) in order to create separate parcels for the proposed development. Lot 1 would be for the commercial development. Lot 2 would be for the residential development. Staff recommends that the right-of-way be dedicated for the extension of Amy Avenue as part of the CSM.

Findings of Fact:

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan if the Comprehensive Plan Amendment is approved.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Budget Impacts:

None are anticipated. Developer may request assistance through Tax Incremental Financing District.

Recommended Action:

The Plan Commission will meet prior to the Village Board to discuss and act on the Comprehensive Plan Amendment, Zoning Map Amendment, Amy Avenue street extension, and Certified Survey Map. The Plan Commission decision will be presented at the meeting.

Staff recommends approval of Plan Commission Resolution PC2019-04, recommending the Village Board amend the comprehensive plan.

Staff recommends approval of the Zoning Map Amendment from Office & Retail Commercial [COR] to Multiple-Family Residential [RM].

Staff recommends denial of the request to eliminate Amy Avenue through the property.

Staff recommends approval the Certified Survey Map will the condition that the right-of-way for future Amy Avenue be dedicated to the public for roadway purposes.

Attachments:

- Ord V19-14 & Ord V19-15
- Aerial Map
- Future Land Use Map
- Zoning Map
- Rezone & Legal Map prepared by McMahon Associates
- Plan Commission Resolution PC2019-04

ORDINANCE V19-14

AN ORDINANCE ADOPTING AMENDMENTS TO THE COMPREHENSIVE PLAN FOR THE VILLAGE OF HARRISON, WISCONSIN. (Novotny/Sweere)

WHEREAS, the Harrison Plan Commission received an application from Trent Novotny & Rick Sweere to amend the Comprehensive Plan Future Land Use Map land use designations from Commercial to Multi-Family Residential for the following described property:

Part of Outlot 1 of CSM 2971 recorded in Vol. 24 of CSM's on page 246 as Doc. No. 413406 located in the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 4.627 acres described as follows: Beginning at a Southwesterly corner of Outlot 1 of CSM 2971; Thence N04°29'29"E 33.07 feet, along the West line of said Outlot 1 to the center of Amy Avenue; Thence S89°10'09"E 161.49 feet; Thence S87°47'04"E 583.08 feet, to the east line of said Outlot 1; Thence S00°06'03"E 335.34 feet, along said line to the Southeasterly corner of Outlot 1; Thence 21.60 feet along an arc with a 233.00 foot radius curve to the left having a chord of N72°01'56"W along the Southerly line of Outlot 1; Thence N89°10'01"W 564.03 feet, along said Southerly line to the West line of Outlot 1; Thence N00°09'39"E 310.01 feet, along said Westerly line to a Southerly line of said Outlot 1; Thence N89°10'01"W 163.68 feet, along said line to the Westerly line of Outlot 1 and the Point of Beginning; and

WHEREAS, the proposed amendment is attached as "Exhibit A"; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on this amendment on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

WHEREAS, the Plan Commission recommended approval of the amendment by adoption of Plan Commission Resolution 2019-04.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet & Outagamie Counties, Wisconsin, that Section 109-2 of the Code of Ordinances is amended to add the following:

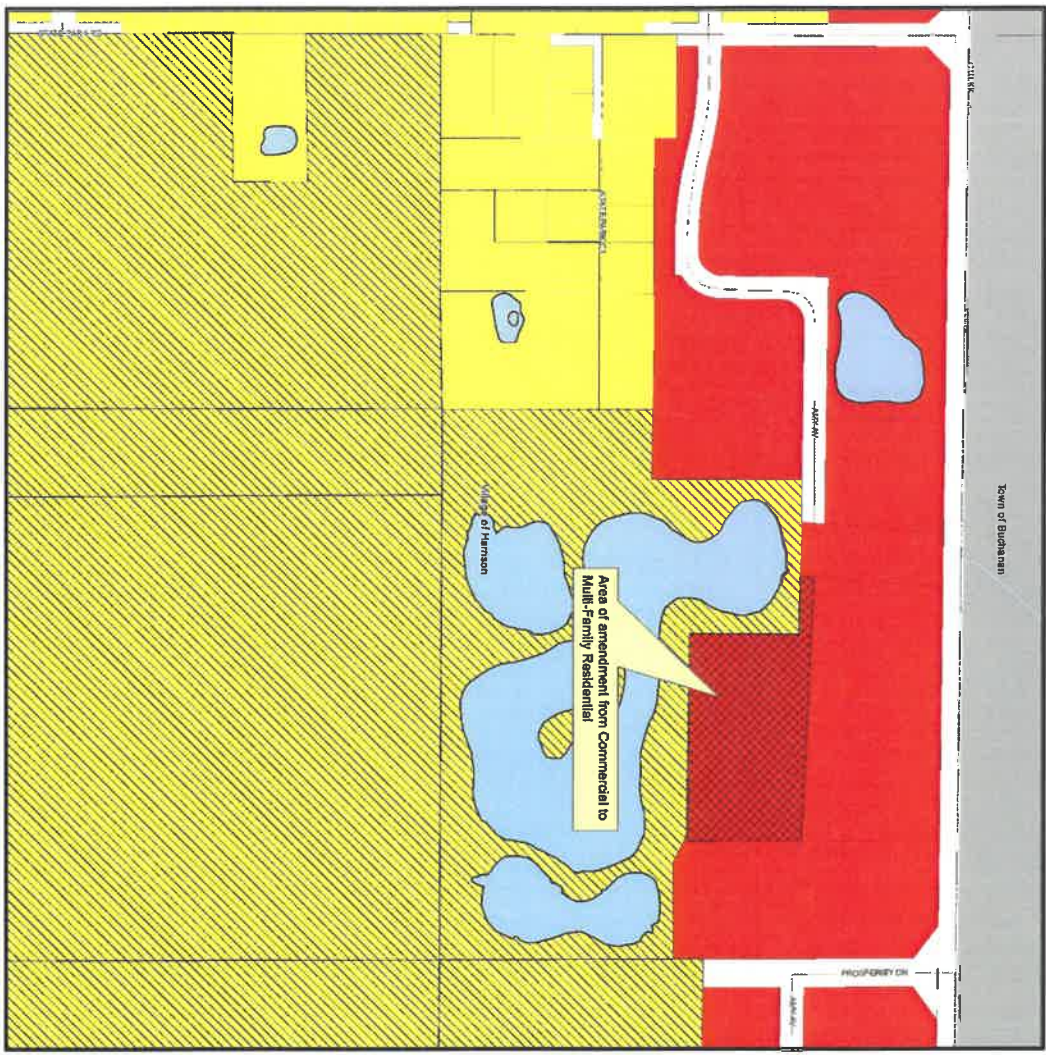
- 9) The Village Board of the Village of Harrison, Wisconsin, does, by enactment of this ordinance, formally adopt amendments to the Harrison Comprehensive Plan, pursuant to section 66.1001(4)(c) of the Wisconsin Statutes as recommended by Plan Commission Resolution 2019-04.

Adopted by the Village Board of the Village of Harrison, Wisconsin this 29th day of October, 2019.

Kevin Hietpas, Village President

Attest: Jennifer Weyenberg, Village Clerk

Harrison Future Land Use Map 2004-2023



Legend

Future Land Use

- Single-Family Residential (sewered)
- Single-Family Residential (sewered)
- Single-Family Residential (transitional)
- Single-Family Residential (unsewered)
- Two-Family Residential
- Multi-Family Residential
- Mobile Home Park
- Farmstead Home
- Village Center
- Commercial
- Mixed Use
- Parks and Recreation
- Industrial
- Public/Institutional
- Ag, Vacant, Undeveloped
- Special Ag/Nuisance
- Woodlands
- Utilities/Quarries
- Wetlands

Road Centerline

- County
- State
- Federal
- Local
- Private

Panels

- County Boundary
- Rail/Roads

Exhibit A

HARRISON
Village of
10000 Harrison Road
Harrison, NJ 07033
908.881.1000
www.villageofharrison.com

Map prepared by:
M. J. ...
...

Map date: ...

ORDINANCE V19-15

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON
OFFICIAL ZONING MAP. (Novotny/Sweere)**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on October 29, 2019; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from Office & Retail Commercial [COR] to Multiple-Family Residential [RM]:

Part of Outlot 1 of CSM 2971 recorded in Vol. 24 of CSM's on page 246 as Doc. No. 413406 located in the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 4.627 acres described as follows: Beginning at a Southwesterly corner of Outlot 1 of CSM 2971; Thence N04°29'29"E 33.07 feet, along the West line of said Outlot 1 to the center of Amy Avenue; Thence S89°10'09"E 161.49 feet; Thence S87°47'04"E 583.08 feet, to the east line of said Outlot 1; Thence S00°06'03"E 335.34 feet, along said line to the Southeasterly corner of Outlot 1; Thence 21.60 feet along an arc with a 233.00 foot radius curve to the left having a chord of N72°01'56"W along the Southerly line of Outlot 1; Thence N89°10'01"W 564.03 feet, along said Southerly line to the West line of Outlot 1; Thence N00°09'39"E 310.01 feet, along said Westerly line to a Southerly line of said Outlot 1; Thence N89°10'01"W 163.68 feet, along said line to the Westerly line of Outlot 1 and the Point of Beginning.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 29th day of October, 2019.

Kevin Hietpas, Village President

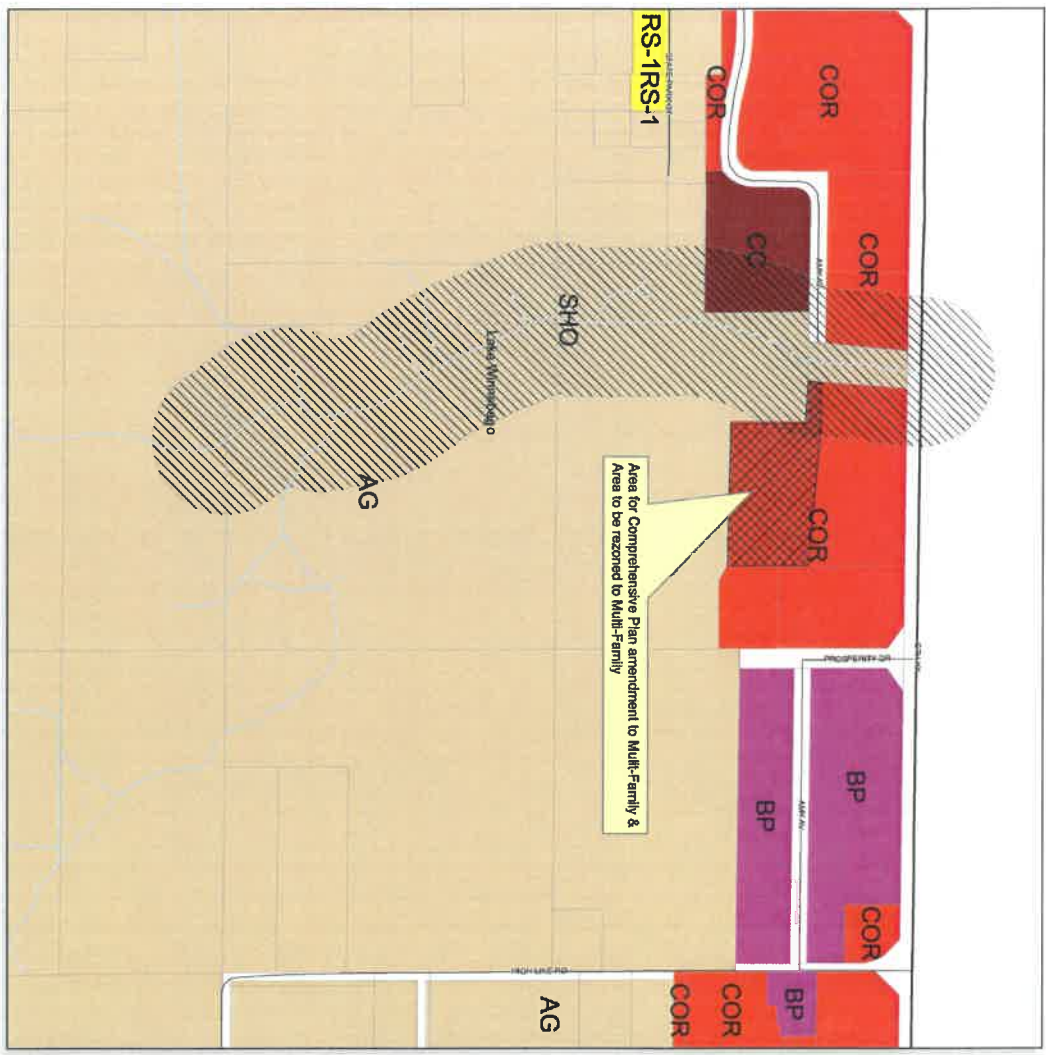
Attest: Jennifer Weyenberg, Clerk

Zoning Map

Village of Harrison

Calumet & Outagamie Counties

Wisconsin



Legend

Zoning Districts

- AG | General Agriculture
- RS-1 | Single-Family Residential (Suburban)
- RS-2 | Single-Family Residential (Traditional)
- RT | Two-Family Residential
- RM | Multiple-Family Residential
- ON | Neighborhood Commercial
- COR | Office & Retail Commercial
- CC | Community Commercial
- BP | Business Park
- IM | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- PDO | Planned Development Overlay
- SHO | Shoreland Overlay*
- SWO | Shoreland-Wetland Overlay*

Road/Centerline

- Town of Harrison
- Railroads
- Streams
- Local Roads
- County Highway
- State Highway
- US Highway
- Parcels

Scale: 0, 0.125, 0.25 Miles

North Arrow: N, S, E, W

Contact Information:
 Village of Harrison
 16258 Hwy 114
 Harrison, WI 54945
 920-889-1052

Adopted: July 27, 2010
Effective: November 1, 2010
Current as of: September 24, 2019

WHERE OPPORTUNITY LIVES





This map was created by: Village of Harrison, 16258 Hwy 114, Harrison, WI 54945, 920-889-1052. Adopted: July 27, 2010. Effective: November 1, 2010. Current as of: September 24, 2019.

This map is made from a legally recorded map once it is approved by the Town of Harrison. The Town of Harrison does not warrant the accuracy of the information on this map. The information on this map is for informational purposes only and is not intended to be used for any legal or financial purposes. The information on this map is not intended to be used for any legal or financial purposes. The information on this map is not intended to be used for any legal or financial purposes. The information on this map is not intended to be used for any legal or financial purposes.

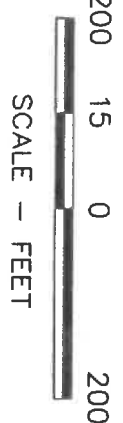
Calumet County shall remain the exclusive owner of all rights, title, and interest in a specifically copyrighted itemization.

REZONE MAP & LEGAL

LEGEND

-  - CERTIFIED LAND CORNER
-  - CALUMET COUNTY
-  - RECORDED BEARING AND/OR DISTANCE
-  - SQUARE FEET

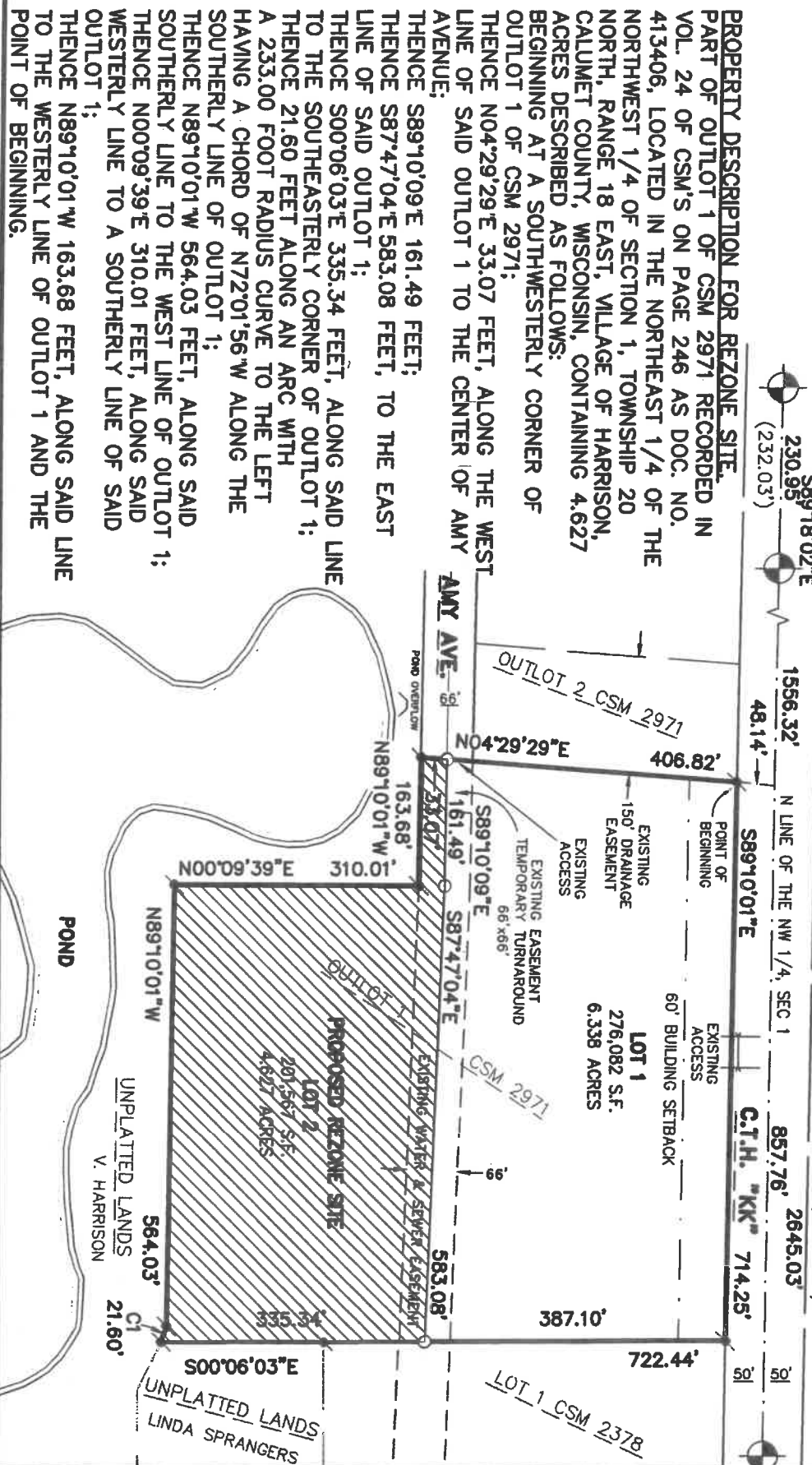
CURVE DATA			
CURVE RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	233.00	S78°45' N72°01'56" W	21.60
			21.60



SOUTH 1/4 CORNER
SEC 34-21-18
MAG NAIL WITH
BRASS WASHER
(S89°18'16"E)
NORTHWEST CORNER
SEC 1-20-18
PK NAIL NO0028'39"W
.12 FEET FROM SEC. LINE

FOR:
- RICK SWEERE & TRENT NOVOTNY
- W6483 DESIGN DR. UNIT A
- GREENVILLE, WI 54942
- PHONE: (800) 261-5554

SOUTHEAST CORNER
SEC 34-21-18
MAG NAIL WITH
BRASS WASHER
(2645.73')



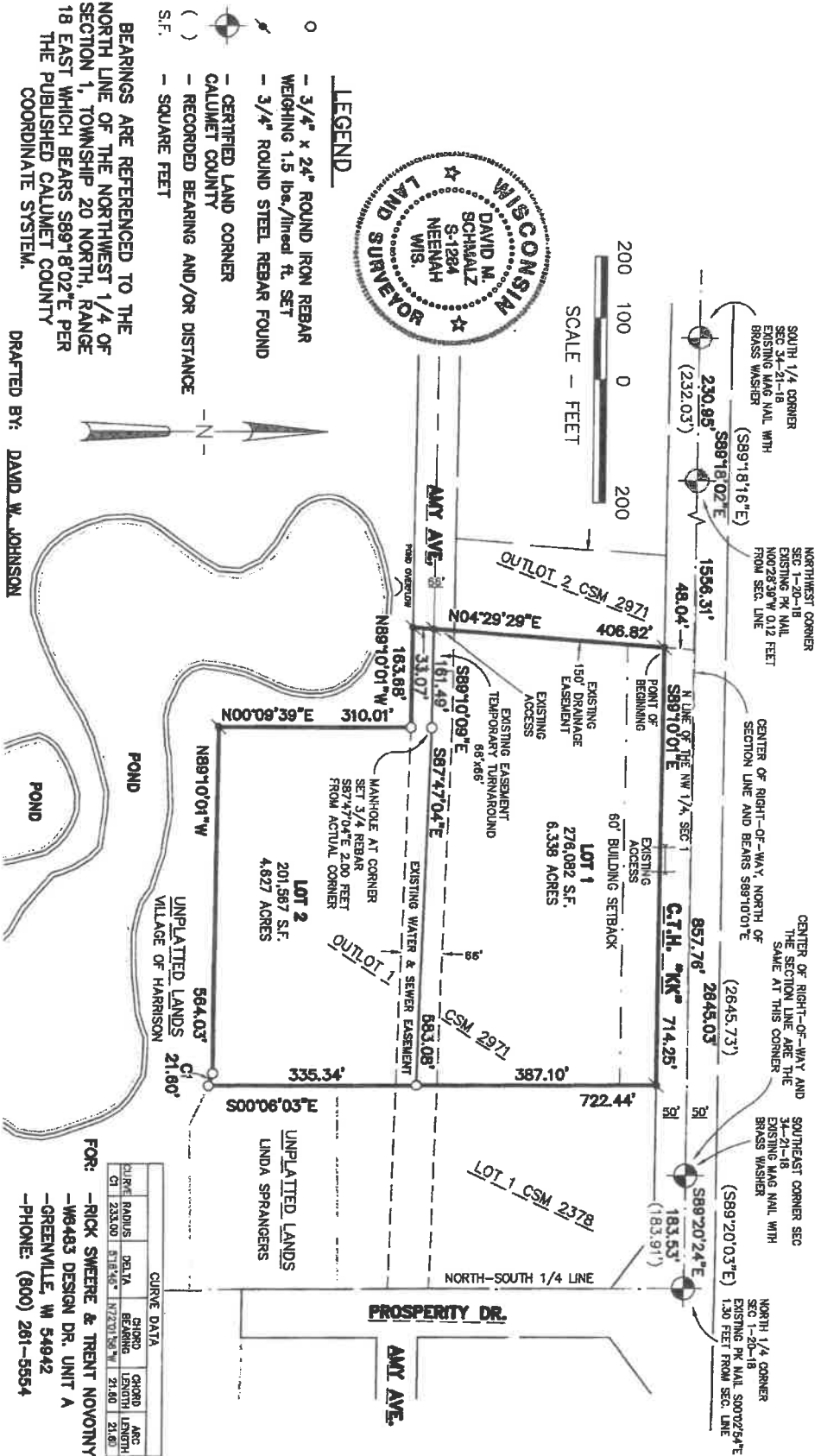
PROPERTY DESCRIPTION FOR REZONE SITE.
PART OF OUTLOT 1 OF CSM 2971 RECORDED IN VOL. 24 OF CSM'S ON PAGE 246 AS DOC. NO. 413406, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, CONTAINING 4.627 ACRES DESCRIBED AS FOLLOWS:
BEGINNING AT A SOUTHWESTERLY CORNER OF OUTLOT 1 OF CSM 2971;
THENCE N04°29'29"E 33.07 FEET, ALONG THE WEST LINE OF SAID OUTLOT 1 TO THE CENTER OF AMY AVENUE;
THENCE S89°10'09"E 161.49 FEET;
THENCE S87°47'04"E 583.08 FEET, TO THE EAST LINE OF SAID OUTLOT 1;
THENCE S00°06'03"E 335.34 FEET, ALONG SAID LINE TO THE SOUTHEASTERLY CORNER OF OUTLOT 1;
THENCE 21.60 FEET ALONG AN ARC WITH A 233.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD OF N72°01'56" W ALONG THE SOUTHERLY LINE OF OUTLOT 1;
THENCE N89°10'01" W 564.03 FEET, ALONG SAID SOUTHERLY LINE TO THE WEST LINE OF OUTLOT 1;
THENCE N00°09'39"E 310.01 FEET, ALONG SAID WESTERLY LINE TO A SOUTHERLY LINE OF SAID OUTLOT 1;
THENCE N89°10'01" W 163.68 FEET, ALONG SAID LINE TO THE WESTERLY LINE OF OUTLOT 1 AND THE POINT OF BEGINNING.

RECEIVED
OCT 16 2019
HARRISON PLANNING

CERTIFIED SURVEY MAP NO. _____

SHEET 1 OF 4

ALL OF OUTLOT 1 OF CERTIFIED SURVEY MAP 2971 AS RECORDED IN VOLUME 24 OF CERTIFIED SURVEY MAPS ON PAGE 246 AS DOCUMENT 413406, LOCATED IN NORTHEAST 1/4 OF THE FRACTIONAL NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN



LEGEND

- — 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 lbs./lined ft. SET
- 3/4" ROUND STEEL REBAR FOUND
- CERTIFIED LAND CORNER CALUMET COUNTY
- () — RECORDED BEARING AND/OR DISTANCE
- SQUARE FEET

BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST WHICH BEARS S89°18'02"E PER THE PUBLISHED CALUMET COUNTY COORDINATE SYSTEM.

DRAFTED BY: DAVID W. JOHNSON

d:\johnson, w.\PROJECTS\50644\91900516\CADD\Civil3D\Survey Documents\CSM_2 LOT CSM.dwg sheet_1.dwg\cam-landscape, Plot Date: 10/15/2019 11:45 AM, xref: none

FOR: —RICK SWEENE & TRENT NOVOTNY
—W6483 DESIGN DR. UNIT A
—GREENVILLE, WI 54942
—PHONE: (800) 261-5554

CURVE DATA			
CURVE RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
01 233.00	57°44'	N72°15'30"W	21.80
			21.80

ALL OF OUTLOT 1 OF CERTIFIED SURVEY MAP 2971 AS RECORDED IN VOLUME 24 OF CERTIFIED SURVEY MAPS ON PAGE 246 AS DOCUMENT 413406, LOCATED IN NORTHEAST 1/4 OF THE FRACTIONAL NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, David M. Schmalz, Wisconsin Professional Land Surveyor S-1284, certify that I have surveyed, divided and mapped all of OutLot 1 of Certified Survey Map 2971 as recorded in Volume 24 of Certified Survey Maps on page 246 as document 413406, located in the Northeast 1/4 of the Fractional Northwest 1/4 of Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin containing 477,649 square feet (10.965 acres) of land.

That I have made this survey by the direction of the Owners of said Land.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes and the Village of Harrison Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this 16th day of October, 2019

David M. Schmalz

David M. Schmalz, Professional WI land Surveyor S-1284



NOTES

- THIS CSM IS ALL OF TAX PARCEL No. 33114.
- THE PROPERTY OWNERS OF RECORD ARE TRENT T. NOVOTNY and RICHARD J. SWEERE.
- THIS PROPERTY IS CONTAINED WHOLLY WITHIN LANDS DESCRIBED IN DOCUMENT No. 410947.
- THE OUTLOT 1 STATUS IS NOW CHANGED TO LOT 1 AND 2 BECAUSE THERE IS PUBLIC ACCESS, SANITARY SEWER AND MUNICIPAL WATER TO THE PROPERTY.

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54958
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

CERTIFIED SURVEY MAP NO. _____

SHEET 4 OF 4

ALL OF OUTLOT 1 OF CERTIFIED SURVEY MAP 2971 AS RECORDED IN VOLUME 24 OF CERTIFIED SURVEY MAPS ON PAGE 246 AS DOCUMENT 413406, LOCATED IN NORTHEAST 1/4 OF THE FRACTIONAL NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

OWNER'S CERTIFICATE

Trent T. Novotny and Richard J. Sweere As Owner(s), I/We hereby certify that I/we caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I/We also certify that this Certified Survey Map is required by s. 236.10 or 236.12 of the Wisconsin Statutes to be submitted to the following for approval.

Village of Harrison

Dated this _____ day of _____, 20____.

Trent T. Novotny

Richard J. Sweere

State of Wisconsin)
_____) as
County)

Personally appeared before me on the _____ day of _____, 20____, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

Notary Public

_____ County, _____

My commission expires _____



David M. Schmalz
Oct 16, 2019

PLAN COMMISSION RESOLUTION 2019-04

**TO RECOMMEND TO THE VILLAGE BOARD AN AMENDMENT TO THE
HARRISON COMPREHENSIVE PLAN (Novotny/Sweere)**

WHEREAS, the Harrison Plan Commission received an application from Trent Novotny & Rick Sweere to amend the Comprehensive Plan Future Land Use Map from Commercial to Multi-Family Residential; and

WHEREAS, the proposed amendment is attached to the Resolution as “Exhibit A”; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on these amendments on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

NOW, THEREFORE BE IT RESOLVED, the Harrison Plan Commission recommends to the Village Board the adoption of the amendment from Commercial to Multi-Family Residential for the property described as:

Part of Outlot 1 of CSM 2971 recorded in Vol. 24 of CSM’s on page 246 as Doc. No. 413406 located in the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 4.627 acres described as follows: Beginning at a Southwesterly corner of Outlot 1 of CSM 2971; Thence N04°29’29”E 33.07 feet, along the West line of said Outlot 1 to the center of Amy Avenue; Thence S89°10’09”E 161.49 feet; Thence S87°47’04”E 583.08 feet, to the east line of said Outlot 1; Thence S00°06’03”E 335.34 feet, along said line to the Southeasterly corner of Outlot 1; Thence 21.60 feet along an arc with a 233.00 foot radius curve to the left having a chord of N72°01’56”W along the Southerly line of Outlot 1; Thence N89°10’01”W 564.03 feet, along said Southerly line to the West line of Outlot 1; Thence N00°09’39”E 310.01 feet, along said Westerly line to a Southerly line of said Outlot 1; Thence N89°10’01”W 163.68 feet, along said line to the Westerly line of Outlot 1 and the Point of Beginning.

Approved this 29th day of October, 2019.

Motion for adoption by: _____

Seconded by: _____

Vote Aye: ____ Nay: ____

Kevin Hietpas, Plan Commission Chair

Attest: Mark J. Mommaerts, AICP, Harrison Planner

Harrison Future Land Use Map 2004-2023



Legend

Future Land Use

- Single-Family Residential (Leveled)
- Single-Family Residential (Transition)
- Single-Family Residential (Unleveled)
- Two-Family Residential
- Multi-Family Residential
- Mobile Home Park
- Farmstead Homes
- Village Center
- Commercial
- Mixed Use
- Parks and Recreation
- Industrial
- Public/Institutional
- Ag, Vacant, Undeveloped
- Special Agriculture
- Woodlands
- Ujilites/Cuarteras
- Wetlands

Road Centerline

- County
- State
- Federal
- Local
- Railroads

Parcels

- County Boundary

Other

- Private



HARRISON
TOWN OF HARRISON
PLANNING DEPARTMENT
1100 N. HARRISON AVENUE
HARRISON, MISSOURI 64701
781.233.1100
WWW.HARRISONMO.GOV

Map Date: 2004

Exhibit A

VILLAGE BOARD MEETING**From:**

Mark J. Mommaerts, AICP, Planner

VILLAGE OF HARRISON**Meeting Date:**

October 29, 2019

Title:

Ord V19-16 - Zoning Map Amendment – Kimberly Heights 4
Certified Survey Map – Kimberly Heights 4

Issue:

Should the Village Board approve the Zoning Map Amendment from AG to RS-1 and CSM?

Background and Additional Information:

The applicant is proposing a zoning map amendment (rezoning) for the property located along Schmidt Road (Tax IDs 33246 & part of 33250) in preparation for phase 4 of the Kimberly Heights subdivision. The property is currently zoned General Agricultural [AG]. The applicant wishes to rezone it to Single-Family Residential (Suburban) [RS-1]. The Future Land Use Map as part of the Comprehensive Plan identifies this area as Single-Family Residential (Sewered). Public sewer and water will be available to the subdivision.

Certified Survey Map

The applicant is proposing a 2-lot Certified Survey Map (CSM) for the property located at W5506 Schmidt Road (Tax IDs 33248 & 33250). The property is currently zoned General Agricultural [AG]. There is an existing house and accessory building that will remain on Lot 1. The house is currently served with private septic and well. The proposed lot is approximately 2.84-acres. Lot 2 is proposed to be approximately 10.95-acres. Lot 2 is intended to be further subdivided as part of phase 4 of the Kimberly Heights subdivision (along with Tax ID 33246). Lot 2 is proposed to be rezoned to single-family residential. A portion of the Schmidt Road ROW was previously dedicated by CSM #3685. This CSM will dedicate additional ROW adjacent to Tax ID 33248.

Findings of Fact:

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Budget Impacts:

None.

Recommended Action:

The Plan Commission will meet prior to the Village Board to discuss and act on the Zoning Map Amendment and Certified Survey Map. The Plan Commission decision will be presented at the meeting.

Staff recommends approval of the Zoning Map Amendment from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1].

Staff recommends approval of the Certified Survey Map.

Attachments:

- Ord V19-16
- Aerial Map
- Zoning Map
- CSM

ORDINANCE V19-16

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON
OFFICIAL ZONING MAP. (Kimberly Heights 4)**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on October 29, 2019; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1]:

All of Lot 2 of Certified Survey Map 3685, and all of Lot 2 of proposed Certified Survey Map located in part of the Southeast 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 790,753 Square Feet (18.1532 Acres) of land more or less, described as follows: Commencing at the South 1/4 corner of Section 2; thence, along the East line of the Southwest 1/4 of said Section 2, N00°07'58"E, 267.19 feet to the point of beginning; thence N89°59'17"W, 536.98 feet; thence S00°00'43"W, 234.01 feet to the Northerly right of way of Schmidt Road; thence, along said Northerly right of way, S89°16'59"W, 442.16 feet to the East line of Kimberly Heights; thence, along said East line, N00°43'01"W, 943.08 feet to the South line of Kimberly Heights 2; thence, along said South line, N89°58'13"E, 150.01 feet; thence, continuing along said South line, S80°19'50"E, 67.10 feet; thence, continuing along said South line, N89°58'17"E, 776.40 feet to said East line of the Southwest 1/4; thence, along said East line, S00°07'58"W 692.78 feet to the point of beginning, subject to all easements, and restrictions of record.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 29th day of October, 2019.

Kevin Hietpas, Village President

Attest: Jennifer Weyenberg, Clerk

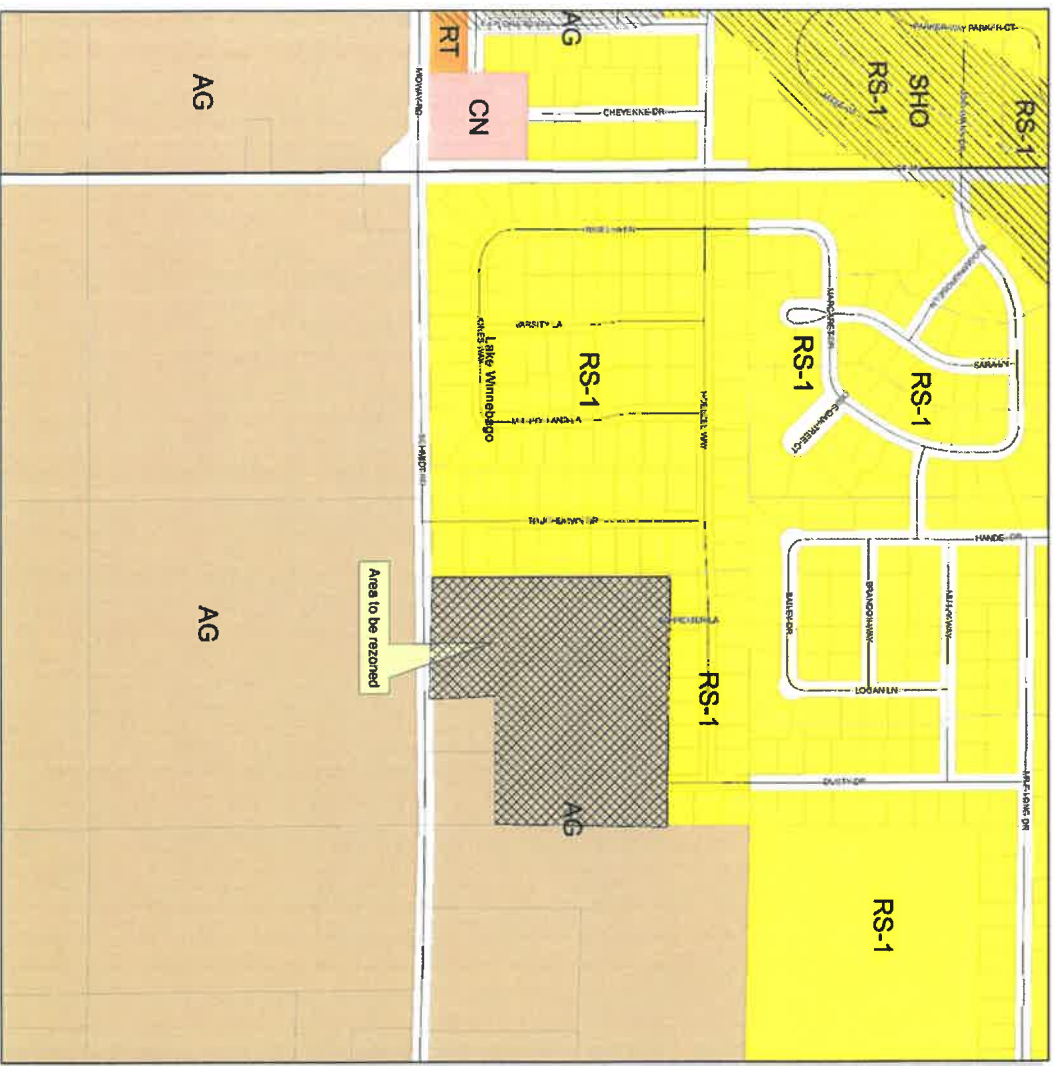
Zoning Map

Village of Harrison

Calumet & Outagamie Counties

Wisconsin

Legend



Zoning Districts

- AG | General Agriculture
- RS-1 | Single-Family Residential (Suburban)
- RS-2 | Single-Family Residential (Traditional)
- RT | Two-Family Residential
- RM | Multiple-Family Residential
- CN | Neighborhood Commercial
- COR | Office & Retail Commercial
- CC | Community Commercial
- BPF | Business Park
- IM | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- POO | Planned Development Overlay
- SHO | Shoreland Overlay*
- SWO | Shoreland-Wetland Overlay*

Road/Centerline

- County Highway
- Local Roads
- Site Highway
- US Highway
- Parcels
- Railroads
- Streams

* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

This map was created by:
 Village of Harrison
 W5238 Hwy 114
 Harrison, WI 54902
 920-2481-1062

Adopted: July 27, 2010
 Effective: November 1, 2010
 Current as of: September 24, 2010



Disclaimer:
 This map was created using data obtained from Calumet County. The map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not guarantee the accuracy, completeness, or compatibility of the information contained herein and is not responsible for any reliance or use of this data for any purpose other than the use of reference or for general information only. The user assumes all liability for any use of this data for any purpose other than the use of reference or for general information only. The user assumes all liability for any use of this data for any purpose other than the use of reference or for general information only. Original responsibility for the accuracy of the data is retained by Calumet County. All errors are the exclusive responsibility of the user.

Calumet County, WI

Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad
- Color 2018
- Red: Band 1
- Green: Band 2
- Blue: Band 3

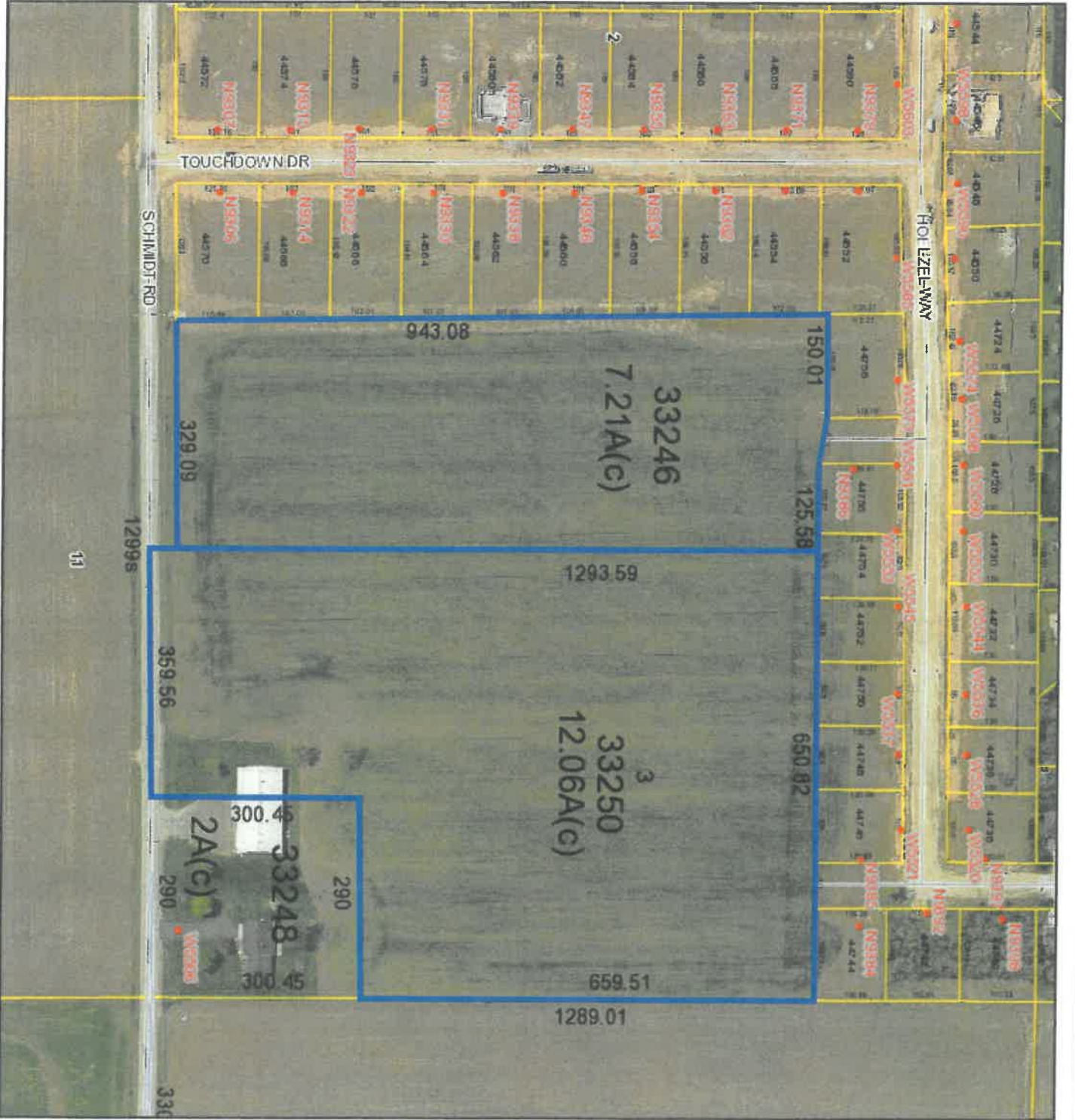


DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author:

Data Project:
10/18/19 12:40 PM

Source:



Zoning Map

Village of Harrison

Calumet & Outagamie Counties

Wisconsin

Legend

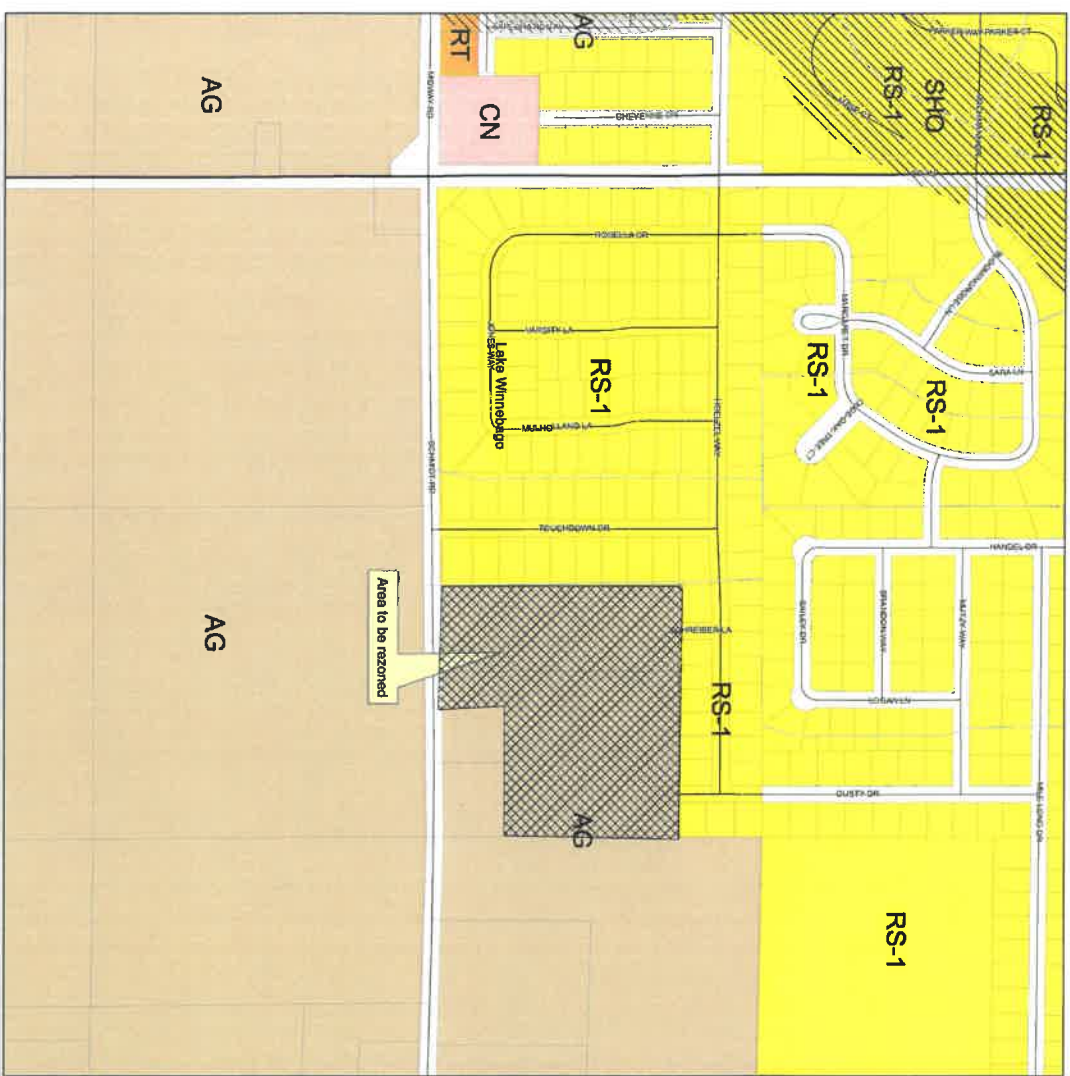
 AG General Agriculture	 RS-1 Single-Family Residential (Suburban)	 Town of Harrison
 RS-2 Single-Family Residential (Traditional)	 RT Two-Family Residential	 Streams
 RM Multiple-Family Residential	 CN Neighborhood Commercial	 County Highway
 COR Office & Retail Commercial	 CC Community Commercial	 State Highway
 BP Business Park	 IM Industrial & Manufacturing	 US Highway
 NC Natural & Conservancy	 MHQ Mobile Home Overlay	 Parks
 PDD Planned Development Overlay	SHO Shoreland Overlay*	
SWC Shoreland-Wetland Overlay*		

* Please note that the SHO & SWD boundaries are subject to change based on determinations of navigable waterways.

This map was created by:
 Village of Harrison
 W6528 Hwy 114
 Harrison, WI 54952
 920-869-1002

Adopted: July 27, 2010
 Effective: November 1, 2010
 Current as of: September 24, 2019

Village of HARRISON
 WHERE OPPORTUNITY LIVES



This map was created using data obtained from Calumet County. The map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not guarantee the accuracy, current status, or completeness of the information contained herein and is not responsible for any mistakes or misinterpretation of this information or its omissions. It is the user's sole responsibility to verify the accuracy of the information. The user agrees to hold the Town of Harrison harmless from and against all claims, damages, and expenses, including attorney's fees, arising from the use of this map. The user agrees to hold the Town of Harrison harmless from and against all claims, damages, and expenses, including attorney's fees, arising from the use of this map. The user agrees to hold the Town of Harrison harmless from and against all claims, damages, and expenses, including attorney's fees, arising from the use of this map. Original recorded source documents located in the county courthouse should be used for legal or survey purposes. Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.

RECEIVED
OCT 08 2019
 HARRISON PLANNING

Certified Survey Map No. _____

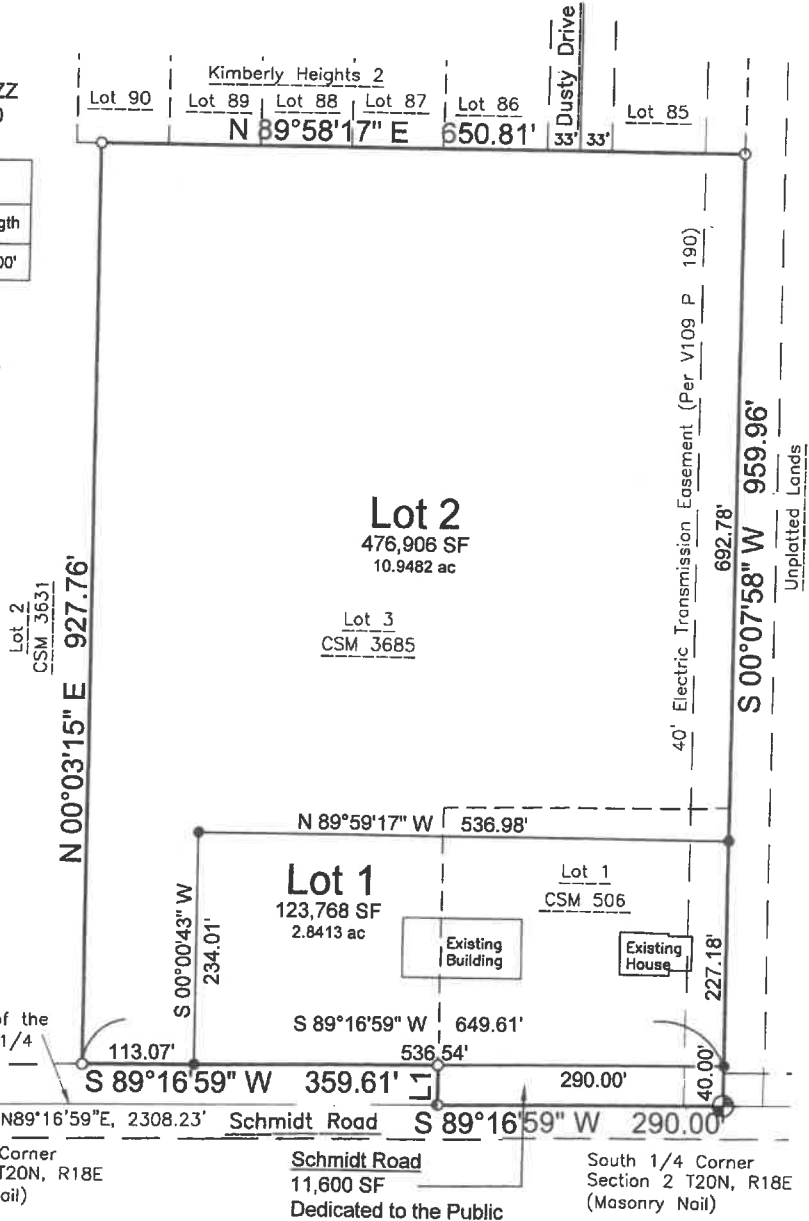
All of Lot 1 of Certified Survey Map 506, and all of Lot 3 of Certified Survey Map 3685 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

Survey for:
 Dercks-Dewitt, LLC
 W857 County Road ZZ
 Kaukauna, WI 54130

LINE TABLE		
Line	Bearing	Length
L1	N 00°07'58" E	40.00'

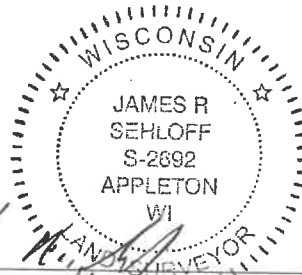
LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- Masonry (PK) Nail SET
- 3/4" Rebar Found
- ⊕ Government Corner



Bearings are referenced to the S/L of the SW 1/4 Section 2 T20N, R18E assumed to bear N89°16'59"E based on the Calumet County Coordinate System

Davel Engineering & Environmental, Inc.
 Civil Engineers and Land Surveyors
 1811 Racine Street
 Menasha, Wisconsin
 Ph. 920-991-1866, Fax 920-830-9595



James R. Sehloff Professional Land Surveyor No. S-2692 Date **8 OCT 2019**

File: 5646CSM.dwg
 Date: 10/08/2019
 Drafted By: jim
 Sheet: 1 of 3

Certified Survey Map No. _____

All of Lot 1 of Certified Survey Map 506, and all of Lot 3 of Certified Survey Map 3685 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Harrison, Calumet County, David L. and Jacquelyn J Weiland Living Trust, the property owners, is hereby approved by the Village Board of the Village of Harrison.

Chairman Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Harrison.

Clerk Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Harrison and Calumet County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

Village Treasurer Date

County Treasurer Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

the property owners of record:	Recording Information:	Parcel Number(s):
David L. and Jacquelyn J Weiland Living Trust	Doc No. 502074	33250
	Doc No. 502075	33248





 James R. Sehloff Professional Land Surveyor No. S-2692 Date 8 OCT 2019

VILLAGE BOARD MEETING

From:

Mark J. Mommaerts, AICP, Planner

VILLAGE OF HARRISON

Meeting Date:

October 29, 2019

Title:

Conditional Use Permit – Bill’s Custom Conveying

Issue:

Should the Village Board approve a Conditional Use Permit for a contractor business and mini-warehousing?

Background and Additional Information:

The applicant is proposing a two-phase development for a property along Hwy 114, between Pigeon Road and Hwy 55, Tax ID 40088. The property is 11.15-acres in size and is zoned General Agricultural [AG]. The property includes 3-acre of wetlands. A wetland crossing is proposed for Phase 1.

Phase 1 is a 10,800-square foot contractor business with offices and indoor storage areas and an 18,000-square foot parking area. The business has 7 employees. Hours of operation are proposed to be 7:00am-5:00pm. Outside storage of excavation equipment (semi trailer, excavator, and dump truck) is proposed. The applicant wishes to start Phase 1 as soon as possible.

Phase 2 of the development includes 2 mini-warehousing buildings. It is unknown when Phase 2 is anticipated to be built.

Basis for Approval: *(from the Zoning Ordinance Section 117-319)*

1. *Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of this chapter. Where there is an existing nonconforming structure, the design standards of the underlying zoning district may be waived by the plan commission and town board. Contractor offices and storage are a conditional use in the AG zoning district.*
2. *Plans. The proposed use conforms to the comprehensive plan and any other officially adopted plan. The Comprehensive Plan identifies commercial land uses along major highways.*
3. *Traffic. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. The proposed use should not negatively affect the traffic on Hwy 55.*
4. *Landscaping and screening. Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in article VI, Access, Parking,*

and Loading and article IX, Landscaping and Screening Standards. There is an existing tree line on the north property line. Additional landscaping may be required to meet buffering requirements.

5. *Neighborhood compatibility. The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust.* There will be limited construction activity on site as the business operation typically occurs off site. Majority of materials and equipment to be stored inside. Properties ¼ mile away have similar uses.
6. *Services. Adequate facilities, access roads, drainage and/or necessary services have been or will be provided.* There is no sanitary sewer or water service in this area. Roadway access must be granted by WisDOT.

Findings of Fact:

- Property owners within 300-feet of the subject property have been notified via first-class mail.

Recommended Action:

The Plan Commission will meet prior to the Village Board to discuss and act on the Conditional Use Permit. The Plan Commission decision will be presented at the meeting.

Staff recommends approval the Conditional Use Permit with the following conditions:

1. All provisions of the zoning ordinance and all other Village ordinances shall be met.
2. Any comments or revisions from Village staff during the site plan review process shall be incorporated as conditions of approval.
3. All exterior parking area lighting shall be direct cut-off fixtures to reduce/eliminate any glare.
4. All equipment, materials, and other items related to the business shall be stored inside. No outside storage of business related items shall be allowed. Vehicles stored outside of the building shall be screened from view from the roadway and adjacent properties by a fence, plantings, or a combination thereof.
5. All required permits shall be obtained prior to construction and copies provided to the Village.
6. A copy of WI Dept. of Transportation access permit shall be submitted to the Village.
7. A copy of the WI Dept. of Natural Resources wetland permit shall be submitted to the Village.
8. A copy of the Calumet County Sanitary Permit shall be submitted to the Village.
9. Zoning permits, which meet the requirements of the zoning ordinance, shall be obtained for all building construction.
10. A stormwater management and erosion control permit shall be reviewed and approved by the Village.
11. The Building Inspector shall be consulted regarding building permits, including state permits if needed.
12. All signage shall require a separate permit and shall meet the requirements of the zoning ordinance.

13. Parking and loading areas of Phase II shall be screened from adjacent properties either through a solid fence (wood, vinyl or other similar aesthetic material) or plantings.
 14. Failure to comply with these conditions may cause for the Conditional Use Permit to be revoked.
-

Attachments:

- Aerial Map
- Project Narrative
- Plan Set

Calumet County, WI

Legend

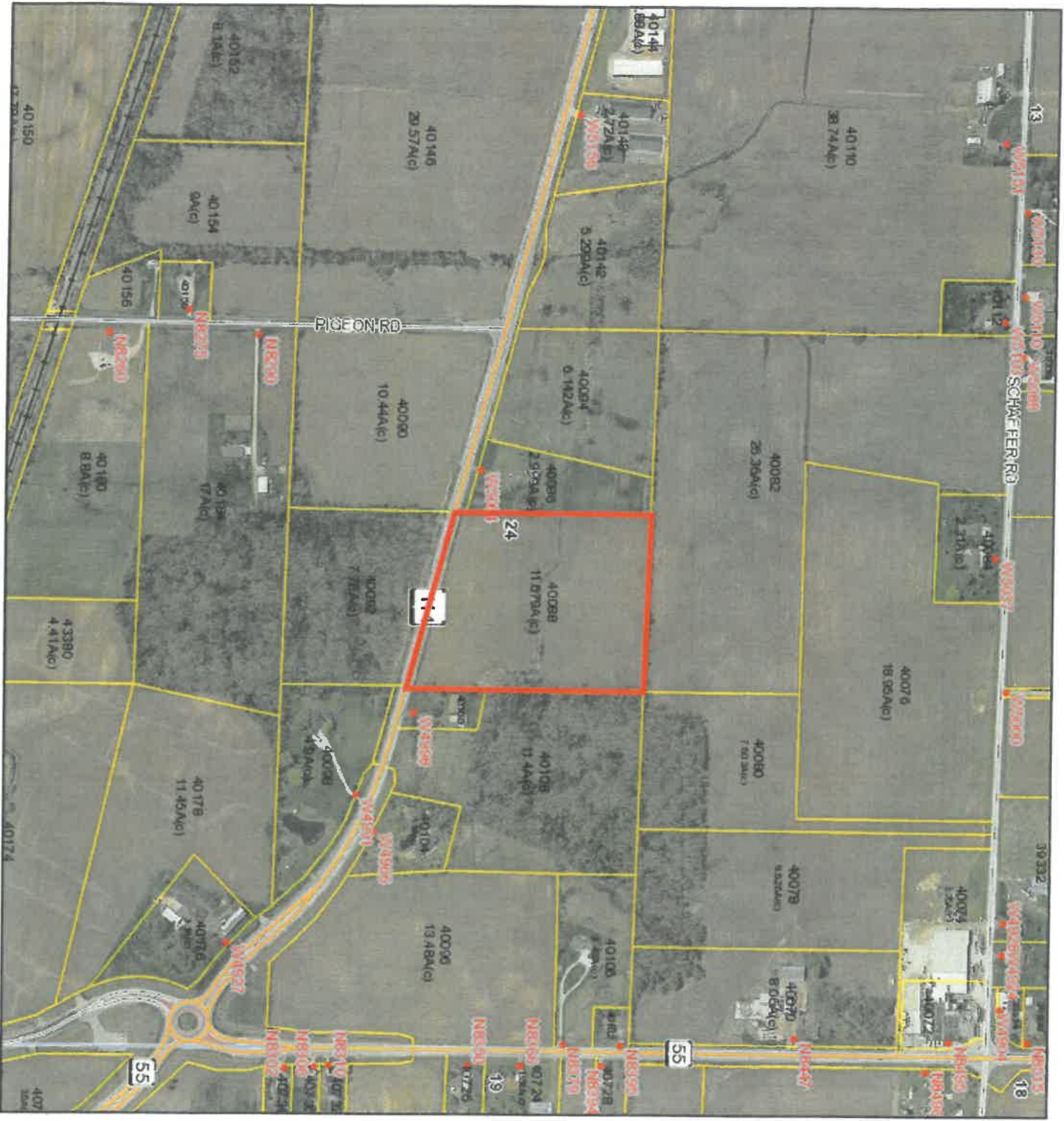
- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Routes
- Municipal Streets
- Trail
- Railroad

Color 2018
 Red: Band 1
 Green: Band 2
 Blue: Band 3



DISCLAIMER: This map is not guaranteed to be accurate, correct, or complete and the conclusions drawn are the responsibility of the user.

Author:	
Data Provider:	10/22/19 1:49 PM
Sources:	



Larson Engineering, Inc.
2801 E. Enterprise Avenue, Suite 200
Appleton, WI 54913-7889
920.734.9867 Fax: 920.734.9880
www.larsonengr.com



October 3, 2019

Mr. Mark Mommaerts, AICP, Planner
Village of Harrison
W5298 State Road 114
Harrison, WI 54952

Re: Bill's Custom Conveying
Conditional Use Permit and Site Plan Application
LEI Project No: 32190016.000

Dear Mr. Mommaerts,

Please find enclosed the applications and submittal documents for the Conditional Use Permit, Site Plan Application and Erosion Control and Stormwater Management Application for Bill's Custom Conveying located just east of the Village Hall on Highway 114.

The proposed building is an industrial shop with 7 employees. The hours of operation are 7 am to 5 pm. The only equipment that will be stored outside is the excavation equipment (semi tractor and trailer, excavator and a dump truck.) A floor plan and building elevations is included with the submittal. It will be a metal building, and will be either beige or gray in color.

The proposed project includes two phases of proposed development. The first phase is a new shop and storage building for Bill's Custom Conveying. This phase of the project includes the construction of a new 10,800 square foot building with an associated 18,000 square foot parking/ vehicular circulation area.

Phase 2 of the proposed development (shown as "future" on the provided plans) includes the construction of two mini-storage facilities including the associated access along State Road 114, however, only the phase 1 developments are being submitted for review at this time. The stormwater management devices are sized for the future development shown.

The project site is approximately 11.15 acres in total, and includes over 3 acres of wetland area. The primary wetland area bisects the site requiring the filling of a small portion to construct a driveway to access the northern portion of the property. Currently a majority of the property is being farmed with the farmer typically driving across the wet area at the narrowest point (the same location we are proposing to construct the new driveway). There is a portion of the site that is unable to be farmed due to the wetness, but a significant portion of the delineated wetlands on the property are still able to be farmed. Wetland fill permits have been submitted to the WDNR for their approval. We will forward the permit to the Village when it is received.

Village of Harrison
Conditional Use Permit and Site Plan Application
October 3, 2019

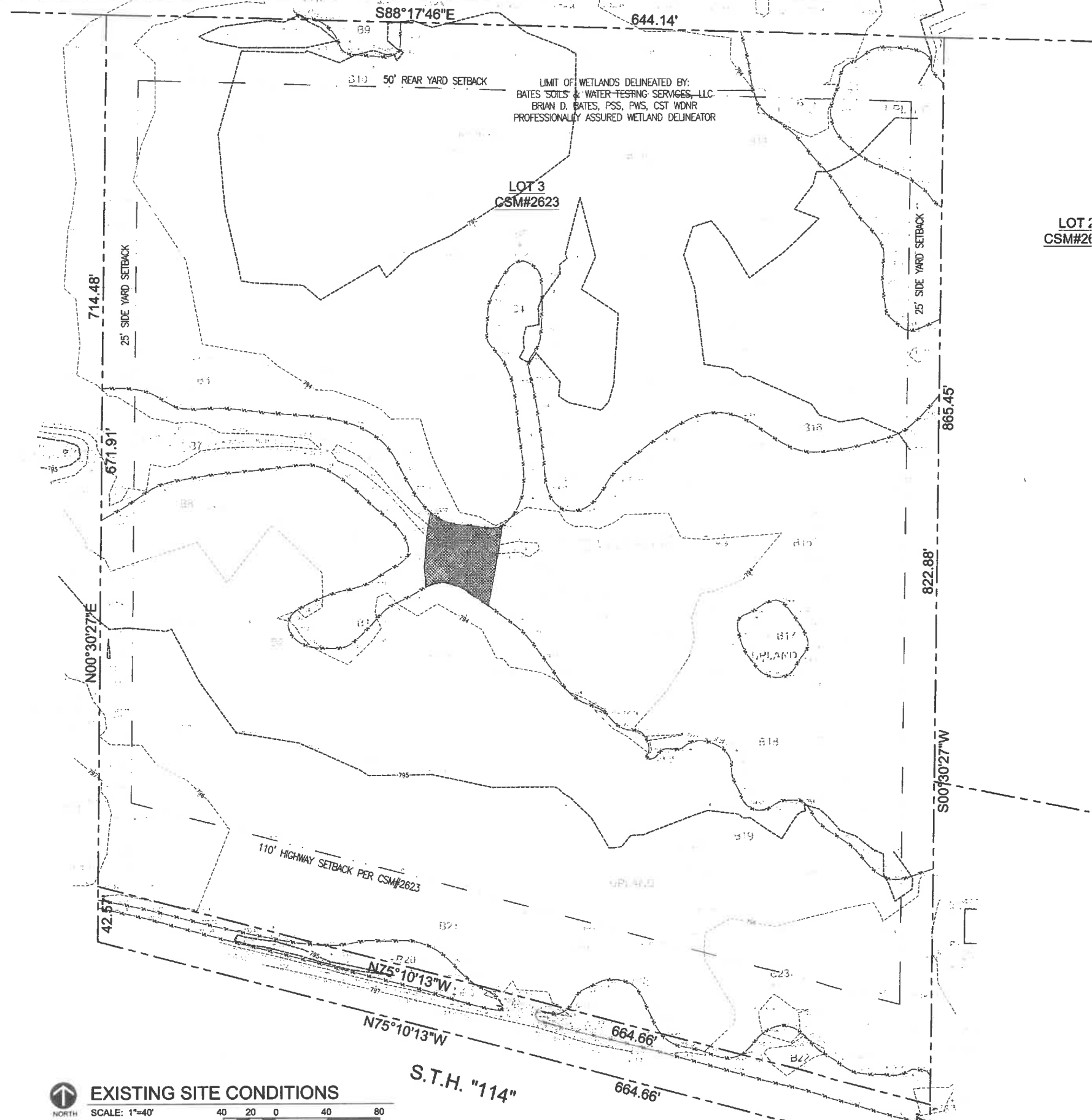
If you have any additional questions or concerns please do not hesitate to contact me.

Sincerely,
Larson Engineering, Inc.

A handwritten signature in black ink, appearing to read 'S. L. McClaine', written in a cursive style.

Sandra L. McClaine, P.E.
Project Manager

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION



PROPERTY DESCRIPTION

LOT 3 OF CERTIFIED SURVEY MAP NUMBER 2623 AS RECORDED IN VOLUME 20 OF CERTIFIED SURVEY MAPS ON PAGE 350 AS DOCUMENT NUMBER 368422, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN. TAX PARCEL ID: 40068

NORTH IS REFERENCED TO THOSE BEARINGS SHOWN ON CERTIFIED SURVEY MAP NUMBER 2623 AS RECORDED IN VOLUME 20 OF CERTIFIED SURVEY MAPS ON PAGE 350 AS DOCUMENT NUMBER 368422, LOCATED IN THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

LEGEND:

- = BERTSEN MONUMENT FOUND
- = 3/4" X 18" SOLID ROUND #6 IRON REBAR SET, WEIGHING 1.502 LBS. PER LIN. FT.
- = 3/4" SOLID ROUND IRON REBAR FOUND
- = 1" O.D. ROUND IRON PIPE FOUND
- = P.I.C. MAIL SET
- = NAIL FOUND
- = RAILROAD SPIKE FOUND
- = CULVERT
- = POWER POLE
- = PRIVATE LIGHT POLE
- = DOWN GUY
- = ELECTRICAL PEDESTAL
- = COMMUNICATION PEDESTAL
- = UNDERGROUND GAS WARRING POST
- () = RECORDED AS BEARING/DISTANCE
- OE = OVERHEAD ELECTRICAL
- OEC = OVERHEAD ELECTRICAL & COMMUNICATIONS
- UC = UNDERGROUND COMMUNICATIONS

- ▨ LIMIT OF WETLANDS AS DELINEATED BY BATES SOIL & WATER TESTING SERVICES, LLC. REPORT DATED: JUNE 21, 2019
- WETLAND TO BE FILLED PER WDNR PERMIT #*****

LOT 2
CSM#2622

EXISTING SITE CONDITIONS

SCALE: 1"=40'



CAROW LAND SURVEYING CO., INC.

615 N. LYNDALE DRIVE
APPLETON, WISCONSIN 54912-1297
PHONE: (920) 731-4168 FAX: (920) 731-5673



Know what's below.
Call before you dig.

© 2019 Larson Engineering, Inc. All rights reserved.

Larson Engineering, Inc.
2801 E. Enterprise Avenue, Suite 200
Appleton, WI 54913-9659
Phone: 920.734.9667
www.larsonengr.com



CLIENT:
BILL'S CUSTOM CONVEYING

W5774 Turnberry Drive
Menasha WI 54952
920-858-3991
ATTN: Bill and Dierdra Porretto

BILL'S CUSTOM CONVEYING

HWY 114
Harrison, WI 54129

SEAL

Date:
Design Firm#

Revision Schedule

No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190016.000
Drawn by: SLM
Checked by: SEK

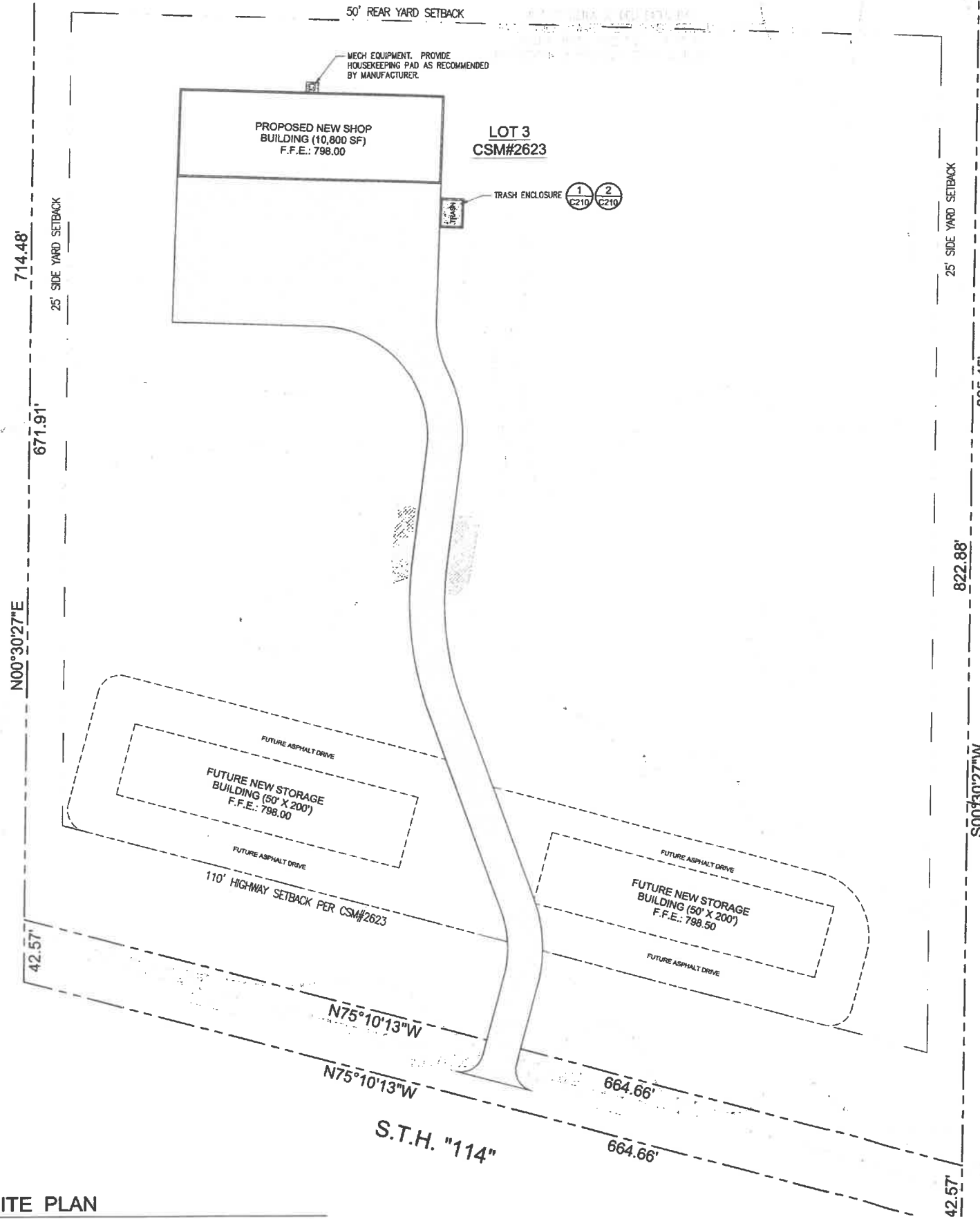
Sheet Title:
EXISTING SITE CONDITIONS

C100

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION



SITE NOTES:

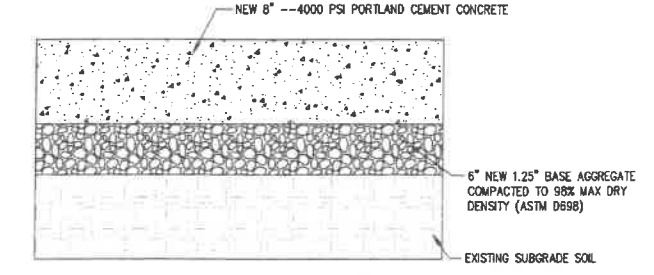
TOTAL SITE AREA: 481,120 SF (11.05 ACRES)
 TOTAL DISTURBED AREA: 129,108 SF (2.98 ACRES)
 TOTAL AREA EXISTING PAVEMENT: 0 SF (0 ACRES)
 TOTAL AREA EXISTING BUILDINGS: 0 SF (0 ACRES)
 TOTAL EXISTING IMPERVIOUS: 0 SF (0 ACRES)—00%
 TOTAL PAVEMENT (GRAVEL) FOLLOWING DEVELOPMENT: 31,352 SF (0.72 ACRES)
 TOTAL BUILDING AREA FOLLOWING DEVELOPMENT: 10,800 SF (0.25 ACRES)
 TOTAL IMPERVIOUS FOLLOWING DEVELOPMENT: 42,152 SF (0.97 ACRES) 8.8 %
 FUTURE TOTAL PAVEMENT (GRAVEL) FOLLOWING DEVELOPMENT: 65,864 SF (1.5 ACRES)
 FUTURE TOTAL BUILDING AREA FOLLOWING DEVELOPMENT: 30,800 SF (0.70 ACRES)
 FUTURE TOTAL IMPERVIOUS FOLLOWING DEVELOPMENT: 96,664 SF (2.22 ACRES) 20 %

*NOTE: FUTURE ADDITIONS ARE SHOWN FOR REFERENCE ONLY, AND ARE NOT INCLUDED IN THE SCOPE OF WORK FOR THIS PROJECT.

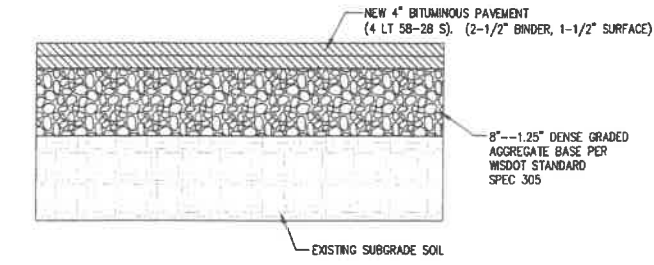
LOT 2 CSM#2623

SYMBOL LEGEND

- NEW ASPHALT DRIVE (2/C200)
- NEW CONCRETE PAVEMENT (1/C200)



CONCRETE CONSTRUCTION DETAIL
NOT TO SCALE



HEAVY DUTY BITUMINOUS CONSTRUCTION DETAIL
NOT TO SCALE

Larson Engineering, Inc.
 2801 E. Enterprise Avenue, Suite 200
 Appleton, WI 54913-9558
 Phone: 920.734.9967
 www.larsonengr.com

BILL'S CUSTOM CONVEYING
 CLIENT:
 W5774 Turnberry Drive
 Menasha WI 54952
 920-858-3991
 ATTN: Bill and Dierdra Porretto

BILL'S CUSTOM CONVEYING
 HWY 114
 Harrison, WI 54129

SEAL

Date:
Design Firm#

Revision Schedule		
No.	Date	Description
1	09/3/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190018.000
 Drawn by: SJM
 Checked by: SEK
 Sheet Title:

SITE DEVELOPMENT PLAN

C200

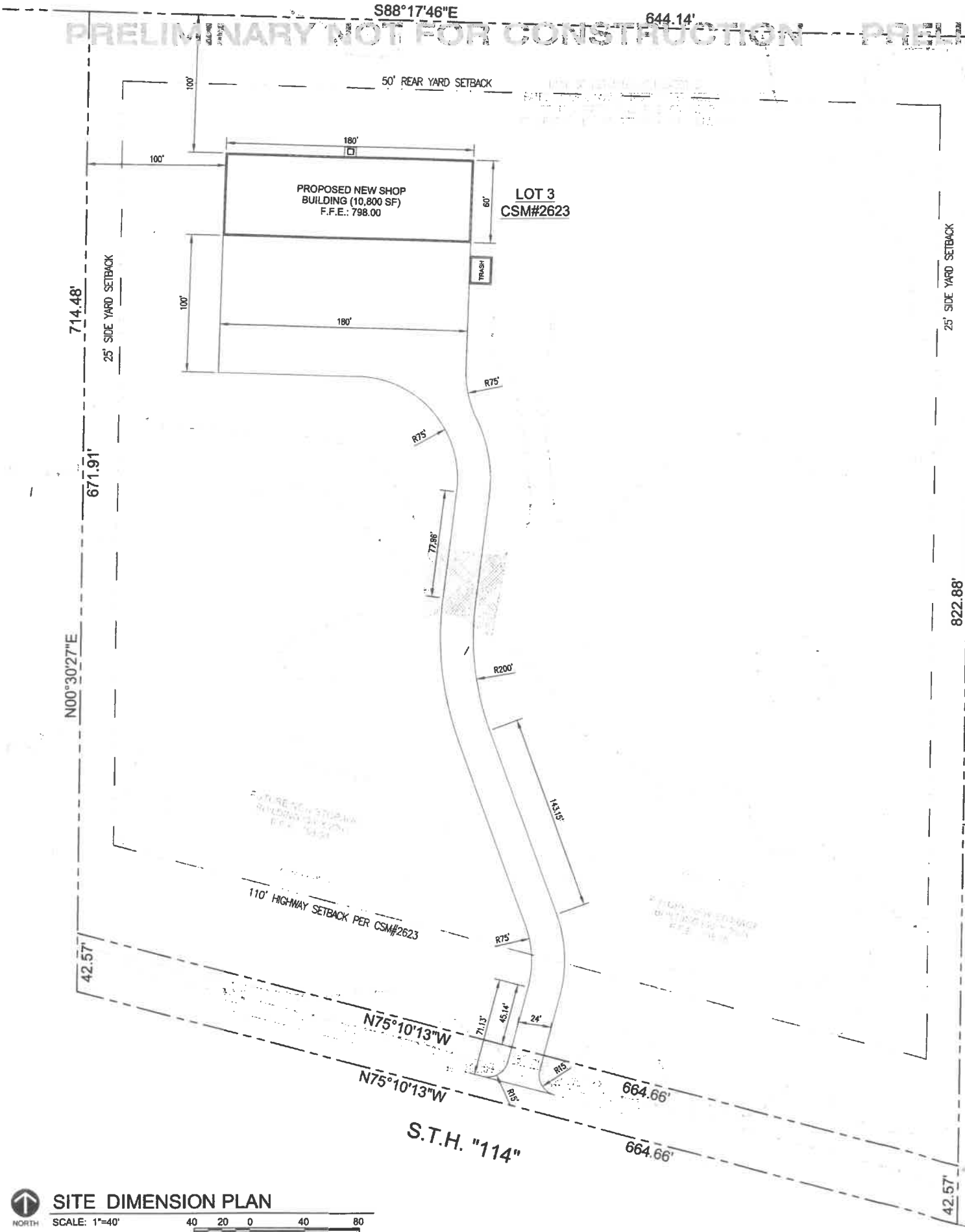


Know what's below.
 Call before you dig.

© 2019 Larson Engineering, Inc. All rights reserved.

PRELIMINARY NOT FOR CONSTRUCTION

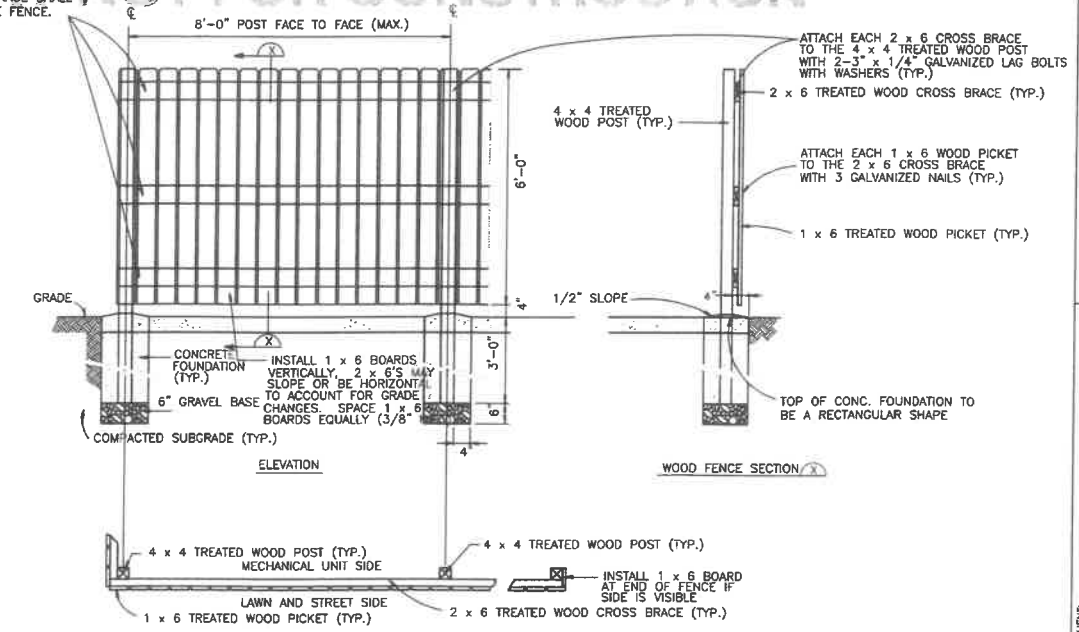
PRELIMINARY NOT FOR CONSTRUCTION



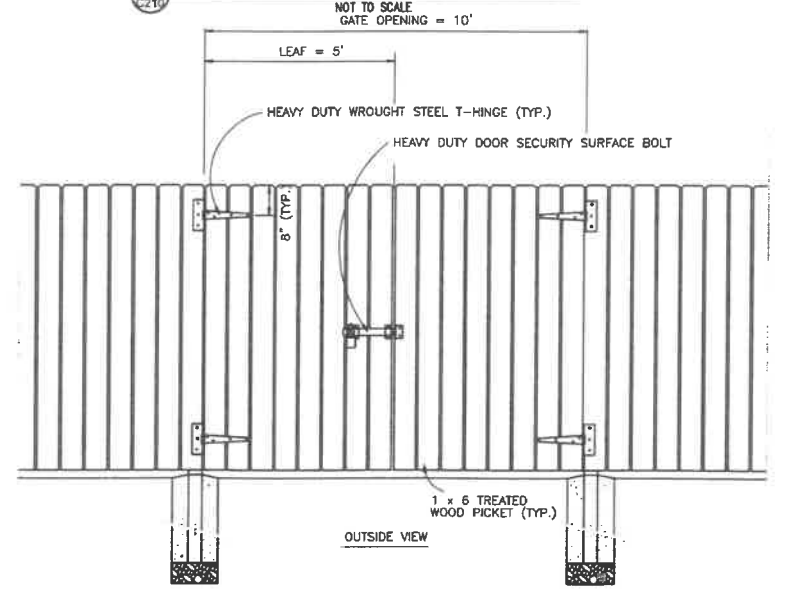
SITE DIMENSION PLAN
 NORTH SCALE: 1"=40'
 40 20 0 40 80

PRELIMINARY NOT FOR CONSTRUCTION

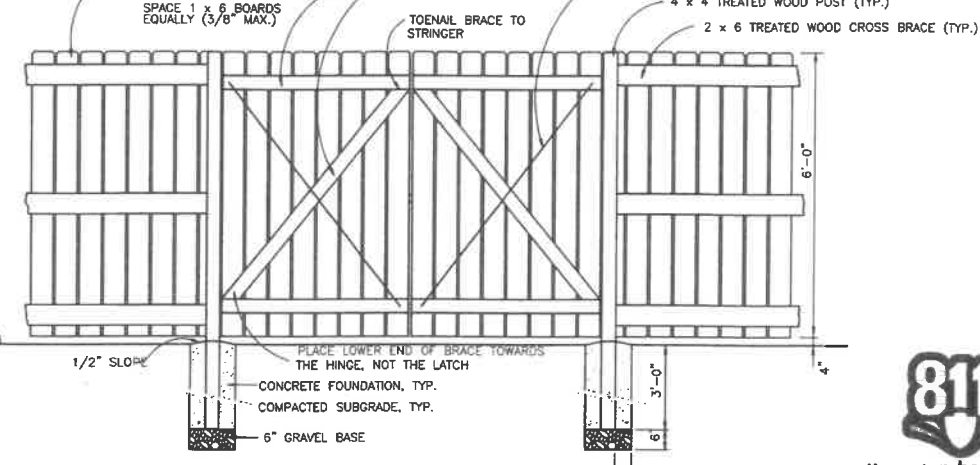
THE TOP AND BOTTOM WOOD CROSS BRACES SHALL BE PLACED 6" FROM THE END OF THE WOOD PICKETS. THE MIDDLE BRACE SHALL BE CENTERED WITHIN THE FENCE.



FENCE DETAIL
 NOT TO SCALE



GATE DETAIL
 NOT TO SCALE



GATE DETAIL
 NOT TO SCALE

Larson Engineering, Inc.
 2801 E. Enterprise Avenue, Suite 200
 Appleton, WI 54913-8659
 Phone: 920.734.8867
 www.larsoneng.com

BILL'S CUSTOM CONVEYING
 W5774 Turnberry Drive
 Menasha WI 54952
 920-858-3991
 ATTN: Bill and Dierdra Porretto

BILL'S CUSTOM CONVEYING
 HWY 114
 Harrison, WI 54129

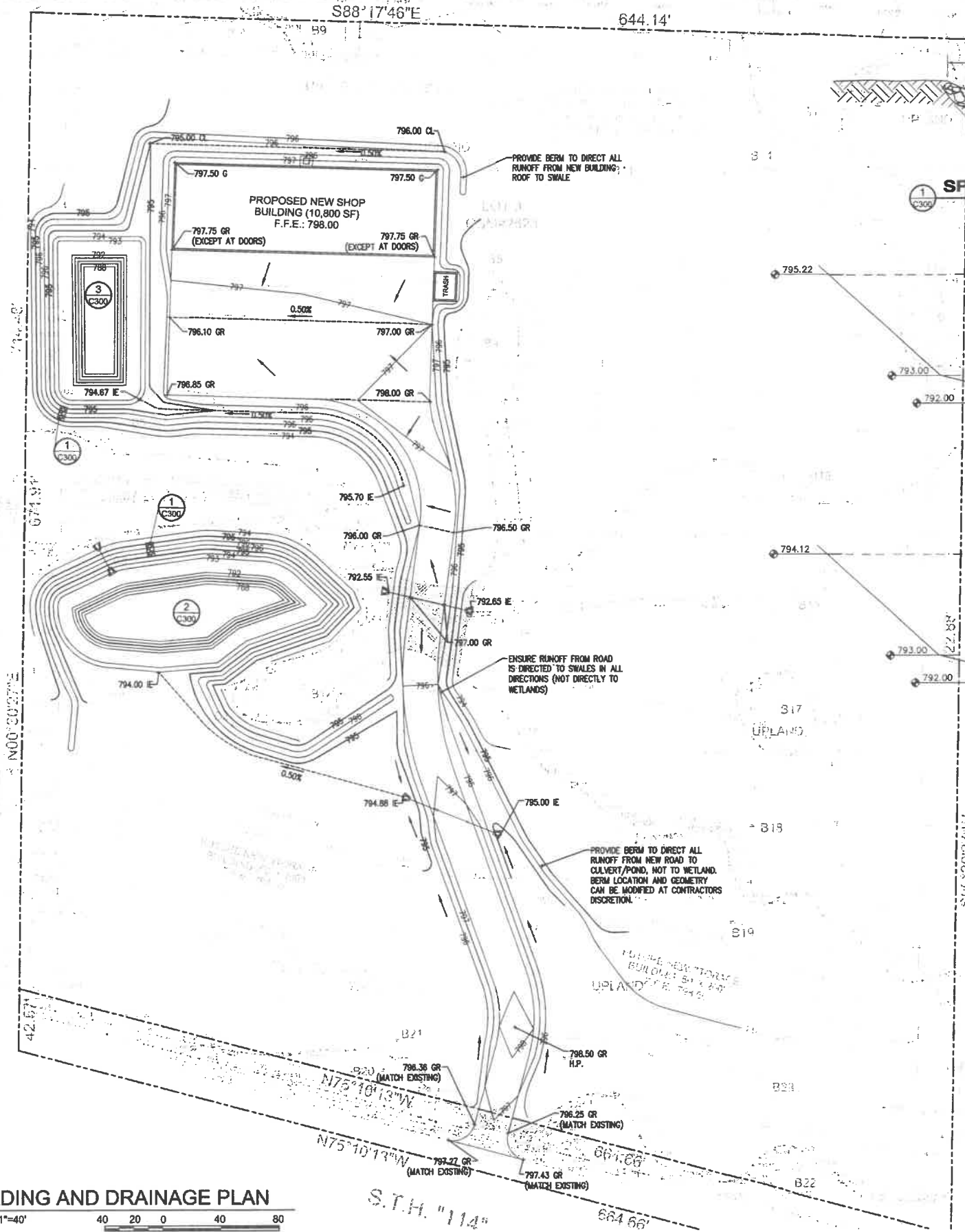
Revision Schedule		
No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190016.000
 Drawn by: SLM
 Checked by: SEK
 Sheet Title: **SITE DIMENSION PLAN**

811
 Know what's below.
 Call before you dig.
 © 2019 Larson Engineering, Inc. All rights reserved.

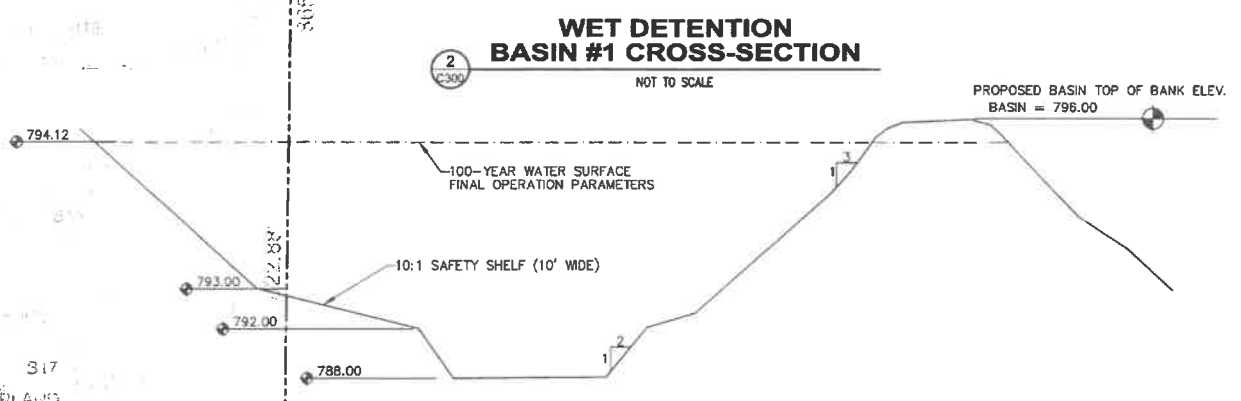
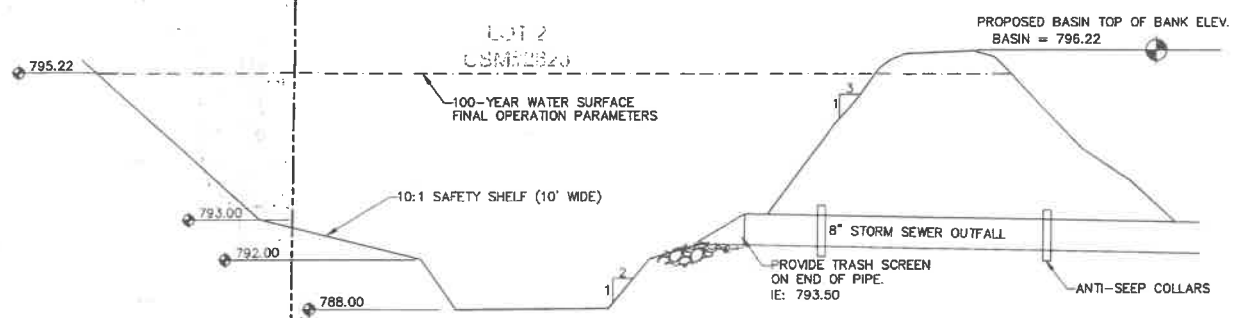
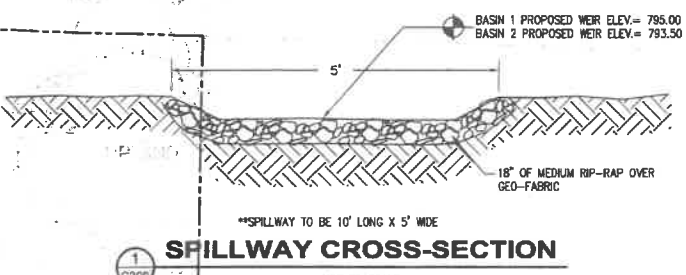
C210

PRELIMINARY NOT FOR CONSTRUCTION



LEGEND

*** C	CONCRETE ELEVATION
*** P	ASPHALT PAVEMENT ELEVATION
*** G	GROUND (GRASS/LANDSCAPING/ETC...) ELEVATION
*** TC	TOP CURB/CONCRETE
*** EP	EDGE PAVEMENT
*** FL	FLOWLINE CURB
*** GR	GRAVEL
*** CL	SWALE CENTERLINE



STORMWATER NOTES

-TOTAL CURRENT DISTURBED AREA: 3 ACRES

-AREAS (EXISTING):
 IMPERVIOUS: 0 SF (0 ACRES) (0%)
 PERVIOUS: 481,120 SF (11.05 ACRES)

-AREAS (PROPOSED):
 IMPERVIOUS: 42,152 SF (0.97 ACRES) (8.8%)
 PERVIOUS: 438,968 SF (7.72 ACRES)

-AREAS (TOTAL FUTURE):
 IMPERVIOUS: 96,664 SF (2.22 ACRES) (20%)
 PERVIOUS: 384,456 SF (8.5 ACRES)

**NOTE: ALL STORM WATER DEVICES ARE SIZED FOR ALL FUTURE DEVELOPMENT SHOWN WITH TOTAL ULTIMATE IMPERVIOUS AREAS AS SHOWN ABOVE.

STORMWATER FLOW EXISTING:
 1-YEAR: 5.53 CFS
 2-YEAR: 7.57 CFS
 10-YEAR: 17.84 CFS
 100-YEAR: 30.66 CFS

STORMWATER FLOW PROPOSED (FOLLOWING DETENTION):
 1-YEAR: 5.48 CFS
 2-YEAR: 7.40 CFS
 10-YEAR: 16.19 CFS
 100-YEAR: 26.99 CFS

TSS REDUCTION:
 80% REDUCTION REQUIRED
 TSS REDUCTION PROVIDED: 89.45%

WET DETENTION BASIN #1 OPERATION PARAMETERS:
 1-YEAR OUTFLOWS: 0.72 CFS
 PEAK WATER SURFACE: 794.09
 2-YEAR OUTFLOWS: 0.84 CFS
 PEAK WATER SURFACE: 794.22
 10-YEAR OUTFLOWS: 1.61 CFS
 PEAK WATER SURFACE: 794.75
 100-YEAR OUTFLOWS: 3.25 CFS
 PEAK WATER SURFACE: 795.22

WET DETENTION BASIN #2 OPERATION PARAMETERS:
 1-YEAR OUTFLOWS: 1.56 CFS
 PEAK WATER SURFACE: 793.75
 2-YEAR OUTFLOWS: 1.99 CFS
 PEAK WATER SURFACE: 793.79
 10-YEAR OUTFLOWS: 4.05 CFS
 PEAK WATER SURFACE: 793.96
 100-YEAR OUTFLOWS: 6.65 CFS
 PEAK WATER SURFACE: 794.12

Larson Engineering, Inc.
 2801 E. Enterprise Avenue, Suite 200
 Appleton, WI 54911-8559
 Phone: 920.734.8867
 www.larsonengr.com

BILL'S CUSTOM CONVEYING
 CLIENT:
 W5774 Turnberry Drive
 Menasha WI 54952
 920-858-3991
 ATTN: Bill and Dierdra Porretto

BILL'S CUSTOM CONVEYING
 HWY 114
 Harrison, WI 54129

Revision Schedule

No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190016.000
 Drawn by: SJM
 Checked by: SBK

GRADING PLAN

C300



GRADING AND DRAINAGE PLAN
 NORTH SCALE: 1"=40'
 40 20 0 40 80

SYMBOL LEGEND

- NEW GAS SERVICE (PIPE MATERIAL AS REQUIRED BY SERVICE PROVIDER)
- NEW SANITARY SEWER (PVC-SDR 35 UNLESS OTHERWISE NOTED)
- NEW WATER LATERAL (PVC-SDR 18 UNLESS OTHERWISE NOTED)
- NEW STORM SEWER (HDPE OR PVC-SDR 35 UNLESS OTHERWISE NOTED)
- NEW SEWER MANHOLE OR CATCH BASIN
- NEW SEWER CLEANOUT
- NEW CURB INLET
- NEW FLARED END SECTION
- NEW GATE VALVE
- NEW FIRE HYDRANT
- IRRIGATION SLEEVES. SIZE AND QUANTITY BY DESIGN-BUILD IRRIGATION CONTRACTOR--TO BE INSTALLED BY SITE CONTRACTOR

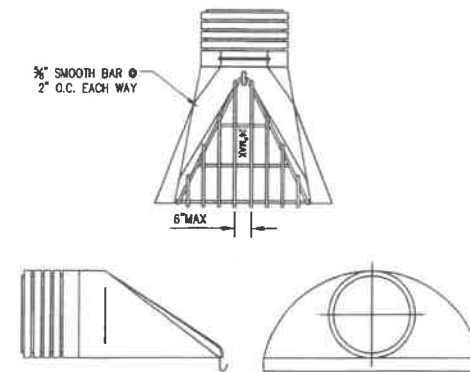
UTILITY NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM OR COORDINATE ALL NECESSARY UTILITY CONNECTIONS AND RELOCATIONS FROM EXISTING UTILITY LOCATIONS TO THE PROPOSED BUILDING, AS WELL AS TO ALL ON-SITE AMENITIES. THESE CONNECTIONS INCLUDE BUT ARE NOT LIMITED TO WATER, SANITARY SEWER, CABLE TV, TELEPHONE, GAS, ELECTRIC, SITE LIGHTING, ETC.
2. ALL SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. UTILITY CONNECTIONS (SANITARY SEWER, WATERMAIN, AND STORM SEWER).
3. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE ENGINEERING DEPARTMENTS AND UTILITY COMPANIES 72 HOURS PRIOR TO CONSTRUCTION. ALL NECESSARY PRECAUTIONS SHALL BE MADE TO AVOID DAMAGE TO EXISTING UTILITIES.
4. ABANDONED UTILITY LINES SHALL BE FILLED WITH BLOWN SAND OR FLOWABLE FILL PRIOR TO CAPPING, OR THEY SHALL BE REMOVED COMPLETELY. ABANDONED LINES WITHIN THE RIGHT-OF-WAY SHALL BE ABANDONED IN ACCORDANCE WITH TOWN OF ALGOMA SPECIFICATIONS.
5. INSTALL TRACER WIRE WITH ALL NON-METALLIC PIPING WITH ADEQUATE TERMINATION AT CLEANOUTS, RISERS, AND VALVE BOXES.
6. ALL SANITARY SEWER AND STORM SEWER LATERALS SHALL BE PROVIDED WITH 3M SCOTCHMARK MODEL 1404-XR WASTEWATER AND 1408-XR MARKERBALLS OR EQUAL TO PROVIDE LOCATION OF THE SANITARY SEWER AND STORM LATERAL. ONE BALL SHALL BE PROVIDED AT THE CONNECTION TO THE MAIN, ONE BALL 2' OFF THE ROW INTO THE ROW, AND ONE BALL AT ALL HORIZONTAL AND VERTICAL BENDS. MAXIMUM DEPTH OF BURY OF THE MARKER BALL IS 5 FEET.
7. MAINTAIN MINIMUM 6" COVER OVER ALL WATERMAIN PIPING.

STORM SEWER SIZING DATA

PIPE 1:
 5,000 SF LAWN @ 104 SF/GPM + 5,000 SF ROOF @ 26 SF/GPM + 15,000 SF PVMT @ 32.5 SF/GPM = 701 GPM (1.6 CFS)
 **CAPACITY OF 18" PIPE @ 0.20% = 5.09 CFS (VELOCITY = 2.88 FT/S)

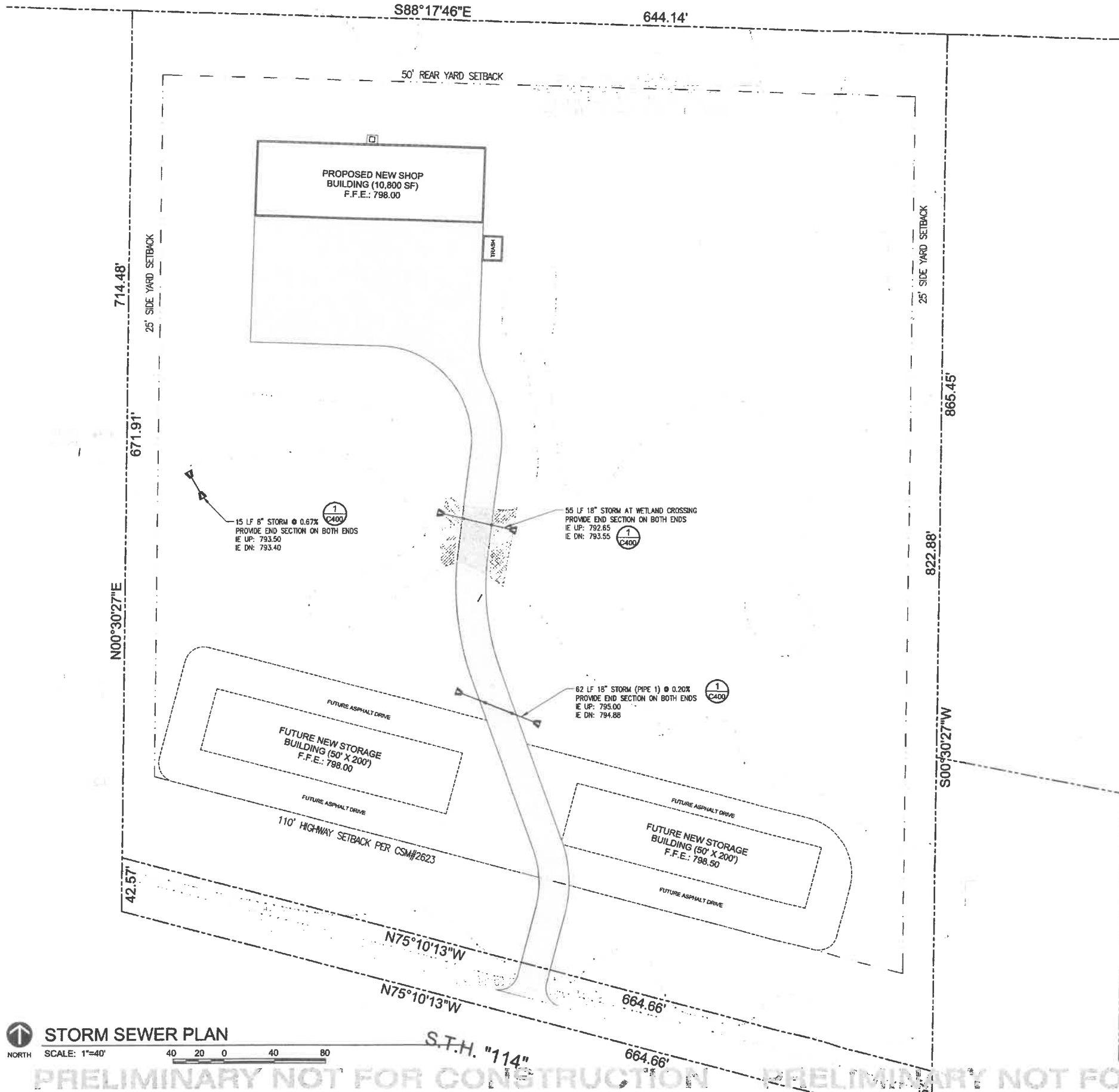
**STORM SEWER PEAK FLOW CALCULATION BASED ON SPS 382.36 (5)
 ROOFS=26 SF/GPM
 PAVEMENT= 32.5 SF/GPM
 LAWN=104 SF/GPM



PROVIDE 3 CLIPS TO FASTEN TRASH GUARD TO F.E.S.
 HOT DIP GALVANIZE AFTER FABRICATION.

FLARED END SECTION DETAIL

NOT TO SCALE



STORM SEWER PLAN
 SCALE: 1"=40'
 NORTH

Larson Engineering, Inc.
 2801 E. Enterprise Avenue, Suite 200
 Appleton, WI 54913-8659
 Phone: 920.734.8967
 www.larsonengr.com

BILL'S CUSTOM CONVEYING
 W5774 Turnberry Drive
 Menasha WI 54952
 920-858-3991
 ATTN: Bill and Dierdra Porretto

BILL'S CUSTOM CONVEYING
 HWY 114
 Harrison, WI 54129

Date:
 Design Firm:

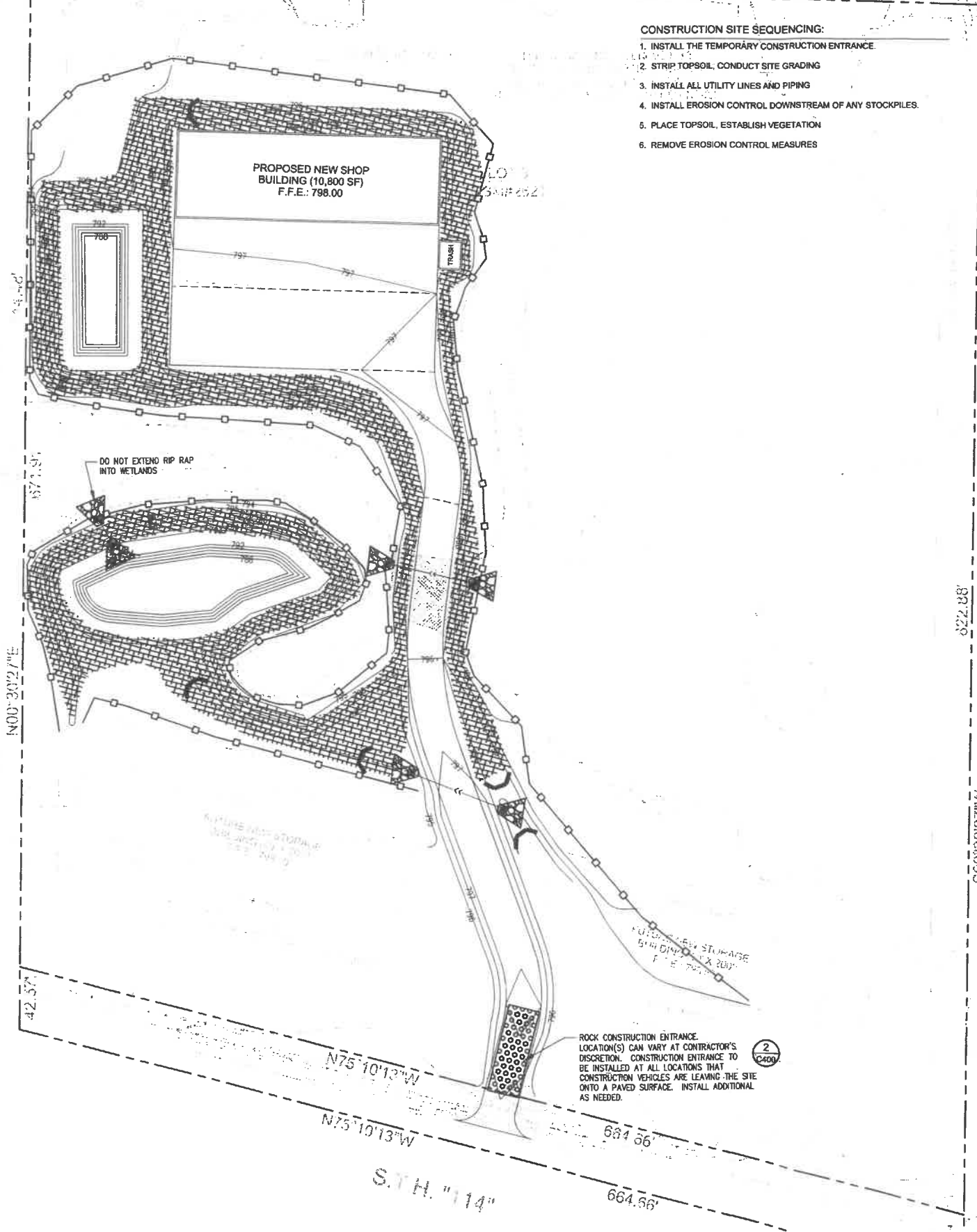
Revision Schedule		
No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190016.000
 Drawn by: SJM
 Checked by: SEK
 Sheet Title:
SITE UTILITY PLAN

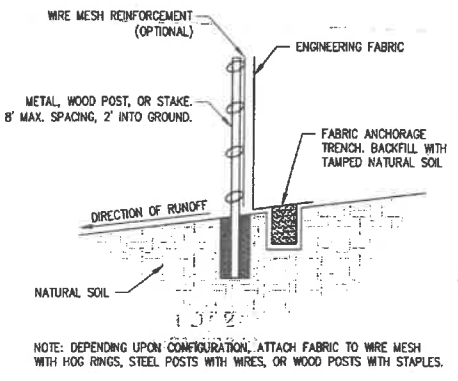
811
 Know what's below.
 Call before you dig.

C400

© 2019 Larson Engineering, Inc. All rights reserved.



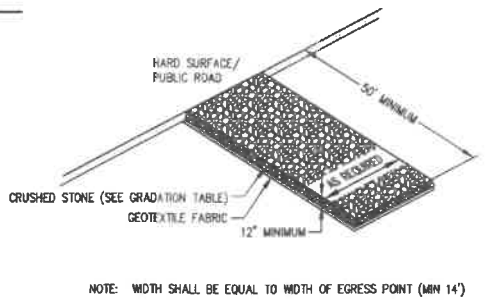
- CONSTRUCTION SITE SEQUENCING:**
1. INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP TOPSOIL, CONDUCT SITE GRADING.
 3. INSTALL ALL UTILITY LINES AND PIPING.
 4. INSTALL EROSION CONTROL DOWNSTREAM OF ANY STOCKPILES.
 5. PLACE TOPSOIL, ESTABLISH VEGETATION.
 6. REMOVE EROSION CONTROL MEASURES.



SILT FENCE INSTALLATION DETAIL
NOT TO SCALE

SEIVE SIZE	PERCENT PASSING
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5

- SYMBOL LEGEND**
- INLET PROTECTION
 - TRACKING MAT (PROVIDE AT ALL ENTRANCES AND EXITS FROM THE CONSTRUCTION SITE ONTO A PAVED SURFACE.) (2/C400)
 - EROSION MATTING (INSTALL ON ALL SLOPES 4:1 OR STEEPER) (3/C501)
 - SEDIMENT LOGS (2/C501)
 - SILT FENCE (1/C400)
 - RIP RAP (1/C501)



ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE

EROSION CONTROL NOTES

1. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
2. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All erosion control devices shall be installed in compliance with all WDNR Technical Standards.
3. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
4. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
5. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
6. All exposed soil areas must have temporary protection cover according to the following:

Type of Slope	Time (Maximum time an area can remain open when the area is not actively being worked)
Slopes steeper than 3:1	within 7 days
Slopes between 10:1 and 3:1	within 14 days
Slopes flatter than 10:1	within 21 days

These areas include constructed storm water management pond side slopes, and any exposed soil areas with a positive slope to a storm water conveyance system, such as a curb and gutter system, storm sewer inlet, temporary or permanent drainage ditch, or other natural or man made systems that discharge to a surface water.
7. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
8. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be protected per the appropriate detail.
9. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
10. All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access.
11. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
12. All soils tracked onto pavement shall be removed daily.
13. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
14. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
15. Restore all disturbed turf areas with 6" topsoil and seed.
 - a) Provide 22-5-10 fertilizer, applied at a rate of 350 pounds per acre (or as recommended by manufacturer)
 - b) Seed should be spread at a rate of 5-7 lbs./1000 sq feet

Larson Engineering, Inc.
2801 E. Enterprise Avenue, Suite 200
Appleton, WI 54914-8559
Phone: 920.734.9887
www.larsonengr.com

CLIENT:
BILL'S CUSTOM CONVEYING
W5774 Turnberry Drive
Menasha WI 54952
920-858-3991
ATTN: Bill and Dierdra Porretto

BILL'S CUSTOM CONVEYING
HWY 114
Harrison, WI 54129

SEAL:
Date: Design Firm#

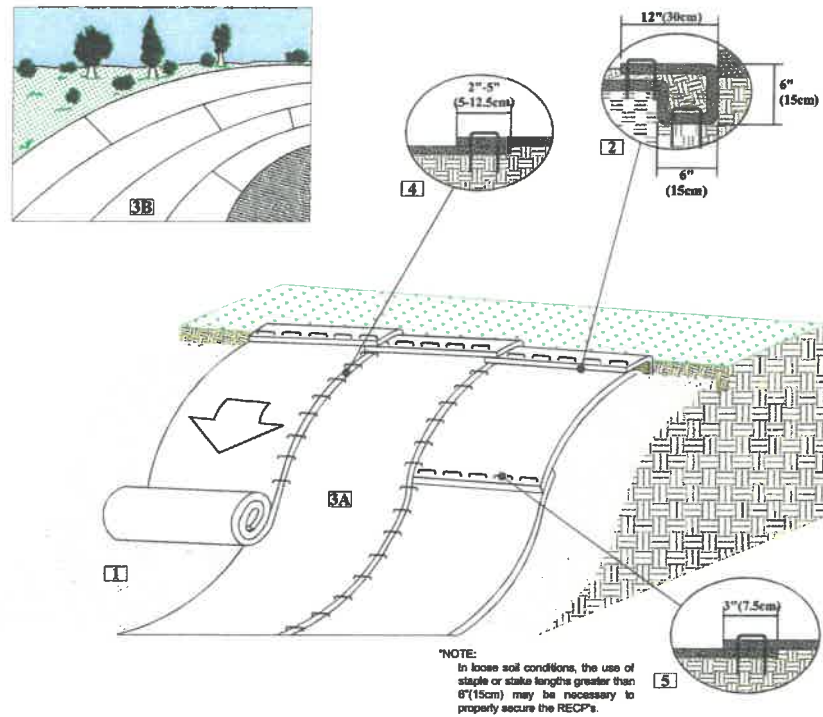
Revision Schedule

No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 20190016.000
Drawn by: SJM
Checked by: SKK
Sheet Title:
EROSION CONTROL PLAN

C500

811
Know what's below.
Call before you dig.
© 2019 Larson Engineering, Inc. All rights reserved.

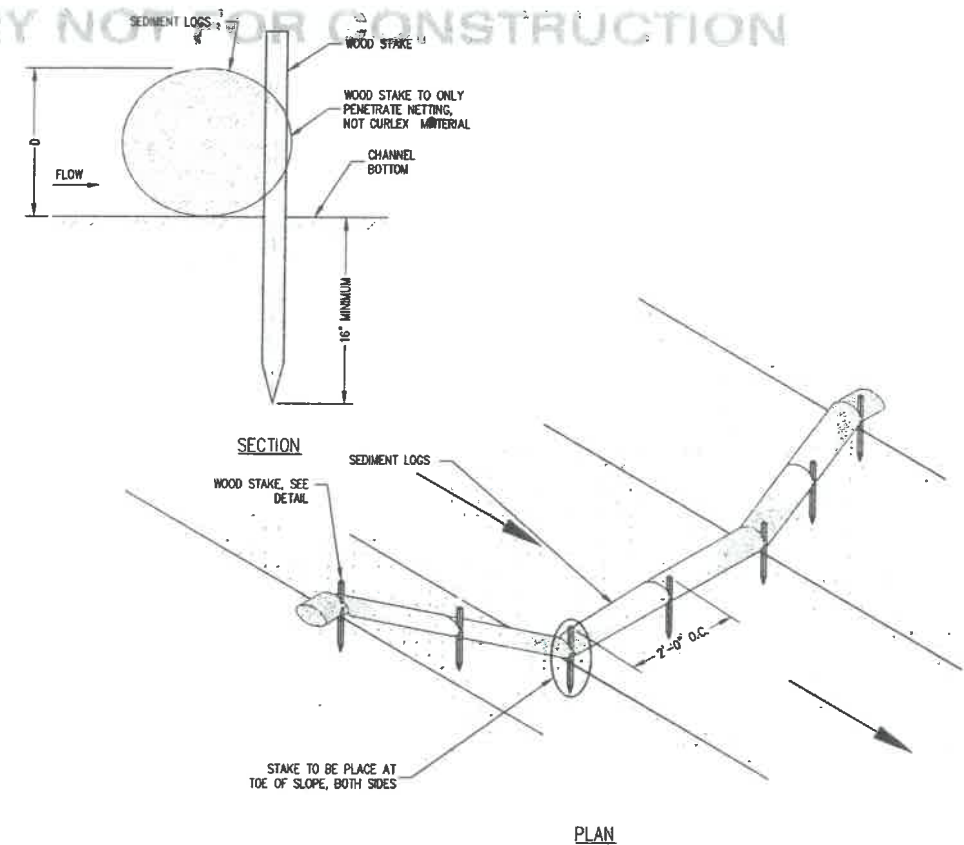


3
C501
**EROSION MATTING
INSTALLATION DETAIL**
NOT TO SCALE

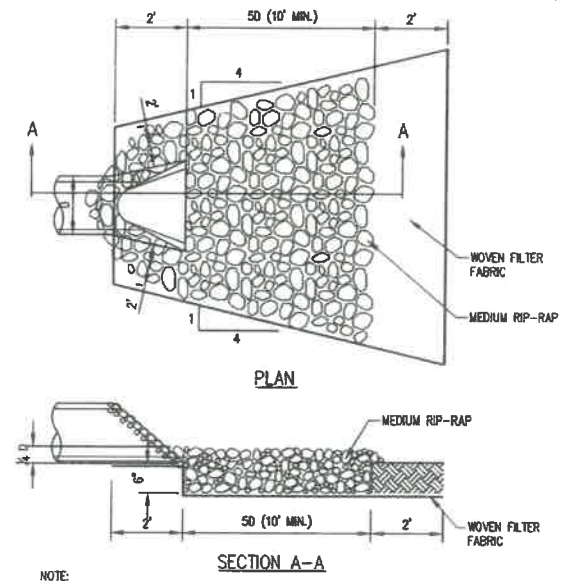
**SLOPE
INSTALLATION
DETAIL**

1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6"(15cm) deep X 6"(15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12" (30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12"(30cm) apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
5. Consecutive RECPs spliced down the slope must be end over end (Shingle style) with an approximate 3"(7.5cm) overlap. Staple through overlapped area, approximately 12"(30cm) apart across entire RECPs width.

NOTE:
In loose soil conditions, the use of staple or stake lengths greater than 6"(15cm) may be necessary to properly secure the RECPs.



2
C501
**SEDIMENT LOG
INSTALLATION DETAIL**
NOT TO SCALE



1
C501
RIP-RAP AT OUTLETS
NOT TO SCALE

**Larson
Engineering, Inc.**
2801 E. Enterprise Avenue, Suite 200
Appleton, WI 54913-8569
Phone: 920.734.8887
www.larsoneng.com

**BILL'S CUSTOM
CONVEYING**

W5774 Turnberry Drive
Menasha WI 54952
920-856-3891
ATTN: Bill and Diendra Parretto

**BILL'S CUSTOM
CONVEYING**

HWY 114
Harrison, WI 54129

SEAL

Date:
Design Permit

Revision Schedule		
No.	Date	Description
1	09/15/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 20190016.C00
Drawn by: SJM
Checked by: SKX
Sheet Title:
**EROSION CONTROL
DETAILS**

C501

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

IMPLEMENTATION/REPLACEMENT

ALL APPROVED LANDSCAPING IS TO BE INSTALLED WITHIN ONE PLANTING SEASON OF THE LANDSCAPE/SITE DEVELOPMENT PLAN APPROVAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY APPEARANCE, AND FREE OF REFUSE AND DEBRIS. ALL PLANTINGS SHALL BE ARRANGED AND MAINTAINED SO AS NOT TO OBSCURE THE VISION OF TRAFFIC. ANY VEGETATION WHICH IS SHOWN ON THE APPROVED LANDSCAPE/SITE PLAN THAT DIES MUST BE REPLACED WITHIN ONE PLANTING SEASON PER APPROVED LANDSCAPE/SITE PLAN.

MAINTENANCE

IT SHALL BE THE RESPONSIBILITY OF THE PRINCIPAL USER, OR USES TO PERFORM THE NECESSARY MAINTENANCE OF ALL LANDSCAPING, INCLUDING MOWING, TRIMMING, WATERING, AND FERTILIZATION OF ALL GRASS, GROUND COVER, SHRUBS OR TREES, AND REMOVAL OF DEAD OR WASTE MATERIAL.

SYMBOL LEGEND

- TOPSOIL, SEED, MULCH (ALL DISTURBED AREAS NOT COVERED BY OTHER SITE IMPROVEMENTS SHALL BE RESTORED VIA TOPSOIL, SEED AND MULCH)
- AR2 - ACER RUBRUM
- PG - PICEA GLAUCA
- AD - ADOXACEAE
- JU - JUNIPERUS X PFITZERIANA

PLANT SCHEDULE

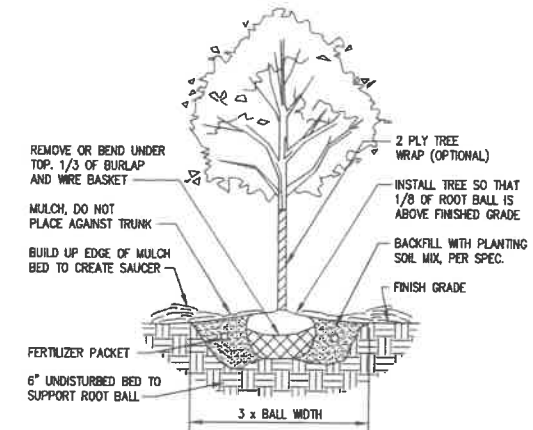
QUAN.	SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	REMARKS
5	AR2	ACER RUBRUM	RED MAPLE	2.5" CALIPER	CANOPY TREE (50 POINT EA)
10	PG	PICEA GLAUCA VAR.	BLACK HILLS SPRUCE	6" TALL	EVERGREEN (30 POINTS EA)
22	AD	ADOXACEAE	VIBURNUM	18" TALL	MEDIUM SHRUB (8 POINTS EA)
10	JU	JUNIPERUS X PFITZERIANA	JUNIPER (PFITZER)	24" TALL	TALL EVERGREEN SHRUB (12 POINTS EA)

LANDSCAPING NOTES

20 POINTS PER 1000 SF IMPERVIOUS = (42,152/1000) * 20 = 843 POINTS REQUIRED

POINTS PROVIDED:

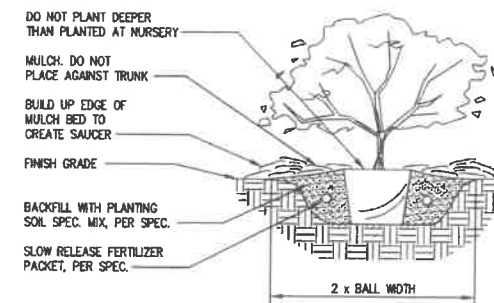
- 5 CANOPY TREES @ 50 POINTS EA = 250 POINTS
- 10 EVERGREEN TREES @ 30 POINTS EA = 300 POINTS
- 10 TALL SHRUBS @ 12 POINTS EA = 120 POINTS
- 22 MEDIUM SHRUBS @ 8 POINTS EA = 176 POINTS
- TOTAL: 846 POINTS**



**DO NOT PROVIDE MULCH AROUND TREES LOCATED ADJACENT TO THE DRAINAGE SWALE.

B&B TREE PLANTING DETAIL

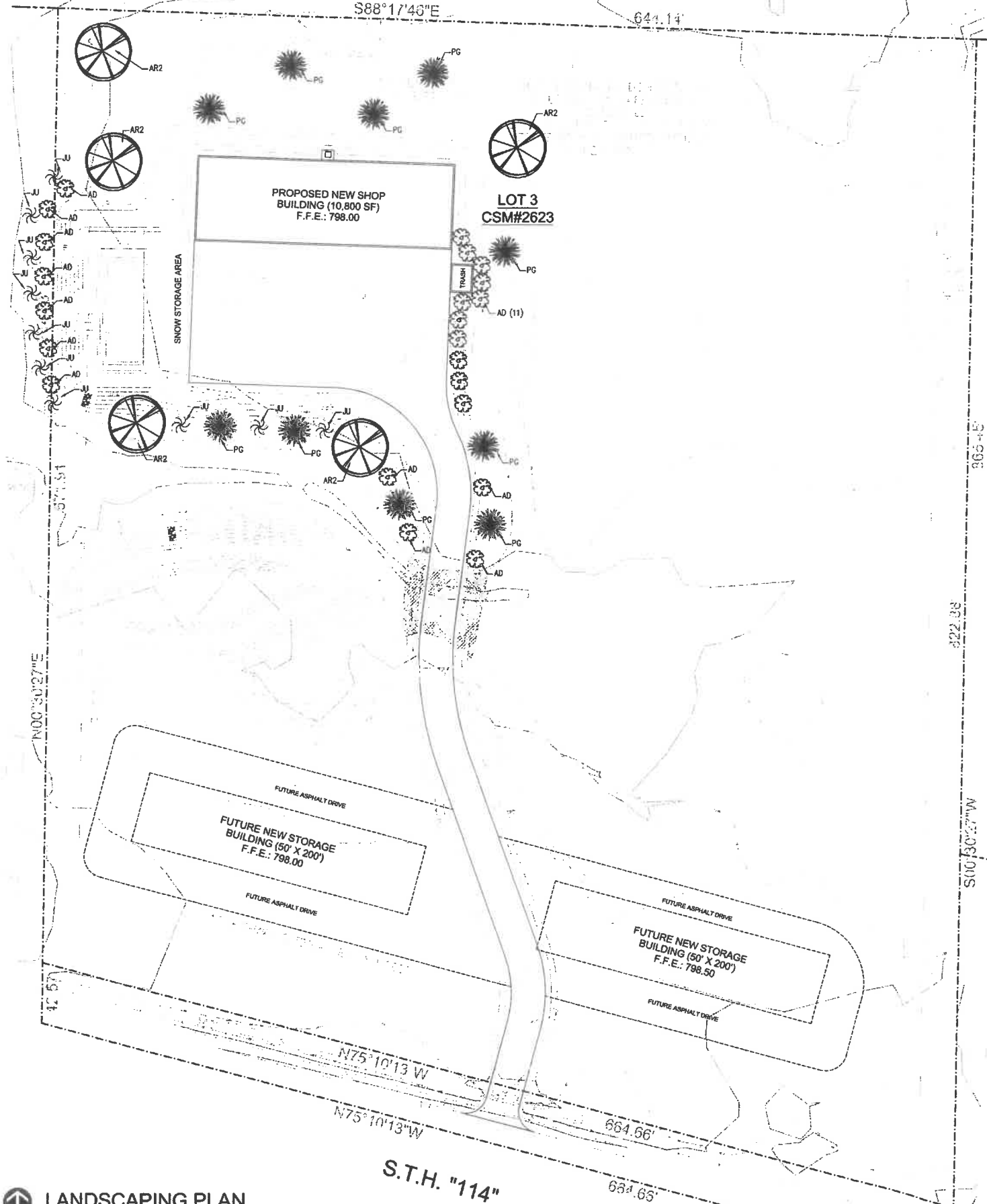
NOT TO SCALE



**DO NOT PROVIDE MULCH AROUND SHRUBS LOCATED ADJACENT TO THE DRAINAGE SWALE.

CONTAINER SHRUB PLANTING DETAIL

NOT TO SCALE



LANDSCAPING PLAN
SCALE: 1"=40'

Larson Engineering, Inc.
2801 Lehigh Avenue, Suite 200
Appleton, WI 54913-3659
Phone: 920.734.9887
www.larsonengr.com

BILL'S CUSTOM CONVEYING
W5774 Turnberry Drive
Menasha WI 54952
920-858-3991
ATTN: Bill and Dierdra Porretto

BILL'S CUSTOM CONVEYING
HWY 114
Harrison, WI 54129

SEAL

Date: Design Firm#

Revision Schedule

No.	Date	Description
1	06/3/2019	Submitted Set
2	10/1/2019	Rev Submitted Set

Project#: 2019016.000
Drawn by: SLM
Checked by: SEK

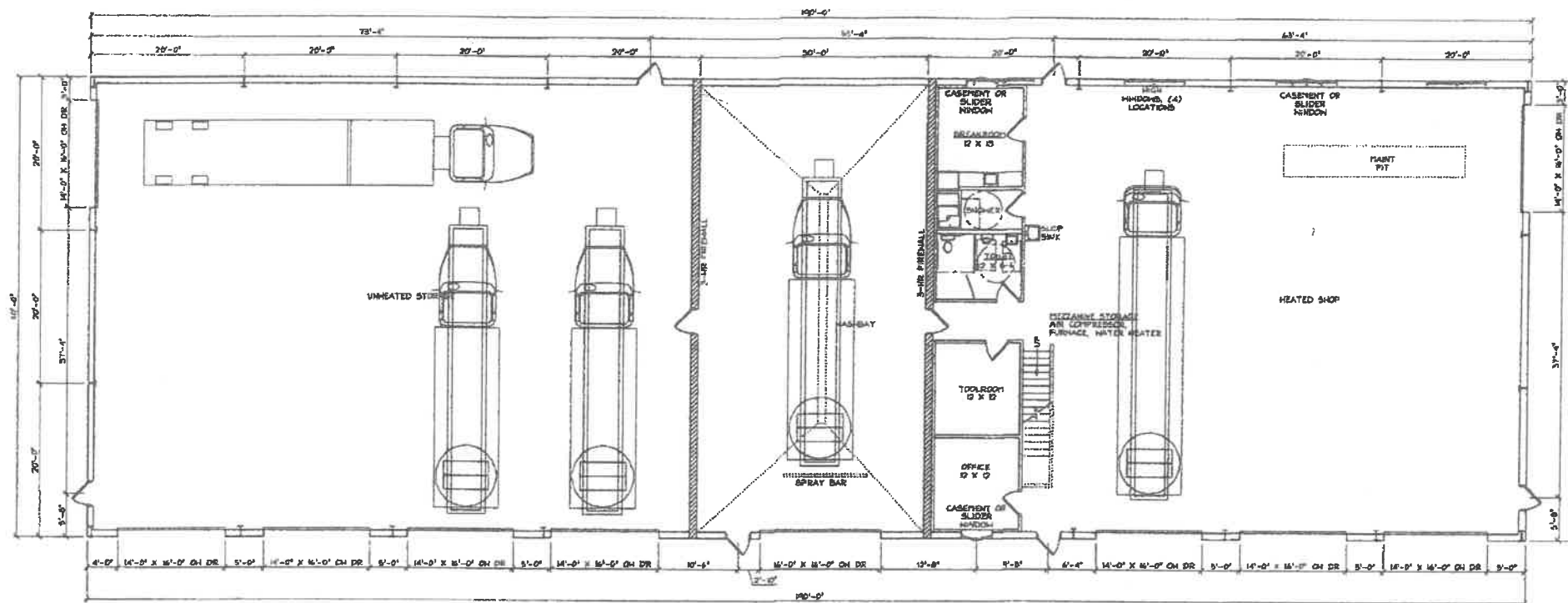
Sheet Title:
LANDSCAPING PLAN

L100

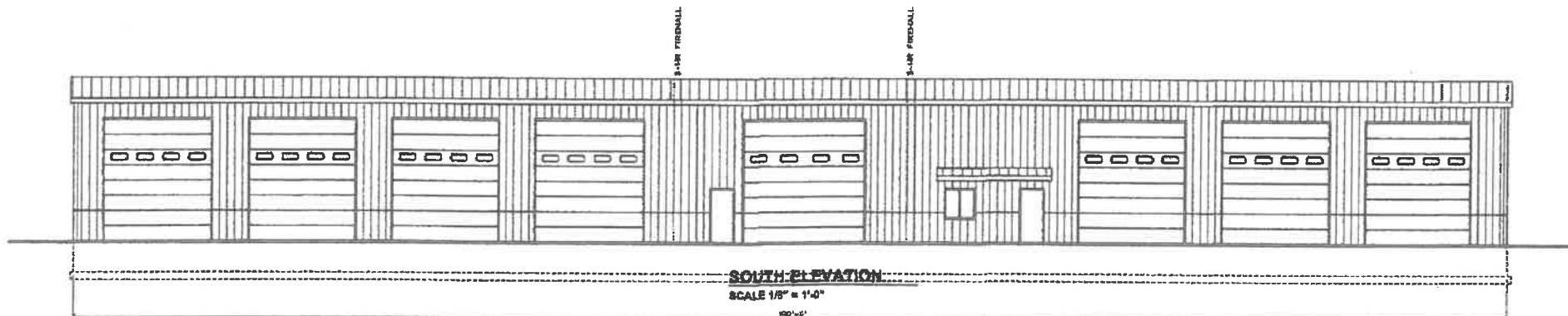


Know what's below.
Call before you dig.

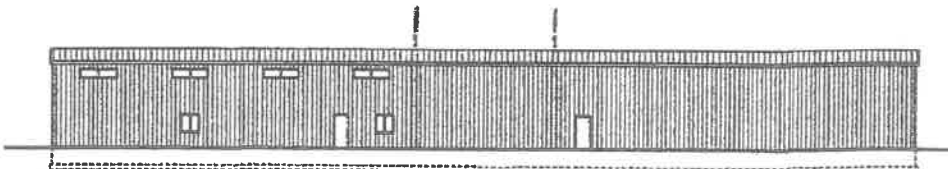
© 2019 Larson Engineering, Inc. All rights reserved.



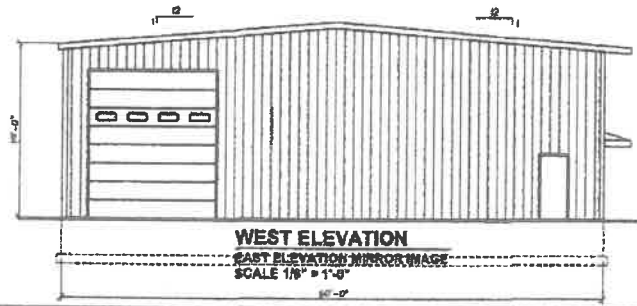
FLOOR PLAN
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



NORTH ELEVATION
SCALE 1/16" = 1'-0"



WEST ELEVATION
PART ELEVATION MIRROR IMAGE
SCALE 1/8" = 1'-0"

CADREX INC.
DESIGN CONSULTING MANAGER
PO Box 985 Fond du Lac, WI 54936
phone: 920-924-0110 fax: 920-924-0327
design@cadrex.net



OWNER
BILL'S CUSTOM CONVEYING

PROJECT
SHOP AND STORAGE
HWY 114
VILLAGE OF HARRISON, WI

DATE
AUG 12, 2019

REVISIONS

copyright © 2019
PROJECT
19148
PAGE

X10
A

PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Meeting Date:

October 29, 2019

Title:

Ord V19-17 – Zoning Text Amendments (Drainage Easements & Driveway Openings)

Issue:

Should the Village Board adopt Ord V19-17 approving zoning amendments to allow staff to authorize fences in drainage easements under certain conditions and to allow an additional driveway for corner lots in the single-family zoning district?

Background and Additional Information:

Several months ago, the Board referred a possible zoning text amendment to the Plan Commission for review and recommendation regarding fences in drainage easements and allowing a second driveway for corner lots.

Drainage Easements:

Currently an applicant wishing to construct a fence within a drainage easement must get written permission from the easement holder prior to issuance of a permit. If it is a utility easement, then an “encroachment letter” from We Energies is typically all that is required. If it is a larger utility easement, then approval from ATC is required. These approvals are relatively quick, We Energies can respond within a few days.

Drainage easements require approval from the Village. Currently, a request is made to the Village Board and is placed on the agenda for the Board to review. The Board has developed a “Permission to Occupy Drainage Easement” form that states that the fence may be removed if drainage issues occur. This form is recorded as part of the deed for future property owners. The issue with this process is time. Many times, the applicant must wait 2-3 weeks for approval, or more depending on Board meeting schedule.

Driveway Openings:

Background, a few months ago a property owner on Sumac Lane spoke to the Board about a driveway to their shed. The property owner constructed a shed with permit approval. The permit applicant did not include any information for a driveway. Staff was notified that a driveway out to Handle Drive was in the process of being constructed. Staff contacted the property owner to inform them that a second driveway was in violation of the zoning ordinance. The property owner decided to stop the paving at the property line. The property is on the southeast corner of Sumac Lane and Handle Drive. The house has an existing driveway out to Sumac Lane.

The Village Board had interest in amending the ordinance to allow for a second driveway. The Board asked the Plan Commission to review the ordinance and make a recommendation to the Board for proposed changes, if any.

The Plan Commission is recommending changes as identified in the attached ordinance, V19-17.

Budget Impacts:

None

Recommended Action:

Staff recommends approval of Ord V19-17, Amending Chapter 117.

Attachments:

- Permission to Occupy Drainage Easement form example
- Proposed Ordinance V19-17

VILLAGE OF HARRISON
CALUMET & OUTAGAMIE COUNTIES, WISCONSIN

Permission to Occupy Drainage Easement Agreement

This agreement is entered into by and between the Village of Harrison, Calumet & Outagamie Counties, hereinafter referred to as "Village" and Owner's Name(s), hereinafter referred to as "Owner", owners of property described as Legal Description, located at Address.

This agreement authorizes the Owner to place a fence, hereinafter referred to as "Improvement", within the recorded drainage easement on their property subject to the following provisions and/or conditions:

1. The Owner agrees that if the Village determines that stormwater runoff is impeded or obstructed at any time because of the Improvement, then the Village may order the Owner to remove such Improvement and return the property grades/elevations to that of the approved grading/drainage plan. If the Owner fails to comply, the Village may cause removal of the Improvement and shall place the cost on the property tax bill as a special assessment.
2. The Owner agrees to remove the Improvement upon reasonable notice from the Village that work needs to be completed within the easement area or that access needs to be obtained through the easement area.
3. In case of emergency, the Village may remove the Improvement without giving notice to the Owner.
4. The Village is not responsible for any damage done during removal.
5. The Village will not replace the Improvement for any reason or reimburse Owner for removal of Improvement.
6. The Owner agrees to maintain the drainage easement, including but not limited to mowing and removal of debris, on both sides of the Improvement.

Return to:
Village of Harrison
W5298 Hwy 114
Menasha, WI 54952

Parcel No.(s):

This Agreement shall be binding upon the owner, its successors, assigns, and heirs, until such time as the Improvement is removed and the easement is restored to its original state.

The rest of this page left blank intentionally.

ORDINANCE V19-17

AN ORDINANCE AMENDING CHAPTER 117 (ZONING) OF THE CODE OF ORDINANCES FOR THE VILLAGE OF HARRISON, CALUMET AND OUTAGAMIE COUNTIES, WISCONSIN.

WHEREAS, Harrison regularly reviews and amends the zoning ordinance in order to maintain the intent of the ordinance as identified in Section 117-4 of the zoning ordinance; and

WHEREAS, a public hearing on the text amendments were held by the Harrison Plan Commission on October 29, 2019; and

WHEREAS, the Plan Commission recommended approval of the zoning text amendments.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet & Outagamie Counties, Wisconsin, that the Harrison Zoning Ordinance is amended as follows:

[Topic: Drainage Easements]

[Amend]

Sec. 117-54. - Accessory uses, buildings and structures.

- (a) General regulations for accessory uses, buildings and structures. All accessory uses, buildings and/or structures shall abide by the following general regulations:
- (1) No accessory use, building and/or structure shall be constructed or established on a lot prior to the principal use or building being present or under construction, except temporary construction trailers.
 - (2) When attached to the principal building, accessory buildings and/or structures shall comply with all requirements of this chapter applicable to the principal building, unless otherwise stated, including, but not limited to setback requirements, building height limits, and maximum lot coverage standards.
 - (3) When not attached to the principal building, accessory buildings and/or structures shall comply with all requirements of this chapter applicable to the accessory buildings and/or structures in the zoning district including, but not limited to setback requirements, building height limits, and maximum lot coverage standards.
 - (4) Accessory buildings or structures in the RS-1, RS-2, and RT zoning districts shall not be located closer to the front lot line than is the principal structure, except those properties located adjacent to the shoreline of Lake Winnebago.
 - (5) Accessory buildings or structures shall not be located within any recorded easement (utility, drainage, or other) without written consent of the entity controlling the easement. The Zoning Administrator may authorize fences provided all the following are met:
 - a. The fence does not restrict stormwater runoff flow, as determined by the Zoning Administrator.
 - b. The fence is not located within a storm sewer easement or drainage easement with storm sewer pipe, inlets, or other infrastructure improvements.
 - c. The property owner signs a "Permission to Occupy Drainage Easement Agreement" document.

- (6) The following, including but not limited to, truck, truck tractor, truck trailer, canopy or bus, or portion thereof, shall not be used for, storage purposes, as a principal use and/or structure or an accessory use and/or structure in any zoning district, unless otherwise stated in this chapter.
- (7) Any detached accessory use, building and/or structure with a water closet (toilet facility) shall require a conditional use permit, pursuant to article XI, Conditional Use Permits.
- (8) Accessory uses, buildings and/or structures shall be located on the same lot as the principal use, structure or building.
- (9) Detached accessory buildings shall not be used as a secondary dwelling.

[Topic: Driveway Openings on Corner Lots]

[Amend]

Sec. 117-157. - Access.

All driveways installed, altered, changed, replaced or extended after the effective date of this chapter shall meet the following requirements.

- (1) Openings. Openings for vehicular ingress and egress shall not exceed 36 feet for single-family and two-family developments and 42 feet for agricultural, multiple-family, commercial, and industrial developments as measured at the street right-of-way line unless a greater distance is approved by the plan commission.
- (2) Location. Vehicular entrance or exit shall not be less than 50 feet from a street intersection. Commercial and industrial vehicular entrances and exits shall not be less than 150 feet from any adjoining residential district.
- (3) Number.
 - a. Single Family Lots. Only one vehicular opening is permitted per lot for single-family lots. The Plan Commission may authorize a second opening for a corner lot as provided:
 - i. The driveway does not encroach into a drainage easement.
 - ii. The street with the second driveway opening has curb and gutter.
 - iii. The driveway opening is located at least 100-feet from a street intersection.
 - iv. The driveway opening is to service an accessory building.
 - b. Two Family Lots. Two vehicular openings may be permitted per lot for two-family lots.
 - c. Other Developments. Multiple-family, commercial, and industrial developments are permitted one vehicular opening per lot frontage unless a greater number is approved by the plan commission.
- (4) When roadways exit to adjacent property rather than directly to a public street, permanent cross easement agreements shall be recorded which adequately guarantee that such exit may not be closed and that such roadways will not become a future liability for the town. (Ord. No. 10-147, § 6.0(2), 7-27-2010; Ord. No. 11-162, 11-29-2011)

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison, Wisconsin this 29th day of October, 2019.

Kevin Hietpas, Village President

Attest: Jennifer Weyenberg, Village Clerk

PLAN COMMISSION MEETING

From:

Mark J. Mommaerts, AICP, Planner

VILLAGE OF HARRISON

Meeting Date:

October 29, 2019

Title:

Amending the Discharge of Firearms Map

Issue:

Should the Village Board amend the Discharge of Firearms Map?

Background and Additional Information:

The Village regulates the discharge of firearms within certain areas of Harrison. These areas are typically the developed areas of the Village, or adjacent to them. The boundaries of the regulated area have not changed since the last amendment to the ordinance in 2003. As the Village continues to grow, the map should be reviewed periodically to adjust for the growth. Staff is recommending an amendment to the map boundaries to include the area between County KK and the overhead electrical lines and State Park Road to the eastern boundaries of Cobble Creek Subdivision (highlighted in yellow on the attached map). The Village allows for property owners to receive a discharge waiver if they own 40 contiguous acres within the boundary.

Budget Impacts:

None

Recommended Action:

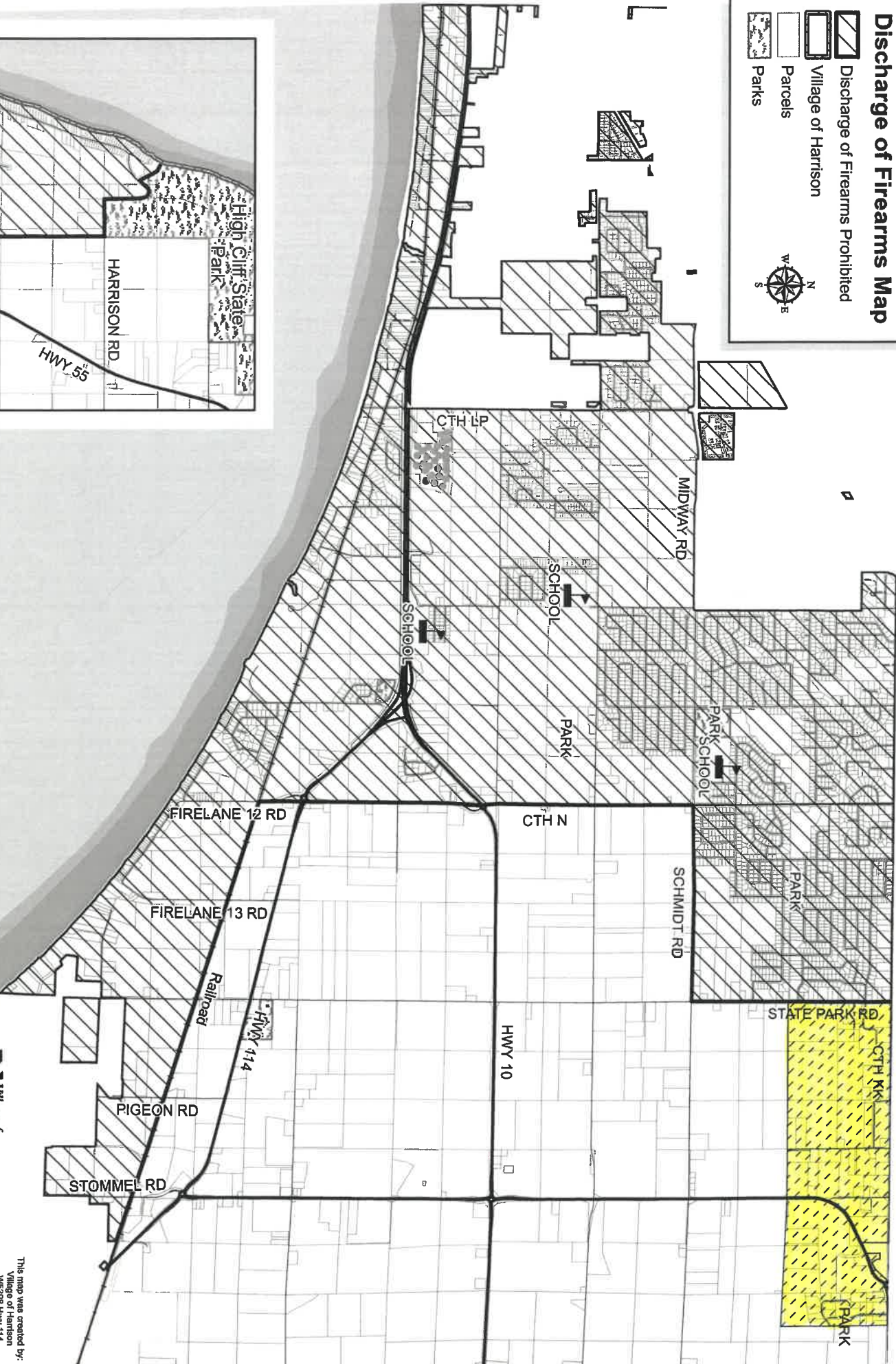
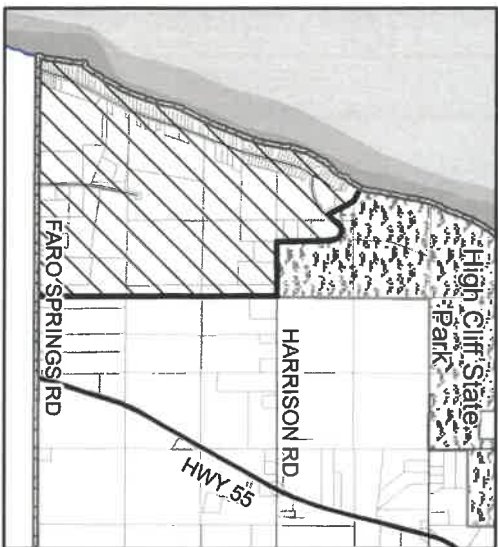
Staff recommends approval.

Attachments:

- Discharge of Firearms Map (area in yellow is proposed amendment)

Discharge of Firearms Map

-  Discharge of Firearms Prohibited
-  Village of Harrison
-  Parcels
-  Parks



Village of HARRISON
WHERE OPPORTUNITY LIVES

Disclaimer: The map was created using data obtained from the Census Bureau, the Wisconsin Department of Transportation, and other public sources. The Village of Harrison is not responsible for any errors or omissions on this map. The map is for informational purposes only and should not be used as a legal document. The map is subject to change without notice.

This map was created by:
Village of Harrison
WISCONSIN HWY 114
Menasha, WI 54952
920.989.1082

August 11, 2017

VILLAGE BOARD MEETING**VILLAGE OF HARRISON****From:**

Laura Jungwirth, P.E., Director of Public Works

Meeting Date:

10/29/2019

Title:

Kambura Acres III Subdivision Acceptance

Issue:

Bud Rusch is requesting acceptance of Kambura Acres III to begin development of individual residential lots.

Background and Additional Information:

A site-walk through was held with the Developer, Engineer, Village of Harrison staff and Harrison Utilities staff. Punch lists were developed by each party from that visit. Private utilities (AT&T, We Energies and Spectrum) are complete, however the Village of Harrison and Harrison Utilities still have remaining items to be addressed. The deadline for completion of all outstanding punch list items is November 27, 2019.

Budget Impacts:

None

Recommended Action:

Conditional Acceptance pending completion of remaining punch list items and sign-off by Director of Public Works.

Attachments:

- Kambura Acres III Plat
- Private Utilities Correspondence
- Harrison Utilities Punch List
- Village of Harrison Punch List

Laura Jungwirth

From: Mark Mommaerts
Sent: Tuesday, October 22, 2019 11:06 AM
To: Laura Jungwirth
Subject: FW: Kambura Acres Phase 3 Project Completion Notice

FYI...

Thank you,

Mark

From: Tadych, Mark <Mark.Tadych@we-energies.com>
Sent: Tuesday, October 22, 2019 10:41 AM
To: Mark Mommaerts <MMommaerts@harrison-wi.org>; budrusch@sbcglobal.net
Subject: Kambura Acres Phase 3 Project Completion Notice

Hello Mark,

We Energies has completed its gas & electric backbone installation at Kambura Acres.

AT&T, Spectrum Cable have completed their work at Kambura Acres as well.

Please let me know if additional information is required from us.

Regards,

Mark Tadych
We Energies
WISC Service Center
800 S. Lynndale Drive
Appleton, WI 54914
Cell (414) 852-4599
mark.tadych@we-energies.com



Martenson & Eisele, Inc.

Your Solution Professionals

Planning - Environmental - Surveying - Engineering - Architecture

Punch List Items

**Kambura Acres Phase III
Harrison Utilities – Sanitary Sewer and Water Utilities
Village of Harrison, Calumet County, Wisconsin
October 23, 2019**

Sanitary Manholes

1. MH S-1, Connor Circle,
 - Re-adjust rings, Pushed off cone 2-inches
 - Provide 10" Internal Chimney Seal
2. MH S-2, Connor Circle
 - Re-adjust rings, Pushed off cone 4-inches
 - Provide 14" Internal Chimney Seal
3. MH S-3, Connor Circle
 - Provide 12" Internal Chimney Seal
4. MH S-4, Connor Circle
 - Provide 10" Internal Chimney Seal
5. MH S-5, Ryford Street
 - Replace cracked 3-inch riser
 - Provide 12" Internal Chimney Seal
6. MH S-6, Ryford Street
 - Remove gravel from bench and flow-line
 - Provide 7" Internal Chimney Seal
7. MH S-7, Ryford Street
 - Provide 7" Internal Chimney Seal
8. MH S-94, Connor Circle
 - Re-adjust rings, Pushed off cone 6-inches
 - Provide 10" Internal Chimney Seal
9. MH S-95, Ryford Street
 - Provide 10" Internal Chimney Seal
10. MH S-96, Connor Circle
 - Re-adjust rings, Pushed off cone 2-inches
 - Provide 10" Internal Chimney Seal



11. MH S-97, Connor Circle
 - Provide 10" Internal Chimney Seal
12. MH S-98, Ryford Street
 - Provide 12" Internal Chimney Seal
13. MH S-99, Ryford Street
 - Provide 10" Internal Chimney Seal
14. MH S-100, Zach Street
 - Re-adjust rings, Pushed off cone 4-inches
 - Remove gravel in bench and flow-line
 - Provide 16" Internal Chimney Seal
15. MH S-101, Zach Street
 - Provide 10" Internal Chimney Seal

Water Utilities

1. Hydrant near northwest corner of intersection of Zach Street and Connor Circle is missing a hydrant flag.
2. Valve box riser at northwest corner of intersection of Ryford Street and West Leg of Connor Circle needs to be straightened (northern-most valve V-1089).
3. Valve box riser at intersection of Ryford Street and East Leg of Connor Circle needs to be straightened (V-1092 on south side).

Location: Kambura Acres III

Date: 10/23/2019

Inspector(s): Laura Jungwirth, Jeff Funk, Kaylee Grezinski

Subdivision Acceptance Punch-List (Grading, Graveling and Storm Sewer)

Items required before acceptance:

- Provide documentation of proof roll inspection and field notes related to gravel installation.
- All rear and side-yard drainage swales and conveyance systems shall be rough-graded. As-Built Survey showing grades shall be provided for verification.
- Per Village of Harrison Standard Specifications Division 33 40 00.00 Part 3 Section 3.5; “Televising all storm sewer main, catch basin, inlet and yard drain leads and storm sewer laterals in accordance with Section 33 01 30.16.
- Curb inlets have not been tuck-pointed.
- Any tracer wires installed in the storm sewer shall be brought to top of structure for accessibility without having to enter manhole.
- STA 10+00 Gravel shall be removed from inside of manhole.
- STA 19+25 Manhole lid needs to be rotated. Opening is lined up directly over storm sewer and is inaccessible.
- STA 14+50 Manhole lid has shifted and needs to be rotated and adjusted.

Items required before road is paved:

- STA 7+00, 14+50, 16+39, 21+50, and 20+25; Storm manholes have multiple cracks in adjustment ring(s). Rings shall be replaced before the road is paved.

Items to note:

- Per Village of Harrison Standard Specifications Division 33 40 00.00 Part 3 Section 3.1 (A)(9), tracer wire shall be installed to “...all storm sewer main, inlet, catch basin and yard drain leads and lateral pipe...” A majority of storm sewer in the limits of Kambura III was installed as a part of Kambura I and II to convey runoff to the detention basin, and wire was not outlined in the Standard Specifications at that time. Therefore, the Village will not require the developer to go back and install additional wire with Kambura III, but any future installation of storm sewer it will be required and enforced.

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: October 29th, 2019

Title:

Request for mini-storm sewer on Bailey Dr. – Ken Quella, W5574 Bailey Dr.

Issue:

Should the Village of Harrison install a mini-storm sewer system on Bailey Dr.?

Background and Additional Information:

When the Memory Meadows subdivision was constructed, the developer failed to put in a storm sewer main on Bailey Dr. This has created an issue with sump pumps because there is no place to discharge the water except into the street or backyards.

Mr. Quella has contacted the Village to determine whether or not the Village could install some type of mini storm sewer system to discharge the sump pump water.

Budget/Financial Impact:

This item was not budgeted for in 2019.

Recommendation:

Direct staff to review possible engineering fixes and possible costs to install mini-storm sewer system and bring back to the Village Board.

Attachments:

Email.

Travis Parish

From: qball@new.rr.com
Sent: Tuesday, October 8, 2019 7:59 PM
To: Travis Parish
Cc: 65Fastback@new.rr.com; dwatry@excite.com; blcheney@gmail.com; qball@new.rr.com
Subject: Ken Quella, Request for 10/29 Village Board Mtg

Mr. Parish,

My name is Ken Quella and I live at W5574 Bailey Drive in Darboy. I would like to get on the agenda for the Oct 29th village board meeting. The purpose is to ask the village to look into adding a storm sewer lateral to Bailey Drive.

As you may know, Bailey Drive is the only street in our subdivision without a storm sewer lateral. I believe there to be (8) houses that cannot tie-in their sumps. I have a very high discharge rate, so I need a place to send the water. I tried to send it to the backyard, but the grading does not allow good drainage and then I had a permanent wet area which I could not mow. So I ran a hose to the street.

In 2015, I received a letter stating I was in violation of the sump pump ordinance. I worked with a Mr. Kesler, who after understanding my situation, agreed to let me continue to dump to the street until it started freezing. During the winter, I dump in the backyard. I have recently received another letter stating I am in violation. I am looking for alternatives. There may be others on this street with a similar situation. I don't have a good understanding of what options are available in these situations. I am copying others on this street as they may be impacted.

I appreciate your consideration in letting me bring this matter forward. Thank you.

Sincerely,

Ken Quella

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: October 29th, 2019

Title:

Harrison Utilities – Discussion/Approval of sewer and water extension to 2nd Addition of Southfield in the City of Menasha.

Issue:

Should the Village of Harrison approve the extension of sewer and water to the 2nd Addition of Southfield in the City of Menasha?

Background and Additional Information:

The City of Menasha is requesting that Harrison Utilities extend sewer and water to a proposed new subdivision called 2nd Addition of Southfield located in the City of Menasha.

The plans for this subdivision have been reviewed by Martenson and Eisele. Their recommendation has been attached.

Budget/Financial Impact:

None.

Recommendation:

Staff recommends conditional approval of the sewer and water extension to the 2nd Addition of Southfield subdivision based upon the changes being addressed as outlined in the M&E recommendation letter.

Attachments:

Letter.



Martenson & Eisele, Inc.

Your Solution Professionals

Planning - Environmental - Surveying - Engineering - Architecture

October 23, 2019

Travis Parish, Administrator
Village of Harrison Utilities
W5298 STH 114
Menasha, WI 54952

Re: 2nd Addition to Southfield, City of Menasha, Harrison Utilities, Sewer and Water Extension Plans

Dear Travis;

The above project consists of sewer and water, to serve 16 proposed lots in the City of Menasha. We have reviewed plans submitted by McMahon Associates, Inc. per the Village of Harrison Utility requirements. The plans generally meet the Village of Harrison requirements with the following conditions;

- 1) Plans must be stamped by a Professional Engineer.
- 2) All bolts must be #S31600 Stainless Steel Bolts.
- 3) The Chimney Seal Detail should show the bottom Stainless Steel Compression Band on the Cone of the manhole, and not on the bottom ring.

Therefore, we recommend that the plans be approved conditioned upon the above changes be addressed.

If you have any questions or need any additional information, please feel free to contact me.

Sincerely,
MARTENSON & EISELE, INC.



Michael S. Siewert, P.E.
Review Engineer

cc: Dave Schmals, McMahon Associates, Inc.
Cathy Girdley, Harrison Utilities
Laura Jungwirth P.E. Director of Public Works

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: October 29th, 2019

Title:

Harrison Utilities – Discussion/Approval of sewer and water extension to 3rd Addition to Woodland Hills in the City of Menasha.

Issue:

Should the Village of Harrison approve sewer and water extension to 3rd Addition to Woodland Hills located in the City of Menasha?

Background and Additional Information:

The City of Menasha has requested that sewer and water be extended to the 3rd Addition to Woodland Hills subdivision located in the City of Menasha. Harrison Utilities had Martenson and Eisele review the sewer and water plans for the subdivision to make sure that they comply with our standard specifications.

The recommendation from M&E is that the plans be revised to include more detail as outlined in the attached letter.

Budget/Financial Impact:

None.

Recommendation:

Staff recommends that the Village Board hold off on approval until the revisions have been made as detailed by the M&E letter.

Attachments:

Letter.



Martenson & Eisele, Inc.

Your Solution Professionals

Planning - Environmental - Surveying - Engineering - Architecture

October 23, 2019

Travis Parish, Administrator
Village of Harrison Utilities
W5298 STH 114
Menasha, WI 54952

**Re: 3rd Addition to Woodland Hills, City of Menasha, Harrison Utilities,
Sewer and Water Extension Plans**

Dear Travis;

The above project consists of sewer and water, to serve 18 proposed lots in the City of Menasha. We have reviewed plans submitted by McMahon Associates, Inc. per the Village of Harrison Utility requirements. The plans do not meet the Village of Harrison requirements for the following reasons;

- 1) Topographic utility data for Gosling Way Court needs to be shown on the plans. Specifically the existing Sewer and Water Data.
- 2) Gosling Way Court needs to be labeled.
- 3) The Watermain needs to be placed 3' behind the proposed back of curb.
- 4) Additional Manholes need to be placed in Canvasback Drive and Cygnet Court to better center the sanitary sewer in the roads.
- 5) The proposed profile over the sewer being placed in the easement between Cygnet Court and Snow Goose Lane needs to be shown.
- 6) The rim of the manhole being placed in Snow Goose Lane needs to be above grade.
- 7) All bolts must be #S31600 Stainless Steel Bolts.
- 8) The Chimney Seal Detail should show the bottom Stainless Steel Compression Band on the Cone of the manhole, and not on the bottom ring.

We will review the revised plans upon receipt.

If you have any questions or need any additional information, please feel free to contact me.



Sincerely,
MARTENSON & EISELE, INC.

A handwritten signature in black ink, appearing to read "Michael S. Siewert", is written over the company name.

Michael S. Siewert, P.E.
Review Engineer

cc: Ron Wolf P.E., McMahon Associates, Inc.
Cathy Girdley, Harrison Utilities
Laura Jungwirth P.E. Director of Public Works

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: October 29th, 2019

Title:

Approve using Village Attorney Rossmeissl to contest Orlee Roebke small claims filing.

Issue:

Should the Village of Harrison use Attorney Andy Rossmeissl to contest the Orlee Roebke small claims filing?

Background and Additional Information:

Orlee Roebke, through her daughter Wanda Rooyakkers who has power of attorney, has filed a small claims complaint against the Village of Harrison in the amount of \$2,841.08 for an overpayment of taxes. Ms. Rooyakkers is contending that her mother's property has been improperly assessed for several years. However, neither Ms. Rooyakkers nor Ms. Roebke has ever appealed their assessment to the Board of Review.

I talked with the Village Attorney concerning this matter and he has stated that small claims court is not the correct venue for contesting an assessment. An appeal of an assessment must first go to the Board of Review and then circuit court if the matter is not resolved at the Board of Review. In this case, the procedure for contesting an assessment was not followed.

Budget/Financial Impact:

Legal fees have been budgeted.

Recommendation:

Staff recommends hiring Attorney Rossmeissl to contest the Orlee Roebke small claims filing.

Attachments:

Summons and Complaint.

STATE OF WISCONSIN, CIRCUIT COURT, CALUMET COUNTY

Plaintiff: [Name (First, Middle, Last), Address, City, State, Zip]
Orlee M Roebke
120 Doty Street #556
Kaukauna, WI 54130

AUTHENTICATED COPY
Case # 19-SC-598
OCT 07 2019
Calumet County Clerk of Courts
Connie Daun

-vs-

See attached for additional plaintiffs.

Amended

To: Defendant(s): [Name (First, Middle, Last), Address, City, State, Zip]
Village of Harrison
W529B State Road 114
Harrison, WI 54952

Summons and Complaint (Small Claims)

Case No. 19-SC-598

Town of Harrison
W529B State Road 114
Harrison, WI 54952

See attached for additional defendants.

- Claim for money (\$10,000 or less) 31001
Tort/Personal injury (\$5,000 or less) 31010
Return of property (replevin) 31003
Eviction 31004
Eviction due to foreclosure 31002
Arbitration award 31006
Return of earnest money 31008

If you require reasonable accommodations due to a disability to participate in the court process, please call 920-849-1414 prior to the scheduled court date. Please note that the court does not provide transportation.

SUMMONS

To the Defendant(s):

You are being sued as described on the attached complaint. If you wish to dispute this matter:

- You must appear at the time and place stated.
You must file a written answer and provide a copy to the plaintiff or plaintiff's attorney on or before the date and time stated.

If you do not appear or answer, the plaintiff may win this case and a judgment entered for what the plaintiff is asking.

Table with 2 columns: Date, Time, Place to Appear/File an Answer, Date Summons Issued, Date Summons Mailed. Includes values like 11-07-2019, 1:00 P.M., Calumet County Courthouse, 10-07-2019.

Clerk/Attorney Signature
Amanda Scheuniger, Deputy

RECEIVED
OCT 10 2019
VILLAGE OF HARRISON

COMPLAINT

AUTHENTICATED COPY
Case # 19-SC-598

OCT 07 2019

Plaintiff's Demand:

The plaintiff states the following claim against the defendant(s):

1. Plaintiff demands judgment for (Check as appropriate)

Claim for Money \$ 2841.00

Tort/Personal Injury \$

Return of property (replevin) (Describe property in 2 below.) (Not to include Wis. Stats. 425.205 actions to recover collateral.)

Eviction

Eviction due to foreclosure

Return of Earnest Money

Confirmation, vacation, modification or correction of arbitration award

Plus interest, costs, attorney fees, if any, and such other relief as the court deems proper.

Calumet County Clerk of Courts
Connie Daun

2. Brief statement of dates and facts:

(If this is an eviction action and you are seeking money damages, you must also state that claim on this form.)

Refund for overpayment of property taxes.

See attached for additional information. Provide copy of attachments for court and defendant(s).

I am the: plaintiff. attorney for the plaintiff.

Plaintiff/Attorney Doree M Roetke / Wanda Rooyalkes	Date POA 10/7/19
Plaintiff's/Attorney's Telephone Number 920 810 2849	Attorney's State Bar Number
Law Firm and Address	

Wanda Rooyalkes, POA

STATE OF WISCONSIN

CIRCUIT COURT

CALUMET COUNTY

Orlee M Roebke vs. Village of Harrison et al

**Electronic Filing
Notice**

FILED

10-07-2019

Clerk of Circuit Court

Calumet County

2019SC000598

Case No. 2019SC000598

Class Code: Sm Claim, Claim Under \$ Limit

VILLAGE OF HARRISON
W5298 STATE ROAD 114
HARRISON WI 54952

Case number 2019SC000598 was electronically filed with/converted by the Calumet County Clerk of Circuit Court office. The electronic filing system is designed to allow for fast, reliable exchange of documents in court cases.

Parties who register as electronic parties can file, receive and view documents online through the court electronic filing website. A document filed electronically has the same legal effect as a document filed by traditional means. Electronic parties are responsible for serving non-electronic parties by traditional means.

You may also register as an electronic party by following the instructions found at <http://efiling.wicourts.gov/> and may withdraw as an electronic party at any time. There is a \$ 20.00 fee to register as an electronic party.

If you are not represented by an attorney and would like to register as an electronic party, you will need to enter the following code on the eFiling website while opting in as an electronic party.

Pro Se opt-in code: 373822

Unless you register as an electronic party, you will be served with traditional paper documents by other parties and by the court. You must file and serve traditional paper documents.

Registration is available to attorneys, self-represented individuals, and filing agents who are authorized under Wis. Stat. 799.06(2). A user must register as an individual, not as a law firm, agency, corporation, or other group. Non-attorney individuals representing the interests of a business, such as garnishees, must file by traditional means or through an attorney or filing agent. More information about who may participate in electronic filing is found on the court website.

If you have questions regarding this notice, please contact the Clerk of Circuit Court at 920-849-1414.

Calumet County Circuit Court

Date: October 7, 2019

STATE OF WISCONSIN CIRCUIT COURT CALUMET COUNTY

ORLEE M ROEBKE

Plaintiff(s)

-vs-

Case No. 19-SC-597

Date to Appear: 11/07/2019

Time: 1:00 P.M.

VILLAGE OF HARRISON

TOWN OF HARRISON

W5298 STATE ROAD 114

W5298 STATE ROAD 114

HARRISON, WI 54952

HARRISON, WI 54952

Defendant(s)

This is my current address.

This is not my current address. If this box is checked, please write your address next to the one listed.

STATEMENT OF DEFENSES

TO DEFENDANT(S):

The Plaintiff is not required to appear at the date indicated. If you wish to contest this small claim action, complete this form and **mail the original to the Clerk of Courts, and a copy to the plaintiff** before the court date. Upon its filing, you will not need to appear at this time, however, a notice will be mailed to you and the Plaintiff, indicating a date and time for a Pre-trial Conference. At this time, please bring with you any supporting documents you wish to have the Court consider. Failure to appear at the Pre-trial Conference will cause judgment to be entered against you as requested in the complaint.

NOTE:

Inability to pay a claim is not considered a defense. If you are not contesting the claim, but need to make payment arrangements, please contact the Plaintiff or the attorney for the Plaintiff.

Multiple horizontal lines for writing a statement of defenses.

Defendant's Signature

Telephone Number

** If needed, you may attach an additional sheet to complete your answer.

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

Date: October 29th, 2019

Title:

Approve Payment to Calumet County for property located at W6505 Manitowoc Rd.

Issue:

Should the Village of Harrison approve payment for the property located at W6505 Manitowoc Rd?

Background and Additional Information:

The former Town of Harrison and Calumet County entered into an agreement dated Oct. 29th, 2009 in which both parties agreed that Calumet County would acquire the property located at W6505 Manitowoc Rd. and raze the building that was located there. The reason for the agreement and purchase of the property was to improve the vision corner at Manitowoc Rd. and CTH LP and to provide for ample right-of-way for a future roundabout.

As part of the agreement, the Town of Harrison agreed to reimburse Calumet County 50% of the costs associated with the purchase and razing of the building. This reimbursement is to occur when CTH LP has been reconstructed. This has taken place. Once CTH LP becomes a village road, then the County will transfer the property located at W6505 Manitowoc Rd. to the Village.

Budget/Financial Impact:

This was budgeted for in the 2019 budget.

Recommendation:

Staff recommends approve of the payment in the amount of \$54,129.60 to Calumet County for the property located at W6505 Manitowoc Rd.

Attachments:

Letter.
Agreement.

INVOICE

CALUMET COUNTY
206 COURT ST
CHILTON, WI 53014-1198
(920) 849-1446

INVOICE NO: 9906749
DATE: 10/15/19

BILL TO:

VILLAGE OF HARRISON
W5298 STH 114
MENASHA, WI 54952

CUSTOMER NO: 1566/2247

TYPE: MS - Miscellaneous Customer

<u>QUANTITY</u>	<u>DESCRIPTION</u>	<u>UNIT PRICE</u>	<u>EXTENDED PRICE</u>
1.00	W6505 MANITOWOC RD ACQUISITION REIMBURSEMENT	54,129.60	54,129.60

RECEIVED

OCT 21 2019

VILLAGE OF HARRISON

TOTAL DUE: \$54,129.60

PLEASE DETACH AND SEND THIS COPY WITH REMITTANCE

DATE: 10/15/19 DUE DATE: 11/14/19
CUSTOMER NO: 1566/2247

NAME: VILLAGE OF HARRISON
TYPE: MS - Miscellaneous Customer

REMIT AND MAKE CHECK PAYABLE TO:

CALUMET COUNTY TREASURER
ATTN: ACCOUNTS RECEIVABLE
206 COURT ST
CHILTON WI 53014-1198 (920) 849-1446

INVOICE NO: 9906749
TERMS: NET 30 DAYS

AMOUNT: 54,129.60
\$

TOWN OF HARRISON/CALUMET COUNTY INTERGOVERNMENTAL AGREEMENT

WHEREAS, this is an intergovernmental agreement between the Town of Harrison (hereinafter "Town") and Calumet County (hereinafter "County") entered into pursuant to Wis. Stats. §66.0301, §83.025 and Calumet County Ord.32-1.1; and

WHEREAS, the parties agree that this document generally relates to the future improvements of CTH LP from Midway Road to US Hwy 10/114; and

WHEREAS, this Agreement promotes an organized approach to traffic planning for the entire region that is in the best interests of both municipalities and the motoring public.

THEREFORE, THE PARTIES AGREE AS FOLLOWS:

1. The property at W6505 Manitowoc Road in the Town of Harrison is currently available for sale.
2. The purchase of the property at W6505 Manitowoc Road is in the interests of both municipalities as it relates to future improvements of CTH LP primarily as it would improve the vision corner at Manitowoc Road and CTH LP. Additionally, securing the property would ensure the ample availability of right-of-way for future intersection or road improvements.
3. Calumet County will attempt to acquire the property in anticipation of future improvements of CTH LP. If a purchase is successful, Calumet County will raze or have the buildings razed. Calumet County will pay for the costs to purchase and raze the buildings.
4. The Town of Harrison will reimburse Calumet County for one-half (50%) of all costs associated in the purchase of the property and razing of buildings located at W6505 Manitowoc Road. Reimbursement will occur at the time the CTH LP segment at Manitowoc Road is reconstructed as either a rural or urban roadway. The town must be notified by October 1st of the year preceding the reconstruction.
5. When CTH LP becomes a town road the property at W6505 Manitowoc Road will be transferred to the Town of Harrison.

Dated this 29th day of October 2009.


TOWN OF HARRISON
BY: Joe Sprangers Town Chairman

Dated this 29th day of October 2009.


CALUMET COUNTY
BY: Jay Shambeau, County Administrator



CALUMET COUNTY
DEPARTMENT OF ADMINISTRATION
Courthouse, 206 Court Street, Chilton, WI 53014
Todd M. Romenesko, County Administrator

Administrator
Phone: (920) 849-1448
Fax: (920) 849-1475

Personnel
Phone: (920) 849-1611
Fax: (920) 849-1475

Toll-Free: 1-833-620-2730
Email: deptofadministration@calumetcounty.org Website: www.calumetcounty.org

September 21, 2018

Travis Parish, Administrator
Village of Harrison
W5298 State Hwy 114
Menasha, WI 54952

RE: Notice concerning reimbursement for the costs associated with W6505 Manitowoc Road

Dear Travis:

As established in the terms of the Intergovernmental Agreement between the Town of Harrison and Calumet County dated October 29, 2009 (copy enclosed), Calumet County acquired the property and razed the buildings located at W6505 Manitowoc Road, and with this letter, provides notice of the county's intent to proceed with reconstruction of CTH LP in 2019.

The agreement states the Town of Harrison will reimburse Calumet County for one-half (50%) of all costs associated in the purchase of the property and razing of buildings at W6505 Manitowoc Road. The reimbursement is to occur at the time the CTH LP segment at Manitowoc Road is reconstructed as either a rural or urban roadway. The reimbursement due to Calumet County at that time is \$54,129.60.

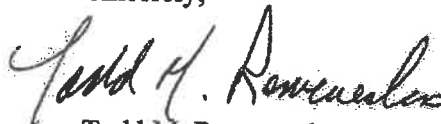
A list of costs associated with the purchase of property and razing of buildings at W6505 Manitowoc Rd. follows:

Purchase price	\$ 97,500.00
Closing fee – Evans Title Companies	75.00
Prepaid refuse fee proration 11/12/09-01/01/10	17.95
Recording fees	13.00
Property taxes	1,259.63
WE Energies (disconnect gas & electric)	469.46
Cardinal Environmental (asbestos inspection)	980.00
Advanced Asbestos Removal, Inc.	450.00
Calumet County Highway Dept.(demolition, clean up)	7,494.17

TOTAL \$108,259.21

Thank you for your continued support of this project. Should you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "Todd M. Romenesko". The signature is written in a cursive style with a large, stylized initial 'T'.

Todd M. Romenesko
County Administrator

TMR:pkw

Enc.

cc: Brian Glaeser, Calumet County Highway Commissioner

HARRISON SEPTEMBER 2019

HARRISON	841	825	827	829	833	835	836	837	TOTAL	SEPTEMBER	COMPLAINTS:	CITATIONS		
HOURS WORKED	41.5	83	83	8.3	8.3	8.3	108	8.3	348.6	HOURS WORKED	DAMAGE	1	INATTENTIVE DRIVING	4
DAILY MILES	263	676	815	88	154	1	916	99	3012	DAILY MILES	ANIMAL	3	FAIL TO WEAR SEATBELT	4
COMPLAINT HRS	11.1	3.7	7.3		0.4		18.9	0.5	41.9	COMPLAINT HRS	DISTURBANCE	4	FAIL TO STOP AT STOP SIGN	1
FOLLOW UP HRS	0.4	0.3	1				1.2		2.9	FOLLOW UP HRS	SUSPICIOUS VEHICLE	4	OPERATE W/O PROOF OF INS	4
ACCIDENT INV HRS	0.4		1				1.6		3	ACCIDENT INV HRS	THEFT	2	NON-REGISTRATION	2
ACC FOLLOW UP HRS					0.1				0.1	ACC FOLLOW UP HRS	911 HANG UP	9	FAIL TO OBEY SIGN	3
AGENCY ASSIST HRS		0.9	4.2				0.4		5.5	AGENCY ASSIST HRS	WELFARE	6	SPEED	5
SHERIFF COMPL. INV.	6	10	12		1		16	2	47	SHERIFF COMPL. INV.	NOISE	1	NO VALID LICENSE	1
SHERIFF FOLLOW UP	2	2	1			1	3		9	SHERIFF FOLLOW UP	DOMESTIC	2	GDL VIOLATION	1
SHERIFF ASSIST	1		1				1		4	SHERIFF ASSIST	RECKLESS DRIVING	6	OPERATE WHILE SUSPENDED	1
REPORT ACCIDENT	1		3				2		6	REPORT ACCIDENT	DEATH	1		
NONREPORTABLE			1		1				2	NONREPORTABLE	SUSPICIOUS SITUATION	1		
ACCIDENT FOLLOW UP									0	ACCIDENT FOLLOW UP	HAZARD	1		
ACCIDENT ASSIST									0	ACCIDENT ASSIST	SUSPICIOUS PERSON	1		
AGENCY ASSISTS		2	1				3		6	AGENCY ASSISTS	JUVENILE	2		
CITIZEN ASSIST		1					1		2	CITIZEN ASSIST	TRAFFIC	1		
MOTORIST ASSIST	1	1	3				2		8	MOTORIST ASSIST	DRUGS	1		
PROPERTY CHECKS									0	PROPERTY CHECKS	RUNAWAY	1		
ARRESTS							2		2	ARRESTS	ARRESTS:			
WARRANT ATTEMPT							1		1	WARRANT ATTEMPT	DOMESTIC DC	1		
TRAFIC CITS.	1	12	7		1		4		26	TRAFIC CITS.	POSSESSION THC W/INTENT	1		
ORD. CITS.									0	ORD. CITS.				
JUV ALCOHOL CITS.									0	JUV ALCOHOL CITS.				
O. W. I. ARRESTS									0	O. W. I. ARRESTS				
WRITTEN WARNINGS	9	10	9		1		15		44	WRITTEN WARNINGS				
15 DAYS		2			2				4	15 DAYS				
PARKING CITS.									0	PARKING CITS.				
HOUSE ALARM									0	HOUSE ALARM				
BUSINESS ALARM			1				1		2	BUSINESS ALARM	AGENCY ASSIST			
ALARM ASSIST									0	ALARM ASSIST	CALUMET SHERIFF	5		
AMB. ASSIST							3		5	AMB. ASSIST	DNR	1		
FIRE ASSIST									1	FIRE ASSIST				

**Village of Harrison
September-19 Zoning Permit Report**

	Current Year				Previous Year			
	Permits	YTD Permits	Estimated Value	YTD Estimate Value	Permits	YTD Permits	Estimated Value	YTD Estimate Value
Residential								
Single Family	5	51	\$ 1,327,000	\$ 15,183,005	2	59	\$ 600,000	\$ 15,698,445
Two Family (units)	0	0	\$ 0	\$ 0	0	0	\$ 0	\$ 0
Multi Family (units)	0	0	\$ 0	\$ 0	0	0	\$ 0	\$ 0
Additions	1	11	\$ 50,000	\$ 548,077	1	12	\$ 75,000	\$ 621,500
Acc. Structures	3	22	\$ 43,900	\$ 295,450	1	31	\$ 2,000	\$ 400,645
Miscellaneous	6	50	\$ 190,800	\$ 511,470	8	56	\$ 92,216	\$ 638,085
Total Residential	15	134	\$ 1,611,700	\$ 16,538,002	12	158	\$ 769,216	\$ 17,358,675
Com./Ind.								
New	0	2	\$ 0	\$ 5,400,000	0	0	\$ 0	\$ 0
Additions	0	0	\$ 0	\$ 0	0	0	\$ 0	\$ 0
Acc. Structures	0	0	\$ 0	\$ 0	0	0	\$ 0	\$ 0
Miscellaneous	2	3	\$ 65,000	\$ 66,250	1	5	\$ 9,550	\$ 49,150
Total Com./Ind.	2	5	\$ 65,000	\$ 5,466,250	1	5	\$ 9,550	\$ 49,150
Combined Total	17	139	\$ 1,676,700	\$ 22,004,252	13	163	\$ 778,766	\$ 17,407,825

Number of Vacant Lots Remaining 145