

**NOTICE OF PUBLIC HEARING AND VILLAGE BOARD MEETING**

**DATE:** Tuesday, January 12, 2021  
**TIME:** 6:00pm  
**PLACE:** Harrison Municipal Building  
W5298 State Road 114  
Harrison, WI 54952

NOTICE IS HEREBY GIVEN that a public hearing will be held at 6:00pm on Tuesday, January 12, 2021 to hear comments for/against the public way discontinuance for an unimproved street in the Village of Harrison. A village board meeting will begin after the public hearing is closed.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call of Village Board
4. Open Public Hearing
5. Close Public Hearing
6. Correspondence or Communications from Board and Staff
7. Public Comments  
Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three-minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.
8. Unfinished Business from Previous Meetings for Consideration or Action
  - a) Ordinance V21-02 Business License (Village Manager)
9. New Business for Consideration or Action
  - a) Minutes from 12/08/20 (Clerk-Treasurer)
  - b) Payment of Bills and Claims from 11/20/20-12/24/20 (Clerk-Treasurer)
  - c) Discharge of Firearms Application- Corey Stumpf, N8340 Firelane 12 (Clerk-Treasurer)
  - d) Resolution V2021-01 Vacate and Discontinue an Unimproved Street (Planner)
  - e) Ordinance V21-01 Zoning Text Amendments (climate controlled storage) (Planner)
  - f) Certified Survey Map- Kimberly Clark Corp.- Old Highway Road (Planner)
  - g) Preliminary Plat- Stargazer Estates Subdivision- Midway Road (Planner)
  - h) Development Agreement- Stargazer Estates Subdivision- Midway Road (Planner)
  - i) Affidavit of Correction for Drainage Easement- Lot 15 Southtowne Place Subdivision-

Kimberly Trail (Planner)

- j) Engineering Services Contract with Graef (Village Manager)
- k) Prosperity Drive Extension Request- Wallace/NAI Pfefferle (Planner)
- l) Election Pay (Village President)
- m) Review/Amend Stormwater Ordinance (Village Manager)
- n) Review Open/Close of Village Hall Lobby (Village President)
- o) Review/Amend Parking Ticket Ordinance (Village Manager)
- p) Resolution V2021-02 Establishing Polling Place for February Spring Primary (Clerk-Treasurer)

#### 10. Future Agenda Items

- a) Comprehensive Plan/Village Center Plan

#### 11. Closed Session

Pursuant to Wis. Stats. §19.85(1)(e), the Board will meet to deliberate or negotiate the purchase of public property, the investment of public funds or conduct other business when competitive or bargaining reasons require a closed session to address the following development agreements: Bayland Buildings (former Darboy Club Site)

Pursuant to Wis. Stats. §19.85(1)(c), the Board will also meet to consider employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility.

The Board may reconvene in open session pursuant to Wis. Stats. §19.85(2) to take action on any matter discussed in closed session or for such other purposes as are allowed by law.

#### 12. Adjournment

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

Agenda posted on 01/08/2021 at [www.harrison-wi.org](http://www.harrison-wi.org) and Municipal Building lobby

## ORDINANCE V21 - 02

### BUSINESS LICENSE

**WHEREAS**, in order to promote the health, safety, and general welfare of individuals in the community at large; and

**WHEREAS**, the Village wishes to maintain a record of all the businesses located within the Village; and

**WHEREAS**, a record of all the businesses located within the Village will assist the fire department in their duty to conduct fire inspections; and

**WHEREAS**, the Wisconsin State Statutes allow municipalities to implement business licenses;

**NOW THEREFORE**, the Village Board of the Village of Harrison, Wisconsin, does hereby adopt the following ordinance:

### BUSINESS LICENSE

#### **Business License.**

- A. **Registration required.** It shall be unlawful for any individual, partnership, corporation, or other for-profit entity to conduct regular and ongoing business at a permanent location within the village without being registered for that purpose and obtaining a business license as provided herein. This section shall apply to all for-profit business entities whether classified as manufacturing, commercial, retail, wholesale, service, or a home-based business that requires a conditional use permit and shall also apply to all non-profit organizations.
- B. **Purpose.** The purpose of the registration and business license as described herein are as follows:
  1. The collection of current and accurate information identifying existing business entities within the village and the initiation or termination of such businesses.
  2. Assistance with the efforts of various village officials and departments, including the building inspector, village clerk and fire department in maintaining accurate records of business and commercial owners to enable the officials and departments to perform their respective duties.
- C. **Application.**
  1. Each owner of a regular and ongoing business within the village shall complete and return to the village clerk a registration form furnished by the clerk which shall require information pertaining to the business, including identification of the business owner, contact information, business location and type of business. This requirement shall apply to all business entities or establishments described in subsection (A) of this section which exist at or are initiated after the effective date of the ordinance from which this section is derived.

2. A nonprofit organization existing within the village shall complete and return to the village clerk a registration form furnished by the clerk which shall require information pertaining to the organization, including identification of the head of the organization, contract information, organization location or meeting place, and type of organization. This requirement shall apply to any nonprofit organization existing at or initiated after the effective date of the ordinance from which this section is derived.
3. At the time the registration is returned, a fee shall be paid to the village clerk to cover the cost of processing the registration. The village board is hereby provided with the power to enact resolutions when deemed necessary, establishing fees regarding this section. The amount of the fee shall be stated in such resolution. The village clerk shall maintain a current schedule of fees. Upon payment of such fee and review of the completed application, the clerk shall issue a business license to the applicant.
4. This fee shall not apply to nonprofit organizations.

**D. Term; termination of business**

1. The business license described herein shall be effective and valid for the life of the business entity and no additional fees shall be collected. A new business license shall not be required for a change of ownership or a change of name in existing business if the new owners provides the village clerk with updated information as required under subsection (e) of this section.
2. Each holder of a business license shall notify the village clerk upon termination of the business entity or establishment. The clerk shall record such termination and cancel the business license.

**E. Duty to update.** Each holder of a business license shall notify the village clerk of any change pertaining to the information provided on the license application. The notification shall be made within 30 days of any such change.

**F. Penalty.** Any individual, partnership, corporation, or other for-profit business organization or nonprofit organization convicted of violating any provision of this section shall forfeit not less than \$25.00 nor more than \$100.00 for each violation plus cost of prosecution.

Adopted by the Village Board of the Village of Harrison, Wisconsin this \_\_\_ day of \_\_\_\_\_, 2021.

---

Kevin Hietpas, Village President

---

Attest: Jennifer Weyenberg, Village Clerk

**VILLAGE OF HARRISON  
BOARD MEETING MINUTES  
12/08/20**

A regular meeting of the Village of Harrison Board was called to order at 6:00pm in the Harrison Municipal Building, W5298 State Road 114 on December 08, 2020. After the Pledge of Allegiance was recited, roll call was taken.

Board Present: President Kevin Hietpas, Trustees Lou Miller, Mark Van Hefty, Darlene Bartlein, Scott Handschke, Pete Stier, Tyler Moore  
Board Excused: None  
Staff Present: Village Manager Travis Parish, Clerk-Treasurer Jennifer Weyenberg, Planner Mark Mommaerts, Operations Manager Jeff Funk

**Correspondence or Communications from Board and Staff**

T. Parish shared the Public Service Commission findings. There will be follow-up from the commission on how to handle the refunds. They are requesting another rate case study in 6 months. President Hietpas asked that switching to quarterly billing be added to a future agenda.

President Hietpas received a phone call from a developer looking at our website and said he was surprised that our map looked so small, so staff is asked to look into it.

**Public Comments**

Ryan Vanlankvelt, State Park Ct: He is upset about his neighbor driving on wildflowers while he is maintaining birdhouses. He is also upset that the village will only give him two buckets of salt for use on his private road. President Hietpas stated that even though it is a private road, if there is a reasonable request, Operations Manager Jeff Funk should work with him on the salt.

Scott Bradley, Harrison Road: Received a letter that he is non-compliant with his newly-installed culvert. He had reached out to Building Inspector Paul Birschbach before he began the project to see if he needed anything and was told he was set to go. It was settled that he will work with the Operations Manager to file the application for a variance.

John Van Dyke, Toonen Companies: Asking for support on the rezoning for Stumpf properties (Agenda Item 7b).

Property Owners on Harwood Road: Expressed concerns about a neighbor adding livestock to his property given past history with him. This item was addressed by the Village of Harrison Zoning Board of Appeals at a previous meeting. The village's code enforcement officer is asked to look at the property.

**New Business for Consideration or Action**

7(a) Minutes from 11/24/20

Motion: Trustee Stier with second by Trustee Moore to approve. Motion carried 7-0.

7 (b) Ordinance V20-20 Zoning Map Amendment- Manitowoc Road (Toonen/Stumpf)

The applicant is proposing to rezone approx. 40 acres of land along Manitowoc Road east of County Road N, Location IDs 39146 & 39148 from General AG [AG] to Multiple-Family Residential [RM]. While Planner Mark Mommaerts was introducing the item, Trustee Handschke made a motion to table the item until such time the Planning Commission could make a recommendation, and there is a review by the village board on the future land use, and use of that property and the village center. Motion was seconded by Trustee Miller. Planner Mommaerts explained that there is a process to postpone- and part of that process involves the applicant agreeing to the postponement, and they have not agreed to do so as they have an offer to purchase with a deadline and are waiting for an answer from the board. The Planner further explained under statute, the board cannot continue to postpone. Without any action or agreement from the applicant by December 17th, the item is approved. Trustee Handschke shared his concern that the board didn't get the Plan Commission recommendation and it does a disservice to the people who signed up to be on that committee. Planner Mommaerts reminded the board they did this a few months ago with the Lexington Homes project- the Plan Commission had postponed action and the board approved it.

John Van Dyck, representing Toonen Companies, was asked if he was willing to postpone. Trustee Handschke asked for time to make sure the board was all on the same page and asked for the Plan Commission to go through and make its recommendation and that the board, in the near future, could talk about the City Center and the area around it. President Hietpas said that at the Plan Commission level, it was represented that it was 1,300 new multi-families that were approved this year and made a correction that it was just shy of 1,300 and it was all of them in existence from 2013 to the ones projected through 2025. John Van Dyck was asked if he would agree in a delay up to March 1<sup>st</sup>.

Mr. Van Dyck requested that the board vote on the matter, as they have had an offer to purchase for 3 ½ years. The Stumpfs, who own the property, are expecting an answer. With each delay and extension, the owners ask for additional money. As a developer, they rely on the comprehensive plan; their company's interest in the property was because the previous board said this type of development is what they wanted to see there. It is unfair to change the rules in the middle of the process. He again asked for a decision at this meeting.

Planner Mommaerts reminded the board that the under statutes, any zoning decisions be consistent with the comprehensive plan. Harrison's plan does identify this area as the village center with multi-family as part of it. This rezoning request does comply with the plan. He stated that if there is a denial, it would not be consistent with the village's plan.

Trustee Handschke asked for two more months to go through the process that the board has discussion. It is unreasonable to say that because the property owner wants to sell now, they have to make a decision.

Trustee Van Hefty agreed with Trustee Handschke and said it is a wave election and there are thousands of people in the Village of Harrison that voted three new constituents in and their biggest thing was multi-family, especially in the heart of Harrison. He wants to delay this a couple of months to re-evaluate the City Plan.

Trustee Handschke asked for a way to discuss the matter privately and was reminded that would be illegal.

Trustee Lou Miller agreed with Trustees Handschke and Van Hefty that he would like more time.

Trustee Stier clarified that if the board moves to postpone it, it will still be approved because no action was taken. If they postpone it, it will show the constituents that they tried to have it postponed, and so the people who don't like multi-family will be happy with that, but the developer will still get what they want.

Trustee Bartlein added the Plan Commission does get very upset when the board doesn't respect what they have to say. What is the point of having a plan commission if the board by-passes them.

With the motion and second to table still pending, Trustee Handschke and Trustee Miller withdrew their motion and second.

Trustee Handschke made a motion to approve Ordinance V20-20 Zoning Map Amendment (Rezoning)- Toonen Companies.

Motion to approve the ordinance was denied 3-4.

Hietpas- aye	Van Hefty- nay
Miller- aye	Bartlein- nay
Moore- aye	Handschke- nay
	Stier- nay

7(c) Subdivision Development Agreement- Stargazer Estates- Midway Road (Lexington Homes) Jeff Marlowe, of Lexington Homes asked to deviate from the Subdivision Improvement Policy. He is asking to do curb and gutter with first lift of binder, and would like to put sidewalks in early, too. Staff recommends denying his request and following the adopted Subdivision Improvement Policy.

Trustee Bartlein stated they should stick with their current policy.

Motion was made by Trustee Handschke to accept the deviation for the developer agreement for Stargazer Estates. Planner Mommaerts explained the developer is asking for something different from the original plan, and if the board doesn't want anything changed, they don't need to make a motion.

7(d) Engineering Services Firm Selection

The top 3 firms- MSA Professional Services, Graef, and Robert E Lee & Associates) were interviewed on December 3<sup>rd</sup>. The selection committee recommends the Village Board approve Graef for village engineering services.

Motion by Trustee Handschke with second by Trustee Miller to select Graef to be the engineering firm that provides the Village of Harrison with engineering services for the fiscal year 2021.

Trustee Stier added that if the village needs engineering, it use one of the firms in the top 3, and not any of them not in the top 3.

Village Manager asked for clarification that there are some outstanding projects that McMahon is still working on and they should finish those up. Motion carried 7-0.

7 (e ) Closeout Contract with MCC for Kesler Road Project Contingent on Sherwood's Approval  
It was determined that Harrison's road department will add gravel to Kesler Road to make it driveable through the winter and then next year Harrison and Sherwood will re-evaluate the road to determine if it should be paved or double chip sealed. In order to do this, the contract with MCC must be closed out. Motion by Trustee Van Hefty with second by Trustee Stier to close out the contract. Motion carried 7-0.

7(f) Modifications to Schmidt Road Bridge Project

Village Manager asked for direction from the board. In talking to the engineer, there are two options:

(1) Not do anything with the road and simply replace the culvert- this could save up to \$450,000; or,

(2) Improve road safety also.

Village Manager Parish added that through research of old Town ordinances, this road is 55 mph (not 45 mph). He asked for clarification if the board wanted to do the bridge or the road and the bridge.

President Hietpas thanked Operations Manager Jeff Funk and his crew for removing the trees on the road. He added that the village should replace what is needed but don't go overboard because there isn't much of a traffic count.

Motion by Trustee Van Hefty with second by Trustee Stier to have Graef for the bridge culvert on Schmidt Road moving forward. Motion carried 7-0.

7(g) Resolution V2020-20 To Pay Off Loan No. 25260301 with Investors Community Bank

Motion by Trustee Stier with second by Trustee Miller to approve. Motion carried 7-0.

7(h) Business Permit/License

The board agreed to set a fee of \$5.00

Village Manager T. Parish will bring this back to a future meeting for formal approval.

7(i) Lessons Learned on Golden Way

Trustee Handschke led the discussion and distributed a template to the board members. They were asked to fill in the template and return to him.

**Future Agenda Items**

Trustee Miller: Ways for Trustees to virtually attend meetings if they are not able to attend in-person.

Trustee Handschke: Village Center and Future Land Use

Next meetings are set for January 12, 2021 and January 26, 2021.

**Closed Session**

Roll Call vote to enter closed session:

Miller- aye

Van Hefty- aye

Bartlein- aye



Hietpas- aye  
Handschke- aye  
Stier- aye  
Moore- aye

Pursuant to Wis. Stats. §19.85(1)(e), the Board met to deliberate or negotiate the purchase of public property, the investment of public funds or conduct other business when competitive or bargaining reasons require a closed session to address the following development agreements:  
Bayland Buildings (former Darboy Club Site)

Pursuant to Wis. Stats. §19.85(1)(c), the Board also met to consider employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility.

The meeting adjourned in closed session.

---

Jennifer Weyenberg, Village Clerk-Treasurer  
Dated December 8, 2020  
Approved January 14, 2021

Summary of Payments Approved By:

President Kevin Hietpas

Trustee Pete Stier

Trustee Scott Handschke

Trustee Tyler Moore

Trustee Darlene Bartlein

Trustee Mark Van Hefty

Trustee Lou Miller

Presented by: Jennifer Weyenberg, Clerk-Treasurer  
 Approved: December 29, 2020  
 Approved: January 12, 2021

Summary of Payments:		Nov 20-Dec 24, 2020
<b>Check Register (general)</b>		
10264-10312	posting date 12/04/2020	233,233.69
10313-10327	posting date 12/14/2020	14,076.44
<b>Loan Payment</b>		
Investor Community Bank	transaction 12/09/20	510,342.36
<b>Direct Pay</b>		
Verizon	transaction 12/23/20	47.95
United HealthCare	transaction 12/10/20	15,652.47
Reliance Standard	transaction 12/22/20	380.47
Wisconsin Retirement	transaction 11/30/20	18,217.00
Merchant's Choice	transaction 12/02/20	38.56
Delta Dental	transaction 12/01/20	1,379.03
Tractor Supply	transaction 12/21/20	215.23
Reliance Standard	transaction 11/23/20	1,196.62
WE Energies	transaction 11/23/20	2,769.60
Verizon	transaction 11/25/20	47.95
<b>Payroll</b>		
Payroll #24 net pay by direct dep	11/27/2020	32,863.45
Payroll #25 net pay by direct dep	12/10/2020	24,880.92
Payroll #26 net pay by direct dep	12/24/2020	63,178.71
<b>Payroll Taxes</b>		
State Taxes	11/24/2020	1,608.80
Federal Taxes	12/1/2020	11,783.66
State Taxes	12/10/2020	2,383.72
Federal Taxes	12/14/2020	7,305.17
<b>TOTAL</b>		<b>941,601.80</b>

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
10264 11869079	12/04/2020	AUTOMOTIVE SUPPLY- APPLETON	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	1,086.00
		FROM 11/20/20 OIL PUMP 11869079	
Total			1,086.00
10265	12/04/2020	BRAD WELHOUSE	
		NOVEMBER CELL PHONE STIPEND, WORK BOOTS	
100-09-53311-500-022		Hwy Dept - Telephone	30.00
		NOVEMBER CELL PHONE STIPEND	
100-09-53311-400-000		Hwy Dept - Supplies	179.34
		REIMBURSE WORK BOOTS	
Total			209.34
10266	12/04/2020	BROOKS TRACTOR INC - SUN PRAIRIE	
		R30236	
100-09-53311-900-000		Hwy Dept - Road Maintenance	3,399.00
		FROM 11/19/20 WHEEL LOADER RENTAL R30236	
Total			3,399.00
10267	12/04/2020	CALUMET COUNTY TREASURER-HIGHWAY DEPARTMENT	
		109005	
100-09-53311-900-000		Hwy Dept - Road Maintenance	8,433.30
		INVOICE 10/1 - 10/31/20 SURFACE MAINT	
Total			8,433.30
10268	12/04/2020	CARSTENS ACE HARDWARE	
		208253, 208354	
100-06-52200-400-000		Fire Dept - Supplies/Services	8.99
		FROM 11/16/20 MOTOR TREATMENT 208253	
100-09-53311-400-000		Hwy Dept - Supplies	35.96
		FROM 11/18/20 MOTOR TREATMENT 208354	
Total			44.95
10269	12/04/2020	CHAD BOESCH	
		NOVEMBER CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone	30.00
		NOVEMBER CELL PHONE STIPEND	
Total			30.00

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
10270	12/04/2020	DUO-SAFETY LADDER CORP 478061-000	
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 11/17/20 HEAT SENSOR LABELS 478061-000	16.75
Total			16.75
10271	12/04/2020	FAHRNER ASPHALT SEALERS 8300008191 H0006-9-20-00741-A	
100-09-57330-000-000		Capital Outlay - Road Projects PAYMENT #1 H0006-9-20-00741-A 8300008191	190,059.37
Total			190,059.37
10272	12/04/2020	FERGUSON WATERWORKS #1476 318920	
100-09-53311-900-000		Hwy Dept - Road Maintenance FROM 11/25/20 KIMB HEIGHTS CURB, GRATES 318920	5,127.02
Total			5,127.02
10273	12/04/2020	FOX CITIES SIGN AND LIGHTING SERVICES, LLC 23838	
100-09-53311-505-000		Hwy Dept - Building Maint FROM 11/24/20 CHECK MESSAGE BOARD 23838	210.00
Total			210.00
10274	12/04/2020	GAT SUPPLY, INC 372482-1, 372530-1	
100-09-53311-400-000		Hwy Dept - Supplies FROM 11/27/20 FIBERGLASS MARKERS 372482-1	387.00
100-09-53311-400-000		Hwy Dept - Supplies FROM 11/27/20 PAINT MARKERS 372530-1	4.78
Total			391.78
10275	12/04/2020	GRANT GORGES REIMBURSE WORK BOOTS, NOV CELL STIPEND	
100-09-53311-400-000		Hwy Dept - Supplies REIMBURSE WORK BOOTS	158.09
100-09-53311-500-022		Hwy Dept - Telephone NOVEMBER CELL PHONE STIPEND	30.00
Total			188.09

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
 Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
10276	12/04/2020	GRUETT'S 62106P	
100-09-53311-400-000		Hwy Dept - Supplies FROM 11/20/20 CAMERA	423.25
		62106P	
		Total	423.25
10277	12/04/2020	HARRISON UTILITIES ACCOUNT 000-2781-00	
100-07-52200-500-023		Fire Station 70 - Water/Sewer ACCOUNT 000-2781-00	32.50
		Total	32.50
10278	12/04/2020	JARRED GERL NOVEMBER CELL PHONE STIPEND	
100-07-52200-500-022		Fire Station 70 - Telephone NOVEMBER CELL PHONE STIPEND	40.00
		Total	40.00
10279	12/04/2020	JEFF FUNK NOVEMBER CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone NOVEMBER CELL PHONE STIPEND	40.00
		Total	40.00
10280	12/04/2020	JEFF WISNET NOVEMBER CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone NOVEMBER CELL PHONE STIPEND	30.00
		Total	30.00
10281	12/04/2020	JENNIFER WEYENBERG NOVEMBER CELL PHONE STIPEND	
100-00-51600-500-022		Municipal Bldg - Telephone NOVEMBER CELL PHONE STIPEND	40.00
100-00-51440-400-000		Elections - Supplies Bringit Online Shift Worker subscription	49.95
		Total	89.95
10282	12/04/2020	JOANNE SIEMEK MULCH FOR 2020	

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
 Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-00-55200-000-000		Parks - Maint. and Utilities	12.47
		MULCH FOR 2020	
		Total	12.47
10283	12/04/2020	JOE'S POWER CENTER	
		83290	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	26.97
		FROM 11/24/20 OIL 83290	
		Total	26.97
10284	12/04/2020	KAATS WATER CONDITIONING INC.	
		ACCT 1130062	
100-09-53311-400-000		Hwy Dept - Supplies	40.14
		CHARGES THROUGH 11/20/20	
		Total	40.14
10285	12/04/2020	KAYLEE GREZINSKI	
		NOVEMBER CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone	40.00
		NOVEMBER CELL PHONE STIPEND	
		Total	40.00
10286	12/04/2020	KIMBALL MIDWEST	
		8396032, 8403897	
100-09-53311-400-000		Hwy Dept - Supplies	418.08
		FROM 11/17/20 PAINT 8396032	
100-09-53311-400-000		Hwy Dept - Supplies	518.88
		FROM 11/19/20 PAINT 8403897	
		Total	936.96
10287	12/04/2020	KREPLINE TRUCKING & EXCAVATING INC	
		6696, 6703	
100-09-53311-900-000		Hwy Dept - Road Maintenance	323.67
		FROM 11/16/20 3/4 DENSE BASE 3 LOADS 6696	
100-09-53311-900-000		Hwy Dept - Road Maintenance	104.13
		FROM 11/24/20 SWEETGRASS TRL- 3/4 DENSE 6703	
		Total	427.80
10288	12/04/2020	L & S TRUCK CENTER	
		258890	

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	226.82
	FROM 11/16/20	HOOD PART TRK #14 258890	
Total			226.82
10289	12/04/2020	LANGE ENTERPRISES, INC 74683	
100-09-53315-902-000		Hwy Dept - Signs	2,031.13
	FROM 11/23/20	POSTS, ROAD SIGNS, BRACKETS 74683	
Total			2,031.13
10290	12/04/2020	LISOWE OIL DIV OF ADVANCED FUEL SERV 24402	
100-09-53311-600-030		Hwy Dept - Fuel	1,179.98
	FROM 11/17/20	24402	
Total			1,179.98
10291	12/04/2020	MARK MOMMAERTS NOVEMBER CELL PHONE STIPEND	
100-00-51600-500-022		Municipal Bldg - Telephone	40.00
		NOVEMBER CELL PHONE STIPEND	
Total			40.00
10292	12/04/2020	MATT LANCASTER REIMBURSE GAS TOOLS, HOSE END, FLOOR CLEAN	
100-06-52200-400-000		Fire Dept - Supplies/Services	27.16
		REIMBURSE GAS TOOLS, HOSE END, FLOOR CLEAN	
Total			27.16
10293	12/04/2020	MCPAHON 920746, 920747	
100-00-53441-100-000		Illicit Discharge Program	800.00
		FIELD SCREENING OF OUTFALLS 920746	
100-00-53441-200-000		Stormwater Planning	366.70
		UNPS STORMWATER PLANNING 920747	
Total			1,166.70
10294	12/04/2020	MGD INDUSTRIAL CORPORATION 188386	
100-09-53311-400-000		Hwy Dept - Supplies	356.69
	FROM 11/30/20	SUPPLIES 188386	

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
<b>Total</b>			<b>356.69</b>
10295	12/04/2020	MIDWEST DESIGN HOMES GRADE ESC RTN W6043 ZACH,N9371 TOUCHDOWN	
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN W6043 ZACH ST	1,500.00
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN N9371 TOUCHDOWN DR	1,500.00
<b>Total</b>			<b>3,000.00</b>
10296	12/04/2020	MIKE BRANTMEIER NOVEMBER CELL PHONE STIPEND	
100-06-52200-500-022		Fire Station 60 - Telephone NOVEMBER CELL PHONE STIPEND	30.00
<b>Total</b>			<b>30.00</b>
10297	12/04/2020	MIKE NETT NOVEMBER CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone NOVEMBER CELL PHONE STIPEND	40.00
<b>Total</b>			<b>40.00</b>
10298	12/04/2020	MIKE'S ELECTRIC 11973	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 11/25/20 AIR COMPRESSR CHANGE BOLTS 11973	71.50
<b>Total</b>			<b>71.50</b>
10299	12/04/2020	OFFICE DEPOT BUSINESS CREDIT FROM 10/23 - 11/5 OFFICE SUPPLIES	
100-02-51400-400-000		Gen. Admin - Supplies FROM 10/23 - 11/5 OFFICE SUPPLIES	615.05
<b>Total</b>			<b>615.05</b>
10300	12/04/2020	POMP'S TIRE SERVICE INC. 320106457	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 11/16/20 TIRES 320106457	2,704.00
<b>Total</b>			<b>2,704.00</b>



INVESTORS COMMUNITY BANK Accounting Checks

Posted From: 12/04/2020 From Account:  
 Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
10301	12/04/2020	SHORT ELLIOT HENDRICKSON, INC 396601, 396602	
100-00-52400-200-000		Inspections - Grade Checks TEMP GRADE STAKE, FOUNDATION GRADE CHECKS 396601	244.60
100-00-52400-200-000		Inspections - Grade Checks TEMP GRADE STAKE, FOUNDATION GRADE CHECK 396602	7,937.80
Total			8,182.40
10302	12/04/2020	SPECTRUM- 4901 607974901112520	
100-02-51400-400-006		Gen. Admin - Service Contracts SERVICE PERIOD 11/24-12/23	206.48
Total			206.48
10303	12/04/2020	SPECTRUM- 5101 607975101112420	
100-02-51400-400-006		Gen. Admin - Service Contracts SERVICE PERIOD 11/23-12/22	131.24
Total			131.24
10304	12/04/2020	STEVE LITTLE NOVEMBER CELL PHONE STIPEND	
100-08-52300-000-000		1st Responders - Operating Exp NOVEMBER CELL PHONE STIPEND	30.00
Total			30.00
10305	12/04/2020	STUMPF EXCAVATING & TRUCKING 8539	
100-09-53311-505-000		Hwy Dept - Building Maint PUMP HOLDING TANKS 11/30/20 8539	240.00
Total			240.00
10306	12/04/2020	SUPERIOR VISION INSURANCE 465212	
100-02-51400-200-000		Gen. Admin - Benefits OFFICE VISION INSURANCE FOR DEC 20 465212	73.95
100-09-53311-200-000		Hwy Dept - Benefits SHOP VISION INSURANCE FOR DEC 20 465212	59.85
100-01-51101-200-000		Planning - Benefits PLANNER VISION INSURANCE FOR DEC 20 465212	24.65

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
 Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-00-14500-000-000		Due from Special Purpose Dist. UTILITIES VISION INSURANCE FOR DEC 20 465212	88.03
Total			246.48
10307	12/04/2020	THEDACARE AT WORK 297520	
100-09-53311-306-000		Hwy Dept - CDL/Testing DOT POOL ANNUAL MEMB 297520	168.00
Total			168.00
10308	12/04/2020	TRAVIS PARISH NOVEMBER CELL PHONE STIPEND	
100-00-51600-500-022		Municipal Bldg - Telephone NOVEMBER CELL PHONE STIPEND	40.00
Total			40.00
10309	12/04/2020	VILLAGE OF SHERWOOD 000-0016-00	
100-09-57330-000-000		Capital Outlay - Road Projects 10/31/20 KESLER RD & STATE PARK RD	516.73
Total			516.73
10310	12/04/2020	WELLS FARGO FINANCIAL LEASING 5012806537	
100-02-51400-400-006		Gen. Admin - Service Contracts COVERAGE PERIOD 11/17-12/16/20 5012806537	575.69
Total			575.69
10311	12/04/2020	WESLEY POMPA NOVEMBER CELL PHONE STIPEND	
100-07-52200-500-022		Fire Station 70 - Telephone NOVEMBER CELL PHONE STIPEND	30.00
Total			30.00
10312	12/04/2020	WIL-KIL PEST CONTROL 4045738	
100-02-51400-400-006		Gen. Admin - Service Contracts FIRE STATION 60 NA	0.00
100-02-51400-400-006		Gen. Admin - Service Contracts FIRE STATION 70 NA	0.00

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
 Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-02-51400-400-006		Gen. Admin - Service Contracts	
		EXTERIOR INSECT FIRE STATION #60 4045738	42.00
100-02-51400-400-006		Gen. Admin - Service Contracts	
		EXTERIOR INSECT FIRE STATION 70 NA	0.00
100-02-51400-400-006		Gen. Admin - Service Contracts	
		POWER SPRAY - VILLAGE HALL NA	0.00
100-02-51400-400-006		Gen. Admin - Service Contracts	
		VILLAGE HALL NA	0.00
Total			42.00
10313 12/14/2020 CALUMET COUNTY TREASURER			
2020 DOG SETTLEMENT TO COUNTY			
100-00-24030-000-000		Due to County - Dog License	
		2020 DOG SETTLEMENT TO COUNTY	2,784.00
Total			2,784.00
10314 12/14/2020 CARSTENS ACE HARDWARE			
207590			
100-06-52200-400-000		Fire Dept - Supplies/Services	
		FROM 10/31/20 AIR HOSE 207590	40.92
Total			40.92
10315 12/14/2020 DAVE BRECKHEIMER			
REIMBURSE GENERATOR LIGHTHEAD, ELEC PARTS			
100-06-52200-400-000		Fire Dept - Supplies/Services	
		REIMBURSE GENERATOR LIGHT HEAD	60.48
100-06-52200-400-000		Fire Dept - Supplies/Services	
		REIMBURSE ELECTRICAL PARTS FOR GENERATOR	75.39
Total			135.87
10316 12/14/2020 FAST SIGNS			
A 128292			
100-02-51400-400-000		Gen. Admin - Supplies	
		GREY H STICKERS 2021- QTY 2000 A128292	638.00
Total			638.00
10317 12/14/2020 FERGUSON WATERWORKS #1476			
319917			
100-09-53311-900-000		Hwy Dept - Road Maintenance	
		FROM 12/2/20 BUTYL RUBBER SEAL TAPE 319917	108.00

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
<b>Total</b>			<b>108.00</b>
10318	12/14/2020	GRUETT'S 62570P	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 12/8/20 FORD 550 62570P	433.00
<b>Total</b>			<b>433.00</b>
10319	12/14/2020	JEFFERSON FIRE & SAFETY IN122780, IN122792	
100-06-57220-000-000		Fire Dept - Capital Outlay FROM 10/20/20 PAUL CONWAY SHIELDS IN122780	1,698.00
100-06-57220-000-000		Fire Dept - Capital Outlay FROM 10/20/20 HELMET IN122792	299.87
<b>Total</b>			<b>1,997.87</b>
10320	12/14/2020	LANGE ENTERPRISES, INC 74715, 74716	
100-09-53315-902-000		Hwy Dept - Signs FROM 11/25/20 SWEETGRASS, WILDFLOWER 74715	298.00
100-09-53315-902-000		Hwy Dept - Signs FROM 11/25/20 ROAD NAMES, STOP, YIELD 74716	585.80
<b>Total</b>			<b>883.80</b>
10321	12/14/2020	LCF HOMES LLC GRADING ESCROW RETURN N9370 TOUCHDOWN DR	
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN N9370 TOUCHDOWN DR	1,500.00
<b>Total</b>			<b>1,500.00</b>
10322	12/14/2020	MCCLONE AGENCY 1998	
100-00-51938-000-000		Insurance - General and Auto 21/22 COMMERCIAL ACCIDENT YEAR 2 OF 3 1998	2,056.00
<b>Total</b>			<b>2,056.00</b>
10323	12/14/2020	PACKER CITY INTERNATIONAL TRUCKS R103020960:01	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 11/18/20 REPAIR COOLANT LEAK R103020960:01	189.14

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020 From Account:  
Thru: 12/14/2020 Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total 189.14
10324	12/14/2020	POMP'S TIRE SERVICE INC. 320106996	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 11/19/20 FORD F550 TIRES 320106996	1,698.90
			Total 1,698.90
10325	12/14/2020	RIESTERER & SCHNELL, INC Chilton 1899648	
100-09-53311-901-000		Hwy Dept - Ditching/Grading FROM 12/9/20 GREASE AND FILTERS 1899648	645.95
			Total 645.95
10326	12/14/2020	SERVICEMASTER BUILDING MAINTENANCE 35470	
100-02-51400-400-006		Gen. Admin - Service Contracts FROM 12/1/20 JANITORIAL DECEMBER 35470	925.00
			Total 925.00
10327	12/14/2020	STAMPS.COM S1092620121	
100-02-51400-400-006		Gen. Admin - Service Contracts METER 7434038 SERVICE FEE 12/1-12/31 S1092620121	39.99
			Total 39.99
Grand Total			247,310.13

1/08/2021 10:17 AM

Reprint Check Register - Full Report - Regular

Page: 12  
ACCT

INVESTORS COMMUNITY BANK

Accounting Checks

Posted From: 12/04/2020  
Thru: 12/14/2020

From Account:  
Thru Account:

Amount

---

Total Expenditure from Fund # 100 - GENERAL FUND

247,310.13

Total Expenditure from all Funds

247,310.13



## Discharge of Firearms Application

Owner mailing address: N8340 Firclane 12 Menasha 54952

I, Corey C Stumpf own 54.877 contiguous acres of land  
(name) (# of acres)

within the Village of Harrison, located at:

Tax ID 3990,40,000,39996,39998,40002 All Connecting  
(address or description of property)

I acknowledge as the land owner, I

- am the only one who can give non-family members permission to fire or discharge firearms on the land.
- must request a waiver annually.
- that the waiver can be revoked for a violation of WI State Statute Chapter 167 or Chapter 941 relative to the use of firearms.

[Signature]  
Authorized Signature (Land Owner)

1-1-2021  
Date

BOARD ACTION: \_\_\_\_\_ Approve \_\_\_\_\_ Deny \_\_\_\_\_ Date of Meeting \_\_\_\_\_

Land Owner \_\_\_\_\_ Calumet County Sheriff's Department \_\_\_\_\_ Municipal Copy \_\_\_\_\_

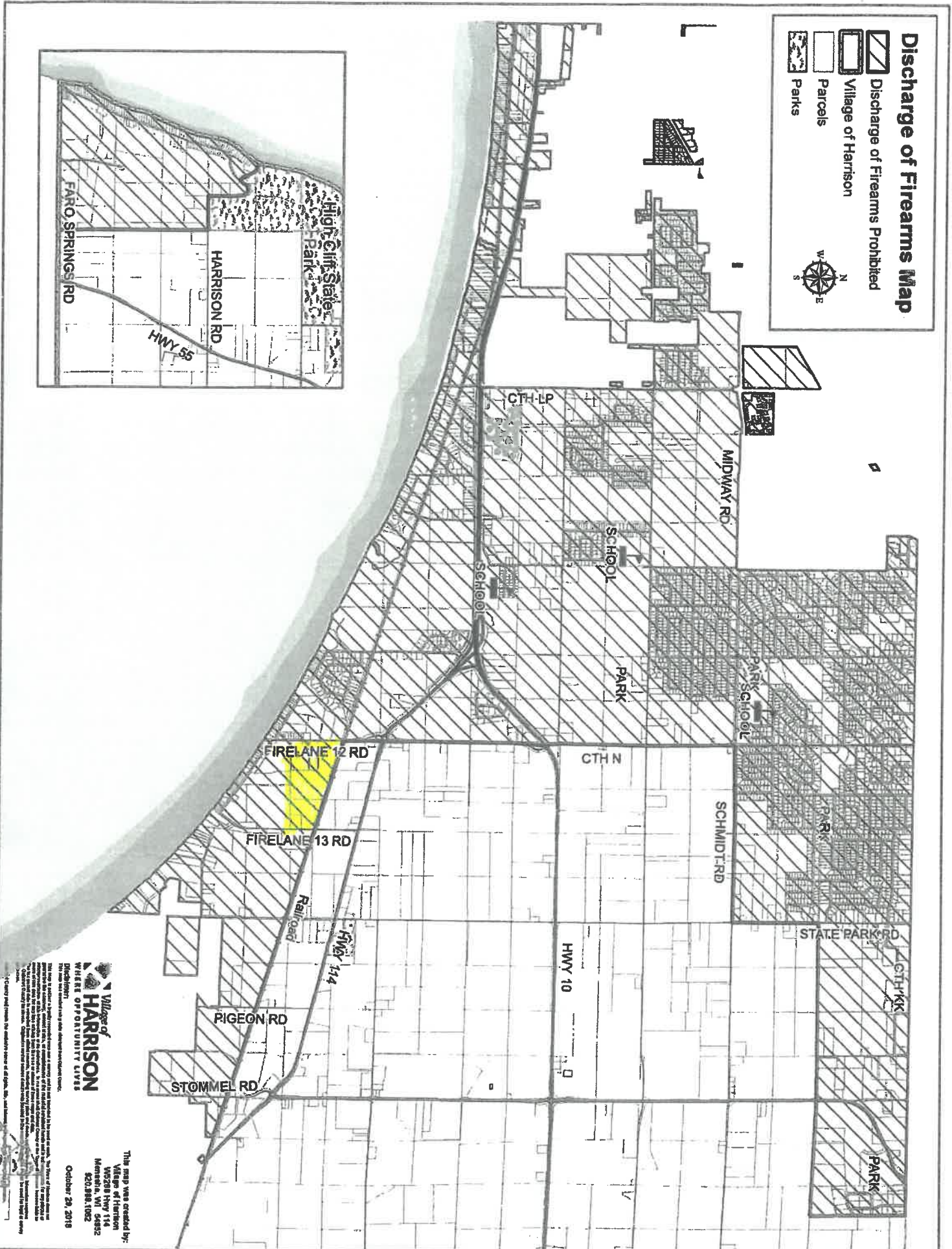
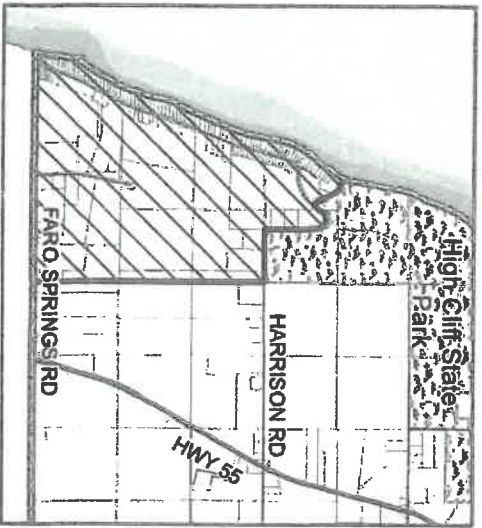
Staff Use Only:

Verification of Acres Listed Above: 54.88 wjm

Renewal

# Discharge of Firearms Map

-  Discharge of Firearms Prohibited
-  Village of Harrison
-  Parcels
-  Parks



This map was created by:  
 Village of Harrison  
 10220 Hwy 118  
 Meriville, VA 24452  
 803.988.1082  
 October 20, 2018

This map is a general guide and does not constitute a warranty or representation of any kind. The Village of Harrison does not warrant the accuracy or completeness of the information contained herein. The Village of Harrison is not responsible for any errors or omissions in this map. The Village of Harrison is not responsible for any damages or losses resulting from the use of this map. The Village of Harrison is not responsible for any actions taken by any person based on the information contained herein. The Village of Harrison is not responsible for any actions taken by any person based on the information contained herein. The Village of Harrison is not responsible for any actions taken by any person based on the information contained herein.



---

**VILLAGE BOARD MEETING**

---

**VILLAGE OF HARRISON****From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

January 12, 2021

---

**Title:**

Resolution V2021-01 – Vacating and Discontinuing an unimproved right-of-way

---

**Issue:**

Should the Village Board adopt Resolution V2021-01 vacating and discontinuing an unimproved right-of-way?

---

**Background and Additional Information:**

The property owners on both sides of an unimproved road right-of-way are requesting the Village vacate the unimproved right-of-way. The unimproved right-of-way is located between parcels Ids 40876 (W4612 High Cliff Road) & 40880 (W4650 High Cliff Road). The unimproved right-of-way in on the north side of High Cliff Road approximately 1,700-feet west of Hwy 55.

Originally, the property was surveyed into 4-parcels, with a public road proposed to provide access. Since that time, three of the parcels have been combined into one parcel (Id 40880) which contains a house with driveway access to High Cliff Road. The other parcel (Id 40876) contains a house which also has driveway access to High Cliff Road. The proposed public road was never constructed and remains an unimproved right-of-way.

A vacation of the unimproved right-of-way must follow statutory process for the Village to release/vacate its rights to the right-of-way. There is then a statutory process as to how the vacated right-of-way is transferred back to adjacent properties. The Village Board already passed a resolution setting a public hearing date to discuss the discontinuance. The next step is to adopt a resolution formally vacating and discontinuing the right-of-way.

---

**Budget Impacts:**

None

---

**Recommended Action:**

Staff recommends approval of Resolution V2021-01 vacating and discontinuing an unimproved right-of-way.

---

**Attachments:**

- Letter of Request
- Aerial Map
- Resolution V2021-01

Village of Harrison  
ATTN: Travis Parish  
W5298 Hwy. 114  
Menasha, WI 54952

Dear Mr. Parish:

We the property owners, Charles K. and Cynthia S. Guyette, W4612 High Cliff Road, and Charles W. Desmond, W4650 High Cliff Road, request the right of way road between our properties, be deeded back to us.

Charles and Cynthia Guyette are the owners of parcel 3, and Charles Desmond is the owner of parcels 1, 2, and 4, on the attached survey map.

Thank you for your consideration of our request.

*Charles K. Guyette* *Cynthia S. Guyette*

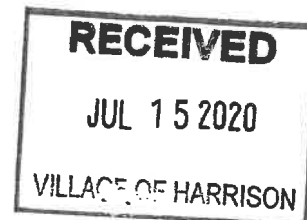
Charles K. Guyette and Cynthia S. Guyette  
W4612 High Cliff Road  
Menasha, WI 54952  
920-989-1575

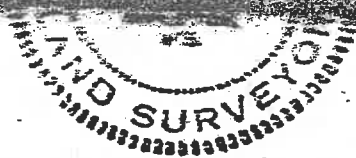
*Charles W. Desmond*

Charles W. Desmond  
W4650 High Cliff Road  
Menasha, WI 54952  
920-851-4757

July 12, 2020

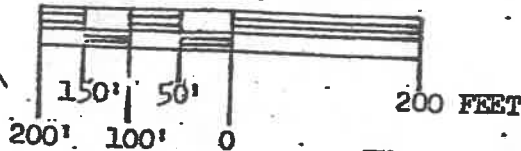
Attachment: original survey map





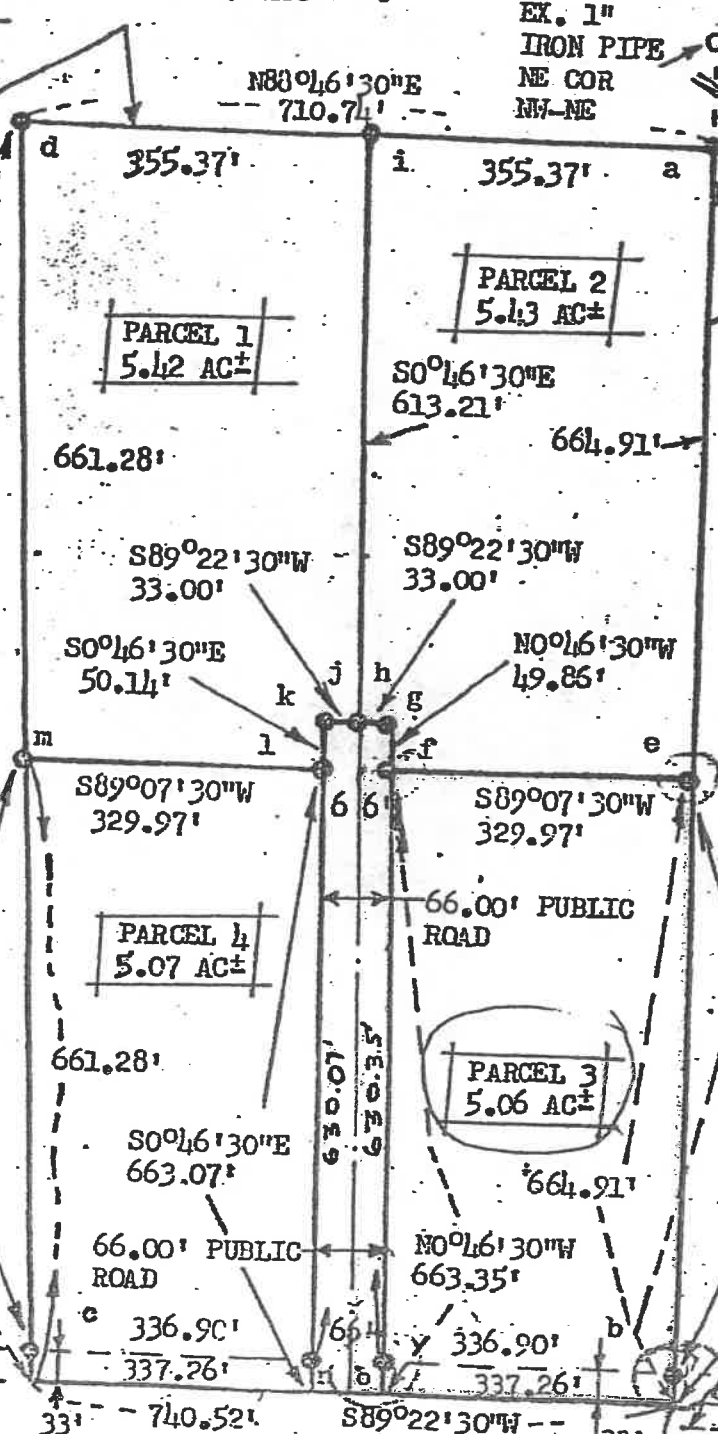
ALUMET CO. CERTIFIED  
 SURVEY MAP NO. \_\_\_\_\_  
 RECORDED IN VOLUME \_\_\_\_\_  
 OF CERTIFIED SURVEY MAPS \_\_\_\_\_  
 ON PAGE \_\_\_\_\_  
 DOCUMENT NO. \_\_\_\_\_

GRAPHIC SCALE 1"=200'

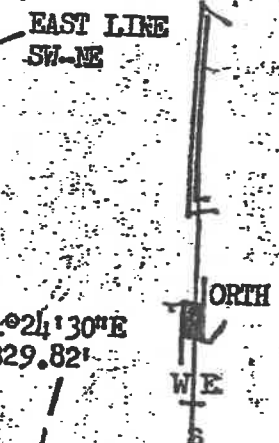


CERTIFIED SURVEY MAP BEING  
 PART OF THE SW 1/4 OF THE NE 1/4  
 OF SECTION 31, T20N, R19E,  
 TOWN OF HARRISON, CALUMET  
 CO., WIS.

NORTH  
 LINE SW-NE  
 THIS IS REFERENCED TO  
 EAST LINE  
 SECTION 31-20-19  
 WHICH IS ASSUMED  
 BEAR NO 018'30"W



EX. 1"  
 IRON PIPE  
 NE COR  
 NW-NE  
 1329.83'



● = 3/4" x 21"  
 ROUND IRON BAR,  
 1.502 LBS PER LIN FT

- ANGLES
- a=90°11'
  - b=89°13'
  - c=89°29'
  - d=91°07'
  - e=89°28'
  - f=89°51'
  - g=269°51'
  - h=90°09'
  - i=90°27'
  - j=89°51'
  - k=270°09'
  - l=90°06'
  - m=89°14'
  - n=90°09'
  - o=89°51'

EAST & WEST  
 1/4 LINE

INTER OF  
 SECTION  
 LINE

JAMES A. HEBERT, REGISTERED WISCONSIN LAND SURVEYOR HEREBY CERTIFY THAT I HAVE SURVEYED,  
 DIVIDED AND MAPPED THE PROPERTY DESCRIBED AND REPRESENTED ON THIS MAP. THAT I HAVE MADE SUCH  
 EVERY, LAND DIVISION AND PLAT BY THE DIRECTION OF RONALD L. MILLER, KAUKAUNA, WIS. THAT SAID  
 MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY OF THE LAND SURVEYED AND MAPPED. THAT  
 I HAVE COMPLIED WITH CHAPTER 236 OF THE WISCONSIN STATUTES OR THE PROVISIONS THEREOF.

# Calumet County, WI

## Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad

- Color 2018
- Red: Band 1
  - Green: Band 2
  - Blue: Band 3



**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author: Date Printed: 11/9/2011 1:12 PM	
---	--



**RESOLUTION V2021-01**  
**VILLAGE OF HARRISON**  
Calumet and Outagamie Counties

**RESOLUTION TO VACATE AND DISCONTINUE UNIMPROVED RIGHT OF WAY**  
(Guyette/Desmond)

**WHEREAS**, all the owners of land abutting a public way filed a written request to vacate or discontinue an unimproved right-of-way that intersects with High Cliff Road, generally located between parcels 40876 and 40880; and

**WHEREAS**, the unimproved right-of-way is described as follows:

Part of the Southwest Quarter of the Northeast Quarter of Section 31 , Township 20 North, Range 19 East, Village of Harrison, Calumet County, Wisconsin, containing 44,881 square feet or 1.03 acres and being described as follows: Commencing at the East Quarter Corner of said Section 31; thence North 88°26'05" West a distance of 1,606.24 feet along the south line of the northeast quarter; thence North 01°26'11" East a distance of 33.00 feet to the point of beginning; thence North 88°26'05" West a distance of 66.00 feet; thence North 01°26'11" East a distance of 680.02 feet; thence South 88°26'05" East a distance of 66.00 feet; thence South 01°26'11" West a distance of 680.02 feet to the point of beginning. Subject to all easements and restrictions of record; and

**WHEREAS**, the discontinuance of the above described unimproved right-of-way is in the public interest; and

**WHEREAS**, the Village Board is authorized to discontinue public ways under §66.1003; and

**WHEREAS**, Resolution V2020-15 was adopted on November 24, 2020 declaring the intent of the Village Board to discontinue an unimproved right-of-way as described above; and

**WHEREAS**, the required public hearing on this Resolution was held on January 12, 2021 at 6:00pm.

**NOW THEREFORE**, all of an unimproved right-of-way as described above is hereby vacated and discontinued.

Adopted by the Board of Trustees of the Village of Harrison this 12<sup>th</sup> day of January, 2021.

By: \_\_\_\_\_  
Kevin Hietpas, Village President

Attest: \_\_\_\_\_  
Jennifer Weyenberg, Clerk

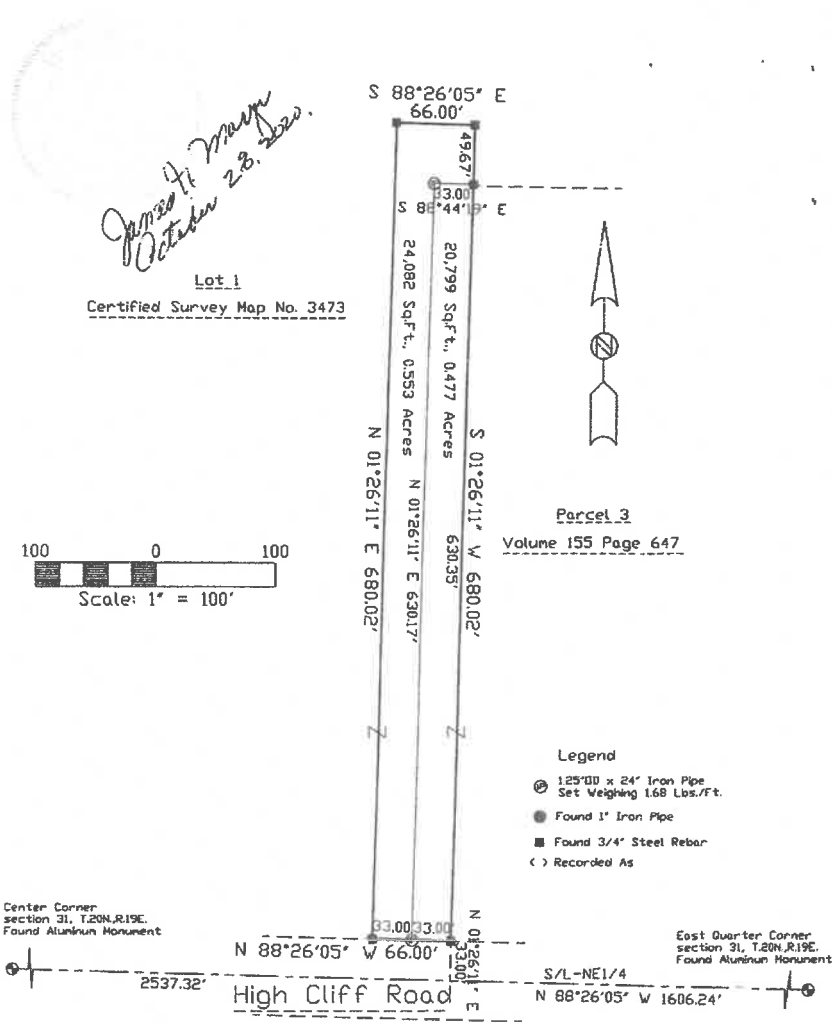
Exhibit Map

PLAT OF SURVEY

Part Of The Southwest Quarter Of The Northeast Quarter Of Section 31  
Township 20 North, Range 19 East, Village Of Harrison, Calumet County, Wisconsin.

SURVEYORS CERTIFICATE:

THE PROPERTY AS SHOWN AND DESCRIBED ON THIS MAP WAS SURVEYED UNDER MY DIRECTION AND CONTROL ACCORDING TO THE WISCONSIN ADMINISTRATIVE CODE, CHAPTER A-E 7 OF MINIMUM STANDARDS FOR PROPERTY SURVEYS AND IS A CORRECT REPRESENTATION OF SAID SURVEY, TO THE BEST OF KNOWLEDGE AND BELIEF



*James H. Mayer*  
*October 23, 2000*

Lot 1  
Certified Survey Map No. 3473

100 0 100  
Scale: 1" = 100'

- Legend
- ⊙ 125"OD x 24" Iron Pipe Set Weighing 168 Lbs./Ft.
  - Found 1" Iron Pipe
  - Found 3/4" Steel Rebar
  - ( ) Recorded As

Center Corner section 31, T20N, R19E. Found Aluminum Monument

East Quarter Corner section 31, T20N, R19E. Found Aluminum Monument

High Cliff Road

MAYER LAND SURVEYING  
NS698 LAKE SHORE DRIVE  
HILBERT, WI 54129  
920-439-1761

Surveyed For:  
Charles Guyette  
V4612 High Cliff Road  
Menasha, WI

C:\Projects\GuyetteCharles20\plat  
BEARINGS REFERENCED TO COUNTY DATUM  
THE SOUTH LINE OF THE NORTHEAST  
QUARTER BEARS NORTH 88°26'05" WEST.  
THIS INSTRUMENT DRAFTED BY JG MAYER  
NOTEBOOK NO. PAGE

---

**VILLAGE BOARD MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON**

**Meeting Date:**

January 12, 2021

---

**Title:**

Ordinance V21-01 - Zoning Text Amendments – Climate/Temperature Controlled Storage Facilities

---

**Issue:**

Should the Village Board adopt an zoning ordinance amendment to allow Climate/Temperature Controlled Storage Facilities as a conditional use in the Community Commercial [CC] zoning district?

---

**Background and Additional Information:**

The Plan Commission heard a proposal regarding an indoor climate controlled storage facility to be located along County Road KK on property that is currently zoned Office & Retail Commercial [COR]. The current zoning ordinance classifies all storage facilities as mini-warehousing, which is only allowed as a conditional use in the General Agricultural [AG] and Industrial & Manufacturing [IM] zoning districts. As part of the discussion, the Plan Commission thought a distinction could be made between indoor access, climate-controlled storage and typical exterior access, non-controlled storage facilities. The Plan Commission asked staff to develop a zoning text amendment to allow for indoor access, climate-controlled storage facilities as a conditional use in the commercial zoning district.

Staff reviewed the information regarding the different types of storage facilities (climate-controlled, temperature-controlled, and mini-warehousing). Staff finds that the appropriate zoning district for indoor access, climate- or temperature-controlled storage is the Community Commercial [CC] zoning district which is intended to serve a large consumer population with a wide range of developments. The below language in underline italics is proposed.

*[Topic: Climate/Temperature Controlled Storage Facilities]*

*[Add]*

**Sec. 117-88. – Community Commercial District (CC).**

(d) Conditional Uses and Structures.

(22) Storage, Climate Controlled or Temperature Controlled, indoor access only.

*[Add]*

**Sec. 117-428. – Words and terms defined.**

Storage, Climate Controlled. A self-storage facility with indoor storage units with interior access that manages both temperature and humidity levels, with a maintained temperature range of 55 to 80 degrees Fahrenheit with a max relative humidity of 55%.

*Storage, Temperature Controlled. A self-storage facility that manages only temperature of storage units. Typically provides heat only. Interior and exterior access.*

*Storage, mini-warehousing: A self-storage facility with storage space at ambient (outside) temperature with exterior access.*

---

**Recommended Action:**

The Plan Commission recommends the proposed zoning text changes be adopted, as presented in Ordinance V21-01.

---

**Attachments:**

- Ordinance V21-01



**ORDINANCE V21-01**

**AN ORDINANCE AMENDING CHAPTER 117 (ZONING) OF THE CODE OF ORDINANCES FOR THE VILLAGE OF HARRISON, CALUMET AND OUTAGAMIE COUNTIES, WISCONSIN.**

WHEREAS, Harrison regularly reviews and amends the zoning ordinance in order to maintain the intent of the ordinance as identified in Section 117-4 of the zoning ordinance; and

WHEREAS, a public hearing on the text amendments were held by the Harrison Plan Commission on December 22, 2020; and

WHEREAS, the Plan Commission recommended approval of the zoning text amendments.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet & Outagamie Counties, Wisconsin, that the Harrison Zoning Ordinance is amended as follows:

*[Topic: Climate/Temperature Controlled Storage Facilities]*

*[Add]*

**Sec. 117-88. – Community Commercial District (CC).**

(d) Conditional Uses and Structures.

(22) *Storage, Climate Controlled or Temperature Controlled, indoor access only.*

*[Add]*

**Sec. 117-428. – Words and terms defined.**

*Storage, Climate Controlled. A self-storage facility with indoor storage units with interior access that manages both temperature and humidity levels, with a maintained temperature range of 55 to 80 degrees Fahrenheit with a max relative humidity of 55%.*

*Storage, Temperature Controlled. A self-storage facility that manages only temperature of storage units. Typically provides heat only. Interior and exterior access.*

*Storage, mini-warehousing: A self-storage facility with storage space at ambient (outside) temperature with exterior access.*

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison, Wisconsin this 12th day of January, 2021.

---

Kevin Hietpas, Village President

---

Attest: Jennifer Weyenberg, Village Clerk

---

**VILLAGE BOARD MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON**

**Meeting Date:**

January 12, 2021

---

**Title:**

Certified Survey Map – Kimberly Clark Corp.

---

**Issue:**

Should the Village Board approve a 2-outlot CSM?

---

**Background and Additional Information:**

The applicant is proposing a 2-outlot Certified Survey Map (CSM) in order to create a parcel to sell to the adjacent property owner. Outlot #1 is proposed to be 5.842-acres and contains a portion of the driving range of the adjacent North Shore Golf Club. The applicant wishes to sell off land in this area and North Shore Golf Club wishes to purchase that portion of the property containing the driving range. North Shore Golf Club currently has an agreement to utilize a portion of the property for the driving range. Outlot #2 is 6.490-acres and will be retained by the applicant and sold with the adjacent properties the applicant owns to the west and north.

These properties are being created as outlots as they do not meet public roadway frontage standards. Under state statutes, outlots are unbuildable. The current property configuration does not have public roadway frontage, access is gained through adjacent properties under common ownership.

---

**Recommended Action:**

The Plan Commission recommends approval of the Certified Survey Map request as submitted.

---

**Attachments:**

- Aerial Map
- CSM

# Calumet County, WI

## Legend

- Address Point
- County Boundary
- Voter's Wides
- Unincorporated Community
- Town Boundary
- Precinct Boundary
- Property Tract
- P.L.S.D. Station
- State Parks
- County Parks
- Lanes
- River and Stream
- Major Roads
- Local Roads
- Water Ways
- Railroad
- Clear 2018
- Red 2018
- Green 2018
- Blue 2018

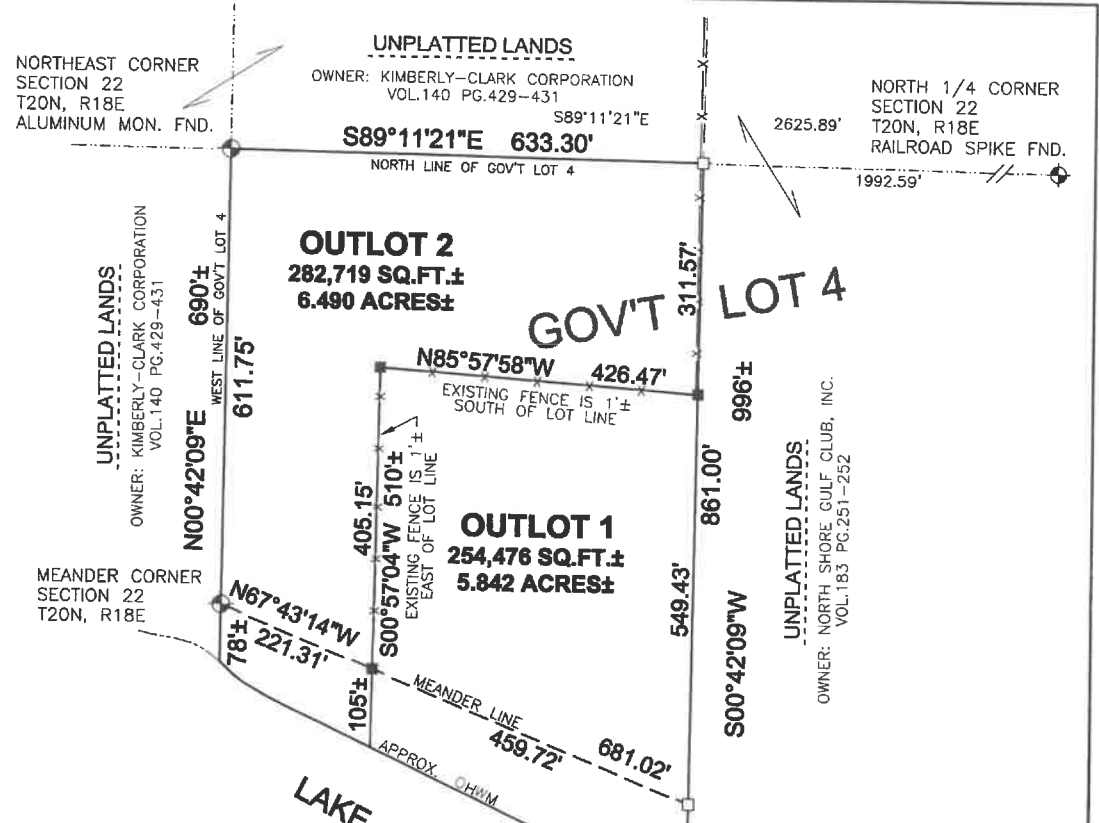


Calumet County, WI  
 This map is not guaranteed to be accurate. Calumet County is not responsible for any errors or omissions on this map. The user assumes all responsibility for the use of this map.

Calumet County, WI 1000 Wisconsin Ave Janesville, WI 53402 Phone: 608/785-3300 Fax: 608/785-3301 Email: <a href="mailto:info@calumetcountywi.gov">info@calumetcountywi.gov</a>

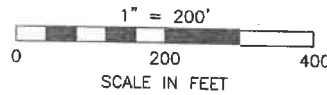


CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
 PART OF GOVERNMENT LOT 4, SECTION 22,  
 TOWNSHIP 20 NORTH, RANGE 18 EAST,  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



**NOTE:**  
 ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF LAKE WINNEBAGO, IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1 OF THE STATE CONSTITUTION.

BEARINGS ARE REFERENCED TO THE CALUMET COUNTY COORDINATE SYSTEM (NAD83) WHICH HAS THE NORTH LINE OF GOVERNMENT LOT 4, SECTION 22 BEARING S 89°11'21" E



- LEGEND**
- 1" O.D. ROUND IRON PIPE SET, 18" LONG, WEIGHING 1.13 LBS. PER LINEAL FOOT
  - 1" O.D. IRON PIPE FOUND
  - ⊕ GOVERNMENT CORNER
  - OHWM - APPROXIMATE ORDINARY HIGH WATER MARK FOR REFERENCE ONLY



**Martenson & Eisele, Inc.**

1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture

SURVEY FOR:  
 KIMBERLY-CLARK CORP.  
 400 GOODYS LN. SUITE 100  
 KNOXVILLE, WI 37922

PROJECT NO. 1-0005-026  
 FILE 1-0005-026csm.dwg SHEET 1 OF 3  
 THIS INSTRUMENT WAS DRAFTED BY: A.Sedlar

CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
PART OF GOVERNMENT LOT 4, SECTION 22, TOWNSHIP 20 NORTH, RANGE 18 EAST,  
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

I, GARY A. ZHRINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:  
THAT I HAVE SURVEYED, MAPPED AND DIVIDED AT THE DIRECTION OF KIMBERLY-CLARK CORPORATION, PART  
OF GOVERNMENT LOT 4, SECTION 22, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON,  
CALUMET COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 22; THENCE SOUTH 89 DEGREES 11 MINUTES 21  
SECONDS EAST, ALONG THE NORTH LINE OF GOVERNMENT LOT 4 OF SAID SECTION, A DISTANCE OF 633.30  
FEET; THENCE SOUTH 00 DEGREES 42 MINUTES 09 SECONDS WEST, 861.00 FEET TO A MEANDER CORNER,  
SAID CORNER BEING NORTH 00 DEGREES 42 MINUTES 09 SECONDS EAST, 135 FEET MORE OR LESS FROM THE  
ORDINARY HIGH WATER MARK OF LAKE WINNEBAGO; THENCE NORTH 67 DEGREES 43 MINUTES 14 SECONDS WEST,  
ALONG A MEANDER LINE, A DISTANCE OF 681.02 FEET TO A MEANDER CORNER, SAID CORNER BEING SOUTH  
00 DEGREES 42 MINUTES 09 SECONDS WEST, 78 FEET MORE OR LESS FROM THE ORDINARY HIGH WATER MARK  
OF LAKE WINNEBAGO; THENCE NORTH 00 DEGREES 42 MINUTES 09 SECONDS EAST, ALONG THE WEST LINE OF  
GOVERNMENT LOT 4 OF SAID SECTION 22, A DISTANCE OF 611.75 FEET TO THE POINT OF BEGINNING.  
CONTAINING 537,195 SQUARE FEET MORE OR LESS [12.332 ACRES±]. INCLUDING ALL LANDS LYING BETWEEN  
MEANDER LINE AND THE ORDINARY HIGH WATER MARK OF LAKE WINNEBAGO. SUBJECT TO ALL EASEMENTS AND  
RESTRICTIONS OF RECORD

THAT I HAVE FULLY COMPLIED WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND WITH THE  
VILLAGE OF HARRISON AND CALUMET COUNTY SUBDIVISION ORDINANCE IN SURVEYING, DIVIDING AND  
MAPPING THE SAME.

THAT THIS MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND  
SURVEYED AND THE DIVISION THEREOF.

GIVEN UNDER MY HAND THIS 16TH DAY OF NOVEMBER, 2020.

\_\_\_\_\_  
GARY A. ZHRINGER,  
PROFESSIONAL WI LAND SURVEYOR S-2098

THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING  
RECORDED INSTRUMENTS

OWNER OF RECORD:  
KIMBERLY-CLARK CORPORATION

RECORDING INFORMATION:  
VOL.140 PG.429

PARCEL ID:  
131-39924

**CERTIFICATE OF THE VILLAGE OF HARRISON:**

BE IT RESOLVED THAT THIS CERTIFIED SURVEY MAP, IN THE VILLAGE OF HARRISON HAS BEEN APPROVED  
AND ACCEPTED AS SURVEYED, MAPPED AND DIVIDED BY THE OWNERS SHOWN HEREON,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
VILLAGE PRESIDENT

\_\_\_\_\_  
VILLAGE CLERK

**TREASURER'S CERTIFICATE:**

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE  
LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

\_\_\_\_\_  
VILLAGE TREASURER

\_\_\_\_\_  
DATE

\_\_\_\_\_  
COUNTY TREASURER

\_\_\_\_\_  
DATE

CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
 PART OF GOVERNMENT LOT 4, SECTION 22, TOWNSHIP 20 NORTH, RANGE 18 EAST,  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

**CORPORATE OWNER'S CERTIFICATE:**

KIMBERLY-CLARK CORPORATION, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF DELAWARE, AS OWNER, DOES HEREBY CERTIFY THAT SAID KIMBERLY-CLARK CORPORATION, CAUSED THE LAND ABOVE DESCRIBED TO BE SURVEYED, MAPPED AND DIVIDED AS SHOWN AND REPRESENTED ON THIS MAP.

KIMBERLY-CLARK CORPORATION, FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:  
 VILLAGE OF HARRISON

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
 SIGNATURE

\_\_\_\_\_  
 PRINT NAME AND TITLE

STATE OF \_\_\_\_\_ )  
 ) SS  
 \_\_\_\_\_ COUNTY )

PERSONALLY CAME BEFORE ME ON THE \_\_\_\_\_ DAY  
 OF \_\_\_\_\_, 20\_\_, THE ABOVE OWNER(S) TO ME  
 KNOWN TO BE THE PERSON(S) WHO EXECUTED THE FOREGOING  
 INSTRUMENT AND ACKNOWLEDGE THE SAME.

\_\_\_\_\_  
 NOTARY PUBLIC,  
 STATE OF \_\_\_\_\_  
 MY COMMISSION (IS PERMANENT)  
 (EXPIRES: \_\_\_\_\_)

---

**VILLAGE BOARD MEETING****From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON****Meeting Date:**

January 12, 2021

---

**Title:**

Preliminary Plat – Stargazer Estates

---

**Issue:**

Should the Village Board approve the Preliminary Plat of the Stargazer Estates subdivision?

---

**Background and Additional Information:**

The applicant is proposing a 48-lot preliminary plat for a new subdivision called Stargazer Estates. The subdivision is located along Midway Road, west of Lake Park Road. The property is currently zoned Single Family Residential (Traditional) [RS-2]. The subdivision is proposed to have roadway access to Midway Road, with connections to Ethan Drive, Mckayla Drive, and Woodendale Way. All roadways are proposed to be dedicated to the public. Lots are generally 10,500-12,000 square feet in area, the corner lots are generally 13,000 square feet. Sewer and water will be extended through the subdivision. Stormwater management will be accommodated in a stormwater pond north of proposed lots 26-30. The pond will be located on Outlot 1 of CSM #3890, which will be deeded to the Village for park and stormwater purposes.

---

**Recommended Action:**

The Plan Commission recommends approval of the Preliminary Plat for Stargazer Estates with the following conditions:

1. Right-of-way for Constellation Drive to be 66-feet in width. Ethan Drive and Mckayla Drive may be 60-feet in width to match existing ROW widths.
2. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
3. All lots shall have a storm sewer lateral provided for sump pump discharge.
4. Consider creation of an outlot for the easement area on Lot 26 to be deeded to the Village.
5. All improvements, including but not limited to, utilities, curb & gutter, street paving, sidewalks, shall be installed prior to issuance of building permits or zoning permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.
6. All comments from the Village engineer and staff shall be included in the Plan Commission discussion and decision.
7. A note shall be added to the plat indicating access control to County AP/Midway Road.
8. A grading/drainage stormwater management plan and erosion control plan shall be reviewed and approved by the Village engineer and Village staff.
9. Final utility and street plans shall be reviewed and approved by the Village Engineer and Village staff prior to approval of the Final Plat and prior to utility and street construction.
10. All environmental corridors shall be clearly identified and setback lines to be indicated.

11. Grading/Drainage Plan shall identify elevations of ground at the foundation.
  12. All road names shall be approved by the Appleton Post Office, the Village of Harrison, and Calumet County E911.
  13. Sidewalks and laterals shall be indicated on the infrastructure plans.
  14. There shall be notes to be added to the face of the final plat in accordance with Section 115-12(d)(1)(f).
  15. The final plat and final grading/drainage plans shall include benchmarks for all fire hydrants. Benchmarks shall refer to hydrant tag bolts.
  16. Plans shall be sent to the appropriate utility entities for review (ie phone, cable, gas/electric, sewer/water).
  17. Consider RS-1 zoning for lots south of Ethan Drive along existing RS-1 zoning.
- 

**Attachments:**

- Aerial Map
- Preliminary Plat
- Stargazer Estates Plan Set



# Calumet County, WI

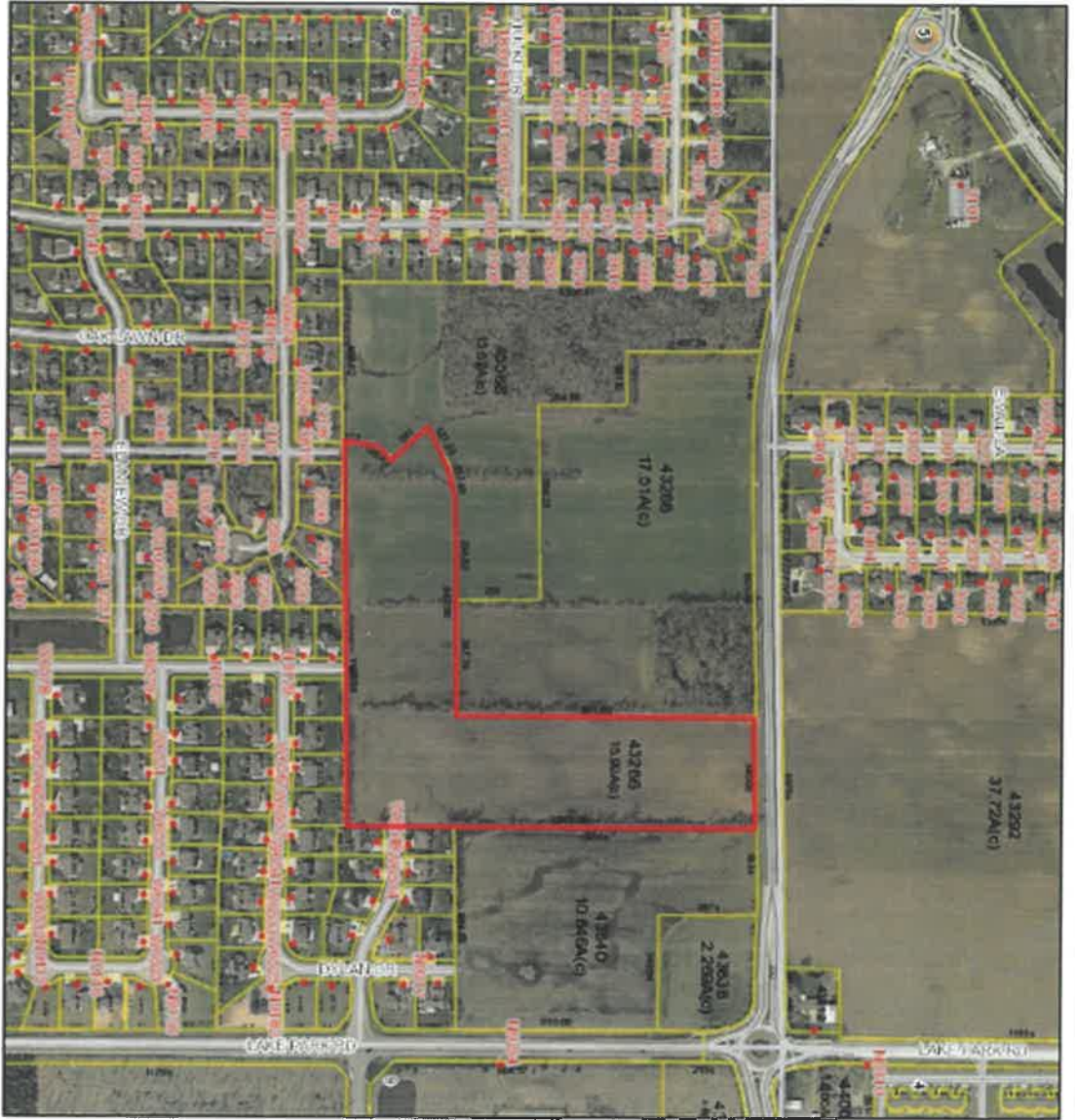
## Legend

- Address Point
- County Boundary
- Metropolitan Water
- Unincorporated Community
- Town Districts
- Port of Interest
- Parcel Boundary
- Property Point
- PLSS Section
- State Parks
- County Parks
- Label
- River and Stream
- Major Road
- Local Road
- Land Name
- Water Name
- Town
- Postcode
- Color 2015
- Color 2016
- Color 2017
- Color 2018



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and the user assumes all responsibility of the user.

2015-2018 Map 2015-2018



# STARGAZER ESTATES

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 3890, DOCUMENT NUMBER 554385, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, ALL IN SECTION 8, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

**OWNER**  
 Landmark Properties, Inc.  
 1300 E. Wings Ct.  
 Green Bay, WI 54313

**SURVEYOR**  
 Robert E. Lee & Associates, Inc.  
 1200 E. Wisconsin Ave.  
 Hobart, WI 53135

**PARCEL ID**  
 432614 43260

**ZONING**  
 PD 02 Ordinance/Revised  
 Planned Development District

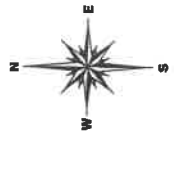
**MINIMUM LOT AREA AS PLATTED**  
 10,640 Sq. Ft.

**NUMBER OF LOTS**  
 48 Lots

**PLATTED AREA DEDICATED TO THE PUBLIC**  
 64,645 Square Feet  
 1.193 Acres

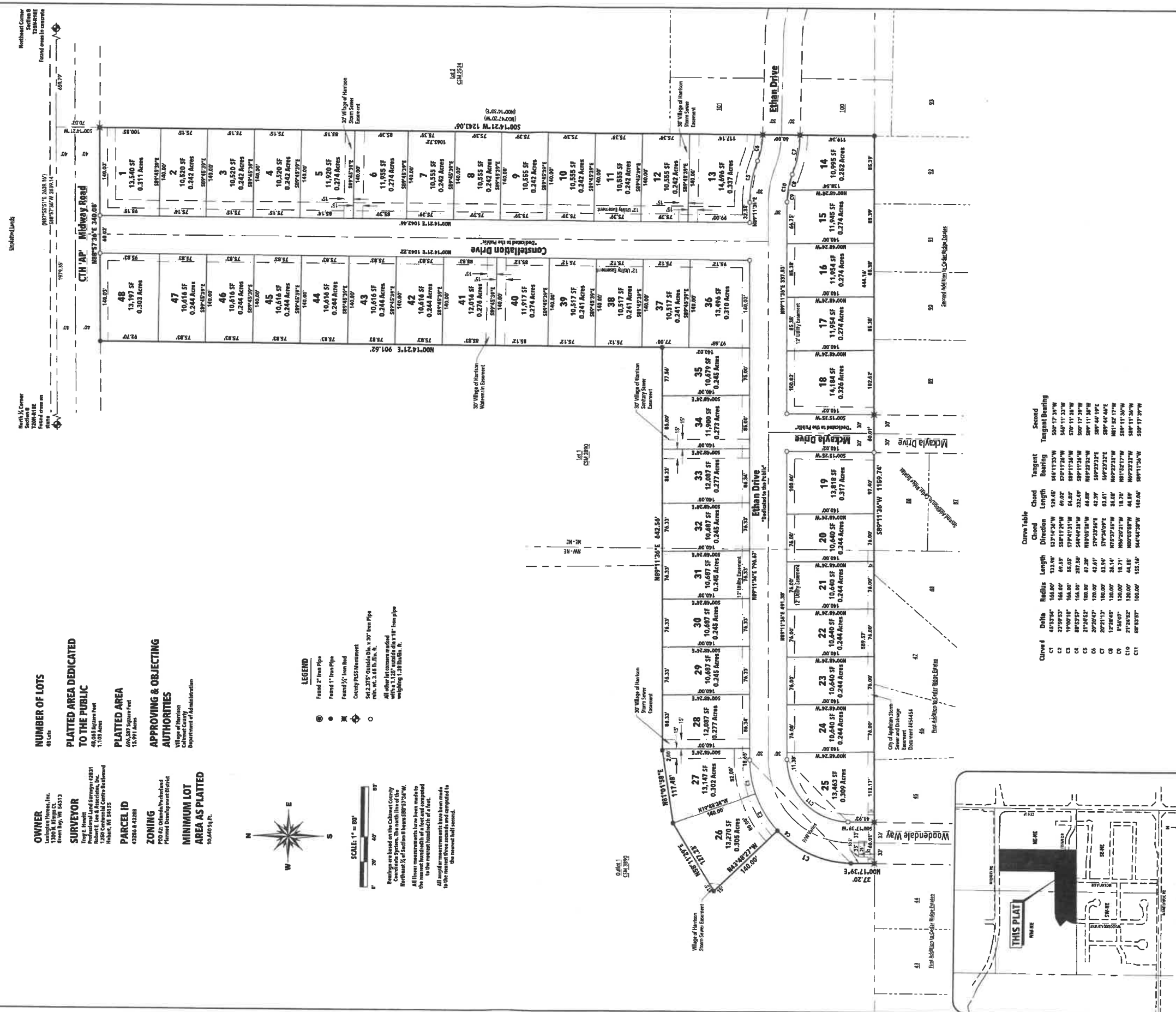
**PLATTED AREA**  
 676,387 Square Feet  
 15.891 Acres

**APPROVING & OBJECTING AUTHORITIES**  
 Village of Harrison  
 Calumet County  
 Department of Administration

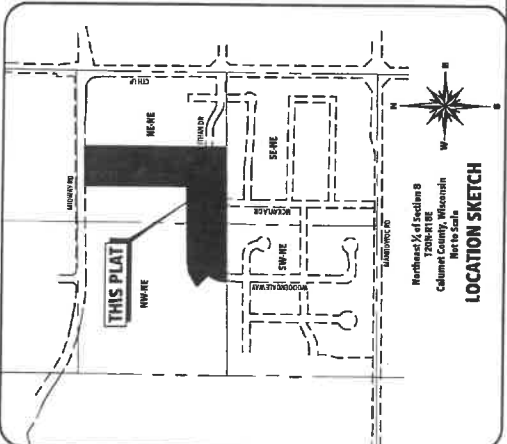


- LEGEND**
- Found 2" Iron Pipe
  - Found 1" Iron Pipe
  - ⊕ Found 3/4" Iron Rod
  - ⬇ County PWS Measurement
  - 543.27' Inside Dia. x 20" Iron Pipe
  - All other lot corners marked with a 1.125" wooden disk x 18" iron pipe weighing 1.28 lbs./in. R.

Readings are based on the Calumet County Northstar 1/4 of Section 8 being 5893728 W. All fence measurements have been made to the nearest hundredth of a foot. All angular measurements have been made to the nearest three seconds and computed to the nearest half second.



Curve #	Delta	Radius	Length	Chord	Tangent	Second
C1	45°53'47"	166.00'	132.94'	139.40'	S44°11'33"W	500°17'37"W
C2	27°59'53"	166.00'	89.53'	58°11'26"W	S44°11'33"W	500°17'37"W
C3	17°00'10"	166.00'	35.05'	57°41'51"W	S70°11'24"W	500°17'37"W
C4	8°23'29"	166.00'	16.00'	54°44'24"W	S89°11'33"W	500°17'37"W
C5	21°26'52"	100.00'	47.28'	88°05'28"W	S89°11'33"W	500°17'37"W
C6	20°21'17"	100.00'	42.51'	57°23'59"W	S89°11'33"W	500°17'37"W
C7	5°28'48"	100.00'	18.14'	57°23'59"W	S89°11'33"W	500°17'37"W
C8	8°16'07"	100.00'	18.31'	88°05'28"W	S89°11'33"W	500°17'37"W
C9	21°24'52"	100.00'	44.85'	88°05'28"W	S89°11'33"W	500°17'37"W
C10	8°53'57"	100.00'	105.16'	S44°11'33"W	500°17'37"W	500°17'37"W



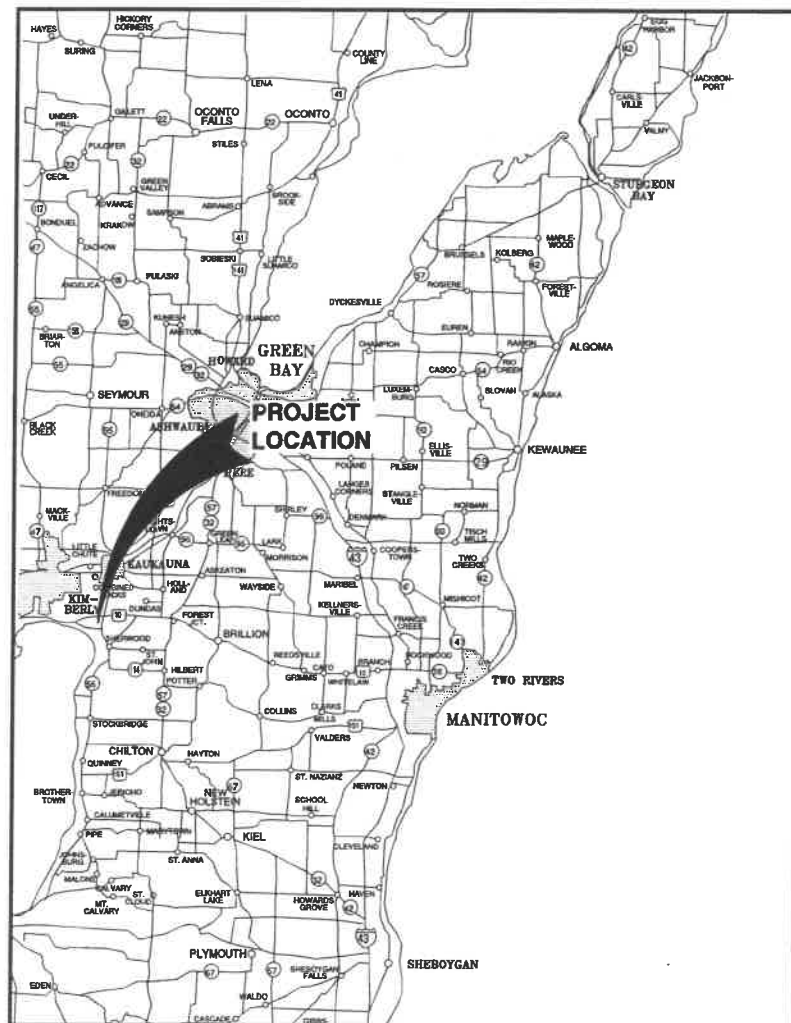
**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1200 E. WISCONSIN AVENUE  
 HOBART, WI 53135  
 PHONE (920) 543-9441  
 FAX (920) 543-9441

**RECEIVED**  
 DEC 04 2020  
 HARRISON PLANNING

# STARGAZER ESTATES VILLAGE OF HARRISON CALUMET COUNTY, WISCONSIN

CONTRACT NO. 4329-20-03

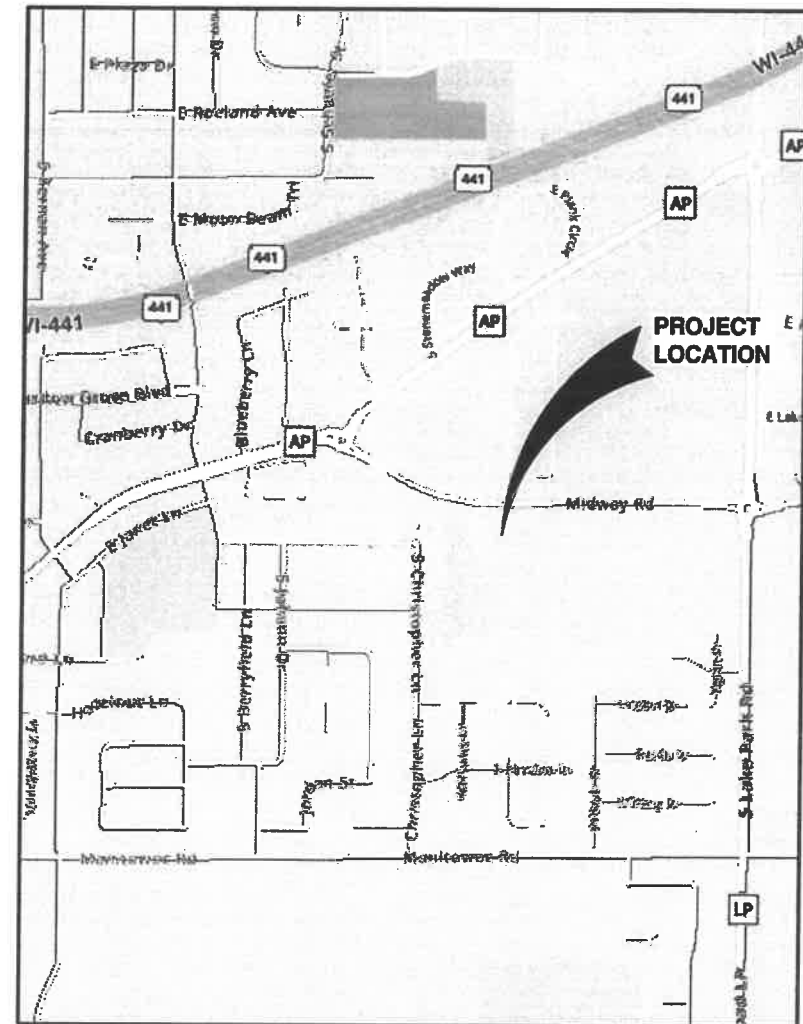
ATTENTION!  
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



VICINITY MAP

NOTE:  
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:  
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					LES
								CHECKED
								JGS
								DESIGNED
								AJB

CONTRACT NO. 4329-20-03  
STARGAZER ESTATES  
VILLAGE OF HARRISON  
CALUMET COUNTY, WISCONSIN

LOCATION MAPS

DATE  
09/20/20  
FILE  
43291210  
JOB NO.  
4329121



**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
920-682-9641 www.releeinc.com

SHEET NO.  
1

CONFORMED PLAN

### LEGEND

<p><b>PROPOSED</b></p> <ul style="list-style-type: none"> <li>○ EXISTING</li> <li>○ FIRE HYDRANT</li> <li>○ WATER VALVE/CURB STOP</li> <li>○ WATER MANHOLE</li> <li>○ REDUCER/INCREASER</li> <li>○ SANITARY MANHOLE</li> <li>□ LIFT STATION</li> <li>□ TRACER WIRE SIGNAL CONNECTION BOX</li> <li>○ AIR RELIEF MANHOLE</li> <li>○ STORM MANHOLE</li> <li>○ OPEN STORM MANHOLE</li> <li>○ STORM INLET</li> <li>○ STORM INLET MANHOLE</li> <li>□ YARD DRAIN</li> </ul>	<ul style="list-style-type: none"> <li>⊕ SOIL BORING</li> <li>□ POWER POLE</li> <li>□ POWER POLE W/GUY WIRE</li> <li>□ LIGHT POLE</li> <li>□ TRAFFIC SIGNAL POLE</li> <li>○ ELECTRIC MANHOLE</li> <li>○ ELECTRIC METER</li> <li>○ TELEPHONE MANHOLE</li> <li>□ TELEPHONE PEDESTAL</li> <li>○ CABLE TV MANHOLE</li> <li>□ CABLE TV PEDESTAL</li> <li>○ GAS VALVE</li> <li>○ GAS METER</li> <li>□ MAILBOX</li> <li>□ SIGN</li> <li>□ POST</li> <li>○ IRON PIPE/ROD</li> <li>△ PK NAIL</li> <li>⊕ INLET PROTECTION</li> </ul>	<ul style="list-style-type: none"> <li>☁ DECIDUOUS TREE</li> <li>☁ CONIFEROUS TREE</li> <li>☁ BUSH</li> <li>□ BALE DITCH CHECK</li> <li>○ RIP RAP</li> <li>▽ LATERAL LOCATION</li> <li>○ SPOT ELEVATION</li> <li>ELEV. FIRST FLOOR/BASEMENT ELEVATION</li> <li>--- APPROXIMATE ROCK ELEVATION</li> <li>--- EXISTING CULVERT</li> <li>▨ TRACKING PAD</li> <li>/// CUT AND PLUG</li> </ul>
--	--	--

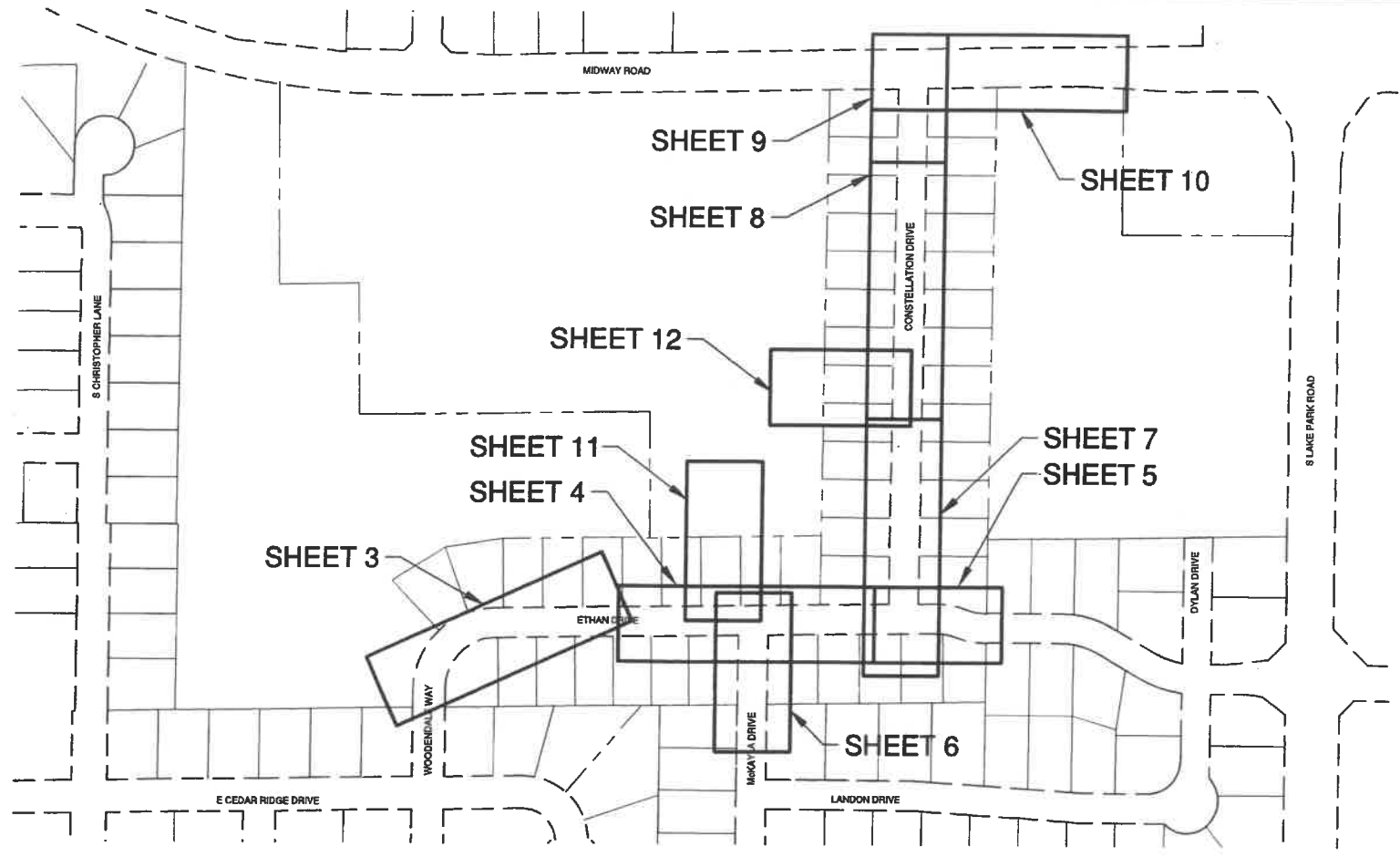
<ul style="list-style-type: none"> <li>--- EDGE OF PAVEMENT</li> <li>--- EDGE OF GRAVEL</li> <li>--- PROPOSED CURB &amp; GUTTER</li> <li>--- EXISTING CURB &amp; GUTTER</li> <li>--- TREE/BRUSH LINE</li> <li>--- EXISTING CONTOUR LINE</li> <li>--- PROPOSED CONTOUR LINE</li> <li>--- RETAINING WALL</li> <li>--- GUARD RAIL</li> <li>--- FENCE</li> <li>--- SILT FENCE</li> </ul>	<ul style="list-style-type: none"> <li>--- PROPOSED SANITARY SEWER</li> <li>--- EXISTING SANITARY SEWER (SIZE NOTED)</li> <li>--- PROPOSED FORCEMAIN</li> <li>--- EXISTING FORCEMAIN (SIZE NOTED)</li> <li>--- PROPOSED STORM SEWER</li> <li>--- EXISTING STORM SEWER (SIZE NOTED)</li> <li>--- PROPOSED WATERMAIN</li> <li>--- EXISTING WATERMAIN (SIZE NOTED)</li> <li>--- GAS LINE</li> <li>--- OVERHEAD TELEPHONE LINE</li> <li>--- UNDERGROUND TELEPHONE LINE</li> <li>--- FIBER OPTIC LINE</li> <li>--- OVERHEAD ELECTRIC LINE</li> <li>--- UNDERGROUND ELECTRIC LINE</li> <li>--- OVERHEAD CABLE TV LINE</li> <li>--- UNDERGROUND CABLE TV LINE</li> <li>--- R/W LINE</li> <li>--- PROPERTY LINE</li> <li>--- EASEMENT LINE</li> <li>--- BUILDING SETBACK LINE</li> <li>--- SECTION LINE</li> </ul>
--	--

GR. GRAVEL	WM WATERMAIN	VPC VERTICAL POINT OF CURVATURE	R/W RIGHT OF WAY
BIT. BITUMINOUS	HYD. HYDRANT	VPI VERTICAL POINT OF INTERSECTION	T/C TOP OF CURB
ASPH. ASPHALT PAVEMENT	WV WATER VALVE	VPT VERTICAL POINT OF TANGENCY	F/L FLOW LINE
CONC. CONCRETE	SAN SANITARY SEWER	PC POINT OF CURVATURE	C/L CENTERLINE
SW SIDEWALK	MH MANHOLE	PI POINT OF INTERSECTION	P/L PROPERTY LINE
BLDG BUILDING	ST STORM SEWER	PT POINT OF TANGENCY	R/L REFERENCE LINE
HSE HOUSE	CB CATCH BASIN	R RADIUS	INV. INVERT
PED PEDESTAL	TELE TELEPHONE	EX EXISTING	CMP CORRUGATED METAL PIPE
PP POWER POLE	ELEC ELECTRIC	PR PROPOSED	RCP REINFORCED CONCRETE PIPE
LP LIGHT POLE	TV TELEVISION	EOR END OF RADIUS	CULV. CULVERT
BM BENCH MARK	STA. STATION	B-B BACK TO BACK (OF CURB)	

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

Dial 811 or (800) 242-8511  
www.DiggersHotline.com



### INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
1	LOCATION MAPS
2	LEGEND AND INDEX TO DRAWINGS
3	ETHAN DRIVE - STA. 100+00 TO STA. 105+00
4	ETHAN DRIVE - STA. 105+00 TO STA. 110+00
5	ETHAN DRIVE - STA. 110+00 TO STA. 113+50
6	MCKAYLA DRIVE - STA. 200+00 TO STA. 202+75
7	CONSTELLATION DRIVE - STA. 300+00 TO STA. 305+00
8	CONSTELLATION DRIVE - STA. 305+00 TO STA. 310+00
9	CONSTELLATION DRIVE - STA. 310+00 TO STA. 312+50
10	MIDWAY ROAD - STA. 600+00 TO STA. 603+25
11	SANITARY SEWER EASEMENT - STA. 400+00 TO STA. 405+00
12	WATERMAIN EASEMENT - STA. 500+00 TO STA. 505+00
13	MIDWAY ROAD/CONSTELLATION DRIVE INTERSECTION
14	POND PLAN AND DETAILS
15	OVERALL UTILITY PLAN
16	OVERALL GRADING PLAN
17	OVERALL EROSION CONTROL PLAN
18	MISCELLANEOUS DETAILS
19	MISCELLANEOUS DETAILS
20	MISCELLANEOUS DETAILS
21	MISCELLANEOUS DETAILS
22	MISCELLANEOUS DETAILS
23	MISCELLANEOUS DETAILS

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					LLP/RLB
								CHECKED
								JGS
								DESIGNED
								AJB

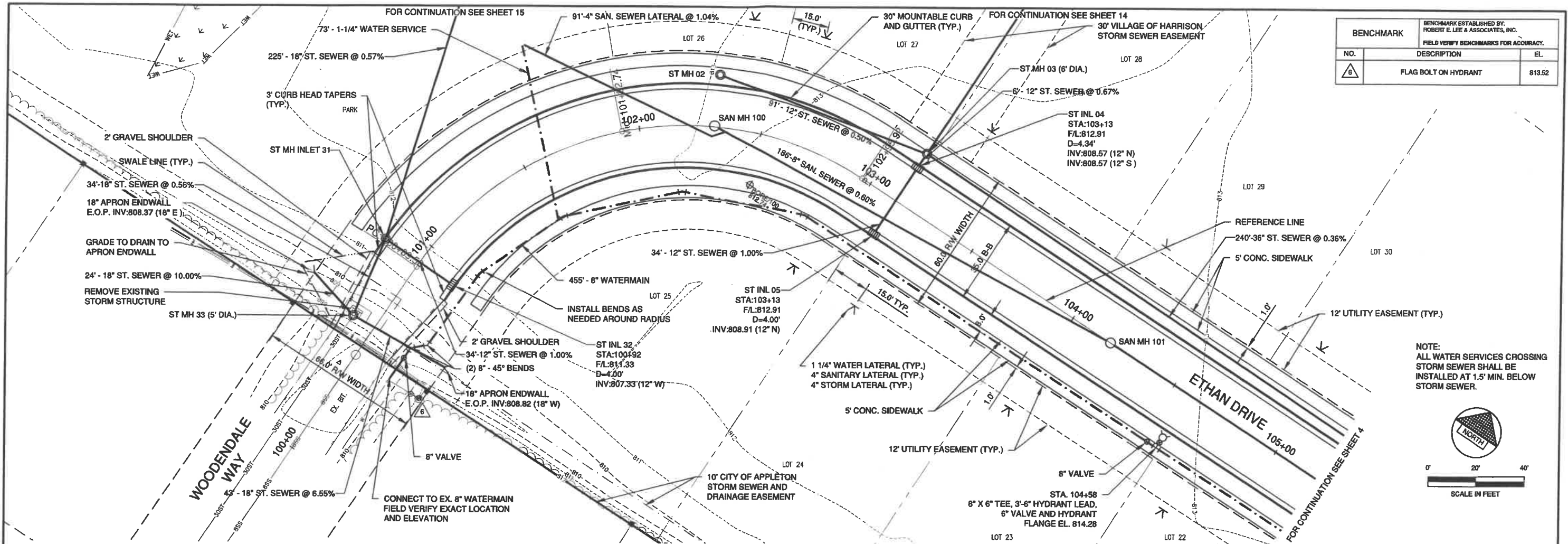
CONTRACT NO. 4329-20-03  
STARGAZER ESTATES  
VILLAGE OF HARRISON  
CALUMET COUNTY, WISCONSIN

LEGEND AND INDEX TO DRAWINGS

DATE	03/20/20
FILE	4329121K
JOB NO.	4329121

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.releeinc.com

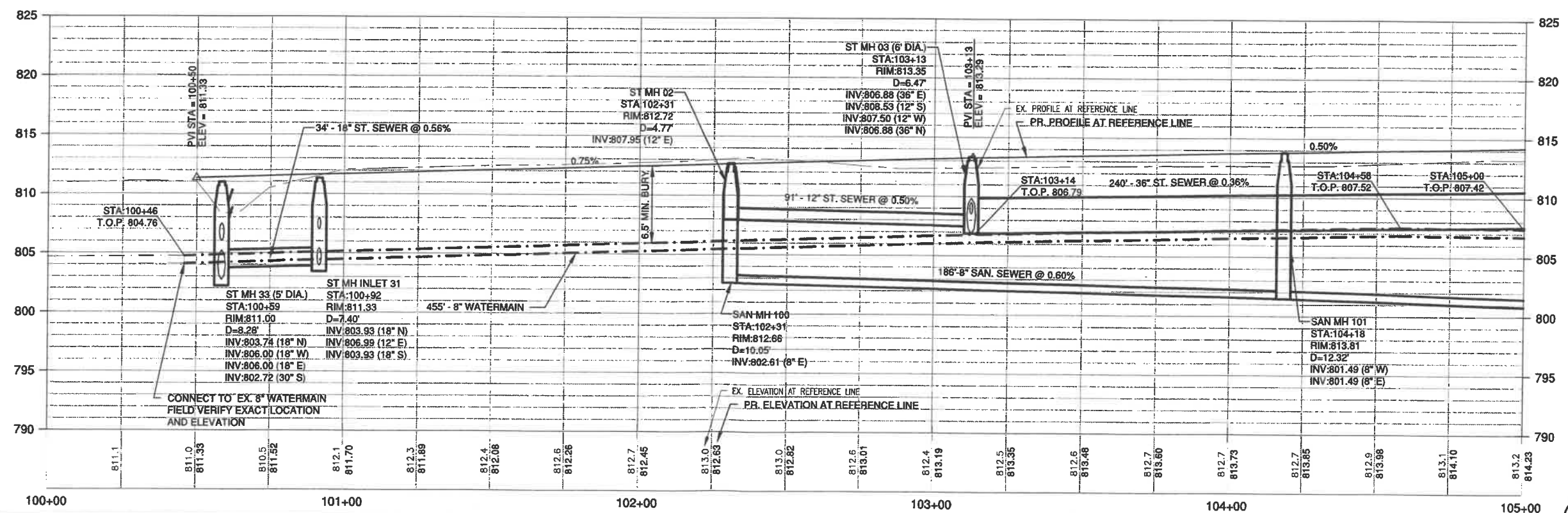
*CONFORMED PLAN*



BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.	
NO.	DESCRIPTION	EL.	
6	FLAG BOLT ON HYDRANT	813.52	

NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.

SCALE IN FEET



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	11/18/2020	AJB	ADDENDUM NO. 1				
2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
STARGAZER ESTATES  
VILLAGE OF HARRISON  
CALUMET COUNTY, WISCONSIN

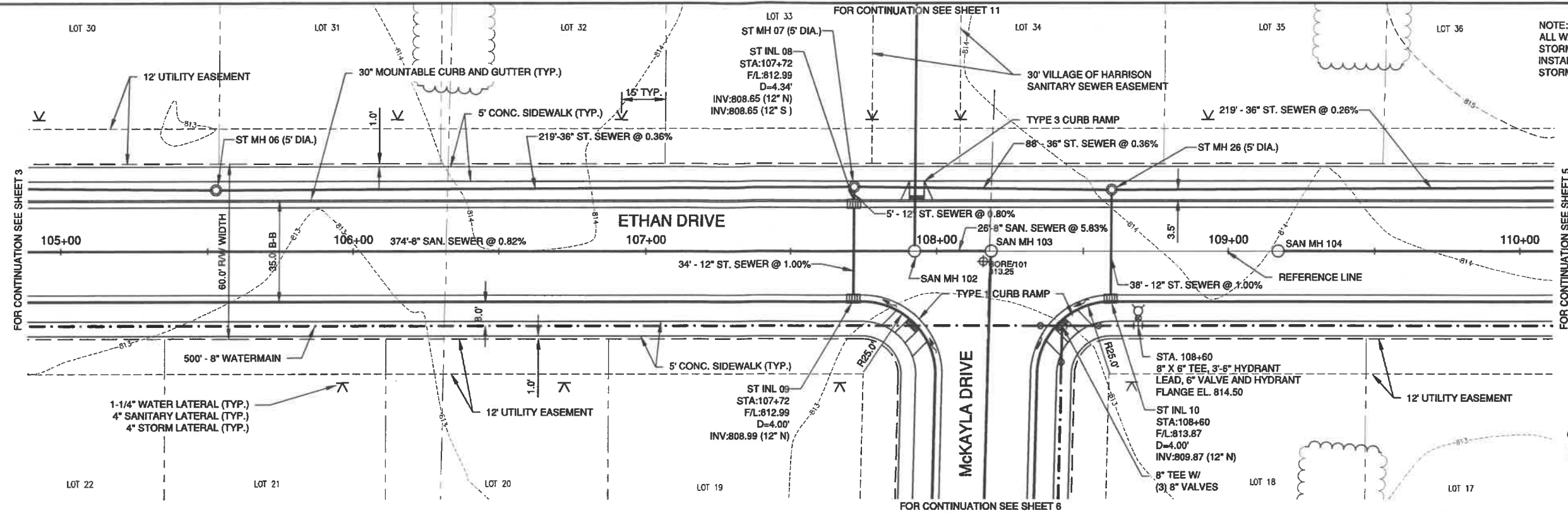
ETHAN DRIVE  
STA. 100+00 TO STA. 105+00

DATE  
09/20/20  
FILE  
A ETHAN  
JOB NO.  
4329121

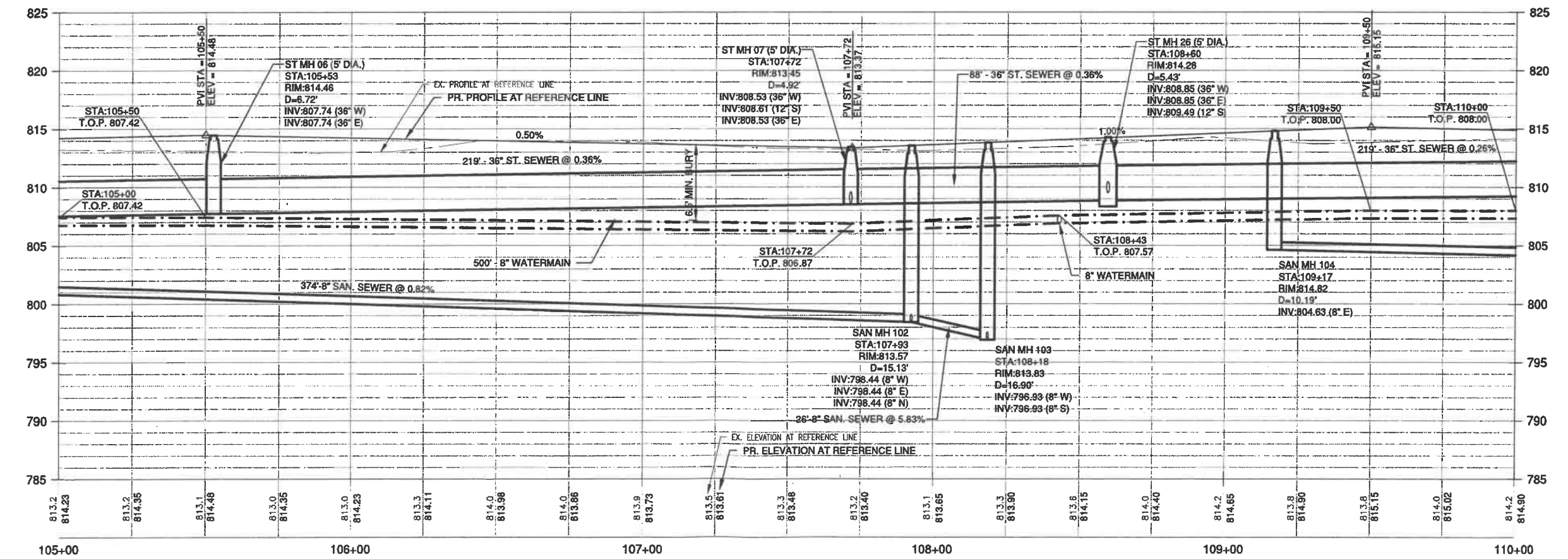
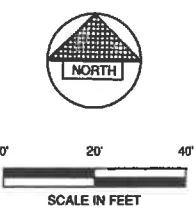
**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
920-662-9641 www.reeinc.com

SHEET NO.  
**3**

CONFORMED PLAN



NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



File: R:\3300\3327\33271\33271.dwg  
 Plot Date: 08/20/2020 10:25am  
 User: rlee  
 Plot Scale: 1/8"=1'-0"

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	DATE	FILE	JOB NO.
1	11/18/2020	AJB	ADDENDUM NO. 1					LIP-RLB	09/20/20	A.ETHAN	432920
2	12/04/2020	AJB	CONSTRUCTION PLAN SET					JOS			
								DESIGNED			
								AJB			

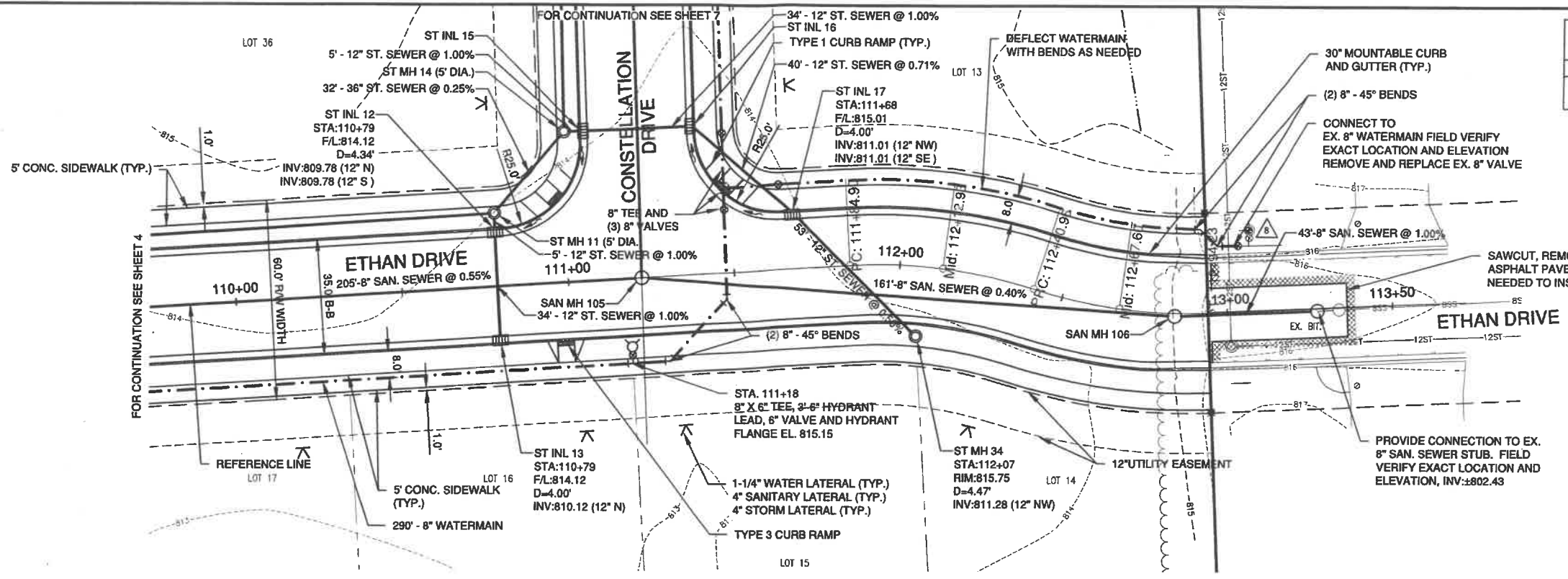
CONTRACT NO. 4329-20-03  
STARGAZER ESTATES  
VILLAGE OF HARRISON  
CALUMET COUNTY, WISCONSIN

ETHAN DRIVE  
STA. 105+00 TO STA. 110+00

**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155  
920-862-9641 www.reeinc.com

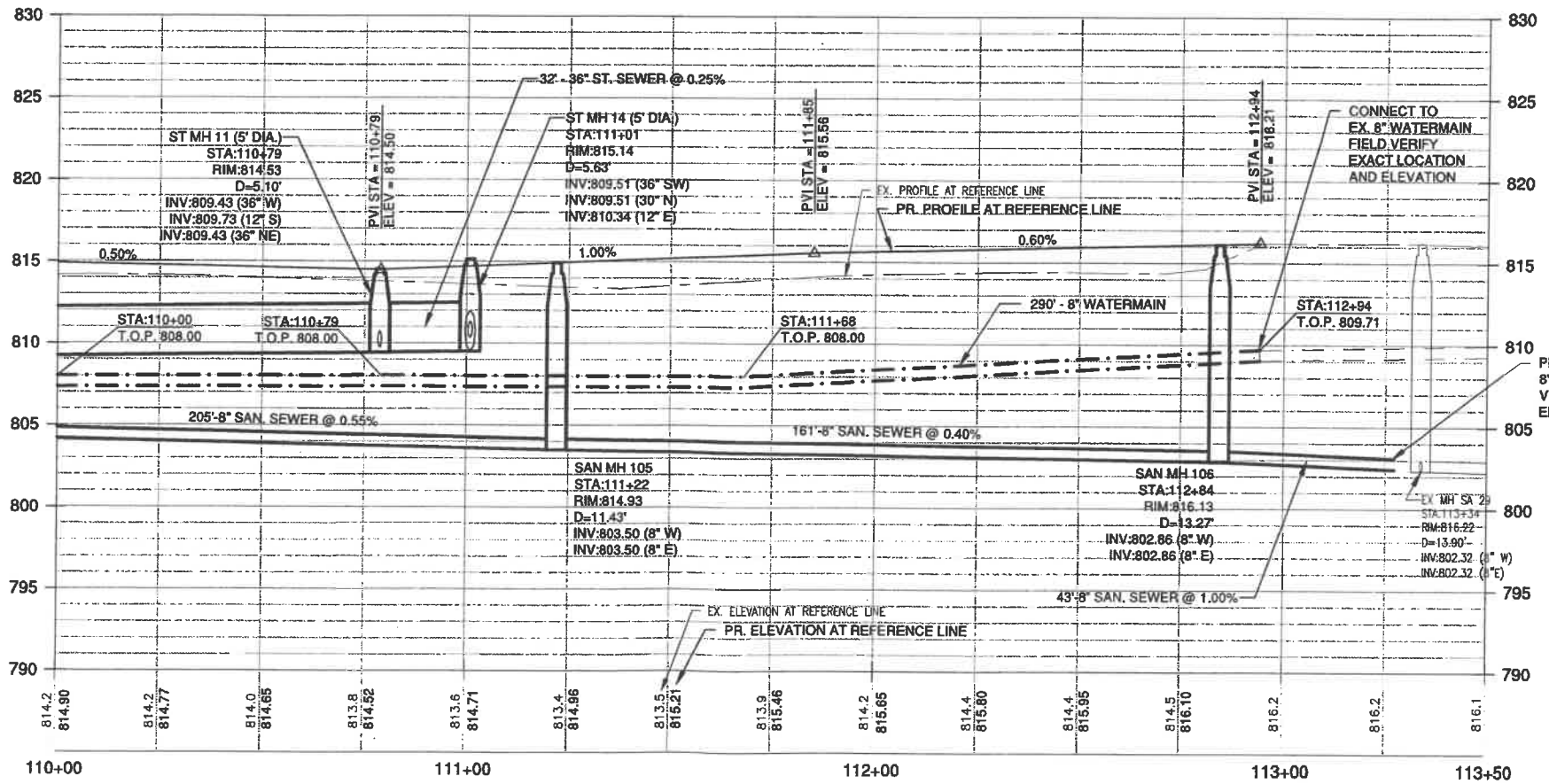
SHEET NO.  
**4**

*CONFORMED PLAN*



BENCHMARK		
NO.	DESCRIPTION	EL.
8	TAG BOLT ON HYDRANT	818.45

NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



FILE: P:\PROJECTS\4329-20-03\DWG\PLAN\PLAN.dwg  
 PLOT: 12/04/2020 10:58:30 AM 10/11/2020

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	11/18/2020	AJB	ADDENDUM NO. 1				
2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

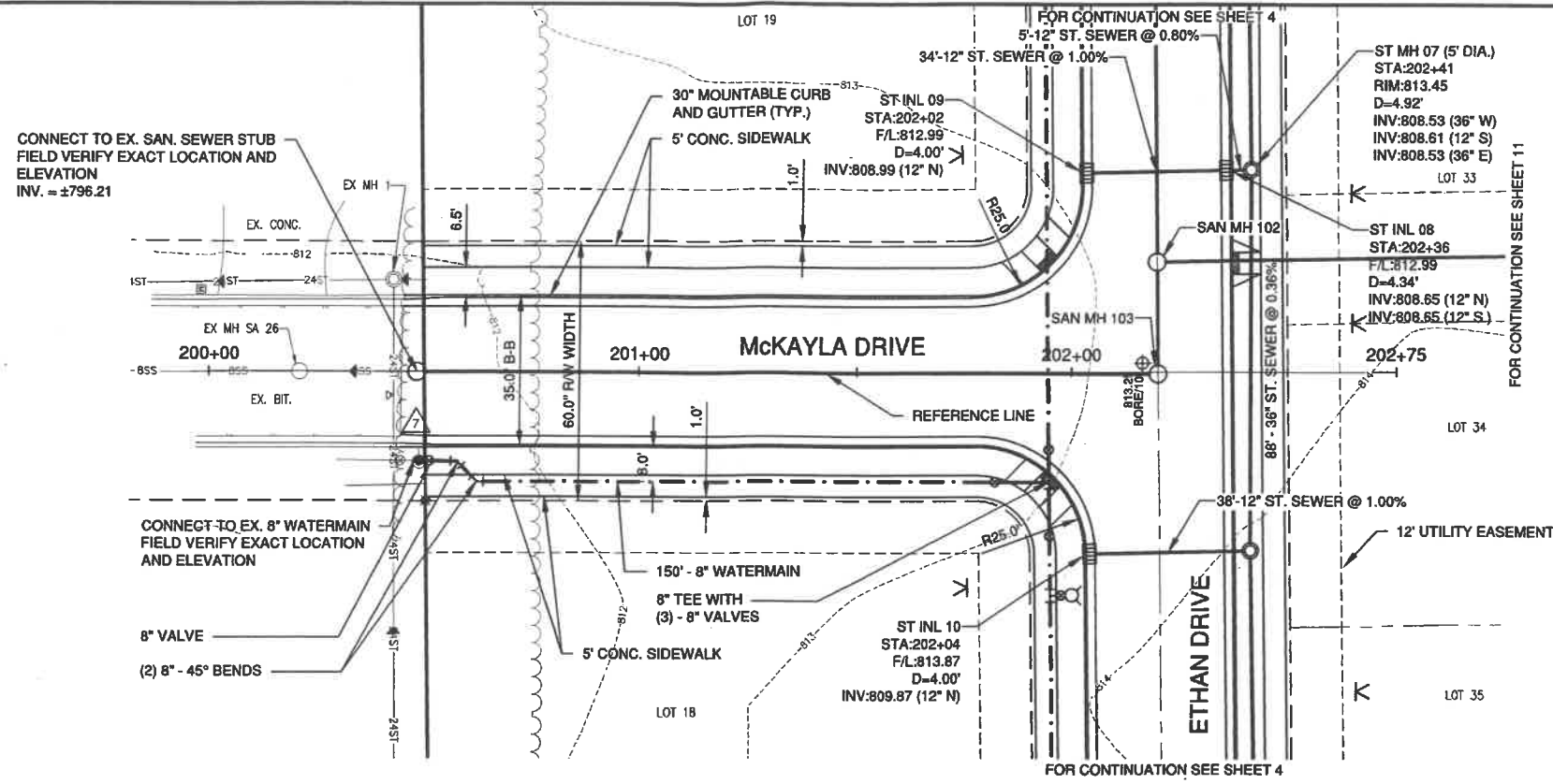
ETHAN DRIVE  
 STA. 110+00 TO STA. 113+50

DATE	09/20/20
FILE	4-ETHAN
JOB NO.	4329121

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.reeinc.com

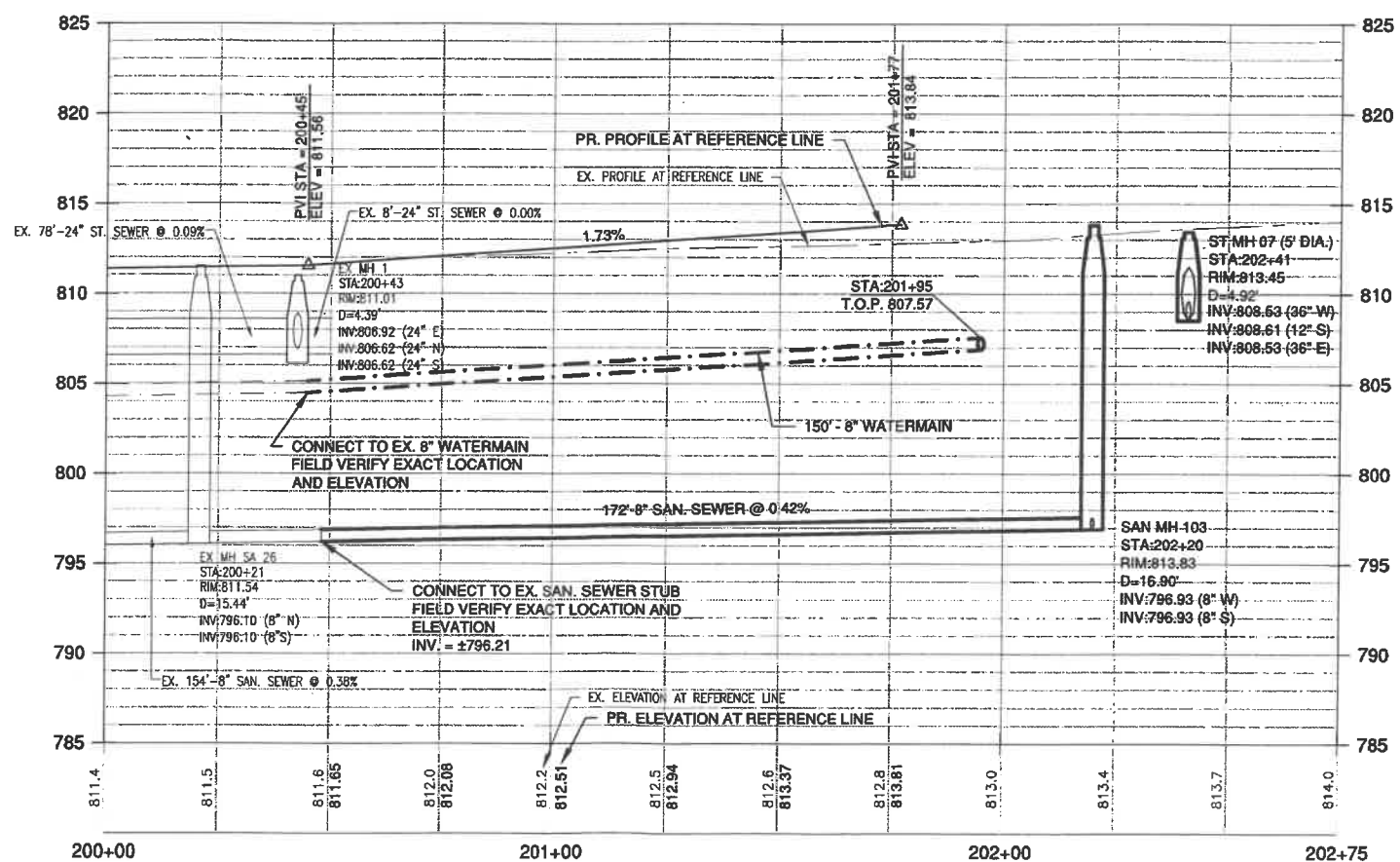
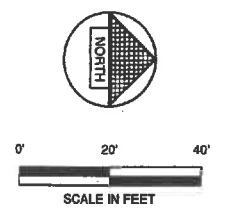
SHEET NO.  
**5**

CONFORMED PLAN



BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.	
NO.	DESCRIPTION	FIELD VERIFY BENCHMARKS FOR ACCURACY.	
△	TAG BOLT ON HYDRANT	EL.	812.96

NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5" MIN. BELOW  
STORM SEWER.



File: R:\4329\4329-20\21\McKayla\McKayla.dwg  
 Plot Date: Dec 01, 2020 - 7:53am  
 LAYOUT: MCKAYLA\_1  
 PLOT:

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	11/18/2020	AJB	ADDENDA NO. 1				
2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

McKayla Drive  
 STA. 200+00 TO STA. 202+75

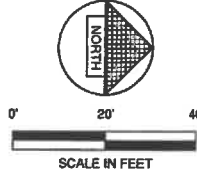
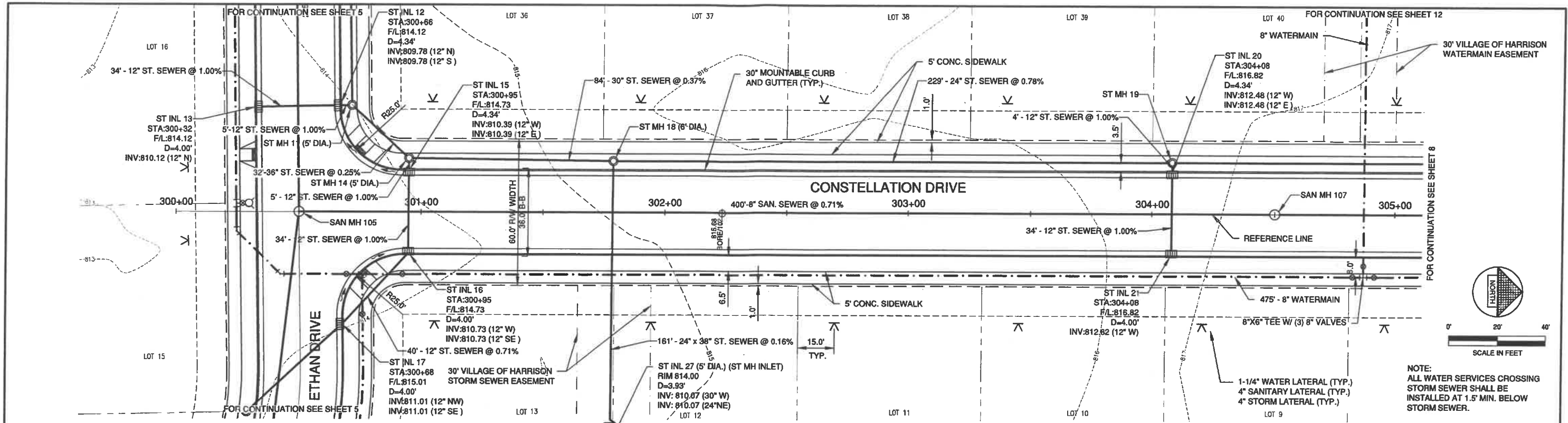
DATE  
09/20/20  
 FILE  
A MCKAYLA  
 JOB NO.  
432921

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-682-9641 www.reeinc.com

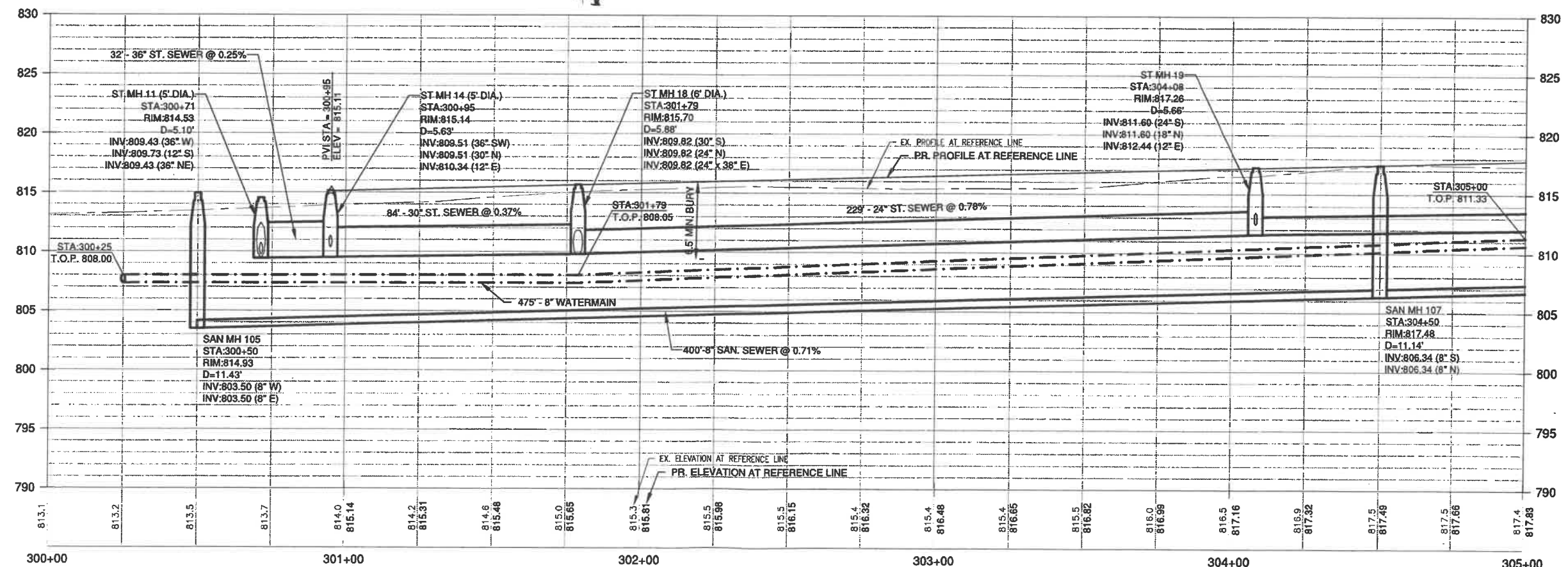
SHEET NO.  
**6**

**CONFORMED PLAN**





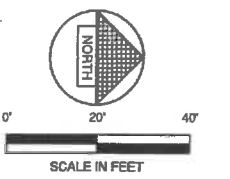
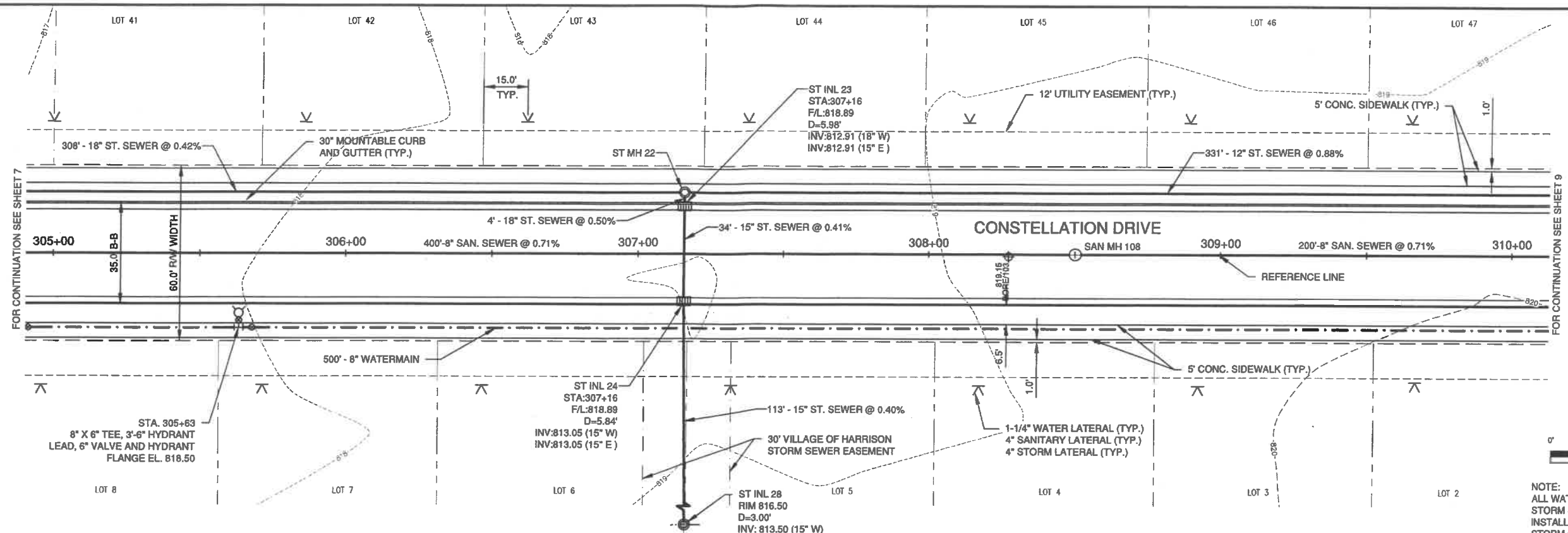
NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



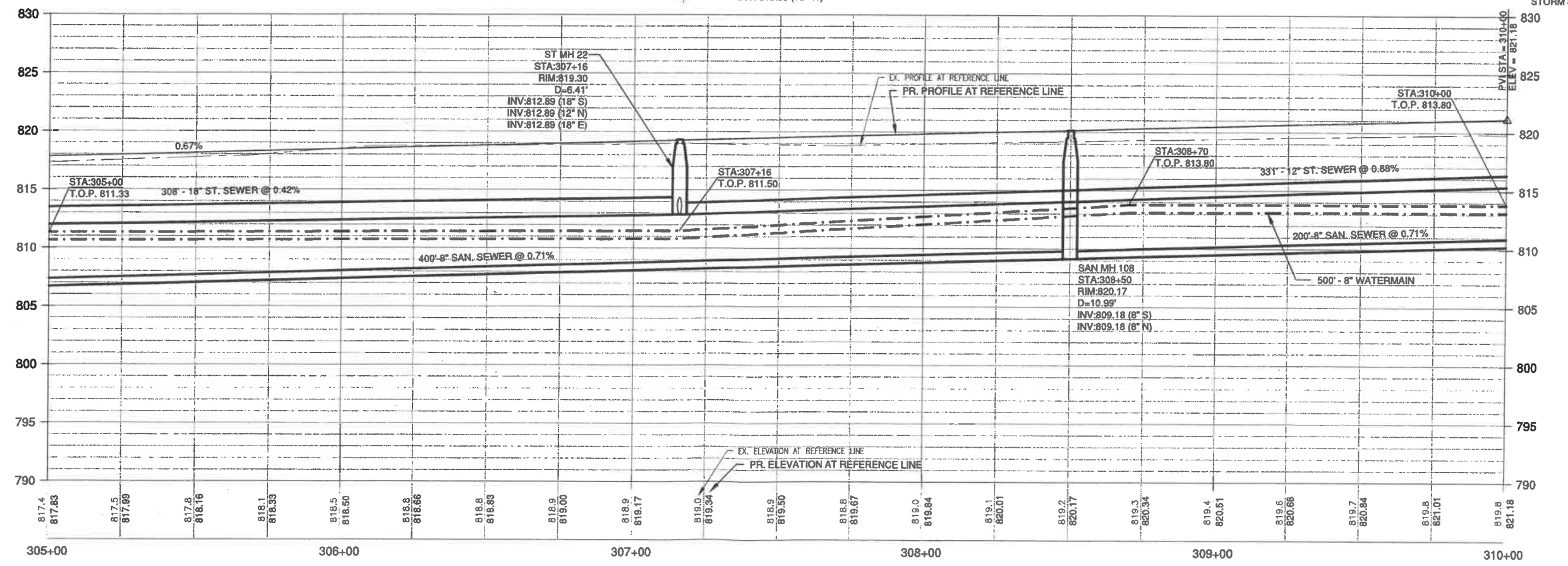
File: R:\300\4329-20\21\Constellation.dwg  
 Plot Date: Dec 01, 2020 - 10:50am  
 User: JLB  
 Plot: Constellation

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CONTRACT NO.	CONVEYANCE	DATE	FILE	ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES	SHEET NO.
1	11/18/2020	AJB	ADDENDA NO. 1					UJF/S	4329-20-03	CONSTELLATION DRIVE	09/2020	A	1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155	7
2	12/04/2020	AJB	CONSTRUCTION PLAN SET					AJB	VILLAGE OF HARRISON	CONSTELLATION DRIVE	4/29/21	A	920-662-9641 www.releeinc.com	

CONFORMED PLAN



NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



File: R:\LAND\2020\122021\Map\Constellation.dwg  
 Plot Date: Dec 01, 2020 - 11:50am  
 Layer: Const 2  
 Layout: Const 2

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	11/19/2020	AJB	ADDENDA NO. 1					LLP/RLB
2	12/04/2020	AJB	CONSTRUCTION PLAN SET					CHECKED JSS DESIGNED AJB

CONTRACT NO. 4329-20-03  
STARGAZER ESTATES  
VILLAGE OF HARRISON  
CALUMET COUNTY, WISCONSIN

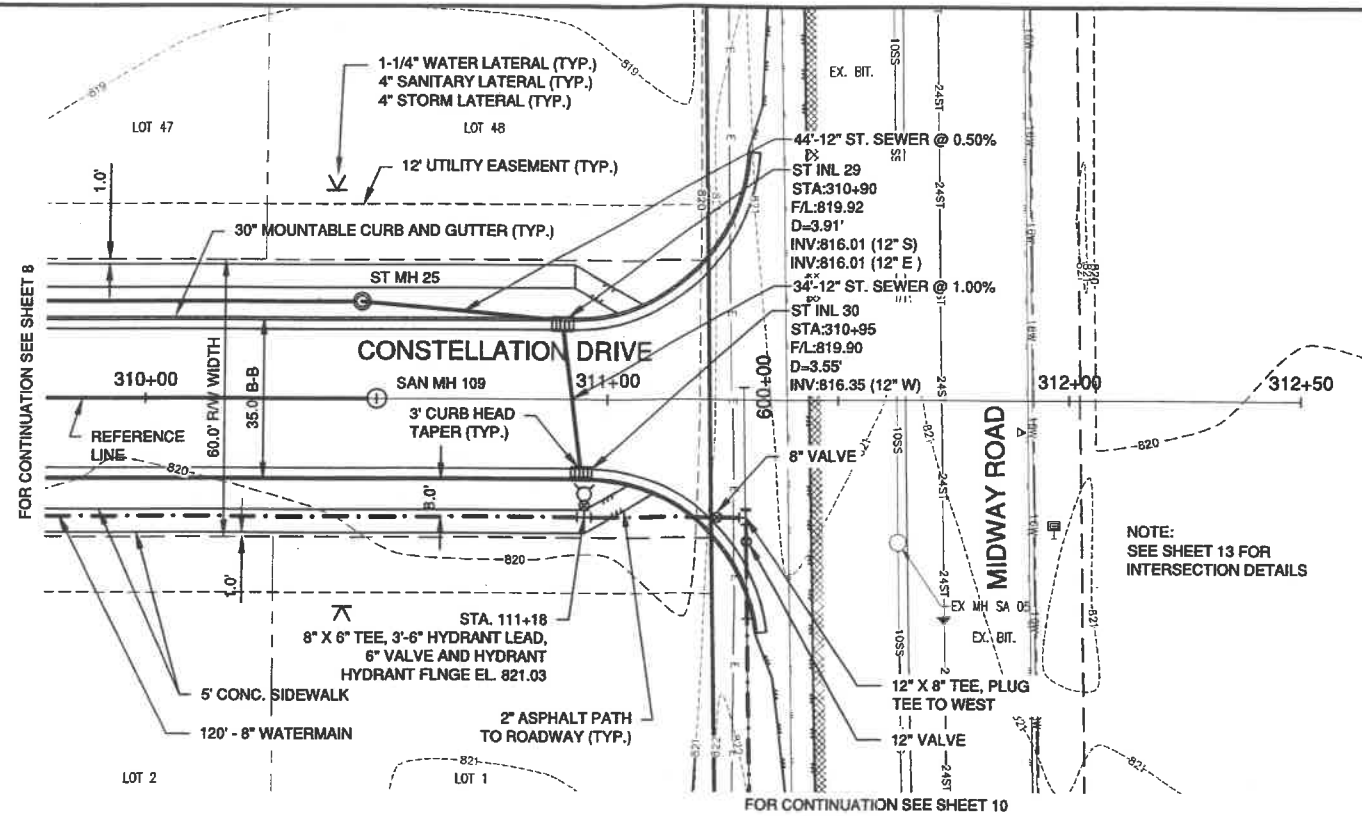
CONSTELLATION DRIVE  
STA. 305+00 TO STA. 310+00

DATE  
09/20/20  
FILE  
A CONSTELLATION  
JOB NO.  
4329121

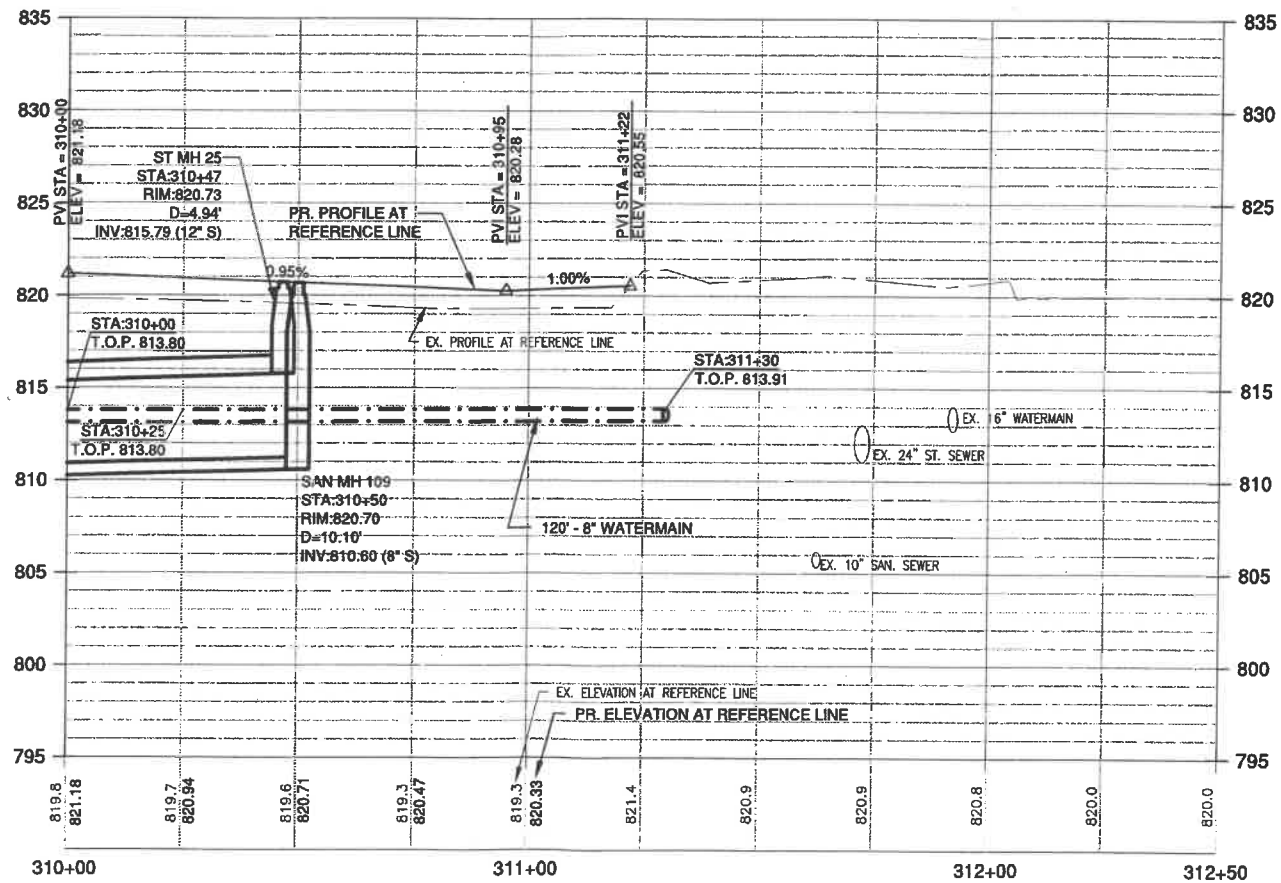
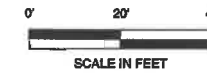
**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
920-862-9641 www.releesinc.com

SHEET NO.  
**8**

*CONFORMED PLAN*



NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



File: R:\A\302\A\302\A\302\21\Map\A\_CONSTELLATION.dwg  
 Plot Date: 04/20/2020 11:14am  
 Layer: CONST\_3

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	11/18/2020	AJB	ADDENDA NO. 1				
2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

DRAWN  
 U.F.R.B.  
 CHECKED  
 J.B.S.  
 DESIGNED  
 A.J.B.

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

CONSTELLATION DRIVE  
 STA. 310+00 TO STA. 312+50

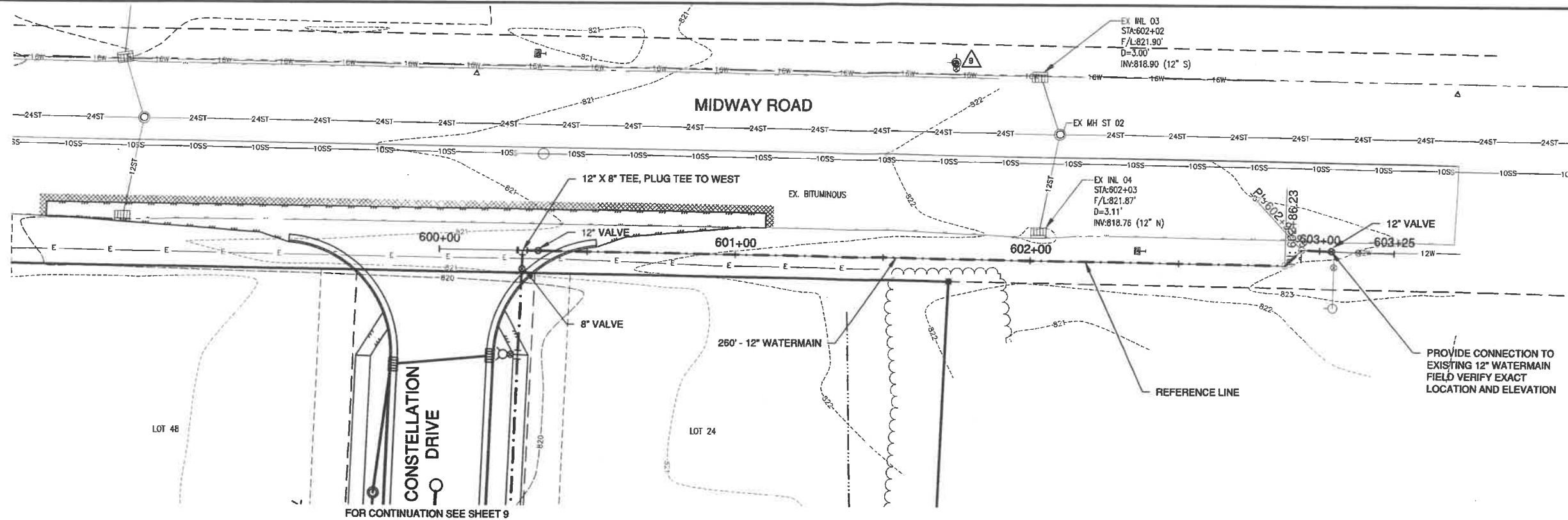
DATE  
 09/20/2020  
 FILE  
 A CONSTELLATION  
 JOB NO.  
 4329121



**Robert F. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.rleefinc.com

SHEET NO.  
**9**

**CONFORMED PLAN**

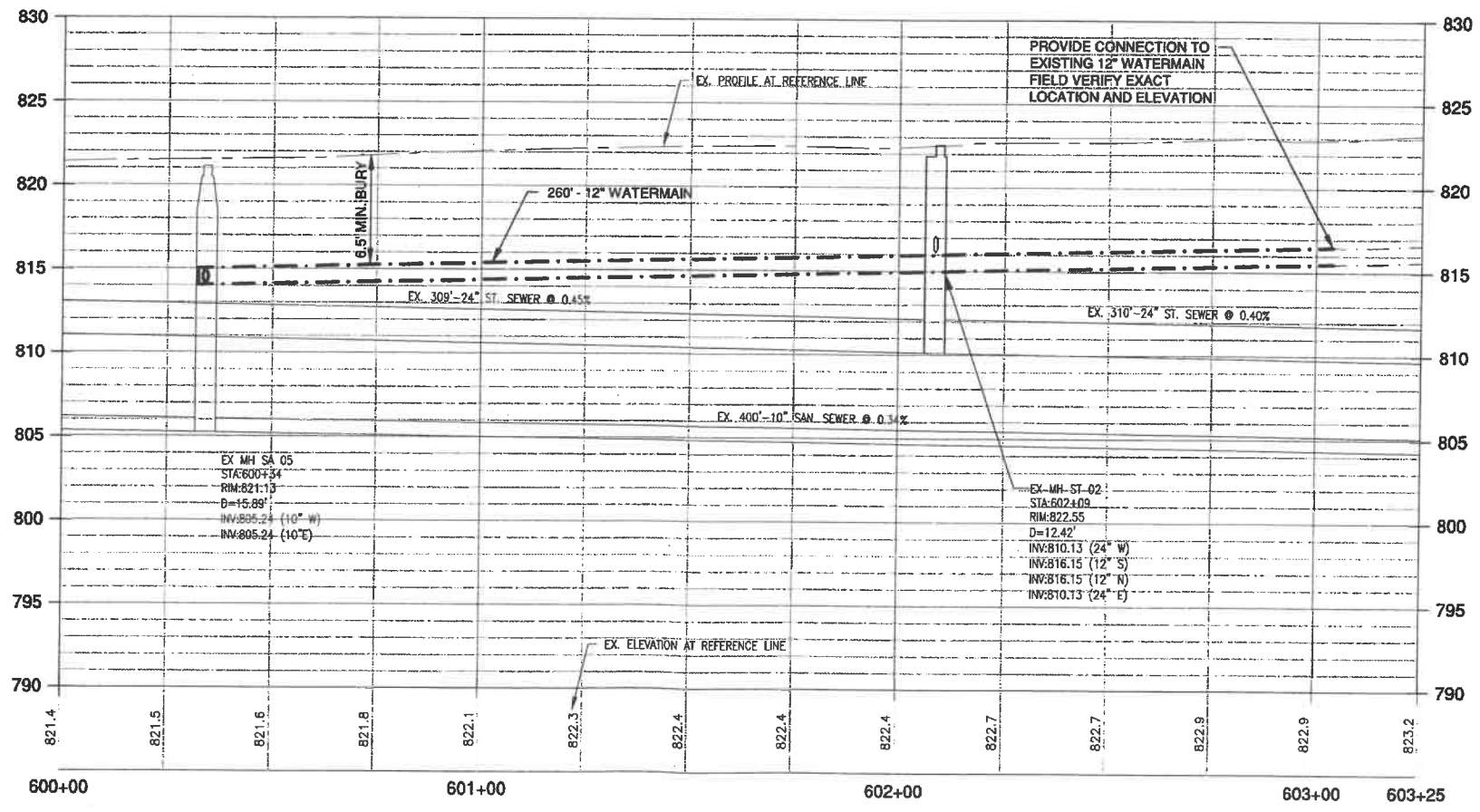


BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.	
NO.	DESCRIPTION	FIELD VERIFY BENCHMARKS FOR ACCURACY.	
9	TAG BOLT ON FIRE HYDRANT	EL.	824.90

NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



FOR CONTINUATION SEE SHEET 9



P:\1\1004\1004-20\1004-20-03\1004-20-03.dwg  
 11/18/2020 10:58:11 AM  
 RLB

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	11/18/2020	AJB	ADDENDUM NO. 1				
2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

MIDWAY ROAD  
 STA. 600+00 TO STA. 603+25

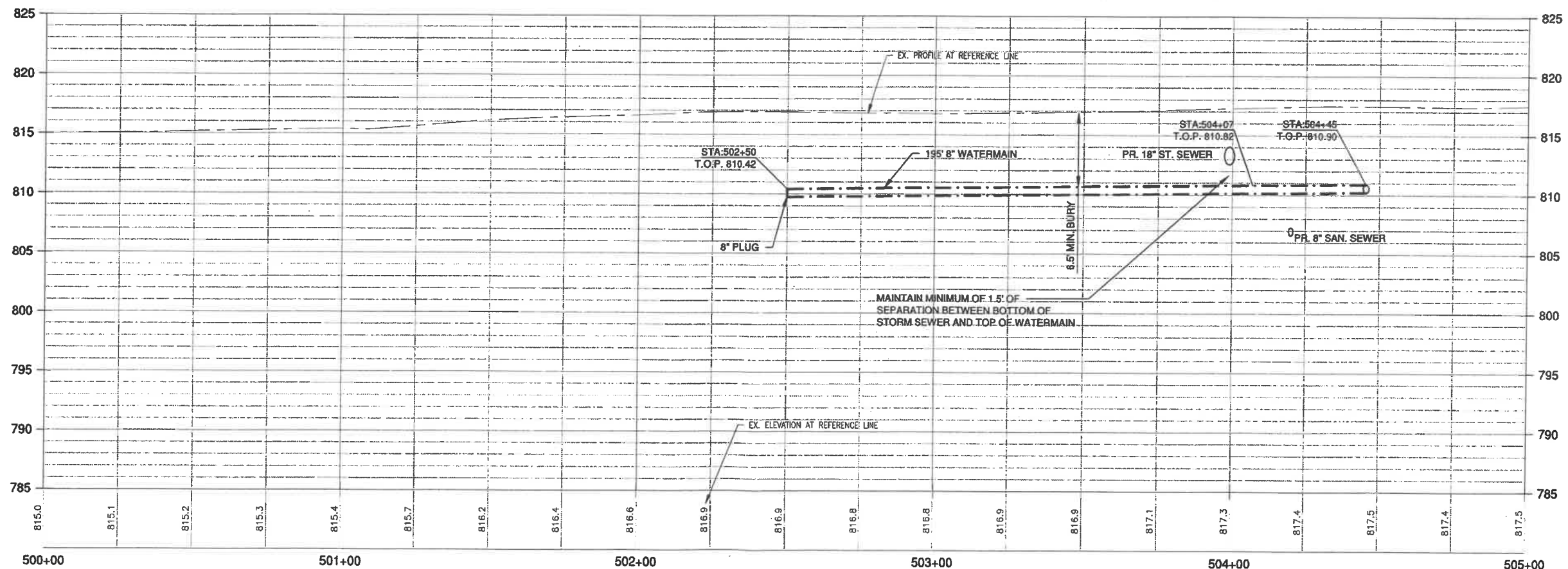
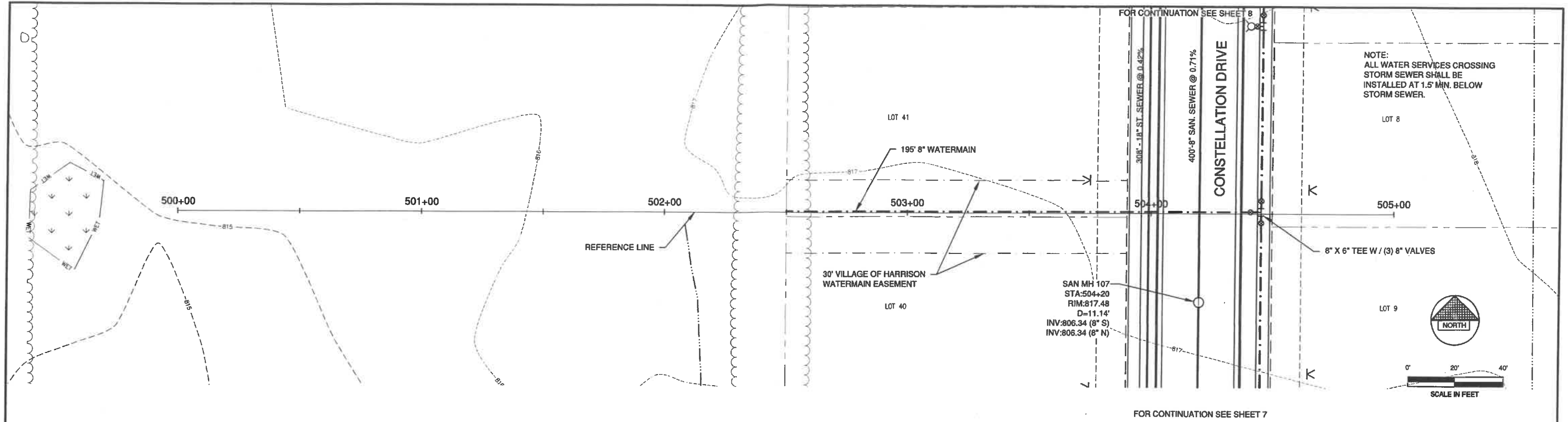
DATE  
10/20/20  
 FILE  
A WM MIDWAY  
 JOB NO.  
4329121

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.reeinc.com

SHEET NO.  
**10**

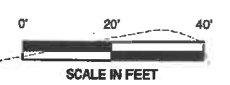
**CONFORMED PLAN**





File: R:\330\4329\4329121\Village\_A\_Watermain.dwg  
 Plot Date: Dec 29, 2020 11:44am  
 User: WML  
 Layout:

NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



FOR CONTINUATION SEE SHEET 7

FOR CONTINUATION SEE SHEET 8

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

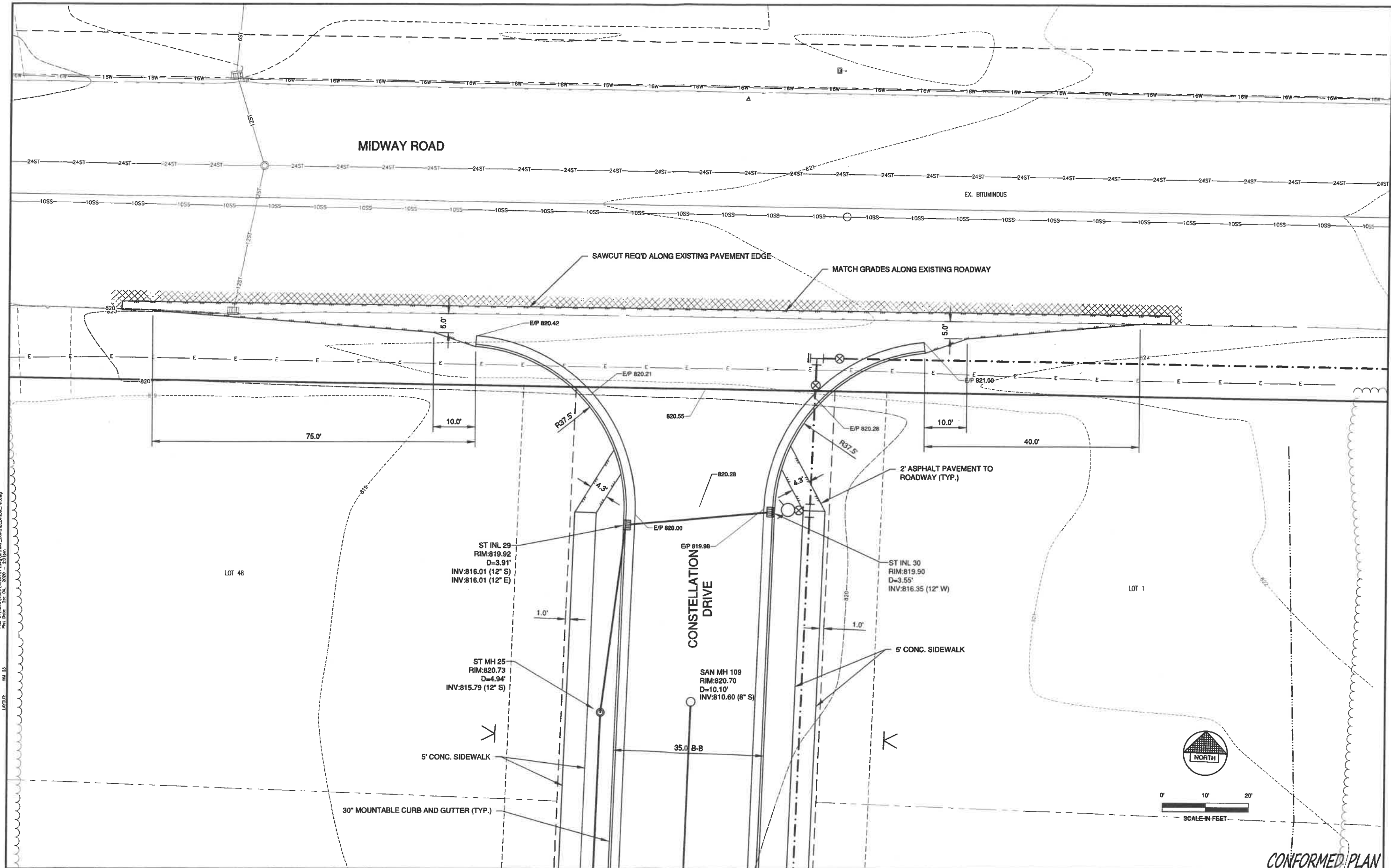
WATERMAIN EASEMENT  
 STA. 500+00 TO STA. 505+00

DATE  
10/20/20  
 FILE  
A WM EASE  
 JOB NO.  
4329121

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.reeinc.com

SHEET NO.  
**12**

*CONFORMED PLAN*



File: R:\A\2020\4329-20-03\DWG\CONSTRUCTION\_PLAN.dwg  
 Plot Date: Dec 01, 2020 - 2:58pm  
 Layer: WM\_33

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					RLB
								CHECKED
								DESIGNED
								AJB

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

MIDWAY ROAD/CONSTELLATION DRIVE  
 INTERSECTION

DATE  
 10/20/20  
 FILE  
 MIDWAY CONSTELLATION INT  
 JOB NO.  
 4329121

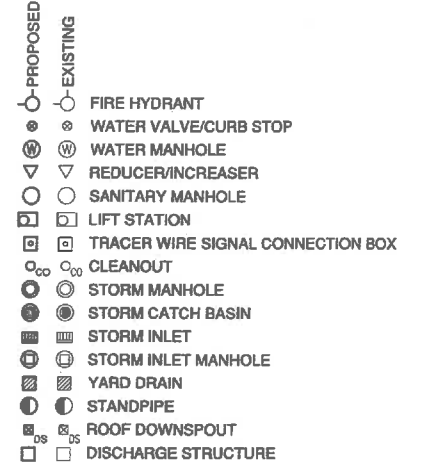
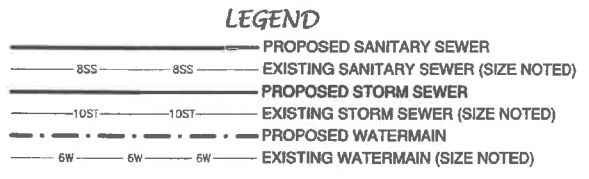
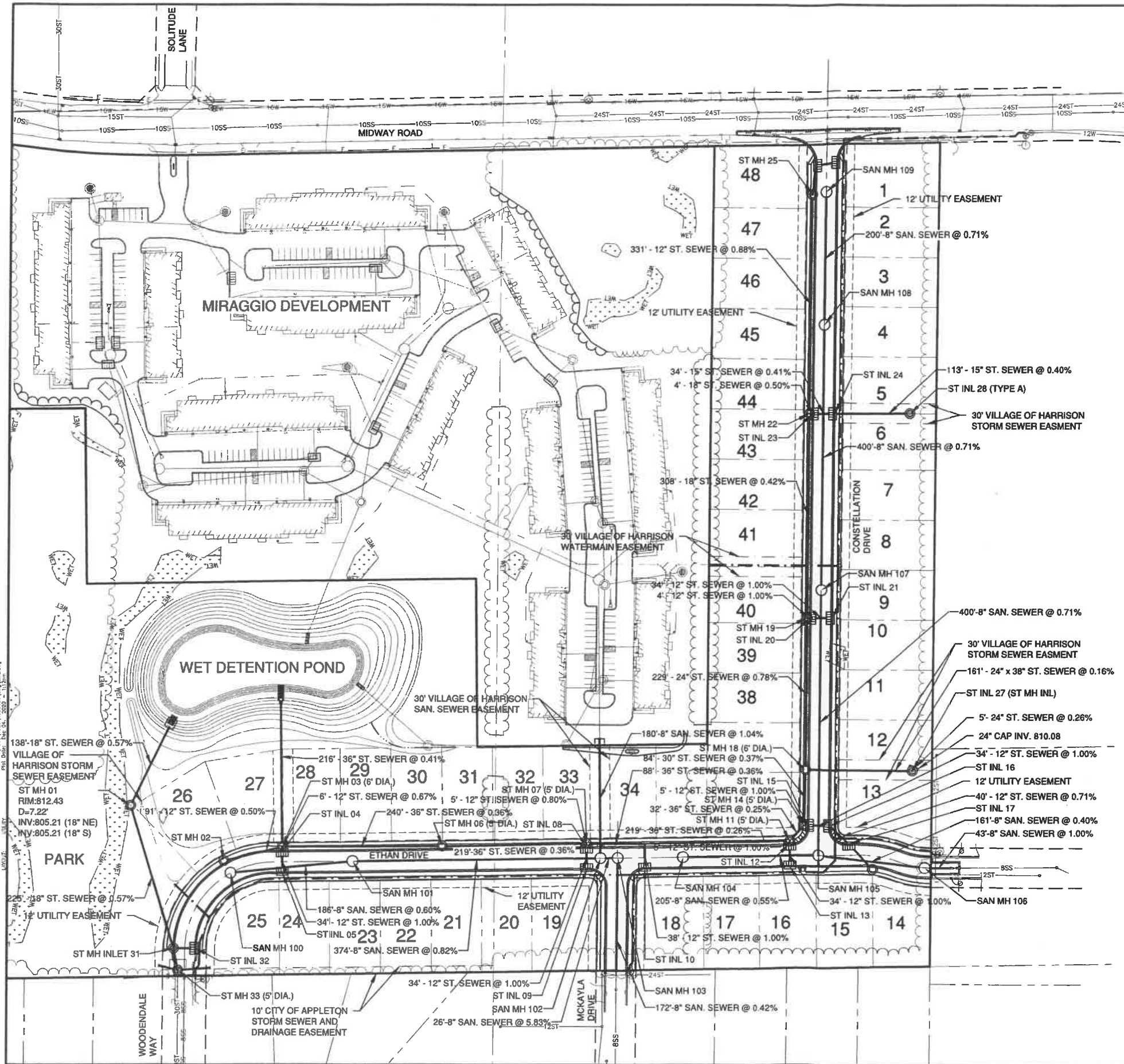
**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-862-9841 www.releelnc.com

SHEET NO.  
**13**

**CONFORMED PLAN**







- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
  2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
  3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
  4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	11/18/2020	AJB	ADDENDA NO. 1					CHECKED
2	12/04/2020	AJB	CONSTRUCTION PLAN SET					DESIGNED

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

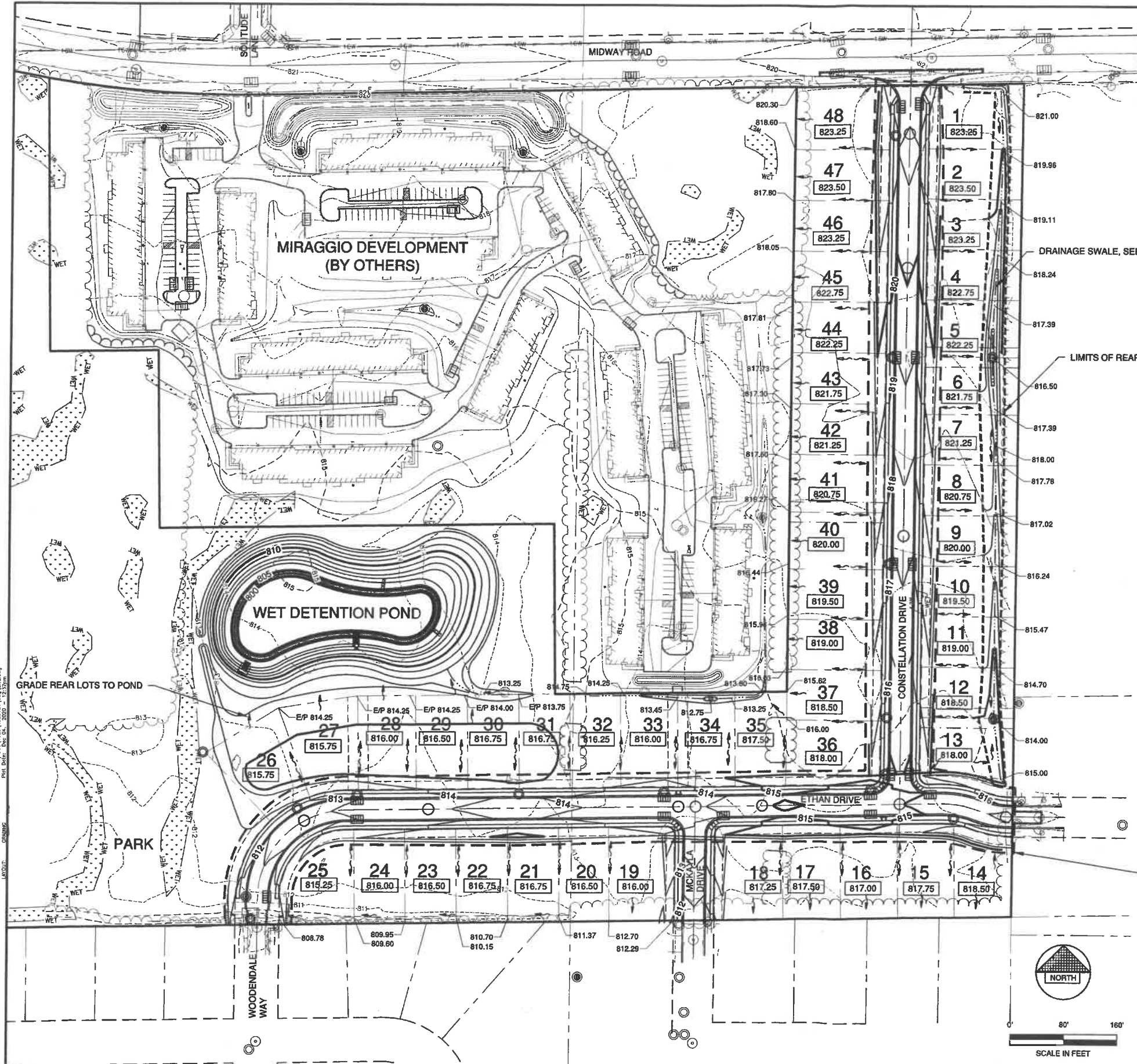
OVERALL UTILITY PLAN

DATE	12/02/20
FILE	
SITE	
JOB NO.	4329121

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9841 www.reeinc.com

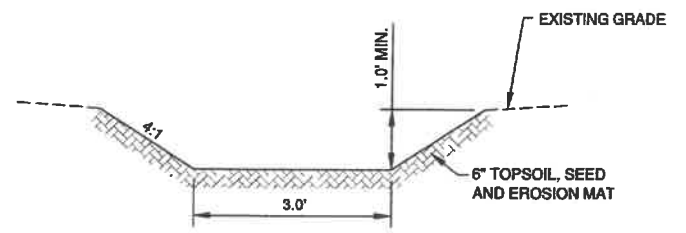
SHEET NO.  
**15**

**CONFORMED PLAN**



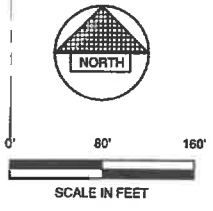
**LEGEND**

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW



**TYPICAL SWALE DETAIL**

NOTE:  
ALL PROPERTY OWNERS ARE REQUIRED TO MAINTAIN THE DITCH AND LOT CORNER ELEVATIONS AS SHOWN ON THIS PLAN, AS WELL AS MAINTAIN ALL DITCH VEGETATION.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					REB
								CHECKED
								DESIGNED
								AJB

CONTRACT NO. 4329-20-03  
STARGAZER ESTATES  
VILLAGE OF HARRISON  
CALUMET COUNTY, WISCONSIN

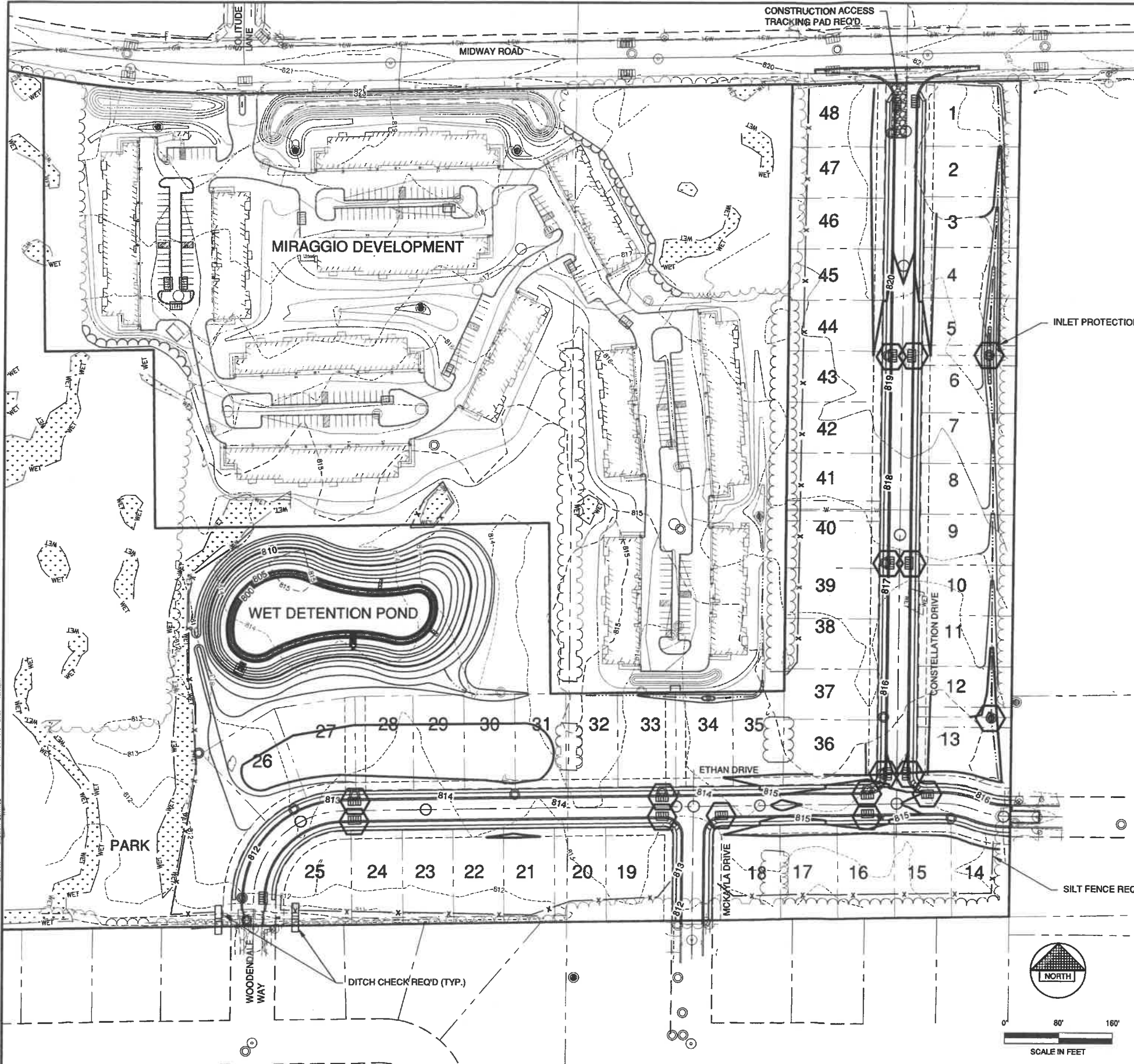
OVERALL GRADING PLAN

DATE	10/20/20
FILE	
SITE	
JOB NO.	4329121

**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
920-662-9641 www.releeinc.com

SHEET NO.  
**16**

*CONFORMED PLAN*



**LEGEND**

	DRAINAGE SWALE
	DRAINAGE DIVIDE
	FLOW ARROW
	SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
	DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
	TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
	EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
	INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

**EROSION CONTROL**

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF-SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

DATE: 10/20/20  
 FILE: 4329-20-03  
 SITE: STARGAZER ESTATES VILLAGE OF HARRISON  
 JOB NO. 4329121

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

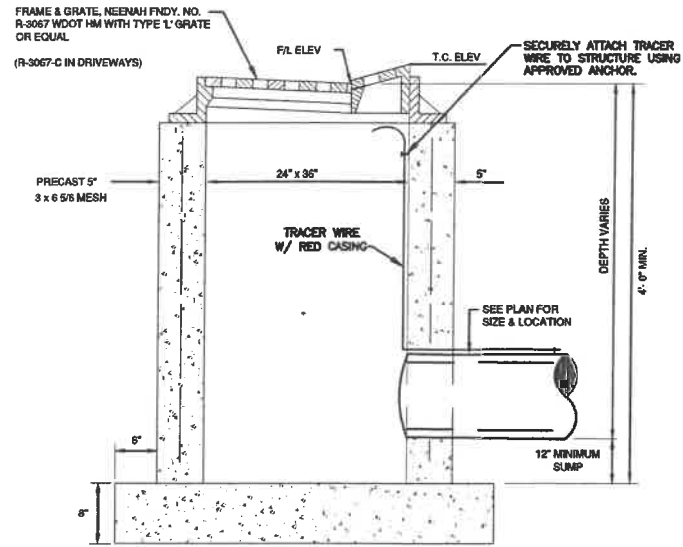
OVERALL EROSION CONTROL PLAN

DATE	10/20/20
FILE	4329-20-03
SITE	STARGAZER ESTATES VILLAGE OF HARRISON
JOB NO.	4329121

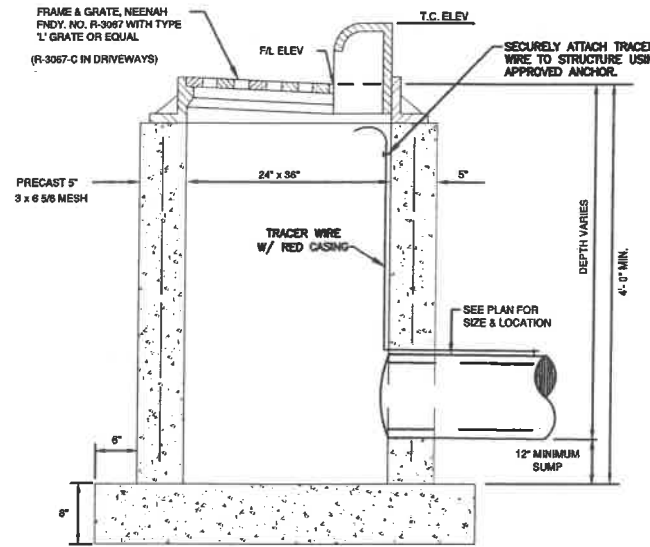
**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.leeinc.com

SHEET NO.  
**17**

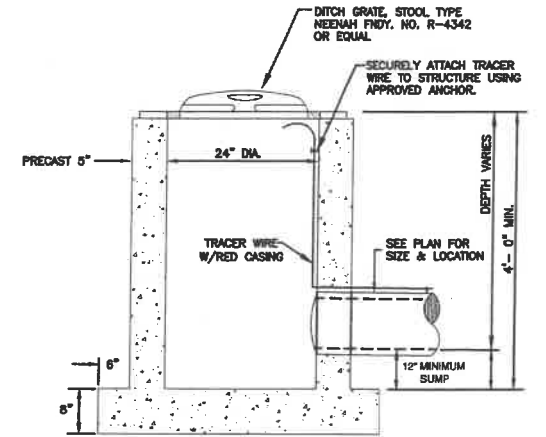
**CONFORMED PLAN**



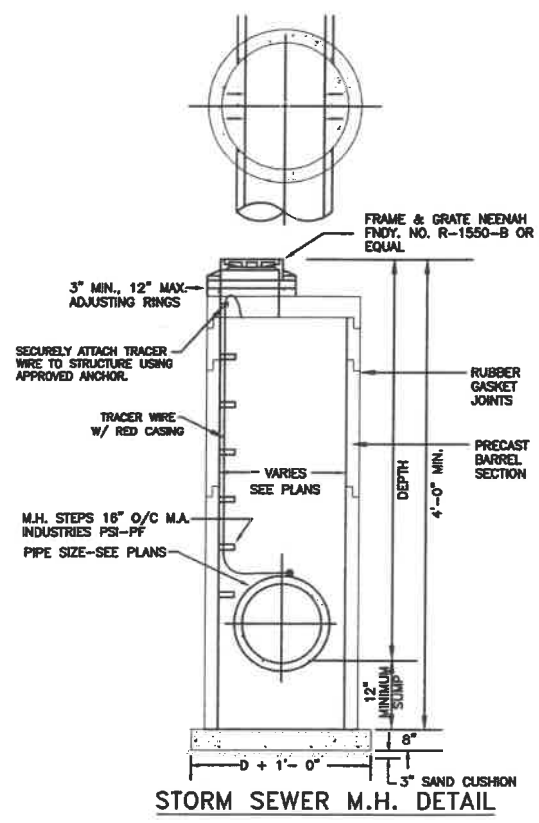
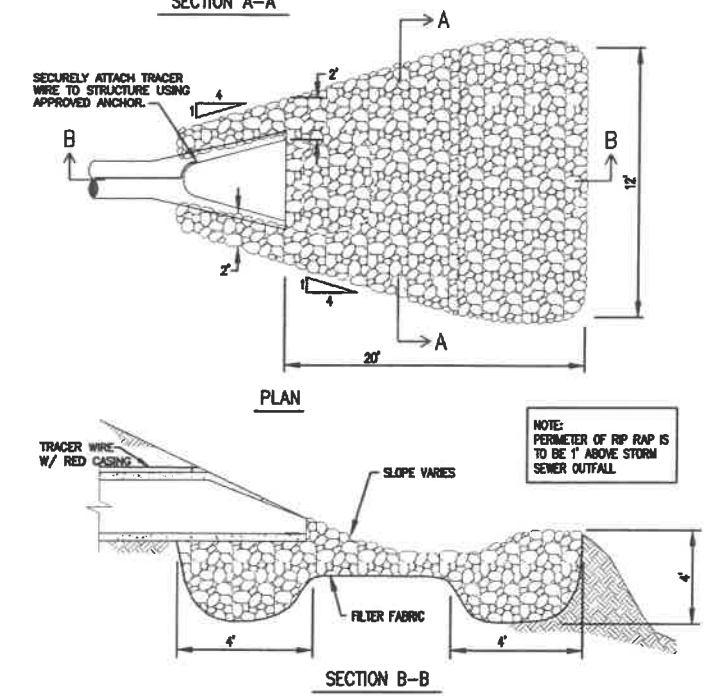
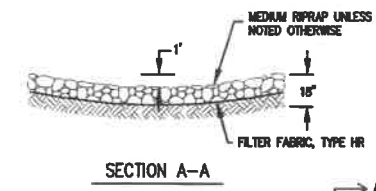
**STORM SEWER CATCH BASIN**  
(FOR 30" MOUNTABLE CURB & GUTTER)



**STORM SEWER CATCH BASIN**  
(FOR 30" BARRIER CURB & GUTTER)



**DITCH INLET/YARD DRAIN**



**STORM SEWER M.H. DETAIL**

P:\A\2020\4329-20\31\Misc\DETAILS.dwg  
 Plot Date: Dec 01, 2020 - 3:35pm  
 11  
 11/17/20

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					CHEKED JGS
								DESIGNED AJB

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

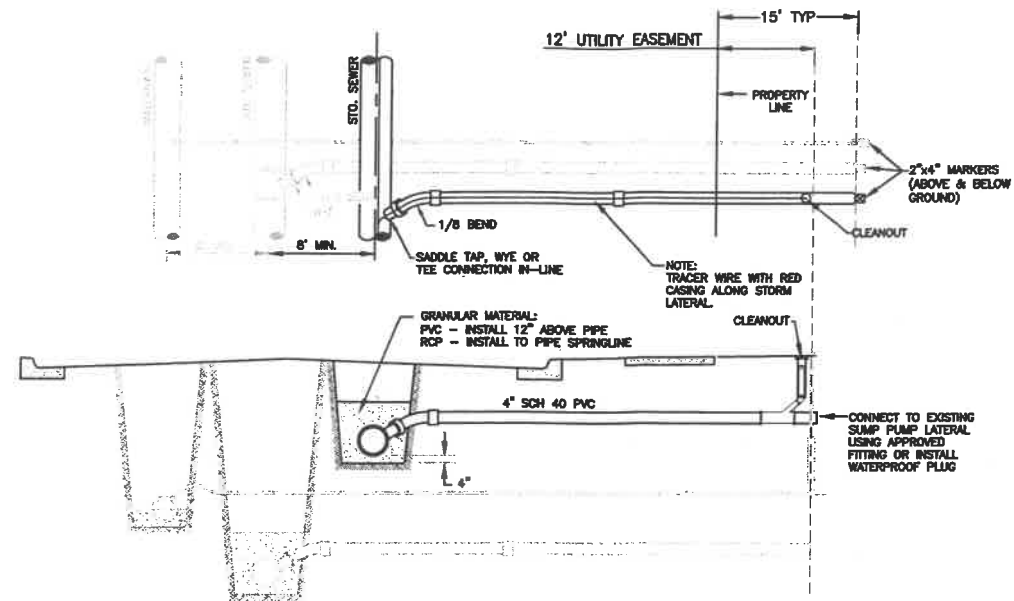
MISCELLANEOUS DETAILS

DATE  
 09/2020  
 FILE  
 DETAILS  
 JOB NO.  
 4329121

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-862-9841 www.releeinc.com

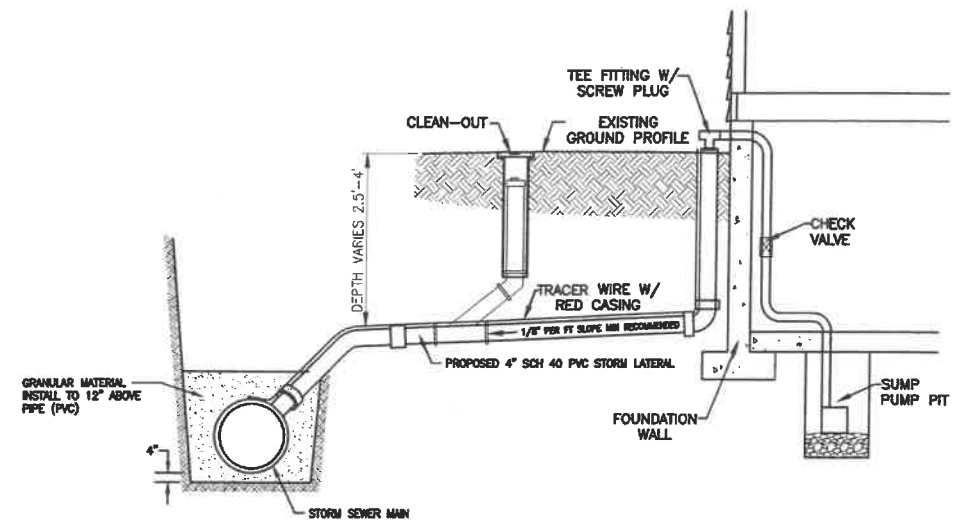
SHEET NO.  
**18**

**CONFORMED PLAN**

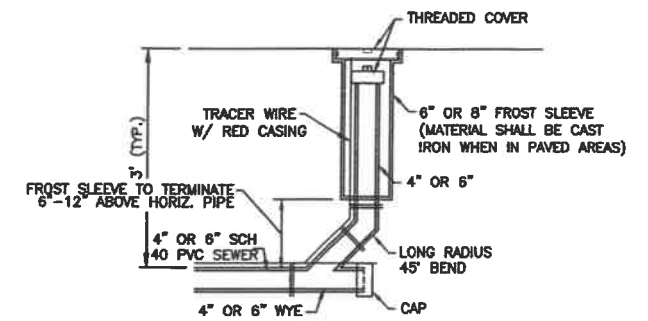


TYPICAL STORM SEWER LATERAL TO R/W

NOTE: SANITARY SEWER AND WATERMAIN CONSTRUCTION SPECIFICATIONS BY OTHERS.



TYPICAL STORM LATERAL CONNECTION TO HOME



STORM SEWER LATERAL CLEANOUT

P:\4329-20\4329-20-03\DETAILS.dwg  
 09/20/2020 09:01:20 AM  
 AJS  
 19

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CONTRACT NO. 4329-20-03	DATE	FILE	DETAILS	JOB NO.	4329121
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					CHECKED	STARGAZER ESTATES	09/20/2020	FILE	DETAILS		
								DESIGNED	VILLAGE OF HARRISON					
								AJB	CALUMET COUNTY, WISCONSIN					

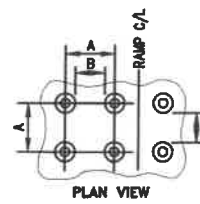
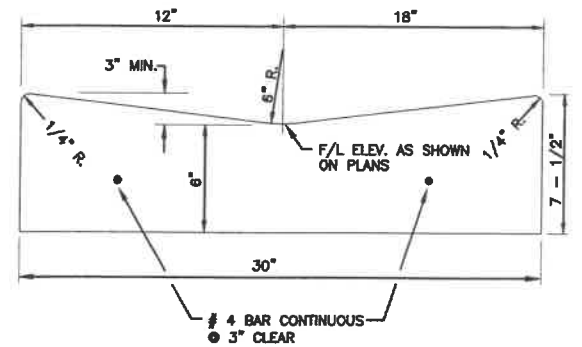
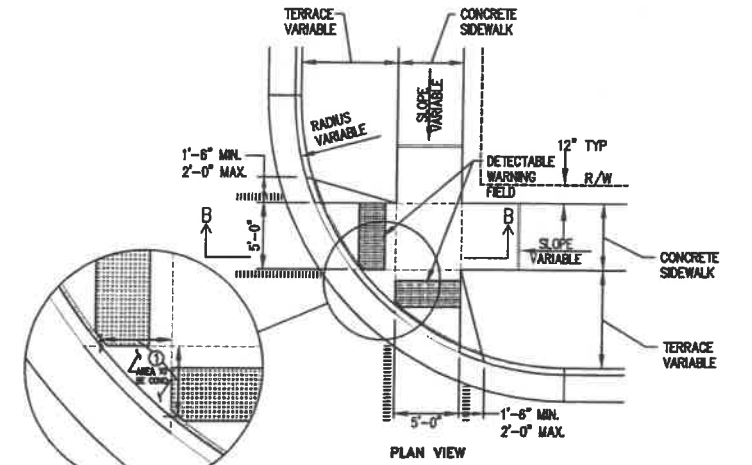
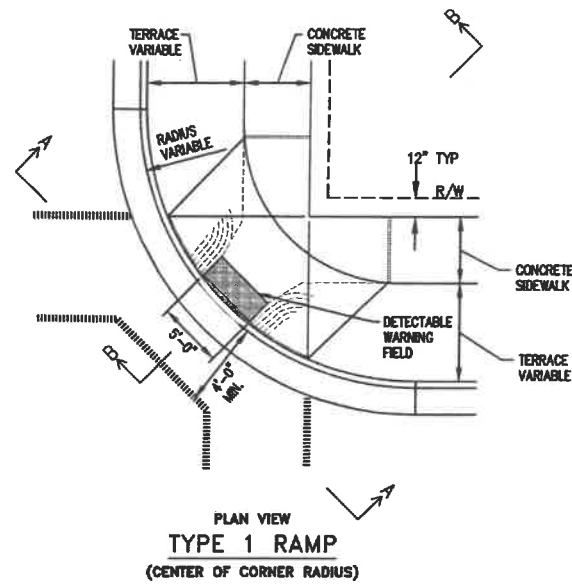
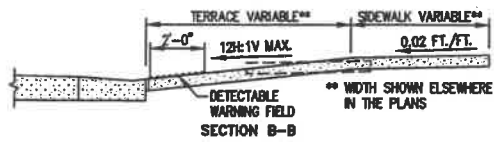
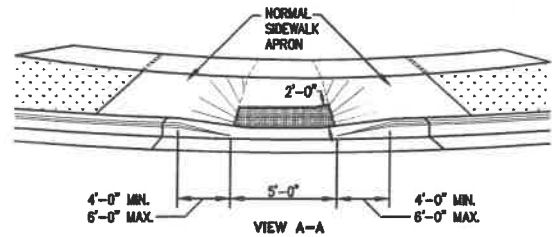
CONFORMED PLAN

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-862-9841 www.releeinc.com

SHEET NO. 19

MISCELLANEOUS DETAILS

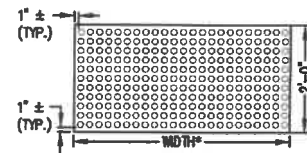
**LEGEND**  
 - - - - - 1/2" EXPANSION JOINT-SIDEWALK  
 - - - - - CONTRACTION JOINT FIELD LOCATED  
 ■■■■■■■■■ PAVEMENT MARKING CROSSWALK (WHITE)



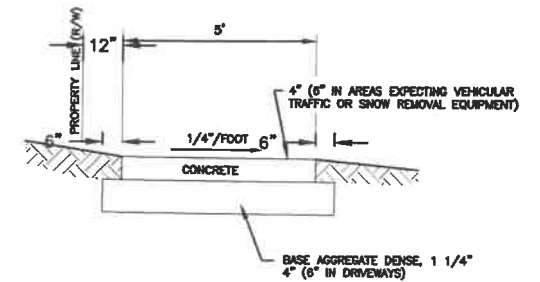
	MIN.	MAX.
A	1.6"	2.4"
B	0.85"	1.5"
C	.	.
D	0.9"	1.4"

\* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.

**TRUNCATED DOMES**  
 DETECTABLE WARNING PATTERN DETAIL



\* THE TOTAL INSTALLED WIDTH OF THE DETECTABLE WARNING FIELD TO EQUAL THE CURB OPENING WIDTH



**CONFORMED PLAN**

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					CHECKED
								DESIGNED
								AJB

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

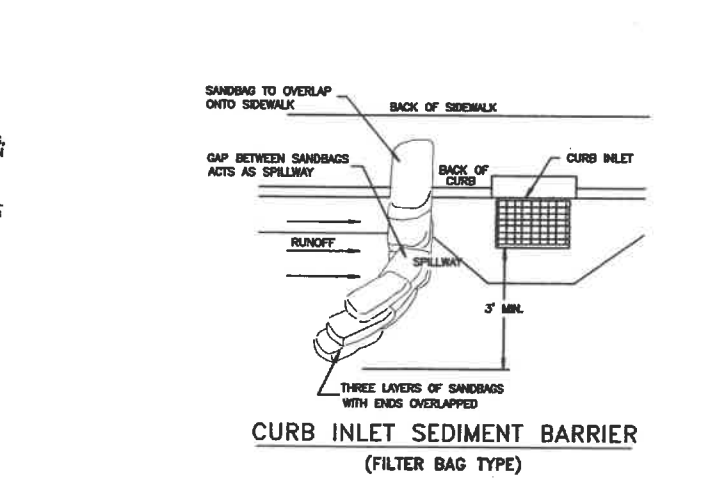
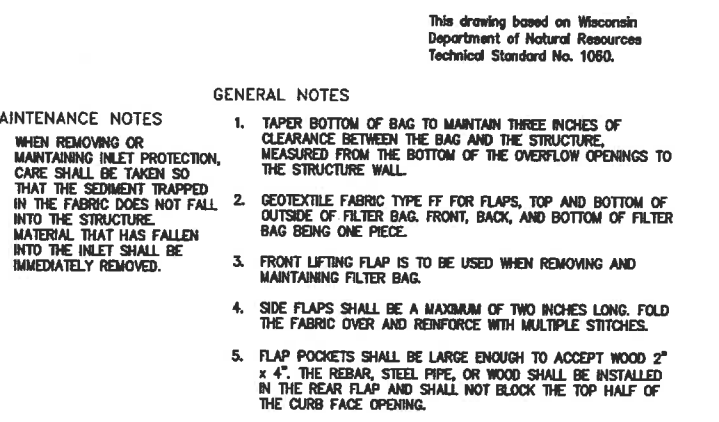
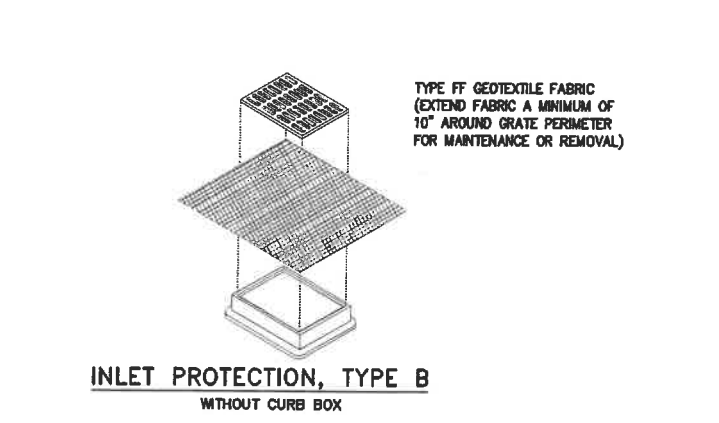
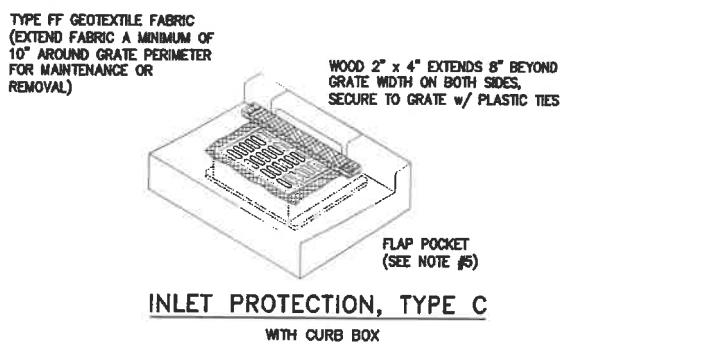
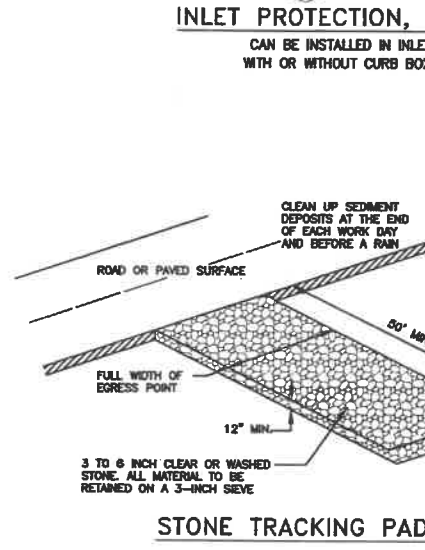
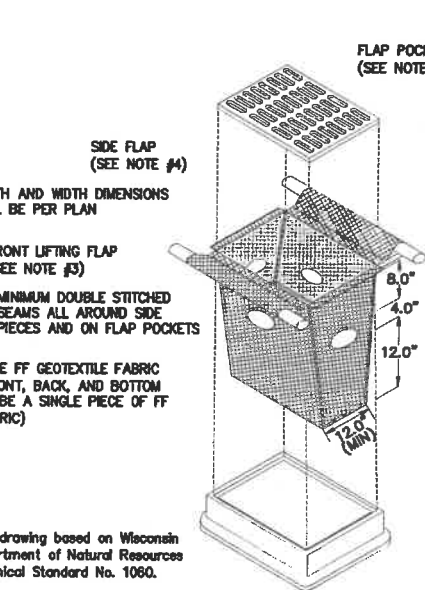
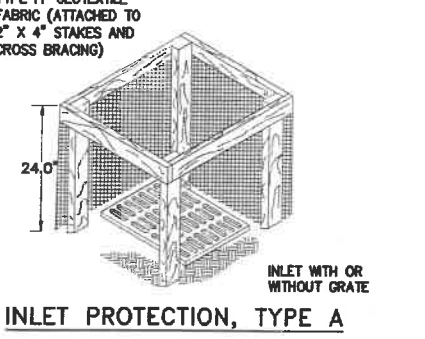
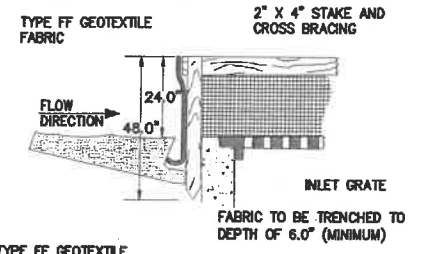
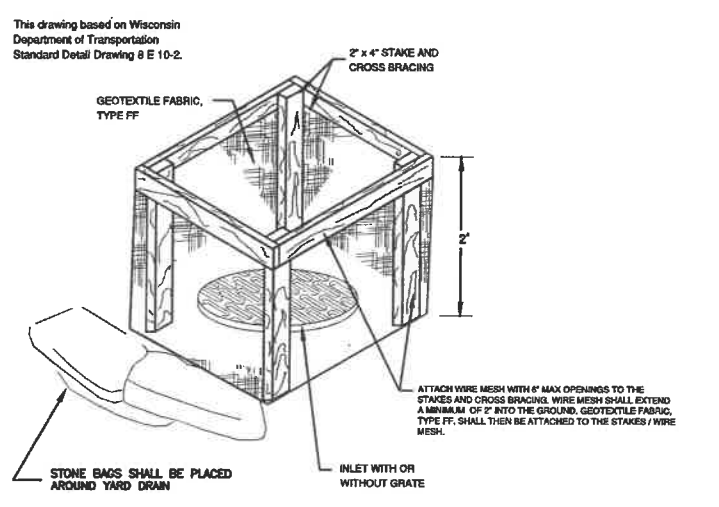
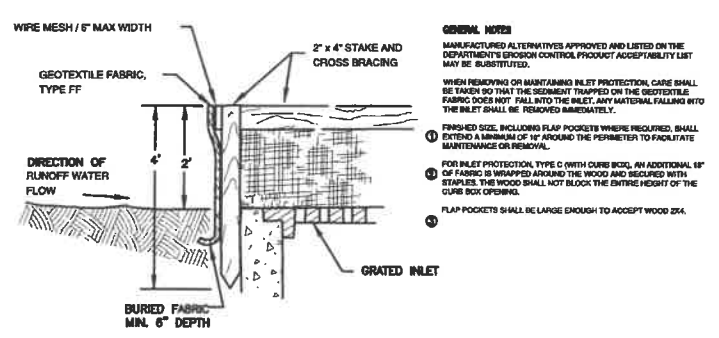
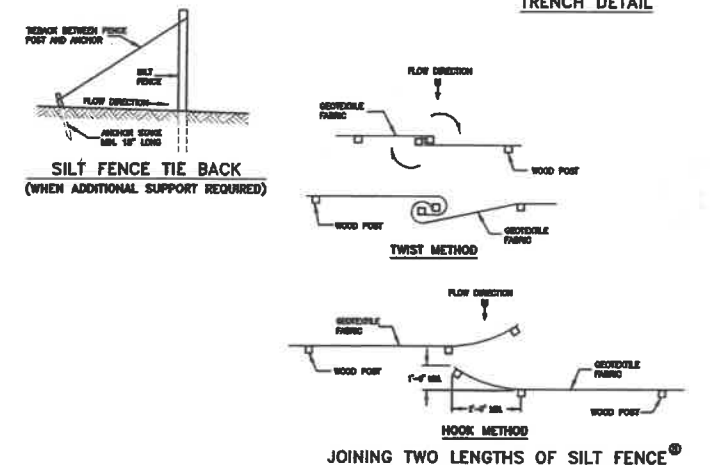
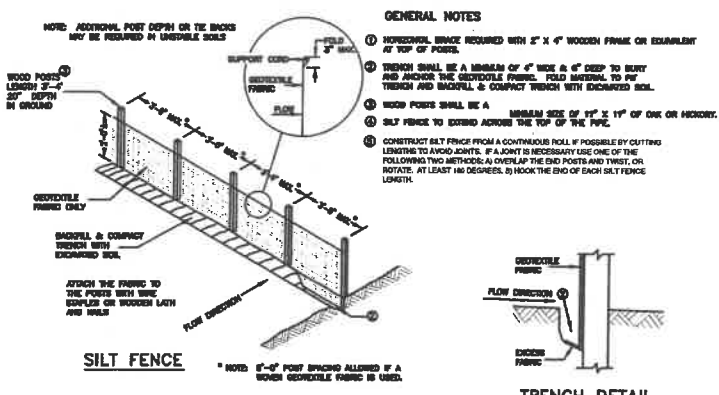
MISCELLANEOUS DETAILS

DATE  
 09/20/20  
 FILE  
 DETAILS  
 JOB NO.  
 4329121



**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.releeinc.com

SHEET NO.  
**20**

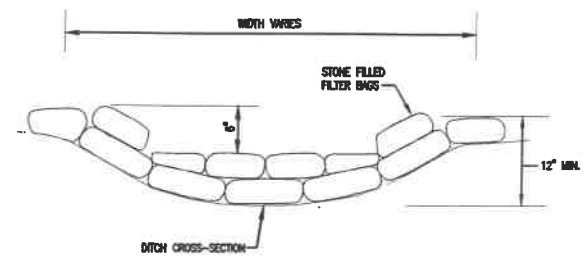


FILE: R:\A\300\A323\A323121\49\DETAILS.dwg  
 Plot Date: Dec 03, 2020 - 3:58pm  
 LAYOUT: DETAILS.dwg

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CONTRACT NO. 4329-20-03 STARGAZER ESTATES VILLAGE OF HARRISON CALUMET COUNTY, WISCONSIN	MISCELLANEOUS DETAILS	DATE	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-862-8641 www.rleeeinc.com	SHEET NO.
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					CHECKED			09/20/20		21
								DESIGNED					
								AJB					

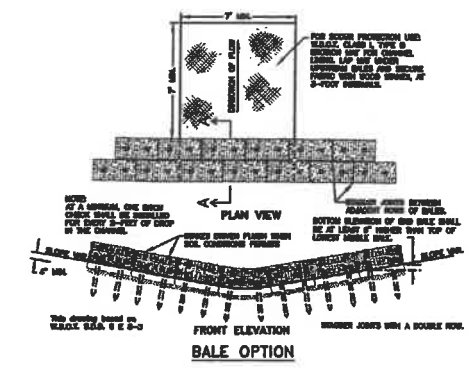
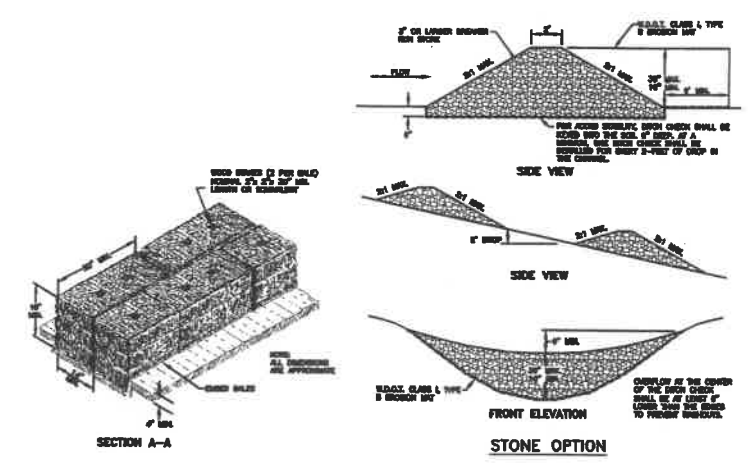
**CONFORMED PLAN**

File: R:\A\000\4329\4329121\Map\DETAILS.dwg  
 Plot Date: 03/20/2020 10:30am  
 Plot Size: 31" x 44"

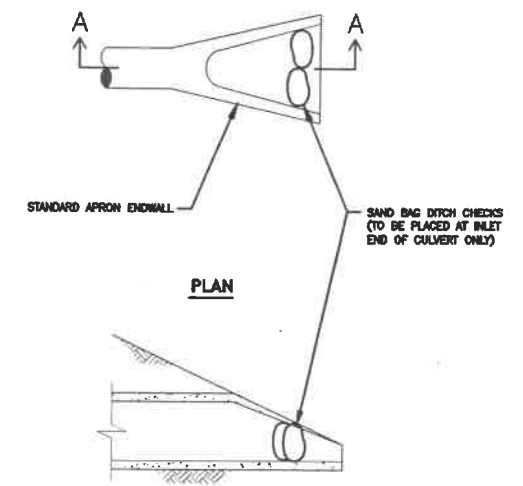


STONE DITCH CHECK BAGS SHALL BE BURLAP OR SYNTHETIC NET BAGS OF SUFFICIENT STRENGTH TO HOLD AGGREGATE SECURELY, WITH A MESH SIZE OF 1/2-INCH. THE BAGS SHALL BE 24-INCHES LONG BY 12-INCHES WIDE BY 6-INCHES HIGH. THE AGGREGATE IN THE BAGS SHALL CONFORM TO THE SIZE REQUIREMENTS FOR COURSE AGGREGATE FOR CONCRETE MASONRY, NUMBER 2.

**STONE DITCH CHECK**



**TEMPORARY DITCH CHECK**



**SECTION A-A  
CULVERT PIPE DITCH CHECKS**

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					RLB
								CHECKED
								JGS
								DESIGNED
								AJB

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

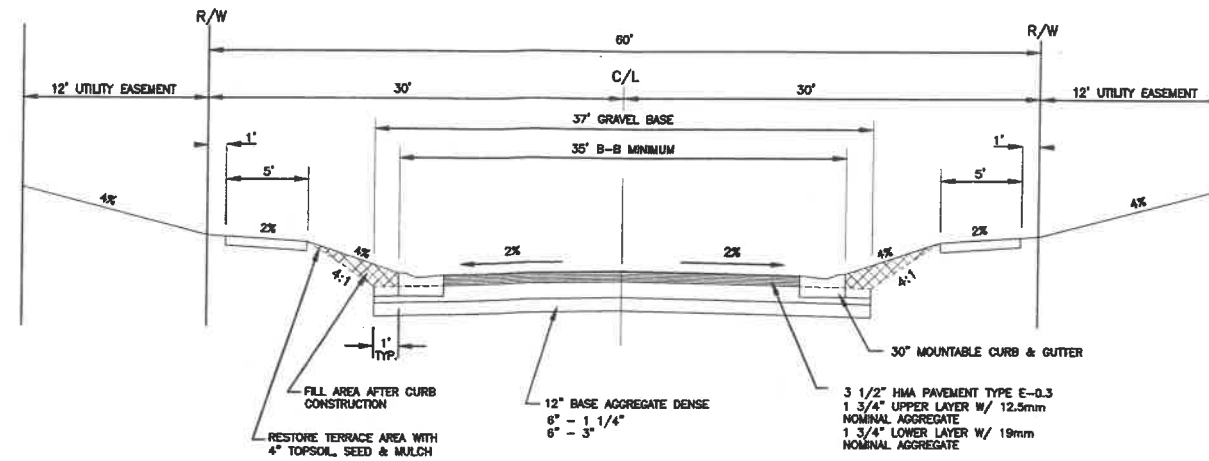
DATE  
 09/2020  
 FILE  
 DETAILS  
 JOB NO.  
 4329121

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-862-9841 www.releeinc.com

SHEET NO.  
**22**

**CONFORMED PLAN**





**HARRISON**  
**URBAN LOCAL STREET SECTION**  
 (SANITARY DISTRICT DEVELOPMENTS)

File: R:\330\4329\4329121\4329121\MISC\DETAILS.dwg  
 Plot Date: Dec 03, 2020 10:52:00 AM  
 12/03/2020 10:52:00 AM  
 12/03/2020 10:52:00 AM

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CONTRACT NO. 4329-20-03 STARGAZER ESTATES VILLAGE OF HARRISON CALUMET COUNTY, WISCONSIN	MISCELLANEOUS DETAILS	DATE	<b>Robert E. Lee &amp; Associates, Inc.</b> ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-862-9841 www.releeinc.com	SHEET NO.	
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					DRAWN			06/2020			
								CHECKED						
								DESIGNED						

*CONFORMED PLAN*

**23**

---

**VILLAGE BOARD MEETING**

---

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

January 12, 2021

---

**Title:**

Development Agreement for Stargazer Estates Subdivision

---

**Issue:**

Should the Village Board approve the development agreement for the Stargazer Estates subdivision?

---

**Background and Additional Information:**

As a part of the subdivision plat approval process, the Village requires a Development Agreement in order to assure all the public improvements are installed in the subdivision if the final plat is to be approved prior to all the improvements being completed. The standard agreement is based off the Subdivision Improvement Policy approved by the Village Board in June 2020. The Development Agreement provides standards for utility and roadway construction in a temporary state and final state.

---

**Budget/Financial Impact:**

None.

---

**Recommended Action:**

The Village Board heard discussion from the developer at the December 8th meeting regarding deviations from the agreement. The Village Board did not make a motion to change the standard agreement. The Village Board should formally approve a subdivision development agreement.

---

**Attachments:**

- Draft Development Agreement

**SUBDIVISION DEVELOPMENT AGREEMENT  
STARGAZER ESTATES**

THIS AGREEMENT, made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, between Quattro Development, LLC, hereinafter called “Subdivider”, and the Village of Harrison, a municipal corporation of the State of Wisconsin, located in Calumet and Outagamie counties, hereinafter called “Village”.

WHEREAS, Subdivider is the owner of approximately 15.991-acres of land in the Village, said land being referred to as “Stargazer Estates” described as:

*All of Lot 2, Certified Survey Map Number 3890, Document Number 554355, being part of the Northwest ¼ of the Northeast ¼ and part of the Northeast ¼ of the Northeast ¼, all in Section 8, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.*

WHEREAS, Subdivider desires to subdivide and develop said lands;

WHEREAS, said lands are presently zoned or planned to be zoned as **RS-2 | Single-Family Residential (Traditional)** which permits the above development; and

WHEREAS, the Plan Commission has recommended to the Village Board that the proposed subdivision of the above described lands be given final approval when the final plat thereof has been presented to the Village Board on the condition that the Subdivider enter into an agreement with the Village relative to the manner and method by which said lands are to be developed; and

WHEREAS, the Subdivider agrees to develop said land as herein described in accordance with this Agreement and in accordance with all of the ordinances and regulations of the Village of Harrison; and

WHEREAS, the developer/subdivider assures the Village and shall on the plat acknowledge:  
“The owner/subdivider has no notice or knowledge of any environmental problems (the existence of hazardous or toxic substances) of any sort on the property being transferred. The owner/subdivider understands that it will pay for any costs to remediate any environmental problems encountered during construction of any of the public improvements required by the Village on the plat in the Developer’s Agreement. The owner/subdivider understand that they shall be individually responsible for any environmental problems found on the land, transferred to the Village on the Plat of Survey or Certified Survey Map during the construction of roads or other dedications and agree to hold the Village harmless until construction, installation or grading is complete.”; and

WHEREAS, the Village and Subdivider agree that the required dedications for surface water drainage and detention shall be dedicated with the plat acceptance, but shall be constructed by the developer as specified. Security for performance of the construction shall be secured by letter of credit or escrow. Security for performance shall not be released in full or in part, at the discretion of the Village, until performance is complete and sufficient development of the subdivision has occurred to satisfy the Village that further development related impairment or damage of surface water structures will not occur.

NOW, THEREFORE, in consideration of the granting of approval of a final plat for **Stargazer Estates** and the development thereof by the Village Board, the Subdivider does hereby agree to subdivide and develop said lands as follows:

## SECTION 1 – IMPROVEMENTS

All public improvements shall be in accordance with the Village of Harrison Standards and Specifications as established in the *Standard Specifications Manual*, the Land Division Ordinance, and all other ordinances for the Village of Harrison. All plans and specifications for the public improvements shall require approval from the Village Engineer and Public Works Department prior to proceeding with construction.

### A. ROADS AND STREETS The Subdivider and Village hereby agrees:

To furnish, construct, grade and surface all roads and streets in the subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village.

The Village has given consideration to the installation required and completion dates shall hereinafter be established and specified below. The completion dates are based upon the developer's installation in accordance with the land division ordinance and the **FINAL** plan specifications and drawings approved by the Village.

*All street construction, including but not limited to, sanitary sewer, watermain, storm sewer and associated laterals, subgrade, gravel base, and 1½" temporary asphalt binder shall be inspected by the Village, or their designee, in accordance with Section I, below.*

*Once the Village of Harrison standards have been met, the Village Board will take action respectively, to accept the listed roads. Acceptance of a gravel road may only occur after the subgrade, gravel, and 1½" temporary asphalt binder has been installed and inspected by the Village, all utilities (sanitary sewer, water, storm sewer, gas, electric, cable/phone, etc.) have been installed, and all terraces and primary drainage swales and ditches have been graded, seeded, and mulched and inspected by the Village. Once approved, the roads will sit for a period not less than two (2) freeze/thaw cycles but no more than three (3) years after acceptance by the Village Board.*

*During the specified time period, the curb and gutter shall be installed, the asphalt paving completed, and sidewalks and/or trails installed. The Subdivider shall be responsible for the construction of the curb and gutter, asphalt paving, and sidewalk and/or trail construction.*

*All costs for construction of the curb and gutter, the asphalt paving, and sidewalks and/or trails shall be held in escrow, in the form of a Performance Bond, Letter of Credit, or Cash Escrow, payable to the Village of Harrison.*

Any variation to the proposed schedule of the improvements as set forth in the contract below may be extended where requests are made by the Subdivider for construction during periods within the determination of the Public Works Department and the Village's Engineer, require extension of time periods to assure the Village that the improvements will not suffer from premature degeneration as a result of said construction.

For new utility or street construction between November 15th and May 1st, there will be an additional warranty period of three years beginning from the acceptance of the "gravel road". Such warranty shall apply to all improvements in case of failure. Such warranty shall be in the form of a Performance Bond, Letter of Credit or Cash Escrow in an amount sufficient, as approved by the Public Works Department and/or Village Engineer, to repair defects in the roadway. Repair of such defects shall be determined by the Public Works Department.

The schedule for construction shall be as follows:

<b>Timeframe Record</b>	
<b>Subdivision</b>	<b>Stargazer Estates</b>
Final Subdivision Approval	Spring 2021
Sanitary, Water, and Storm Sewers	Winter 2020
Utilities (Gas, Electric, Phone, Cable, etc.)	Spring 2021
Grade & Gravel	Spring 2021
Terraces	Spring/Summer 2021
1½" Temporary Asphalt Binder	Spring/Summer 2021
Landscape Berm with Plantings	NA
Concrete Mountable Curb & Gutter	Summer/Fall 2023
Asphalt Pavement	Summer/Fall 2023
Sidewalks/Trails	Summer/Fall 2023

If 80% of the property owners of the subdivision request an earlier timeframe for curb & gutter, asphalt pavement, and sidewalks/trails to be installed, the Village Board may review such request.

**B. CURB AND GUTTER The Subdivider hereby agrees:**

1. To furnish, construct and install curb and gutter in accordance with the plat, plans, specifications and drawings attached hereto as Exhibit "A" and to complete said installation as set forth in the schedule above.

**C. SIDEWALKS The Subdivider hereby agrees:**

1. To furnish, construct and install concrete sidewalks in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above. Sidewalks are to be constructed on both sides of the street.

**D. TRAILS The Subdivider hereby agrees:**

1. None are proposed.

**E. SANITARY SEWER The Subdivider hereby agrees:**

1. To furnish, construct, install and provide a complete sewerage system throughout the entire subdivision, all in accordance with the plat plans, specifications and drawings *as per the requirements of Harrison Utilities* and the *Standard Specifications Manual* for the Village of Harrison.
2. To install separate sanitary sewer laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
3. The sanitary sewer system will not be accepted until the sanitary sewers have been installed and tested in accordance with *Harrison Utilities* specifications on file with the Department of Natural Resources and the Subdivider's plan specifications as approved by *Harrison Utilities* and the Village's Engineer.

**F. WATER**      The **Subdivider** hereby agrees:

1. To furnish, construct, install and provide a complete water distribution system throughout the entire subdivision, all in accordance with the plat, plans, specifications and drawings *as per the requirements of Harrison Utilities* and the *Standard Specifications Manual* for the Village of Harrison.
2. To install separate water laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
3. The water distribution system will not be accepted until the water distribution system has been installed and tested in accordance with *Harrison Utilities* specifications on file with the Department of Natural Resources and Public Service Commission and the Subdivider's plans and specifications approved by the *Harrison Utilities* and the Village's Engineer.

**G. SURFACE WATER DRAINAGE**      The **Subdivider** hereby agrees:

1. To furnish, construct, install and provide adequate facilities for storm and surface water drainage throughout the entire subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village and the Wisconsin Department of Natural Resources (WDNR) Post-Construction Performance Standards.
2. All stormwater management facility construction, including but not limited to, retention/detention ponds, primary drainage swales, and associated piping systems shall be inspected by an on-site inspector designated by the Village, before acceptance by the Village.
3. To install separate storm sewer laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
4. The Village Board will not accept the storm and surface water drainage improvements until the same have been installed and tested in accordance with the Village's specifications and the Subdivider's plans and specifications approved by the Village. The storm water and surface water drainage improvements shall be completed before a release of the performance guarantee specified by this contract.

**H. EROSION CONTROL**      The **Subdivider** hereby agrees:

1. To install silt fence at the right-of-way line along all streets in the **FINAL** plat prior to acceptance of the street(s) in a graveled state. Silt fence to be installed in accordance with the WDNR Technical Standards.
2. Maintain silt fence along the right-of-way line until all land disturbances have been stabilized in accordance with WDNR Technical Standards.
3. Maintain all other erosion control practices for stormwater management facilities, environmental protections, etc., in accordance with WDNR Technical Standards.

**I. GRADING**      The **Subdivider** hereby agrees:

1. To complete rough and fine grading along all primary drainage swales and ditches in the subdivision all in accordance with **FINAL** plat, plans specifications and drawings approved by the Village.
2. To complete rough grading along all property lines to the design grade.
3. To seed and establish a vegetative cover over all disturbed areas.

**J. LANDSCAPING RESTORATION** The **Subdivider** hereby agrees:

1. To preserve to the maximum extent possible existing trees, shrubbery, vines and grasses not actually lying within public roadways, easements, drainageways, building foundations sites, private driveways, solid absorption waste disposal areas, paths and trails by use of sound conservation practices.
2. To remove and lawfully dispose of all destroyed trees, brush, tree trunks, shrubs and other natural growth and all rubbish.
3. To provide topsoil, seed, fertilizer and mulch for primary drainage swales and ditches and seed fertilizer and mulch for terrace areas in order to provide permanent growth of grass prior to acceptance of the street(s) in a graveled state.
4. To provide a growth of grass and warranty for washouts or other destruction of the drainage plan structures.

**K. LANDSCAPE BERMS** The **Subdivider** hereby agrees:

1. None are proposed.

**L. INSPECTIONS** The **Subdivider** hereby agrees:

1. To allow for the Village, or a third party selected by the Village, to inspect all improvements for the purpose of ensuring compliance with the *Standard Specifications Manual* for the Village of Harrison.
2. To pay for all costs associated with the inspection of improvements within the subdivision development. Cost of Village inspections to be billed at the following rates: \$52 per hour for Engineering Technician (Field Inspector), \$59 per hour for Public Works Lead Foreman, and \$69 per hour for Operator, plus actual costs for incidental items, such as equipment, mileage, etc.. Costs of third party inspectors to be billed at actual costs to the Village.

**M. PAYMENT IN LIEU OF PARKLAND** The **Subdivider** hereby agrees:

1. None. Subdivider dedicated land for parkland purposes.

**N. STREET LIGHTS** The **Subdivider** hereby agrees:

1. To furnish, construct, install and provide street lights at the intersections of Midway Road/Constellation Drive. Such streets lights are to be LED lights mounted on a black,

smooth fiberglass pole approved by the Village. If conditions warrant, installation on an existing pole may be approved by the Village.

## SECTION II – MISCELLANEOUS REQUIREMENTS

- A. Survey Monuments. The Subdivider hereby agrees to properly place and install all survey or other monuments required by statute and ordinance.
- B. Grade. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner, the final signed plan set showing the finished grade at each lot corner.
- C. Plans. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner all plans and specifications identified in the Land Division Ordinance of the Village of Harrison.
- D. Compliance with Ordinances and Statutes. The Subdivider hereby agrees to comply with the requirements and provisions of all Village ordinances and state statutes.
- E. Record Drawings. The Subdivider agrees to provide the Village with grade sheets, asphalt mix records, and record drawings of the sanitary sewer, water main, storm sewer improvements, and streets showing location of all the appurtenances and features of the systems as required by the Village of Harrison Standard Specifications.
- F. Locations for Laterals or Other Improvements. If locates are necessary for any reason prior to final acceptance, the developer shall either provide adequate record drawings to the Village or the developer shall provide the field locates of utilities (such as laterals).

## SECTION III – PUBLIC IMPROVEMENT GUARANTEE

- A. The Village will not sign the final plat until such improvement is guaranteed as listed in A(1).
  - 1. The Subdivider shall provide an irrevocable letter of credit, or cash escrow, together referred to as Financial Guarantee, of which the Village can draw from, for an amount equal to one hundred twenty percent (120%) of the cost of furnishing, constructing, installing, staking, inspecting and testing the improvement as required by this contract. The amount shall include construction engineering costs, inspection, and shall be subject to final approval by the Village. (Improvements are described in this contract in Section 1 – Part, A, B, C, D, E, F, G, H, I, J, K, L, M & N hereof) The improvements shall be guaranteed prior to the Village approving the final plat.

The Subdivider shall notify the Village a minimum of ninety (90) days prior to the expiration of the Financial Guarantee. The Subdivider shall cause the Financial Guarantee to automatically renew year after year until released fully by the Village. Failure to notify the Village in writing that the Financial Guarantee will expire will be deemed a violation of this Agreement and the Village Board shall have the authority to draw upon the Financial Guarantee at any time.



That amount of the public improvements, **as provided by the developer's engineer**, and verified by the Village engineer is \$368,481.00.

A detail of the estimated cost shall be attached as Exhibit "B".

- B. The Subdivider shall furnish, construct, install, stake, inspect and test the improvement. The improvement shall be dedicated to and accepted by the Village prior to the Village approving any release of a public improvement guarantee.
- C. The Subdivider hereby agrees to guarantee the improvements described in Section I hereof against defects due to faulty materials or workmanship which appear within a period of two (2) years [or three (3) years if winter construction is utilized] from the date the final course of asphalt has been laid and shall pay for any damages resulting therefrom to Village property. The warranty shall be in the form of a letter of credit, or cash escrow in an amount sufficient, as approved by the Public Works Department and/or Village Engineer, to repair such defect. Repair of such defect shall be determined by the Public Works Department. The amount of the warranty is \$ \_\_\_\_\_.
- D. As improvements required by this Agreement are completed, approved and accepted by the Village, the Subdivider may request a reduction of the public improvement guarantee based upon a demonstration that there exists no necessity for a guarantee in the full amount as originally required. Reductions in the amount of the public improvement guarantee shall be solely within the discretion of the Village Board and shall be made only upon recommendation by the Public Works Department and Village Engineer.
- E. That the public improvement guarantee provided hereunder shall in all respects require compliance with the land division ordinance and particularly the performance guarantee as required by Article IV entitled "Development Agreements".

#### **SECTION IV – BUILDING PERMITS**

- A. The Village will not allow building permits to be issued to any person in the said subdivision until all improvements required herein have been dedicated to and accepted by the Village. The Village will perform no repair, maintenance or snow plowing upon said improvements until full acceptance of the roadways by the Village.
- B. Building permits may be issued by the Village upon all outstanding inspection and plan review fees or charges being paid and dedication acceptance and verification by the Village that the provisions of this Agreement have been complied with.
- C. The Village shall also require verification that all public improvements have been paid for in the form of Lien Waivers from all persons providing materials or performing work on the Public Improvements for which certification is sought, and upon recording of the final plat, provided that the Subdivider has filed a sufficient Financial Guarantee with the Village to cover the cost of remaining items. Should the Subdivider fail to complete any items pursuant to the terms of the contract by the date set forth herein, the Village shall have the right through the Financial Guarantee provided by the Subdivider to complete the said improvement and the Village shall have unrestricted access to the Subdivider's land for said purpose.

- D. Further, in the event that during the construction of the improvements specified herein, it is determined by the Public Works Department, or Village's Engineer, that the Subdivider and/or its subcontractors installing said improvements have created a situation that is hazardous to the public and requires guarding improvement or repair, the Village may access the Subdivider's property for the purpose of making said repairs and any costs associated with the maintenance of roadways, filling of holes, removal of obstructions or other necessary work may be charged against the cash escrow or irrevocable letter of credit. The Public Works Department shall make an effort to notify the Subdivider of the situation. The Public Works Department and the Engineer in their judgment may determine the necessity of the repairs are urgent in nature and complete those repairs without notice to the Subdivider.

#### **SECTION V – AMENDMENTS**

The Village Board and Subdivider by mutual consent may amend this Agreement at any regularly scheduled meeting of the Village Board of the Village of Harrison. The Village Board shall not, however, consent to an amendment until after having first received a recommendation from the Public Works Department and/or the Village's Engineer.

*The rest of this page left blank intentionally.*



**EXHIBIT A**

*Final Plat, Plans, and Drawings as approved by the Village.*

EXHIBIT B

Engineer's Cost Estimate for Improvements.

Village Corp - 12-11-2020 JTM

#	Item	Unit	QTY	Unit Price	Total Cost
1	<b>SANITARY SEWER</b>				
2	Sanitary Sewer Pipe, SDR 35 PVC, 8-Inch, complete	LF	2347	\$29.00	\$ 68,063.00
3	Sanitary Sewer Lateral, PVC, 4-Inch, complete	LF	2353	\$18.00	\$ 42,354.00
4	Sanitary Sewer Manhole, 48-Inch, Complete	LF	133	\$155.00	\$ 20,615.00
5	<b>TOTAL SANITARY SEWER</b>				\$ 131,032.00
6					
7	<b>STORM SEWER</b>				
8	Storm Sewer Pipe, PVC, 12-Inch, Complete	LF	834	\$32.00	\$ 26,728.00
9	Storm Sewer Pipe, PVC, 15-Inch, Complete	LF	147	\$38.00	\$ 5,586.00
10	Storm Sewer Pipe, Reinforced Concrete, 18-Inch, complete	LF	812	\$38.30	\$ 31,099.60
11	Storm Sewer Pipe, Reinforced Concrete, 24-Inch, complete	LF	234	\$39.00	\$ 9,226.00
12	Storm Sewer Pipe, Reinforced Concrete, 30-Inch, complete	LF	87	\$50.50	\$ 4,399.50
13	Storm Sewer Pipe, Reinforced Concrete, 36-Inch, complete	LF	3016	\$60.95	\$ 183,825.20
14	Storm Sewer Pipe, Reinforced Concrete, 24-Inch, 38-Inch, complete	LF	181	\$48.00	\$ 8,688.00
15	Storm Sewer Lateral, PVC, 4-Inch, complete	LF	2150	\$22.00	\$ 47,300.00
16	Storm Sewer Cleanout, Complete	Each	48	\$325.00	\$ 15,600.00
17	Storm Sewer Manhole, 48-Inch, complete	VF	36	\$395.00	\$ 14,340.00
18	Storm Sewer manhole/inlet hole 60-Inch, complete	VF	34	\$450.00	\$ 15,300.00
19	Storm Sewer Manhole, 72-Inch, complete	VF	13	\$540.00	\$ 7,020.00
20	Storm Sewer Catch Basin (2-foot x 3-foot), complete	Each	17	\$1,500.00	\$ 25,500.00
21	Storm yard drain (24-inch diameter), complete	Each	1	\$950.00	\$ 950.00
22	Reinforced concrete pond discharge structure, complete	Each	1	\$3,200.00	\$ 3,200.00
23	Apron Endwall, RCP, 36-Inch, complete	Each	1	\$525.00	\$ 525.00
24	Apron Endwall, RCP, 36-Inch, complete	Each	2	\$1,200.00	\$ 2,400.00
25	<b>TOTAL STORM SEWER</b>				\$ 278,926.90
26					
27	<b>WATERMAIN</b>				
28	Water Main pipe, PVC C-900, 8-Inch, complete	LF	2646	\$27.50	\$ 72,765.00
29	Water Main pipe, PVC C-900, 32-Inch, complete	LF	276	\$52.30	\$ 14,434.80
30	Water Hydrant Lead, PVC C-900, 6-Inch, complete	LF	15	\$40.00	\$ 600.00
31	Water Main Fire Hydrants, complete	Each	5	\$3,900.00	\$ 19,500.00
32	Water Main Pressure Wedge Gate Valve, 6-Inch, Complete	Each	9	\$1,100.00	\$ 9,900.00
33	Water Main Pressure Wedge Gate Valve, 8-Inch, Complete	Each	15	\$1,500.00	\$ 22,500.00
34	Water Main Pressure Wedge Gate Valve, 12-Inch, Complete	Each	2	\$2,550.00	\$ 5,100.00
35	Water Service Corporation, curb stop and box, 1.25-Inch, Complete	Each	49	\$435.00	\$ 21,315.00
36	Water Service, HDPE, 1.25-Inch, complete	LF	2505	\$15.00	\$ 37,575.00
37	<b>TOTAL WATER MAIN</b>				\$ 198,649.80
38					
39	<b>SUBTOTAL SITE UTILITIES</b>				\$ 608,522.80
40	Less 5% parcel Discount				\$ (30,426.14)
41	<b>TOTAL SITE UTILITIES</b>				\$ 578,096.66
42					

Item	Unit	QTY	Unit Price	Total Cost
<b>STREET CONSTRUCTION/EXCAVATION</b>				
Inlet Protection, Complete	Each	22	\$95.00	\$ 2,090.00
Site Fence, Complete	LF	3000	\$2.00	\$ 6,000.00
Block Checks, Complete	Each	2	\$125.00	\$ 250.00
Tracking Pad, Complete	Each	1	\$1,300.00	\$ 1,300.00
Geogrid Reinforcement, Type I, Complete	SY	50	\$4.20	\$ 210.00
Non-woven Geotextile, Type SAG, Complete	SY	50	\$2.10	\$ 105.00
Earthwork, Strip, Salvage and Dispose existing topsoil, complete	LS	1	\$15,453.00	\$ 15,453.00
Earthwork, unclassified excavation for street construction, complete	LS	1	\$40,948.00	\$ 40,948.00
Earthwork, unclassified excavation for rear lot grading, complete	LS	1	\$2,927.00	\$ 2,927.00
Earthwork, excavation below subgrade, complete	CY	50	\$30.28	\$ 1,514.00
Topsoil, placement on pond slopes, complete	SY	18000	\$0.75	\$ 13,500.00
1-3/4-inch base aggregate dense, 6-inch thick, complete	SY	10400	\$3.86	\$ 40,184.00
1-3/4-inch base aggregate dense, 4 inch thick for sidewalk, complete	SY	3070	\$2.94	\$ 9,025.80
3-inch base aggregate dense, 6-inch thick, complete	SY	10400	\$3.95	\$ 41,080.00
Landscaping topsoil, fertilizer, seed, & mulch along streets, through and past utility easements	LS	1	\$28,615.00	\$ 28,615.00
Landscaping topsoil, fertilizer, seed, & 3' erosion control blanket on rear lots 24-36	SY	3500	\$3.15	\$ 11,025.00
Landscaping topsoil, fertilizer, seed, & 3' erosion control blanket on pond slopes	SY	18000	\$2.30	\$ 41,400.00
Less Seasonal Discount	Each	1	-\$18,387.80	\$ (18,387.80)
<b>TOTAL STREET CONSTRUCTION/EXCAVATION</b>				<b>\$ 210,000.00</b>
<b>CONCRETE</b>				
concrete curb and gutter, mountable, 12-inch, complete	LF	4670	\$11.66	\$ 54,452.20
Concrete Sidewalk, 4-inch, complete	SF	17050	\$4.50	\$ 76,500.00
Concrete sidewalk, 6-inch, complete	SF	6000	\$5.10	\$ 30,600.00
Concrete sidewalk, pedestrian ramp, 6-inch, complete	SF	240	\$5.10	\$ 1,224.00
Concrete sidewalk, pedestrian wheelchair fields, complete	SF	60	\$31.00	\$ 1,860.00
<b>TOTAL CONCRETE</b>				<b>\$ 164,636.20</b>
<b>ASPHALT</b>				
Temporary asphalt concrete mat, 4" (17.5-28.5) 1-1/2-inch thick, complete	SY	8,590	\$ 7.60	\$ 65,284.00
Asphalt concrete binder pavement, 3" (17.5-28.5) 1-3/4-inch thick, complete	SY	8,590	\$ 8.50	\$ 73,025.00
Asphalt concrete binder pavement, 4" (17.5-28.5) 1-3/4-inch thick, complete	SY	4,340	\$ 6.70	\$ 29,078.00
Pavement marking, white epoxy, 4 inch, complete	LF	130	\$ 23.00	\$ 2,990.00
<b>TOTAL ASPHALT</b>				<b>\$ 169,377.00</b>
<b>TOTAL CONSTRUCTION</b>				<b>\$ 3,181,750.20</b>
<b>PER RUNNING FOOT PRICE</b>	LF	2,335		<b>\$ 886.85</b>
<b>PER LOT COST</b>	Each	48		<b>\$ 24,665.56</b>

EXHIBIT C

*Financial Guarantee.*

---

**VILLAGE BOARD MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON**

**Meeting Date:**

January 12, 2021

---

**Title:**

Affidavit of Correction for Drainage Easement

---

**Issue:**

Should the Village Board approve an Affidavit of Correction for drainage easement purposes?

---

**Background and Additional Information:**

As part of the Southtowne Place subdivision plat, there is a drainage easement that runs along the east and south sides of the plat where Lot 15 is located. There were artificial wetlands along these areas where historic drainage of the property flowed. As part of the plat, the artificial wetlands were going to be filled and the drainage swale relocated within the easement area. During the construction of the plat, it was determined that the drainage swale would be best suited to follow the artificial wetlands, which on the southeast corner of Lot 15 was outside of the drainage easement.

An Affidavit of Correction is proposed in order to relocate the drainage easement to cover the lands for the drainage swale. Since the drainage easement was part of the subdivision plat, any changes must be approved by the Village Board.

---

**Recommended Action:**

The Plan Commission recommends approval of the Affidavit of Correction as submitted.

---

**Attachments:**

- Southtowne Place Plat
- Affidavit of Correction

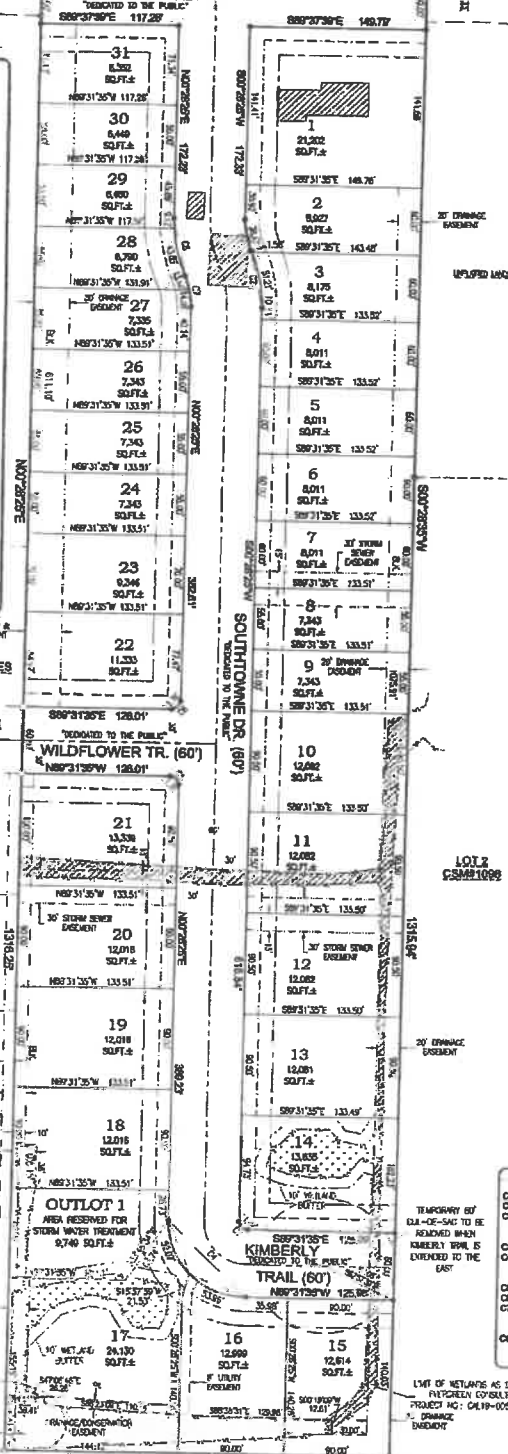
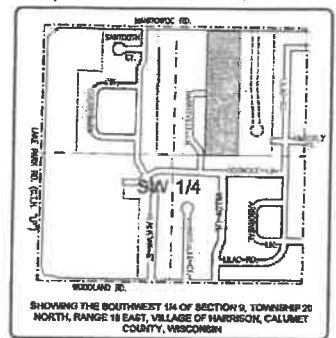


# "SOUTHTOWNE PLACE"

BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

**VILLAGE NOTES:**

- 1) PURSUANT TO THE VILLAGE OF HARRISON SUBDIVISION IMPROVEMENTS POLICY, THE DEVELOPER AND/OR OWNER SHALL COMPLY WITH THE APPROVED DRAINAGE AND GRADE PLAN AS SUBMITTED TO THE VILLAGE OF HARRISON.
- 2) THERE ARE ORDINANCE REGULATIONS THAT HAVE BEEN PASSED BY THE VILLAGE OF HARRISON REQUIRING THE MAINTENANCE OF LOT DRAINAGE PLANS ON A PERMANENT BASIS. SAID REGULATIONS HAVE BEEN RECORDED AS DOCUMENT NUMBER 35484, CALUMET COUNTY REGISTER OF DEEDS AND SHALL APPLY TO ALL SUBDIVISIONS APPROVED AFTER THE 1ST DAY OF MAY, 2001. SAID REGULATIONS SHALL HAVE THE EFFECT OF DEED RESTRICTIONS REQUIRING THAT PERMANENT LAWS BE ESTABLISHED IN COMPLIANCE WITH THE LOT DRAINAGE PLAN ELEVATIONS WITHIN ONE YEAR AFTER INITIAL OCCUPANCY OF ANY HOUSE. FAILURE TO MAINTAIN GRADES IN ACCORDANCE WITH ETCOM WATER OR DRAINAGE PLANS SHALL ENTITLE THE VILLAGE OR REPRESENTATIVE THEREOF TO DIRECT COMPLIANCE OR UPON FAILURE OF COMPLIANCE TO MAKE SAID LANDS COME INTO COMPLIANCE. THE COSTS AND EXPENSES SHALL BE ENTERED ON THE TAX ROLL AS A SPECIAL CHARGE AGAINST THE PROPERTY AND COLLECTED WITH OTHER TAXES LEVIED THEREON.
- 3) BUILDING PERMITS AND OCCUPANCY PERMITS MAY BE WITHHELD FOR NON-COMPLIANCE WITH THE LOT OR VILLAGE ORDINANCES RELATING TO DRAINAGE AND STORM WATER MANAGEMENT.
- 4) IN THE EVENT THAT THE SURFACE DRAINAGE FACILITIES REQUIRED BY THE PLAN WHICH ARE APPLICABLE TO THE LOT FOR WHICH A BUILDING PERMIT HAS BEEN APPLIED, HAVE NOT BEEN COMPLIED WITH, THE BUILDING INSPECTOR MAY WITHHOLD BUILDING PERMITS REQUIRED BY THE BUILDING CODE.
- 5) IN THE EVENT THAT, AFTER CONSTRUCTION THERE IS A FAILURE TO ESTABLISH SURFACE GRADES IN ACCORDANCE WITH THE SUBDIVISION SURFACE WATER PLAN, THE BUILDING INSPECTOR MAY WITHHOLD THE OCCUPANCY PERMIT REQUIRED BY THE BUILDING CODE.
- 6) MAINTENANCE OF ALL DRAINAGE PERMITS AND ASSOCIATED STRUCTURES WITHIN THE LOT OR SERVING THE LOT IS THE SOLE RESPONSIBILITY OF THE OWNER/BUILDER UNTIL ACCEPTANCE BY OR DONATION TO THE VILLAGE OF HARRISON. PLEASE REFER TO NOTE # FOR RESPONSIBILITY OF OWNER FOR MAINTENANCE, RESTRICTIONS AND RELATED COST OF ALL DRAINAGE EASEMENTS.
- 7) WHERE THE FINAL DRAINAGE PLAN PROVIDES A STORM INLET TO ADEQUATELY DRAIN THE REAR PORTION OF LOTS WITHIN BLOCKS OF THE PLAN, THE BUILDER SHALL INCORPORATE RESTRICTIVE COVENANTS IN THE DEEDS FOR THE APPOINTED LOTS THAT, THE RESPECTIVE LOT OWNERS SHALL BE RESPONSIBLE FOR MAINTAINING A CLEAR GRATE ON ANY STORM DRAINAGE INLETS ON THEIR LOT.
- 8) UPON FAILURE OF THE OWNER/SUBDIVIDER TO PERFORM MAINTENANCE OF THE DRAINAGEWAYS AND ASSOCIATED STRUCTURES, THE VILLAGE OF HARRISON RETAINS THE RIGHT TO PERFORM MAINTENANCE AND/OR REPAIRS. THE PAYMENTS OF SAID MAINTENANCE AND/OR REPAIRS SHALL BE EQUALLY ASSESSED AMONG THE PROPERTY OWNERS OF THE LOT.
- 9) A DRAINAGE PLAN HAS BEEN FILED WITH THE VILLAGE OF HARRISON WHICH STATES THE REQUIRED LEVELS OF MAINTENANCE FOR ALL THE IDENTIFIED STORM WATER MANAGEMENT FACILITIES.
- 10) DRAINAGE EASEMENT NOTES:
  1. ALL LOTS WITHIN AREAS LABELED "DRAINAGE EASEMENT" ARE RESERVED FOR STORMWATER COLLECTION, CONVEYANCE, TREATMENT, OR INFILTRATION. NO BUILDINGS, PARKING AREAS, LANDSCAPING, FENCES, OR OTHER STRUCTURES ARE ALLOWED IN THESE AREAS, NO GRADING OR FILLING IS ALLOWED IN THESE AREAS THAT MAY INTERRUPT STORMWATER FLOWS IN ANY WAY.
  2. LANDSCAPING EASEMENTS SHALL BE RESTRICTED TO GROUND COVER.
  3. IF DRAINAGE EASEMENTS ARE NOT ADEQUATELY MAINTAINED, THE VILLAGE OF HARRISON MAY LEVY A SPECIAL CHARGE AGAINST THE PROPERTY AND COLLECTED AS MUCH IN ACCORDANCE WITH THE PROCEEDURES UNDER WIS STAT. § 88.027.
- 11) THERE SHALL BE NO LOWER EXPOSED OPENINGS ON LOTS CONTAINING A DRAINAGE EASEMENT. ANY EXPOSED WINDOWS WILL REQUIRE A WINDOW WELL WITH A TOP ELEVATION CONSISTENT WITH THE TOP OF THE HOUSE.



**OUTLOT 1**  
CSM#93740  
RESERVED FOR  
FAUCI OF 100'

34" X 24" BOLD ROUND IRON REBAR SET AT ALL OTHER LOT CORNERS, 1/2" LBS PER LIN. FT.  
ALL DIMENSIONS COMPUTED AND MEASURED TO THE NEAREST 0.01 FOOT.  
ALL BEARINGS COMPUTED AND MEASURED TO THE NEAREST SECOND.  
DENOTES 20' BUILDING SETBACK LINE

DENOTES 12' UTILITY EASEMENT UNLESS NOTED OTHERWISE

LIMIT OF WETLANDS AS DELINEATED BY EVERGREEN CONSULTANTS, LLC. PROJECT NO. CA19-005-08 (TYPICAL)

AREA EXEMPT FROM STATE WETLAND REGULATIONS PER WETLAND DETERMINATION PER THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES, DEC-08-2018-0004, SEPTEMBER 25, 2019.

AREA NOT EXEMPT FROM STATE WETLAND REGULATIONS PER WETLAND DETERMINATION BY THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES, DEC-08-2018-0004, SEPTEMBER 20, 2019. DISTURBANCE OF THIS AREA WILL REQUIRE THE APPROPRIATE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND U.S. ARMY CORPS OF ENGINEERS, WFO1901-0128-F-14, DECEMBER 5, 2019.

ARTIFICIAL WETLAND EXEMPTION DETERMINATION PER STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES, DEC-08-2018-0004, SEPTEMBER 20, 2019 AND CONDUCTED WITH BY U.S. ARMY CORPS OF ENGINEERS, WFO1901-0128-F-14, DECEMBER 5, 2019.

**LEGEND:**

- 2" IRON PIPE WITH CALUMET COUNTY CAP FOUND
- 1-1/2" X 24" BOLD ROUND IRON REBAR SET, WEIGHING 1.20 LBS PER LIN. FT.
- 1-1/4" X 24" BOLD ROUND IRON REBAR FOUND
- 1-1/4" BOLD ROUND IRON REBAR FOUND
- 2" X 2" HALL FOUND
- ( ) = RECORDED AS BEARING/DISTANCE

**GRAPHIC SCALE:** 1" = 60'

60 80 100 120 140 160

NORTH IS REFERENCED TO THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, WHICH BEARS S89°37'36"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM (CALUMET COUNTY)

CURVE	MID	RADIUS	CENTRAL ANGLE		CHORD	CHORD BEARING	TANGENT BEARING
			ARC LENGTH	BEARING			
C1	LOT 2	70.00	20.00	30.00	111.9272	25.52	N107.022°E
		130.00	22.1850	62.71	S11.0227°E	52.41	S22.4702°E
C2	LOT 3	70.00	22.3497	5.98	S22.2822°E	3.98	S22.4702°E
		70.00	22.3497	5.98	S22.2822°E	3.98	S22.4702°E
C3	LOT 16	87.50	40.0000	11.78	S44.7127°E	16.81	S09.2822°E
		87.50	40.0000	11.78	S44.7127°E	16.81	S09.2822°E
C4	LOT 17	87.50	44.4712	62.37	N21.3749°W	50.79	N44.3222°E
		87.50	44.4712	62.37	N21.3749°W	50.79	N44.3222°E
C5	LOT 27	70.00	20.0000	28.42	N11.7622°W	28.22	N02.2222°E
		70.00	20.0000	28.42	N11.7622°W	28.22	N02.2222°E
C6	LOT 28	70.00	22.7847	14.88	N02.2222°W	14.88	N02.2222°E
		70.00	22.7847	14.88	N02.2222°W	14.88	N02.2222°E
C7	LOT 29	70.00	10.7884	13.41	N11.4722°W	13.41	N12.4722°E
		70.00	10.7884	13.41	N11.4722°W	13.41	N12.4722°E
C8	LOT 30	70.00	13.0000	22.71	N11.7622°W	22.41	N12.4722°E
		70.00	13.0000	22.71	N11.7622°W	22.41	N12.4722°E

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified June 24, 2020

*Ronald D. Dene*  
Richard D. Dene  
Surveyor

**ROBERT F. REIDER, PLS. 1251 DATED**  
CAROL LAND SURVEYING CO., INC.  
111 N. LYNGDALE DRIVE, P.O. BOX 1007  
APPLETON, WISCONSIN 54912-1297  
PHONE: 920.731-4188  
C180-2019 DATED: 6-19-2020  
REVISED THIS 16TH DAY OF JUNE, 2020

THIS INSTRUMENT DRAFTED BY:  
**RICHARD D. DENE**  
CAROL LAND SURVEYING CO., INC.



State of Wisconsin )  
 )SS  
County of Calumet)

**AFFIDAVIT OF CORRECTION**

Return to:  
Carow Land Surveying Co., Inc.  
P.O. Box 1297  
Appleton, WI 54912-1297  
A1908.20-20

I, Robert F. Reider, Professional Land Surveyor No. 1251, of the State of Wisconsin, do hereby depose and say:

That I had surveyed, divided and mapped Southtowne Place as recorded in Cabinet D of Plats in File Number 131 as Document No. 549828.

That on Sheet 1 of 2 Sheets of said plat on Lot 15, I show a Drainage Easement along the East 20 feet and the South 20 feet of said Lot 15, when in fact the Drainage Easement on Lot 15 should have been as shown on the attached Exhibit "A".

That this affidavit is made pursuant to S.236.295 of the Wisconsin statutes.

That this affidavit is given for the purpose of correcting said plat and for no other purpose.

Dated this 30th day of November, 2020.

Robert F. Reider  
Robert F. Reider



State of Wisconsin )  
 )SS  
County of Outagamie)

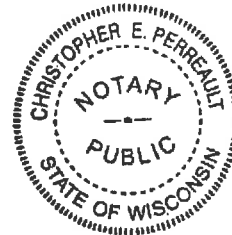
Personally came before me this 30th day of November, 2020. The above named person to me known to be the person who executed the foregoing and acknowledged the same.

Notary Public Christopher E. Perreault

My commission expires: 12/10/23

This instrument drafted by Robert F. Reider

Sheet 1 of 3 Sheets



**VILLAGE OF HARRISON APPROVAL:**

THIS AFFIDAVIT WAS APPROVED BY THE VILLAGE OF HARRISON ON THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
VILLAGE CHAIRPERSON

\_\_\_\_\_  
VILLAGE CLERK

**OWNER'S CERTIFICATE:**

AS OWNER (S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THIS AFFIDAVIT TO BE  
DRAFTED AND RECORDED. I (WE) ALSO CERTIFY THAT THIS AFFIDAVIT IS REQUIRED BY S.  
236.10 OR 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR  
APPROVAL: VILLAGE OF HARRISON

WITNESS THE HAND AND SEAL OF SAID OWNER (S) THIS 9 DAY  
OF December, 2020.  
EL, SOUTHTOWNE, LLC

Melissa A. Evers  
MELISSA A. EVERS, MANAGING MEMBER

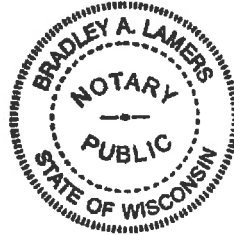
STATE OF WISCONSIN )

) SS.

COUNTY OF CALUMET )

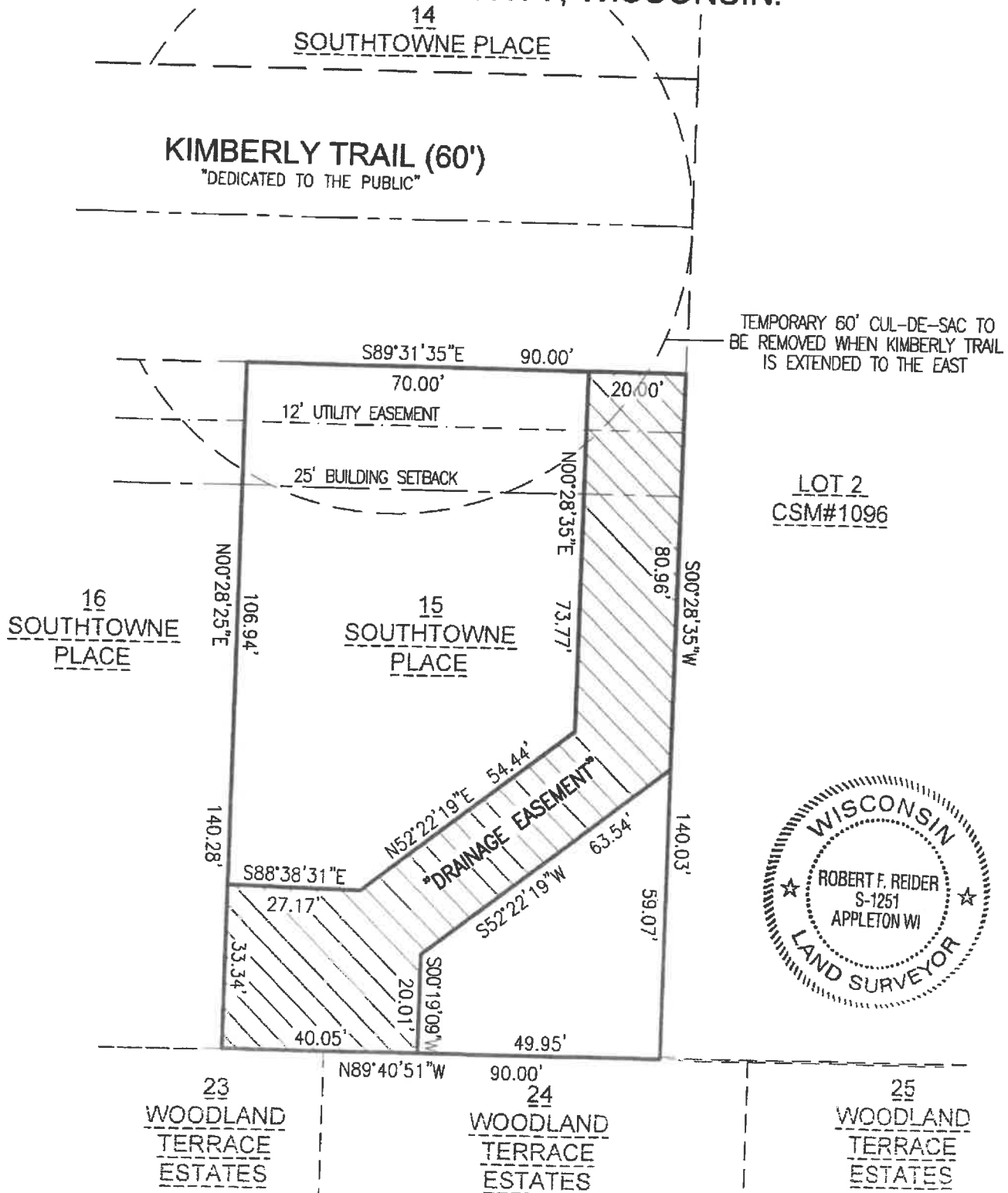
PERSONALLY CAME BEFORE ME THIS 9 DAY OF December, 2020, THE  
ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE  
FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

Bradley A. Lamers  
NOTARY PUBLIC Bradley A. Lamers  
Calumet CO., WISCONSIN  
MY COMMISSION EXPIRES 10/24/2024



# AFFIDAVIT EXHIBIT "A"

## LOT 15, "SOUTHTOWNE PLACE", VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



SHEET 3 OF 3 SHEETS



## CAROW LAND SURVEYING CO., INC.

615 N. LYNNDAL DRIVE, P.O. BOX 1297  
 APPLETON, WISCONSIN 54912-1297  
 PHONE: (920)731-4168 FAX: (920)731-5673

SCALE	1" = 30'
DRAWN BY	RDD
PROJECT NO.	A1908.20-20

---

**VILLAGE BOARD MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON**

**Meeting Date:**

January 12, 2021

---

**Title:**

Engineering Services Contract

---

**Issue:**

Should the Village Board enter into a contract with Graef for engineering services?

---

**Background and Additional Information:**

A Request for Proposals (RFP) for Engineering Services was sent out seeking firms that can provide all the services the Village needs for roadway and utility engineering services. Village Board members reviewed all proposals and ranked each proposal using the selection criteria. The top three firms (MSA Professional Services, Graef, and Robert E Lee & Associates) were invited to interview with the Selection Committee approved by the Village Board. The Selection Committee recommended Graef. The Village Board approved Graef for engineering services.

---

**Budget Impacts:**

Engineering services will be project specific.

---

**Recommended Action:**

On December 8<sup>th</sup>, the Village Board approved Graef for Village engineering services. The Board should authorize the Village Manager to enter into a contract with Graef based on the engineering services proposal.

---

**Attachments:**

- Contract



collaborāte / formulāte / innovāte

January 12, 2020

Mr. Travis Parish  
Village Manager  
Village of Harrison  
W5298 State Road 114  
Menasha, WI 54952

SUBJECT: Master Agreement for Professional Services  
General Municipal Engineering Services

Dear Mr. Parish:

We are very pleased to provide you with this Master Agreement for professional services. When accepted, this document will become the basis of the Agreement and all Service Orders between Graef-USA Inc. (GRAEF) and Village of Harrison (Client).

This Agreement is for General Municipal Engineering Services (Project). The services are subject to GRAEF's Terms and Conditions, a copy of which is attached and incorporated by reference.

It is our understanding that the nature of the Project is to perform municipal engineering services as determined by the Village Manager in consultation with the Village Board.

For this Project, GRAEF shall provide Basic Services as directed by the Village Manager, or delegated Village staff, which may include:

- 1) Grant writing or assistance with grant applications as requested.
- 2) Surveying. Provide a registered Land Surveyor to meet surveying needs as requested by the Village.
- 3) Plan reviews. Review private development designs for road construction, storm sewer construction, and/or sewer and water construction. Review site plans to ensure all standards and specifications are met for the Village of Harrison.
- 4) Review stormwater management and erosion control plans for private development designs in accordance with Harrison ordinances and standards and specifications.
- 5) Sanitary sewer and lift station design.
- 6) Sewer and Water main distribution and facilities design.
- 7) Assist with obtaining necessary permits from regulatory agencies.
- 8) Assist with obtaining easements and/or right of way acquisition for utility, street, and other various projects.
- 9) Assist with development and implementation of Capital Improvement Plan (CIP) as requested.
- 10) Design, permit, bid, administer, coordinate and inspect Village construction projects and act as project manager. Evaluate and process contractor payment requests.



collaborāte / formulāte / innovāte

- 11) Assist with complaints and requests from businesses and residents as directed by the Village.
- 12) Perform drafting and CAD design. Printing of drafts and plans.
- 13) Obtain "as-built" information on public and private utility facilities as requested.
- 14) Develop maps and record drawings for the Village as needed by project; create as-built documentation of projects.
- 15) Update Village maps and utility maps/records.
- 16) Assist in compliance with Wisconsin MS4 permit regulations.
- 17) Update Harrison standards and specifications manual, as requested. Update Harrison Utilities standards and specifications manual, as requested.
- 18) Assist with the special assessment process and prepare special assessment reports as requested.
- 19) Attend Village Board meetings, Public Hearings, and staff meetings as requested.
- 20) Inspect development construction projects (storm sewer, sanitary sewer, and watermain) construction to ensure installation meets Village standards and specifications.
- 21) Review single-family and two-family grading plans for compliance with master subdivision plan and set a temporary grade stake with top of foundation wall height listed. Generally, this task is to be performed within 48-hours of Village request.
- 22) Miscellaneous municipal engineering design as requested

GRAEF will endeavor to perform the Basic Services in accordance with a mutually agreed-upon schedule, and in accordance with Village code.

You agree to compensate GRAEF for all Basic Services noted above on an hourly rate and direct expense basis, unless otherwise agreed upon by Service Order, in accordance with the attached rate table. Upon request by Client, GRAEF will provide a Service Order to further define scope and fee of selected Basic Services for authorization prior to proceeding with those specific selected Basic Services.

Direct Expenses will be billed in accordance with our annual agreement and are in addition to the hourly fees. Mileage will be billed at the federal rate at the time incurred. Other Direct Expenses will be billed at cost and may include equipment, travel expenses, printing and reproduction, delivery charges, and permit fees.

You agree to compensate GRAEF for any Additional Services with an additional fee agreed to in advance of the services being performed.

This Agreement shall be effective through December 31, 2021 and may be renewed on an annual basis by an executed Amendment to the Agreement. The terms and fees of the Agreement may be negotiated on an annual basis with the Amendment.





collaborāte / formulāte / innovāte

Please provide us with your standard authorization accepting the terms of this Agreement. Upon written authorization, GRAEF will commence work on the Project.

We look forward to working with you on this project. Please call us at 920 / 405-3826 if you have any questions regarding this proposal.

Sincerely,

Graef-USA Inc.

Accepted by:  
Village of Harrison

*Ryan P Van Camp*  
Ryan P. Van Camp, PE  
Project Manager | Practice Area Leader-Infrastructure

\_\_\_\_\_  
(Signature)

*Patrick J Skalecki*  
Patrick J. Skalecki, PE  
Principal-In-Charge | Green Bay Office Leader  
Vice President

\_\_\_\_\_  
(Name Printed)

\_\_\_\_\_  
(Title)

\_\_\_\_\_  
(Date)



collaborāte / formulāte / innovāte

**SERVICE ORDER:** 001  
**DATE:** 1/12/2021  
**CLIENT:** Village of Harrison, Wisconsin  
**PROJECT NAME:** Residential Lot Grade Check Services  
**PROJECT NUMBER:** 2021-2500.01

**PROJECT REPRESENTATIVES:**

Ryan P. Van Camp, PE  
Project Manager  
GRAEF  
1150 Springhurst Drive, Suite 201  
Green Bay, WI 54304  
920 / 405 3826 direct  
920 / 244 5368 mobile  
[ryan.vancamp@graef-usa.com](mailto:ryan.vancamp@graef-usa.com)

Mark Mommaerts, AICP  
Village Planner  
Village of Harrison  
W5298 State Road 114  
Menasha, WI 54952  
920 / 989 1062  
[mmommaerts@harrison-wi.org](mailto:mmommaerts@harrison-wi.org)

This service order shall authorize professional services for Project under the Master Agreement dated January 12, 2021 and is subject to GRAEF's Terms and Conditions attached to that Agreement.

**DESCRIPTION OF PROJECT:**

The Project is to assist the Village of Harrison with compliance of the Zoning and Land Division Ordinances and master subdivision drainage plans by reviewing single-family and two-family grading plans, setting a temporary grade stake with approved top of foundation wall height identified, and checking the elevation of the top of foundation wall upon completion.

**SCOPE OF PROJECT SERVICES:**

- 1) Basic Services
  - a) Review residential lot grading plans for compliance with ordinances and master drainage plan.
  - b) Set temporary grade stake as benchmark for foundation construction and lot grading.
  - c) Visit site after foundation is constructed, and obtain as-built elevation(s) of the top of foundation wall.
  - d) Review foundation as-built elevation(s) to verify within tolerance of approved lot grading plan.
  - e) Document findings of foundation check to Village staff.
- 2) Additional Services (upon written authorization)
  - a) Visit site after rough (or final) lot grading is completed, and obtain as-built elevation at lot corners, grade break points along lot lines, and ground at foundation.
  - b) Review recorded elevations against approved lot grading plan elevations.
  - c) For notable deviation from plan, evaluate if lot drainage is adequate to achieve overall drainage plan intent and maintain safety to private property.
  - d) Document findings and recommendations of lot grade check to Village staff.
  - e) Return visits to survey and review non-complying lots if requested by Village.
  - f) Survey and/or review of non-plan retaining walls or egress window walls.
  - g) Other services not otherwise defined under Basic Services.

**CLIENT RESPONSIBILITIES:**

- 1) Provide approved land division certified survey maps or subdivision plat and drainage plan(s).
- 2) Provide building/zoning permit application and lot grading plan.
- 3) Notify GRAEF of foundation completion.



collaborāte / formulāte / innovāte

**COMPENSATION:**

You agree to compensate GRAEF for all Basic Services noted above with a lump sum of \$505.00 per permit application (lot/property/address). You agree to compensate GRAEF for all listed Additional Services with an additional fee agreed to in advance of the services being performed. Fees shall be negotiated on an annual basis per the Master Agreement.

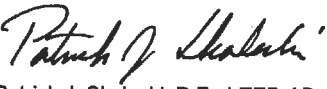
**SCHEDULE OF COMPLETION:**

GRAEF will begin Basic Services upon receipt of permit application with site plan(s) for Item 1a or upon notice of foundation completion for Item 1c. GRAEF will attempt to complete the deliverables, Items 1b and 1e, for Basic Services within 2 business days of commencement of service.

**PROJECT APPROVAL:**

Graef-USA Inc.

  
Ryan P. Van Camp, P.E., CFM, CPESC  
Project Manager | Practice Area Leader – Infrastructure

  
Patrick J. Skalecki, P.E., LEED AP  
Principal | Green Bay Office Manager

ACCEPTED BY: Village of Harrison

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Name Printed)

\_\_\_\_\_  
(Title)

Date: \_\_\_\_\_



collaborāte / formulāte / innovāte

## Graef-USA Inc.'s TERMS AND CONDITIONS

These Terms and Conditions are material terms of the Professional Services Agreement dated January 12, 2020 (Agreement) by and between Graef-USA Inc. (GRAEF) and Village of Harrison (Client):

**Standard of Care:** GRAEF shall exercise ordinary professional care in performing all services under this Agreement, without warranty or guarantee, expressed or implied.

**Client Responsibilities:** Client shall at all times procure and maintain financing adequate to timely pay for all costs of the PROJECT as incurred; shall timely furnish and provide those services, items and/or information defined in Agreement, as amended, and shall reasonably communicate with and reasonably cooperate with GRAEF in its performance of this Agreement. GRAEF shall be entitled to rely on the accuracy and completeness of any services, items and/or information furnished by Client. These terms are of the essence. Client shall indemnify, defend and hold GRAEF, its present or former officers, employees and subconsultant(s), fully harmless from any liability or loss, cost or expense (including attorney's fees and other claims expenses) in any way arising from or in connection with errors, omissions or deficiencies in the services, items and/or information Client is obliged to furnish in respect of this Agreement.

**Limitation of Liability:** Client and GRAEF agree that GRAEF's liability for any direct, indirect, incidental or consequential economic losses or damages arising under or in connection with this agreement (including any attorney's fees or claims expenses) shall be limited to the sum of one million dollars (\$1,000,000.00).

**Additional Services:** Client may request or it may become necessary for GRAEF or its subconsultant(s) to perform Additional Services in respect of this Agreement. Client shall pay for such Additional Services above and beyond charges for Basic Services set forth in this Agreement. GRAEF will notify Client in advance of GRAEF's intention to render Additional Services. Client's failure to instruct GRAEF not to perform the proposed Additional Service shall constitute Client's acceptance of such Additional Service and agreement to pay for such Additional Service in accordance with the Invoicing & Payment terms of this Agreement.

**Collection Costs:** Client shall pay all collection costs GRAEF incurs in order to collect amounts due from Client under this Agreement. Collection costs shall include, without limitation, reasonable attorney's fees and expenses, collection agency fees and expenses, court fees, collection bonds and reasonable GRAEF staff costs at standard billing rates for GRAEF's time spent in efforts to collect. Client's obligation to pay GRAEF's collection costs shall survive the term of this Agreement or the earlier termination by either party.

**Invoicing & Payment:** GRAEF may issue invoices for services rendered and expenses incurred at such times and with such frequency as GRAEF deems necessary or appropriate in GRAEF's discretion. All invoices are due and payable upon receipt and shall be considered past due if not paid within thirty (30) calendar days of the due date. **Prompt and full payment of all periodic invoices or other billings issued by GRAEF pursuant to this Agreement is of the essence of this Agreement.** In the event that Client fails to promptly and fully pay any invoice as and when due, then, and in addition to any other remedies allowed by law, GRAEF, may, in its sole discretion, suspend performance of all services under this Agreement upon seven (7) calendar days' written notice to Client, and immediately invoice Client for all unbilled work-in-progress rendered and other expenses incurred. Upon GRAEF's receipt of full payment, in good funds and without offset, of all sums invoiced in connection with any such declaration of suspension, GRAEF shall resume services, **provided that** the time schedule and compensation under this Agreement shall be equitably adjusted in a manner acceptable to GRAEF to compensate GRAEF for the period of suspension plus any other reasonable and necessary time and expenses GRAEF suffers or incurs to resume services. No failure by GRAEF to exercise its right to suspend work and accelerate sums due shall in any way waive or abridge Client's obligations to GRAEF or GRAEF's rights to later suspend work and accelerate terms. Client agrees GRAEF shall incur no liability whatsoever to Client, or to any other person, for any loss, cost or expense arising from any such suspension by GRAEF, either directly or indirectly. In addition, simple interest shall accrue at the lower of 1.5% per month (18% per annum), or the maximum interest rate allowable by law, on any invoiced amounts remaining unpaid for more than 60 days from the date of the invoice. Payments made shall be allocated as follows: (1) first to unpaid collection costs; (2) second to unpaid accrued interest; and (3) last to unpaid principal of the oldest invoice.

**Latent Conditions:** Client acknowledges that subsurface or latent physical conditions at the site that differ materially from those indicated in the project documents, or unknown or unusual conditions that materially differ from those ordinarily encountered may exist. If such latent conditions require a change in the design or the construction phase services, GRAEF shall be entitled to a reasonable extension of time to evaluate such change(s) and their impact on the project and to prepare such additional design documents as may be necessary to address or respond to such latent conditions. Client shall pay GRAEF for all services rendered and reimbursable expenses incurred by GRAEF and its subconsultant(s), if any, to address, respond to or repair such latent conditions. Such services by GRAEF or its subconsultant(s) shall constitute Additional Services.



collaborāte / formulāte / innovāte

## Graef-USA Inc.'s TERMS AND CONDITIONS (continued)

**Insurance:** GRAEF shall procure and maintain liability insurance policies, including professional liability, commercial general liability, automobile liability, and workers' compensation insurance for the duration of this Agreement and shall, upon request, produce certificates evidencing the maintenance of such coverages. Should Client desire additional insurance, GRAEF shall endeavor reasonably to procure and maintain such additional insurance, but Client shall reimburse GRAEF for any additional premiums or other related costs that GRAEF incurs.

**Instruments of Service:** All original documents prepared for Client by GRAEF or GRAEF's independent professional associate(s) and subconsultant(s) pursuant to this Agreement (including calculations, computer files, drawings, specifications, or reports) are Instruments of Professional Service in respect of this Agreement. GRAEF shall retain an ownership and property interest therein whether or not the services that are the subject of this Agreement are completed. Unless otherwise confirmed by written Addenda to this Agreement, signed by duly authorized representatives of both Client and GRAEF, no Instrument of Professional Service in respect of this Agreement constitutes, or is intended to document or depict any "as-built" conditions of the completed Work. Client may make and retain copies for information and reference in connection with the use and occupancy of the completed project by Client and others; however, such documents are not intended or represented to be suitable for reuse by Client or others on extensions of the project, or otherwise. Any reuse without GRAEF's written consent shall be at Client's sole risk and responsibility, and without any liability to GRAEF, or to GRAEF's independent professional associate(s) and subconsultant(s). Further, Client shall indemnify, defend and hold GRAEF and GRAEF's independent professional associate(s) and subconsultant(s), fully harmless from all liability or loss, cost or expense (including attorney's fees and other claims expenses) in any way arising from or in connection with such unauthorized reuse.

**Contractor Submittals:** The scope of any review or other action taken by GRAEF or its subconsultant(s) in respect of any contractor submittal, such as shop drawings, shall be for the limited purpose of determining if the submission generally conforms with the overall intent of the design of the work that is the subject of this Agreement, but not for purposes of determining accuracy, completeness or other details such as dimensioning or quantities, or for substantiating instructions or performance of equipment or systems. GRAEF shall not be liable or responsible for any error, omission, defect or deficiency in any contractor submittal.

**Pricing Estimates:** Neither GRAEF nor Client has any control over the costs of labor, materials or equipment, over contractors' methods of determining bid prices, or over competitive bidding, market or negotiation conditions. Accordingly, GRAEF cannot and does not warrant or represent that bids or negotiated prices will not vary from any projected or established budgetary constraints.

**Construction Observation:** Unless expressly stated in this Agreement, GRAEF shall have no responsibility for Construction Observation. If Construction Observation services are performed, GRAEF's visits to the construction site shall be for the purpose of becoming generally familiar with the progress and quality of the construction, and to determine if the construction is being performed in general accordance with the plans and specifications. GRAEF shall have no obligation to "inspect" the work of any contractor or subcontractor and shall have no control or right of control over and shall not be responsible for any construction means, methods, techniques, sequences, equipment or procedures (including, but not limited to, any erection procedures, temporary bracing or temporary conditions), or for safety precautions and programs in connection with the construction. Also, GRAEF shall have no obligation for any defects or deficiencies or other acts or omissions of any contractor(s) or subcontractor(s) or material supplier(s), or for the failure of any of them to carry out the construction in accordance with the contract documents, including the plans and specifications. GRAEF is not authorized to stop the construction or to take any other action relating to jobsite safety, which are solely the contractor's rights and responsibilities.

**Dispute Resolution:** GRAEF and Client shall endeavor to resolve all disputes first through direct negotiations between the parties' informed and authorized representatives, then through mediation. If mediation fails to fully resolve all disputes within 120 calendar days of the first written request for mediation, either party may pursue any remedy it deems appropriate to the circumstances.

**No Assignment:** This Agreement is not subject to assignment, transfer or hypothecation without the written consent of both parties expressly acknowledging such assignment, transfer or hypothecation.

**Governing Law:** This Agreement, as amended, and any disputes or controversies arising in connection with this Agreement shall be governed and resolved by the laws of the State of Wisconsin, without regard to said state's choice of law rules.

**Severance of Clauses:** In the event that any term, provision or condition of this Agreement is void or otherwise unenforceable under the law governing this Agreement, then such terms shall be stricken and the balance of this Agreement shall be interpreted and enforced as if such stricken terms never existed.

**Integrated Agreement:** The parties' final and entire agreement is expressed in the attached proposal letter and these Standard Terms and Conditions. All prior oral agreements or discussions, proposals and/or negotiations between the parties are merged into and superceded by this Agreement. No term of the parties' Agreement may be orally modified, amended or superceded.

## 2021 Hourly Rate Fee Schedule

Classification	Rate
Patrick Skalecki, Principal In Charge	\$175
Ryan Van Camp, Project Manager	\$145
P9	\$200
P8	\$186
P7	\$180
P6	\$172
P5	\$150
P4	\$130
P3	\$ 99
P2	\$ 86
P1	\$ 80
T6	\$110
T5	\$107
T4	\$100
T3	\$ 85
T2	\$ 70
T1	\$ 60
Admin	\$ 70
1 Person Survey	\$140
2 Person Survey	\$200

Automobile travel will be billed at the current federal rate of 57.5 cents per mile.

Survey vehicles will be billed at 75 cents per mile.

LIDAR scanner will be billed at \$150/hour.

Unmanned Aircraft System (UAS) will be billed at \$75/hour.

Expenses such as travel and supplies will be billed at actual cost.

Contracted services and consultants will be billed at cost

---

**VILLAGE BOARD MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON**

**Meeting Date:**

January 12, 2021

---

**Title:**

Prosperity Drive Extension Request

---

**Issue:**

Should the Village assist in the extension of Prosperity Drive to encourage development?

---

**Background and Additional Information:**

NAI Pfefferle is marketing approximately 326-acres for future development in an area east of State Park Road and north of Schmidt Road. One of the property owners (Wallace), along with NAI Pfefferle, is requesting that the Village assist in the extension of Prosperity Drive south from its current location through this area in order to open the area up for development. Currently, the plans to service this area with sewer and water mains are to follow the Prosperity Drive extension from its currently location south to Schmidt Road. As the attached letters indicate, there is interest in developing the properties, however, the cost to extend sewer & water and roadway to the area are hindering development. The cost to extend sewer & water and the roadway to the middle of the Wallace property is between \$1.3-\$1.5 million.

Several options to consider:

- 1) Do nothing. Allow development to fill in from the north to this area and infrastructure would be extended as the development occurs.
- 2) Developer expense. Require the developer to extend the infrastructure to the area and work on a recapture or assessment to benefitting properties.
- 3) Expand TID #2. The Village could extend the boundaries of TID #2 to include some of these areas, the TID could then utilize increased tax revenues to pay for infrastructure (sewer/water & roadway) extensions.
- 4) Village extends via assessment. The Village could extend the infrastructure and assess the cost back to the property owners.
- 5) Other: \_\_\_\_\_

The interested developer wishes to start the development in 2021. There are many pieces to get this project going, including but not limited to, expansion of TID #2 (if that is an option), right-of-way acquisition, coordination with Darboy Sanitary District on sewer & water design and construction, roadway design and construction, environmental permitting, project approvals, etc. Even if this developer/project does not happen, future developers/projects will face the same challenges.

The property owner and/or listing broker will be at the meeting to further discuss or answer additional questions.

---

**Recommended Action:**

Staff is seeking direction to proceed or not.

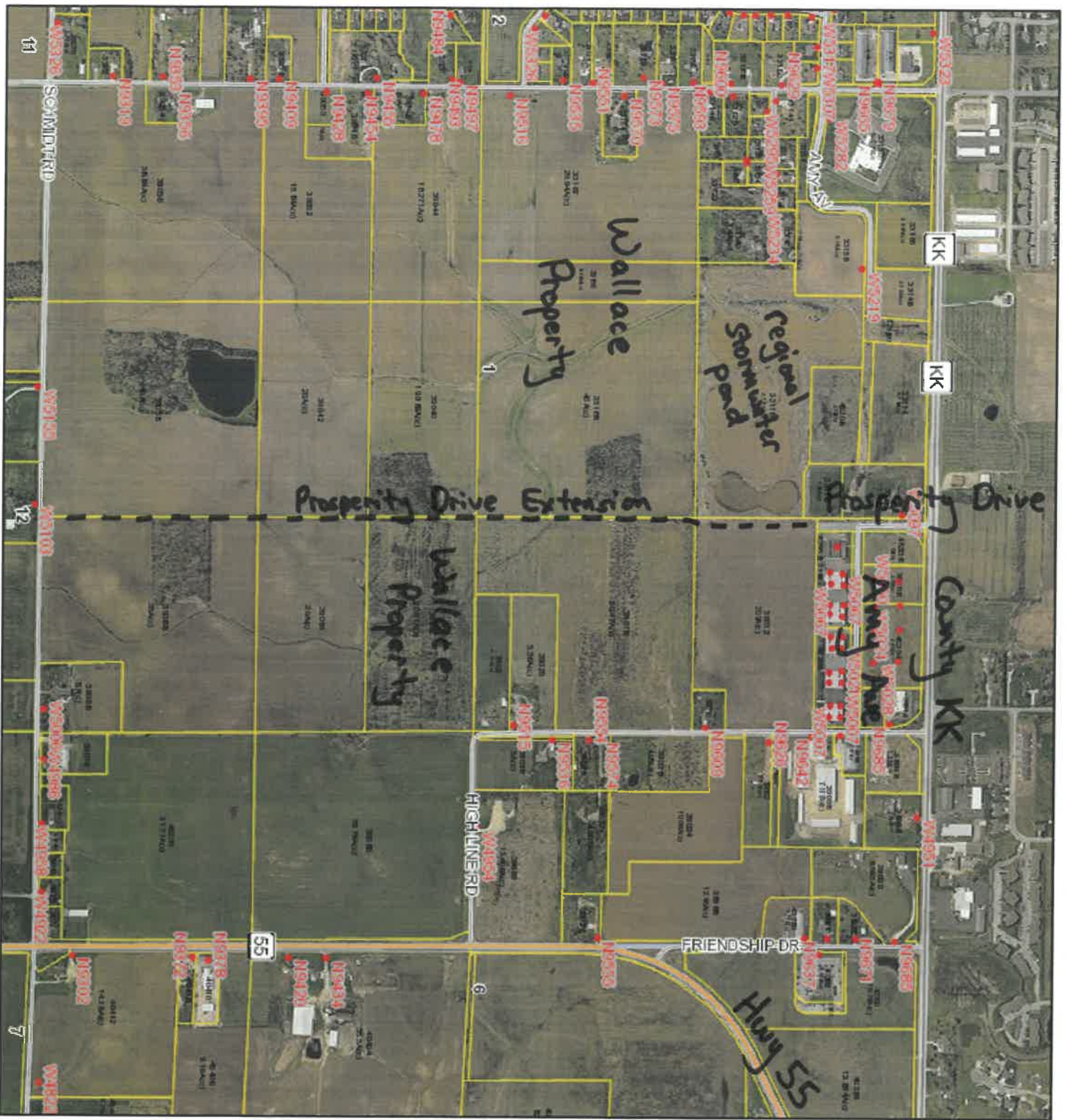
---

**Attachments:**

- Aerial Map
- Letter from Mark Wallace (property owner)
- Letter from Greg Landwehr, NAI Pfefferle (listing broker)



# Calumet County, WI



## Legend

- Address Point
  - Wisconsin Water
  - Unincorporated Community
  - Town Boundary
  - Point of Interest
  - Parcel Boundary
  - Property Hook
  - PLSS Section
  - State Parks
  - County Parks
  - Lake
  - River and Stream
  - Major Roads
  - Federal Highways
  - State Highways
  - County Highways
  - Local Roads
  - Municipal Streets
  - Trail
  - Railroad
- Color 2018
- Red: Band 1
  - Green: Band 2
  - Blue: Band 3



**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and condtions drawn are the responsibility of the user.

Author:	
Date Printed:	01/02/1 1:58 PM
Sources:	

December 29, 2020

Dear Village of Harrison Board Members,

I am an owner partner in one of the parcels of land that Pfefferle is marketing for us. Greg Landwehr has submitted a letter to you detailing the positive impact that this development will have for the Village of Harrison.

We need your help to extend Prosperity Drive, including sewer and water, to start development of the land in this area. We have an opportunity to work with this experienced developer who wants to start building residential homes in this area. He is also working on another development with a local village in our area.

Prior to working with Pfefferle, I had a developer who was very interested in developing our property but he said it was too expensive for him (or any developer) to have to pay all the costs to extend Prosperity Drive to our parcel of land.

Please review the plans for this area and help push the development of this area forward.

Sincerely,

A handwritten signature in cursive script that reads "Mark Wallace".

Mark Wallace

December 28, 2020

Dear Village of Harrison Board Members,

I am the listing broker for 326 acres of land in the Village of Harrison as shown on the attached profile sheet. I have worked hard to unite five individual ownership groups to allow me to market their property as one "master planned" site. I believe "master planning" leads to a much higher quality development which benefits everyone.

We are fortunate to have interest by a local developer considering a residential development on approximately 70 acres of the available property. The development would consist of approximately 155 single family homes with an average price of \$375,000 - \$425,000. The increment to the Village of Harrison will likely be in the \$60,000,000 range. In addition to the increment this project will provide, I believe this development will be the spark to kickoff development on the remaining property available.

We have one obstacle which we need your help with. This developer (or any future developer) requires the extension of Prosperity Drive including water and sewer services. Without the road and extensions, development simply will not happen.

The developer who is now at the table has a proven track record and is on a fast track to move forward. Please consider the expansion of TID#2 allowing this development to move forward.

Thank you for your consideration,



Greg Landwehr, SIOR  
Partner/Senior Commercial Real Estate Broker

Prosperity Drive Ext.

For Sale  
 +/- 326 Acres  
 PRIME LARGE  
 DEVELOPMENT SITE



## State Park Road, Schmidt Road, Highline Road

Harrison, WI.

Twelve parcels totaling +/- 326.50 acres in Village of Harrison. Future land use is Residential with a Commercial component.

Property is located in the Darboy Joint Sanitary District.

+/- 2.75 acre deep water pond in Section R.

Located in Kaukauna School District.

Located near planned Harrison Village Center.

TIF incentives may be available by Village of Harrison.

2020 Wetland Delineation for majority of Section W available upon request.

SECTION	ACRES	PRICE/ACRE	PRICE
W	98.0	\$25,000	\$2,450,000
S	38.26	\$22,500	\$860,850
L	35.84	\$25,000	\$896,000
R	78.84	\$25,000	\$1,971,000
H	75.50	\$35,000	\$2,642,500

**CALL BROKER FOR DETAILS!**

For more information:

**Greg Landwehr, SIOR**

920.560.5037 • gregl@naipfefferle.com

**Patrick Connor, SIOR**

920.560.5074 • patrickc@naipfefferle.com

THE INFORMATION CONTAINED HEREIN WAS OBTAINED FROM SOURCES BELIEVED RELIABLE, HOWEVER, NAI PFEFFERLE MAKES NO GUARANTEES, WARRANTIES, OR REPRESENTATIONS AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE PRESENTATION OF THIS PROPERTY IS SUBMITTED SUBJECT TO ERRORS, OMISSION, CHANGE OF PRICE OR OTHER CONDITIONS, PRIOR SALE OR LEASE, OR WITHDRAWAL WITHOUT NOTICE.

For Sale  
State Park Road,  
Schmidt Road,  
Highline Road  
Harrison, WI.



- Within 10 minutes of major retailers and dining.
- 15 minutes to Downtown Appleton
- Easy access to Highway 441

# STATE OF WISCONSIN BROKER DISCLOSURE



Wisconsin law requires all real estate licensees to give the following information about brokerage services to prospective customers.

**Prior to negotiating on your behalf the Brokerage firm, or an agent associated with the firm, must provide you the following disclosure statement.**

## Disclosure to Customers

You are a customer of NAI Pfefferle (hereinafter Firm). The Firm is either an agent of another party in the transaction or a subagent of another firm that is the agent of another party in the transaction. A broker or a salesperson acting on behalf of the Firm may provide brokerage services to you. Whenever the Firm is providing brokerage services to you, the Firm and its brokers and salespersons (hereinafter Agents) owe you, the customer, the following duties:

- The duty to provide brokerage services to you fairly and honestly.
- The duty to exercise reasonable skill and care in providing brokerage services to you.
- The duty to provide you with accurate information about market conditions within a reasonable time if you request it, unless disclosure of the information is prohibited by law.
- The duty to disclose to you in writing certain Material Adverse Facts about a Property, unless disclosure of the information is prohibited by law.
- The duty to protect your confidentiality. Unless the law requires it, the Firm and its Agents will not disclose your confidential information or the confidential information of other parties.
- The duty to safeguard trust funds and other property held by the Firm or its Agents.
- The duty, when negotiating, to present contract proposals in an objective and unbiased manner and disclose the advantages and disadvantages of the proposals.

Please review this information carefully. An Agent of the Firm can answer your questions about brokerage services, but if you need legal advice, tax advice, or a professional home inspection, contact an attorney, tax advisor, or home inspector. This disclosure is required by section 452.135 of the Wisconsin statutes and is for information only. It is a plain-language summary of the duties owed to a customer under section 452.133(1) of the Wisconsin statutes.

## Confidentiality Notice to Customers

The Firm and its Agents will keep confidential any information given to the Firm or its Agents in confidence, or any information obtained by the Firm or its Agents that a reasonable person would want to be kept confidential, unless the information must be disclosed by law or you authorize the Firm to disclose particular information. The Firm and its Agents shall continue to keep the information confidential after the Firm is no longer providing brokerage services to you.

*No representation is made as to the legal validity of any provision or the adequacy of any provision in any specific transaction.*

The following information is required to be disclosed by law:

1. Material Adverse Facts, as defined in section 452.01(5g) of the Wisconsin Statutes (see definition below).
2. Any facts known by the Firm or its Agents that contradict any information included in a written inspection report on the property or real estate that is the subject of the transaction.

To ensure that the Firm and its Agents are aware of what specific information you consider confidential, you may list that information below or provide that information to the Firm or its Agents by other means. At a later time, you may also provide the Firm or its Agents with other information you consider to be confidential.

## CONFIDENTIAL INFORMATION

---

## NON-CONFIDENTIAL INFORMATION

(the following information may be disclosed to the Firm and its Agents)

---

(Insert information you authorize to be disclosed, such as financial qualification information.)

## Definition of Material Adverse Facts

A "Material Adverse Fact" is defined in Wis. Stat. 452.01(5g) as an Adverse Fact that a party indicates is of such significance, or that is generally recognized by a competent licensee as being of such significance to a reasonable party, that it affects or would affect the party's decision to enter into a contract or agreement concerning a transaction or affects or would affect the party's decision about the terms of such a contract or agreement.

An "Adverse Fact" is defined in Wis. Stat. 452.01(1e) as a condition or occurrence that a competent licensee generally recognizes will significantly and adversely affect the value of the property, significantly reduce the structural integrity of improvements to real estate, or present a significant health risk to occupants of the property; or information that indicates that a party to a transaction is not able to or does not intend to meet his or her obligations under a contract or agreement made concerning the transaction.

## Notice About Sex Offender Registry

You may obtain information about the sex offender registry and persons registered with the registry by contacting the Wisconsin Department of Corrections on the Internet at <http://www.doc.wi.gov> or by telephone at 608-240-5830.



---

**VILLAGE BOARD MEETING****VILLAGE OF HARRISON**

---

**Date:** January 12<sup>th</sup>, 2021

---

**Title:**

Review/Amend Stormwater Ordinance

---

**Issue:**

Should the Village amend the stormwater ordinance to cap or reduce the cost to certain classifications of properties?

---

**Background and Additional Information:**

On October 27<sup>th</sup>, 2020, the Village Board approved ordinance V20-16 amending the Garners Creek Stormwater Utility to the Village of Harrison Stormwater Utility. This ordinance extended the stormwater utility village-wide and reduced the ERU from \$96 to \$50.

Some property owners, that in the past had not received a stormwater fee, are questioning the amount that they have been charged. Per the ordinance (20.04.025), property owners do have the option to appeal their stormwater charge to the Village Manager. If they disagree with the Village Manager's decision, then they may appeal to the Village Board.

Christ the Rock Church has filed an appeal with the Village Clerk expressing their desire to be exempt from the stormwater utility charge.

If the Village Board determines to reduce or cap stormwater charges, then it needs to be based upon the classifications of properties.

---

**Ordinance, Resolution, or Policy:**

Ordinance 20.04.023

---

**Budget/Financial Impact:**

Reduction in stormwater charges will result in a reduction in stormwater revenue.

---

**Attachments:**

Ordinance 20.04.023 and 20.04.025

Letter from Christ the Rock Church

List of 25 Highest ERU Rate Payers

### **20.04.023 Stormwater Parcel Classification**

- A. For purposes of imposing the stormwater charges, all lots and parcels within the Village of Harrison are classified into the following five (5) customer classes;
1. Residential - Single-Family
  2. Residential - Duplex
  3. Residential - Multi-Family and Condominium
  4. Non-residential
  5. Undeveloped
- B. The Manager shall have a list created of all lots and parcels within the Village of Harrison and assign a classification of residential, non-residential or undeveloped to each lot or parcel.
- C. The average square footage of impervious area of the ERU is established to be equivalent to 3,623 square feet.
- D. The charges imposed for single-family residential properties shall be a rate for one (1) ERU.
- E. The charges imposed for duplex residential properties shall be the rate for six-tenths (0.6) of one (1) ERU per each individual dwelling unit existing on the property (ERU rate multiplied by the number of dwelling units). The charges imposed for residential condominium plats with a maximum of two dwelling units shall be the rate for six-tenths (0.6) of one (1) ERU per each individual dwelling unit.
- F. The charges imposed for multi-family apartment, condominium and townhouse residential properties shall be the same as non-residential properties, except residential condominium plats with a maximum of two dwelling units shall be the same as duplex residential properties.
- G. The charges imposed for non-residential properties shall be the rate for one (1) ERU, multiplied by the numerical factor obtained by dividing the total impervious area of a non-residential property by the square footage of one (1) ERU. The numerical factor shall be rounded down to the nearest one-tenth (0.1), for example:
1. (ERU rate multiplied by impervious area (square feet)/3,623 square feet).
- H. No charges shall be imposed for undeveloped properties.

The Manager, or his/her designee, shall be responsible for determining the impervious area, based upon the best available information, including, but not limited to, data supplied by the Building Inspector, aerial photography, the property owner, tenant or developer. The Manager may require additional information, as necessary, to make the determination. The billing amount shall be updated to reflect any additions to the impervious area. Upon property owner's written notification and request, the Manager shall review impervious area for possible reductions.

#### HISTORY

Adopted by Ord. [V20-16](#) on 10/27/2020



### **20.04.025 Method Of Appeal**

A. The Stormwater Utility charge may be appealed as follows:

1. A written appeal shall be filed with the Village Clerk; or
2. Within thirty (30) days of payment, a written challenge to the stormwater charge must be filed with the Manager on behalf of the customer, specifying all bases for the challenge, any supporting documentation, and the amount of the stormwater charge the customer asserts is appropriate. Failure to file a challenge within thirty (30) days of payment waives all right to later challenge to the charge.

A property owner not satisfied with the Manager's decision can appeal to the Village Board for their review and action within thirty (30) days from the date of the Manager's written decision. Both the property owner and Manager may supply additional written information to the Village Board. The Village Board may affirm, reverse or modify the Manager's decision. The Village Board's determination is final. Within thirty (30) days of the date of the Village Board's written decision, the property owner may appeal the decision to circuit court through a certiorari action.

#### HISTORY

Adopted by Ord. [V20-16](#) on 10/27/2020



# CHRIST THE ROCK

---

COMMUNITY CHURCH

December 23, 2020

Jennifer Weyenberg  
Clerk - Treasurer  
Village of Harrison  
W5298 State Road 114  
Harrison WI 54952

Dear Ms Weyenberg,

I am sending this letter on behalf of Christ The Rock Community Church to appeal the stormwater charge of \$6,643.90.

The reason for our appeal is because the church has already invested the funds to provide methods to keep the stormwater from our parking lot and building roof from draining into the village sewer system.

We have a retention pond on the property that we put in place that all the water drains into. This pond was made larger and deeper than necessary to ensure that it would hold all the storm water that we may encounter. In addition, a couple years ago we added a catch basin as an additional measure to ensure that the parking lot on the northeast section of our property would fully drain into the retention pond.

With these measures that we have in place, we feel that we have already done our part in supporting the Village of Harrison in managing our stormwater.

We ask that you consider our request for exemption from this ordinance and tax charge.

Please contact me or Curt Drexler with questions or for further information.

Sincerely,

Gloria Fochs  
Operations Director  
Email: [gfochs@christtherock.org](mailto:gfochs@christtherock.org) / direct phone number: 920-840-6801

**RECEIVED**

DEC 29 2020

VILLAGE OF HARRISON

## TWENTY-FIVE HIGHEST ERU RATE PAYERS

No.	Owner Name	Impervious (SF)	ERU	Annual Charge
1	J&E Construction Inc.	1,274,906.40	351.8	\$ 17,595.00
2	DED LLC	1,129,693.80	311.7	\$ 15,590.00
3	State of WI High Cliff St. Park	942,223.50	259.6	\$ 13,003.00
4	Kimberly Area School District	711,094.20	196.1	\$ 9,813.00
5	VHE II-5 LLC	678,391.60	187.2	\$ 9,362.00
6	Christ the Rock Church	524,238.10	144.6	\$ 7,235.00
7	Village of Harrison**	467,523.20	129	\$ 6,450.00
8	Highline Business Park Dev.	391,902.50	108.1	\$ 5,408.00
9	Kimberly Clark Corp.	341,349	93.8	\$ 4,711.00
10	North Shore Golf Club	332,593	91.5	\$ 4,590.00
11	Belgioioso Cheese	223,766.20	61.5	\$ 3,088.00
12	Antonia G. Lauer	203,043.20	56	\$ 2,802.00
13	Stumpf Family Enterprises LLC	199,310.90	58	\$ 2,950.00
14	Hagens Construction Inc.	188,544	52	\$ 2,602.00
15	Rock II LLC	174,130	47.9	\$ 2,403.00
16	R&M Land Co. LLP	162,457.90	44.7	\$ 2,235.00
17	Schiller Joint Revocable Trust	136,557	37.6	\$ 1,885.00
18	TheDACare Inc.	117,949	32.5	\$ 1,628.00
19	Prime Rentals	113,561.60	31.3	\$ 1,567.00
20	Gregorski 22 LLC	112,090.30	30.9	\$ 1,545.00
21	Gregory R. Lauer	106,427.40	29.3	\$ 1,547.00
22	GTR Enterprises LLC	103,909.80	28.6	\$ 1,434.00
23	Mount Calvary Lutheran Church	100,261.10	27.6	\$ 1,384.00
24	Lamers Scott J & Kelly A Trust	89,406.40	24.6	\$ 1,234.00
25	Zakowski Real Estate LLC	88,966.60	24.5	\$ 1,228.00
	<b>TOTAL</b>		<b>2460.4</b>	<b>\$ 123,289.00</b>

\*\* Includes parcels owned by Village, Town, Harrison Utilities, Garners Creek SWU

**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

---

**Date:** January 12<sup>th</sup>, 2021

---

**Title:**

Review/Amend Parking Ticket Ordinance

---

**Issue:**

Should the Village amend Ordinance 24.08.010 (G) Town Citation to allow people more time to pay their parking tickets?

---

**Background and Additional Information:**

Recently, the Village received an email requesting that the timeframe for paying a parking ticket be extended from 5 days to 30 days. The current ordinance requires that a parking ticket be paid within 5 days or the cost of the citation increases.

If the Village Board wishes to amend this ordinance, then staff will bring back a revised ordinance stating the new timeframe to the next Village Board meeting.

If the Village Board does not wish to change the ordinance, then no action is needed.

---

**Ordinance, Resolution, or Policy:**

Ordinance 24.08.010 (G)

---

**Budget/Financial Impact:**

Unknown at this time.

---

**Attachments:**

Email to Village Manager and Village Board  
Copy of Ordinance 24.08.010 Generally (Parking)

## Travis Parish

---

**From:** Timothy McGrath <timothy.mcgrath@att.net>  
**Sent:** Wednesday, December 16, 2020 5:16 PM  
**To:** Travis Parish; kevinhietpas@hotmail.com; darlenebartlein@new.rr.com; lou@lminsuranceservices.com; tylermoore68@yahoo.com; shandschke@msn.com; badgerzwon@yahoo.com; mvanhefty5925@gmail.com  
**Subject:** Parking Regulation Concern

Village Manager Parish and Village Board Members,

I have lived on Hoelzel Way since 2000. Our house was the first one on the street. We love it here and we don't plan on leaving.

It was quite a surprise to get our first parking ticket on November 24. I have teenage drivers and therefore multiple vehicles, so often times a vehicle gets parked in front of the house, doesn't get moved, and stays on the street overnight. We've done this many many times over the years, and we've seen neighbors do the same, so I never thought it was against the village regulations.

But, the reason I write this email is not because we received a parking ticket. Our intent was to learn a lesson and pay the ticket. I filed the ticket with our bills and intended to pay it when we paid our monthly bills. It came as another surprise when 17 days later we received a letter from The Village saying the **fine tripled** because it wasn't paid **within 5 days**.

My wife and I work fulltime, we have 3 kids. Prioritizing paying a \$10 dollar parking ticket was not on my radar. Five days to pay is not sensible. Tripling seems extreme too, but my real hard ache is with the 5 day deadline. It comes off to me as simply "a money grab" revenue generator.

I strongly encourage the board to amend the ordinance to give residents 30 days to pay parking tickets. This is a "no-brainer" change to the ordinance I think everyone understands and will agree with.

I did pull out the ticket and acknowledge that in the small fine print it does say "failure to pay within five days of issuance will result in \$20 penalty. I will pay the \$30 and we won't park overnight on the street again. But I hope you make this change for the next person that this occurs to.

Thanks,  
Tim McGrath  
W5789 Hoelzel Way  
Appleton, WI  
920 378 0312

**24.08.010 Generally**

- A. **Purpose:** The purpose of this article is to regulate vehicular parking in private or public areas in the town.
- B. **Statutory Authority:** This article is adopted as authorized under Wis. Stats. § 346.55(4).
- C. **Applicability:** The requirements of this article apply to all persons within the town. This article shall supersede any previous ordinances or resolutions of the town that may conflict with any of the provisions herein.
- D. **No Parking Or Restricted Parking Areas:** This article authorizes the town or the owners or lessees of private or public property to restrict or prohibit parking as to other persons if the owner or lessee posts a sign on the property indicating for whom parking is permitted, limited, restricted, or prohibited. No person shall leave or park any vehicle on public or private property contrary to a sign posted thereon.
- E. **Penalties:** Any person who violates any provision of this article shall be punished according to the general penalties described in HVC 1.16.010.
- F. **Exemption:** Town officers and their designees in charge of the maintenance of the town roads may exempt vehicles from the parking regulations of the town if such exemption or limitation is reasonable and necessary to promote the public health, safety and welfare.
- G. **Town Citation:** Proper officials enforcing the parking regulations of the town, are hereby authorized and directed to issue a town citation for violation of any of the foregoing provisions of this article. Such town citation shall conform to Wis. Stats. § 345.11(1) and shall require direct mail payment of the applicable forfeiture to the town clerk or town treasurer within five days of the date of the citation in lieu of a court appearance. Such town citation shall:
1. Be in writing and consecutively numbered.
  2. State the name of the municipality issuing the citation prominently on top thereof.
  3. State the parking violation for which such citation is issued.
  4. State the date and time at which such citation was issued.
  5. State the license number and make of the vehicle in violation of any of the provisions of this article.
  6. State the identification number of the officer issuing the citation.
  7. State the amount of the parking violation forfeiture as prescribed by the penalties under HVC 24.04.090.
  8. State when, where and how the parking violation forfeiture is to be paid.
  9. State that failure to pay the amount of the forfeiture shown thereon within five days of the date of the citation will result in the issuance of a summons under Wis. Stats. § 968.04(3) (b).
  10. Be in such form that a portion thereof is detachable and retainable by the issuing officer. Such detachable portion shall contain the following information:
    - a. License number of the vehicle in violation.
    - b. Parking violation upon which the issuance of the citation is based.
    - c. Location of the violation.

- d. Date and hour of the violation.
- e. Identification number of the issuing officer.
- f. Same number as that contained on the portion of the citation left on the vehicle in violation.

11. State that the citation must accompany the amount of the forfeiture mailed to either the town clerk or town treasurer of the town.

H. **Permit Parking Only:** The town board of the Town of Harrison pursuant to Wis. Stats. § 349.13, hereby adopts those powers granted thereunder for the regulation of the stopping, standing or parking of vehicles on town roadways.

Pursuant to Wis. Stats. § 349.13(1k), the town board hereby establishes a procedure with respect to town roadways under its control, by which parking regulations may be adopted prohibiting the stopping, standing or parking of vehicles without a permit issued by the town or a representative of the town.

Procedures to establish permit only parking areas:

1. The road superintendent shall make recommendations to the town board with information in support thereof for the regulation of roadways where standing, stopping or parking shall be by permit only.
2. The town board shall, by ordinance, adopt those recommendations deemed necessary and in compliance with the statute and shall by description of the streets establish areas where permit only parking is allowed.
3. The town board shall further establish the number of permits to be granted to residents abutting the permit only parking roadway in accordance with the conditions in paragraph H,4.
4. The road superintendent, following action by the town board pursuant to paragraphs H,1, 2, and 3, shall proceed with the posting of permit only parking areas as required by law and shall give written notice to the residents abutting same that they may, by request to the Town of Harrison, obtain permits authorizing persons or residents abutting, guests of persons or residents abutting and commercial enterprises providing services to persons or abutting residents, to park their vehicles in the highway zone without regard to posted prohibitions.
5. Any person violating this paragraph, by parking in permit only parking areas, without a valid and authorized permit from the Town of Harrison, shall forfeit not less than \$100.00 nor more than \$500.00 in addition to the imposition of all permitted statutory costs and fees. Unauthorized vehicles may also be towed at owner's expense.

(Ord. No. 3, § 4, 6-8-1976; Ord. No. 17, § 4, 6-9-1983; Ord. No. 53(Ser. 05-1998), § 4, 8-25-1998; Ord. No. 59(Ser. 02-1999), § 4, 3-30-1999; Ord. No. 69(Ser. 2000), § 4, 10-31-2000; Ord. No. 77(Ser. 2001), § 4, 8-9-2001; Ord. No. 02-87(Ser. 2002) § 4, 11-27-2002; Ord. No. 05-108(Ser. 2005), § 4, 5-31-2005; Ord. No. 06-114, § 4, 2-28-2006; Ord. No. 06-119(Ser. 2006), § 4, 8-10-2006; Ord. No. 08-135, 6-12-2008; Ord. No. 08-141, 8-26-2008)

**RESOLUTION V2021-02**  
**ESTABLISHING THE POLLING PLACES FOR FEBRUARY SPRING**  
**PRIMARY**

VILLAGE OF HARRISON  
Calumet and Outagamie Counties

Whereas Wisconsin Statute 5.25(3) require that polling places be established for each election at least 30 days before the election; and

Whereas, it is in the best interest of the village to consolidate polling places and share resources in February primaries; and

Whereas, the electors of more than one ward in the same municipality may vote at a single polling place pursuant to Wisconsin Statute 5.25(5)(c);

NOW, THEREFORE, BE IT RESOLVED THAT the polling locations and reporting units for Village of Harrison on February 16, 2021 are as follows:

**Harrison Municipal Building, W5298 State Road 114 [Community Room]**  
Reporting Unit: Wards 1-2  
Reporting Unit: Wards 3-18

Adopted by the Village Board of the Village of Harrison this 12th day of January 2021.

By: \_\_\_\_\_  
Kevin Hietpas, Village President

Attest: \_\_\_\_\_  
Jennifer Weyenberg, Clerk-Treasurer