

## NOTICE OF VILLAGE BOARD MEETING

**DATE:** Tuesday, July 27, 2021  
**TIME:** 6:00pm  
**PLACE:** Harrison Municipal Building  
W5298 State Road 114  
Harrison, WI 54952

NOTICE IS HEREBY GIVEN that a Village Board meeting will be held at 6:00pm on Tuesday, July 27, 2021 at the Harrison Municipal Building. This is a public meeting and the agenda is listed below.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call of Village Board
4. Correspondence or Communications from Board and Staff
5. Public Comments  
Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three-minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.
6. Reports
  - a) Harrison Fire Rescue
  - b) Calumet Co. Sheriff Department
  - c) Village Manager
  - d) Planning and Zoning
  - e) Parks and Trails
  - f) Public Works Department/Engineering
  - g) Harrison Utilities
  - h) Clerk-Treasurer (Statement of Income and Expenses)
7. Corrections and Approval of the Previous Meetings Minutes
  - a) July 13, 2021
8. Payments of Bills and Claims
  - a) June 25, 2021 – July 20, 2021
9. Unfinished Business from Previous Meetings for Consideration or Action  
None

#### 10. New Business for Consideration or Action

- a) Conditional Use Permit – Fairways Lawn Care & Snow Removal – Amy Avenue
- b) Final Plat for Jewel Box Estates – Lexington Homes – Midway Road/County AP
- c) Development Agreement for Jewel Box Estates – Lexington Homes – Midway Road/County AP
- d) 2021 PASER Database Update – GRAEF
- e) Darboy Community Park Shelter request for amplified sound – Eternal Love Lutheran Church.
- f) Operator License consideration:
  - i. Courtney Beil for Waverly Beach
  - ii. Paula Titera for Waverly Beach
- g) Discharge Firearms Applications from:
  - i. Tony Mader at W5725 Manitowoc Rd and N9093 Cty Rd N
  - ii. John Ruys at corner of State Park and Schmidt Road

#### 11. Future Agenda Items

- a) Discussion on the timeline of park improvements (after Graef study is done)
- b) Discussion of PASER Ratings
- c) Discussion/Action on a 5 year Road Maintenance Plan
- d) Discussion/Action on a 5 year Capital Improvement Plan
- e) Discussion/Action on creating an ordinance against littering
- f) Discussion of drainage issue at Spranger Electric
- g) Discussion/Action on Facility Rental policies (August 10, 2021 meeting)
- h) Discussion of creating policy for routine park use by non-profit groups (August 10, 2021 meeting)
- i) Discussion/Action of yard waste site hours
- j) Items to be discussed/acted upon during budget meetings – staff authorized to research prior.
  - a. IT Options
  - b. Recording of Meetings
  - c. Software purchase for real estate inquiries
  - d. Software purchase for secure file sharing
  - e. Office phone upgrade

#### 12. Closed Session

Pursuant to Wis. Stats. §19.85(1)(c), the Board will meet to consider employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility.

The Board may reconvene in open session pursuant to Wis. Stats. §19.85(2) to take action on any matter discussed in closed session or for such other purposes as are allowed by law.

#### 13. Adjournment

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.



# Harrison Fire Rescue

Fire Station 60 • Fire Station 70 • EMS



## Village Board/Fire Commission Activity Report - July 2021 (Updated: 7/20/2021)

### 1. Emergency Response

Harrison Fire Rescue was dispatched to 36 incidents from June 24<sup>th</sup> - July 19<sup>th</sup>.

- As of July 19<sup>th</sup>, the Department has responded to a total of 260 incidents.
- See attached Emergency Response report.

### 2. Community Public Relations

Members of HFR routinely donate service hours for the betterment of our community. Through pride and commitment, these volunteers make our emergency services a visible presence while showcasing the good our community has to offer.

- July 18<sup>th</sup> Paperfest

### 3. Department Training/Meetings

In addition to regularly scheduled meetings, training plays a prominent role in our organization. Members hold learning in high regard and value opportunities from learned experiences. One of our strengths as a volunteer department resides in the diversity and expertise our members bring with them.

- July 5<sup>th</sup> Drill – specialized team planning
- July 12<sup>th</sup> EMS training/meeting at Station 60
  - CCR
  - Autopulse
  - Gold Cross ambulance familiarization
- July 14<sup>th</sup> Calumet County Fire Investigators
- July 19<sup>th</sup> Drill at the Darboy Club
  - Incipient fire attack
  - Exterior wall breaching

### 4. Chief Meetings/Item of Note

- June 29<sup>th</sup> Village Board meeting
- July 7<sup>th</sup> Calumet County Chiefs meeting
- July 14<sup>th</sup> Kimberly Clark meeting
- Meetings scheduled with Buchanan, Combined Locks, Neenah/Menasha, and Grand Chute Fire Chiefs.

Respectfully Submitted,

*Jarred Gerl*

Jarred Gerl

Chief – Harrison Fire Rescue

# Harrison Fire Rescue

Menasha, WI

This report was generated on 7/20/2021 10:02:09 PM



## Incident Type and Street Name for Date Range

Incident Status: All | Start Date: 06/24/2021 | End Date: 07/19/2021

Incident Date	Address	Incident Type
06/24/2021	Hearthstone DR, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
06/24/2021	Amy AVE, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
06/25/2021	Hartford LN, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
06/25/2021	Sonny DR, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
06/26/2021	Highway 114, Harrison, WI 54952	Motor vehicle accident with injuries
06/26/2021	Firelane 1 RD, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
06/27/2021	Firelane 2 RD, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
06/30/2021	Moonflower DR, Harrison, WI 54915	Carbon monoxide incident
06/30/2021	Colin ST, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
06/30/2021	Highway 151, Chilton, WI 53014	Building fire
07/01/2021	Stommel RD, Sherwood, WI 54169	Carbon monoxide incident
07/02/2021	Robin Hood WAY, Sherwood, WI 54169	Building fire
07/02/2021	Hartford LN, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
07/03/2021	Strawflower DR, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
07/03/2021	Knight DR, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
07/03/2021	Manitowoc RD, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
07/04/2021	Golden WAY, Harrison, WI 54915	Building fire
07/07/2021	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
07/08/2021	Knight DR, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
07/09/2021	Sara LN, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
07/09/2021	Kesler RD, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
07/10/2021	Sara CT, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
07/10/2021	Church ST, Forest Junction, WI 54110	Building fire
07/13/2021	State Park RD, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
07/14/2021	Military RD, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
07/15/2021	Wildflower TRL, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
07/16/2021	County Highway N, Harrison, WI 54915	Motor vehicle/pedestrian accident (MV Ped)
07/16/2021	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
07/17/2021	Manitowoc RD, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
07/17/2021	County Highway N, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
07/17/2021	State Park RD, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
07/18/2021	Elm RD, Harrison, WI 54129	EMS call, excluding vehicle accident with injury
07/18/2021	Hickory DR, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
07/19/2021	Golf Course RD, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
07/19/2021	Daffodil DR, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
07/19/2021	Kesler RD, Harrison, WI 54952	EMS call, excluding vehicle accident with injury

Total incidents: 36

Lists the Incident Date, Street Name (including City, State, Zip), and Incident Type of incidents occurring within the given Date Range. Only Reviewed incidents are included.



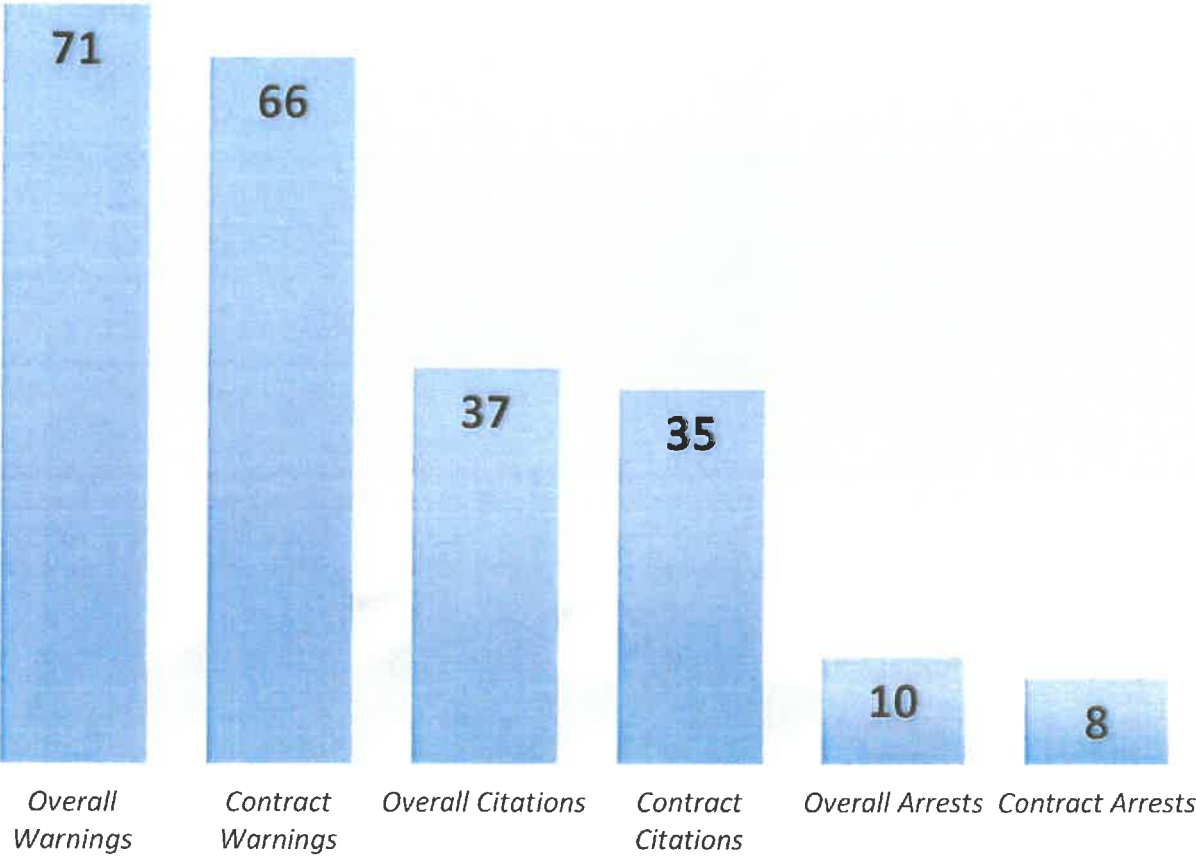
# VILLAGE OF HARRISON

## June 2021

Incident Summary	Totals	Contract Call Summary	Totals
911 HANG UP	36	911 HANG UP	4
ABANDONED VEHICLE	4	ABANDONED VEHICLE	1
ACCIDENT	11	ACCIDENT	4
ACCIDENT WITH INJURY	1	ACCIDENT WITH INJURY	1
ALARM	6	ALARM	5
ANIMAL	10	ANIMAL	5
ASSIST AGENCY	6	ASSIST AGENCY	3
ASSIST CITIZEN	14	ASSIST CITIZEN	7
BICYCLE STOP	1	BICYCLE STOP	1
CIVIL MATTER	2	CIVIL MATTER	2
CIVIL PROCESS	2	DAMAGE TO PROPERTY	1
CRIME PREVENTION	1	DISTURBANCE	6
DAMAGE TO PROPERTY	4	DOMESTIC DISTURBANCE	1
DISTURBANCE	9	FIRE CALL	3
DOMESTIC DISTURBANCE	3	FRAUD	2
FIRE CALL	3	HARASSMENT	1
FIREWORKS	1	JUVENILE COMPLAINTS	1
FRAUD	3	MEDICAL	11
HARASSMENT	5	MOTORIST ASSIST	11
JAIL	1	NOISE COMPLAINT	1
JUVENILE COMPLAINTS	1	PARKING COMPLAINT	3
MEDICAL	29	RECKLESS DRIVING	4
MISCELLANEOUS	2	SUSPICIOUS PERSON	2
MOTORIST ASSIST	23	SUSPICIOUS SITUATION	4
NOISE COMPLAINT	1	SUSPICIOUS VEHICLE	5
ORDINANCE	1	THEFT	2
PARKING COMPLAINT	3	TRAFFIC HAZARD	2
RECKLESS DRIVING	10	TRAFFIC STOP	65
SEX OFFENSE	1	WEAPON	1
SUSPICIOUS PERSON	6	WELFARE CHECK	6
SUSPICIOUS SITUATION	5		
SUSPICIOUS VEHICLE	8		
THEFT	3		
TRAFFIC HAZARD	10		
TRAFFIC STOP	101		
WEAPON	1		
WELFARE CHECK	15		
<b>TOTAL</b>	<b>343</b>	<b>TOTAL</b>	<b>165</b>

<b>VILLAGE OF HARRISON</b>	
<b>June 2021</b>	
<b>Arrests/Citations/Warnings</b>	<b>Totals</b>
Overall Warnings	71
Contract Warnings	66
Overall Citations	37
Contract Citations	35
Overall Arrests	10
Contract Arrests	8

*Village of Harrison  
June 2021 Activity Summary*



**Village of Harrison  
June-21 Zoning Permit Report**

	Current Year				Previous Year			
	Permits	YTD Permits	Estimated Value	YTD Estimate Value	Permits	YTD Permits	Estimated Value	YTD Estimate Value
<b>Residential</b>								
Single Family	25	71	\$ 9,691,450	\$ 30,738,450	13	40	\$ 4,011,000	\$ 11,932,000
Two Family (units)	0	1	\$ 0	\$ 600,000	0	0	\$ 0	\$ 0
Multi Family (units)	0	1	\$ 0	\$ 14,000,000	1	1	\$ 3,500,000	\$ 3,500,000
Additions	3	7	\$ 406,000	\$ 563,115	3	7	\$ 77,000	\$ 285,500
Acc. Structures	5	16	\$ 52,700	\$ 259,495	8	18	\$ 45,700	\$ 183,200
Miscellaneous	12	65	\$ 79,720	\$ 562,737	29	57	\$ 176,438	\$ 420,096
<b>Total Residential</b>	<b>45</b>	<b>161</b>	<b>\$ 10,229,870</b>	<b>\$ 46,723,797</b>	<b>54</b>	<b>123</b>	<b>\$ 7,810,138</b>	<b>\$ 16,320,796</b>
<b>Com./Ind.</b>								
New	0	1	\$ 0	\$ 550,000	0	1	\$ 0	\$ 350,000
Additions	0	1	\$ 0	\$ 1,825,000	0	1	\$ 0	\$ 16,000
Acc. Structures	0	0	\$ 0	\$ 0	0	0	\$ 0	\$ 0
Miscellaneous	1	5	\$ 20,000	\$ 83,500	1	3	\$ 50,000	\$ 357,600
<b>Total Com./Ind.</b>	<b>1</b>	<b>7</b>	<b>\$ 20,000</b>	<b>\$ 2,458,500</b>	<b>1</b>	<b>5</b>	<b>\$ 50,000</b>	<b>\$ 723,600</b>
<b>Combined Total</b>	<b>46</b>	<b>168</b>	<b>\$ 10,249,870</b>	<b>\$ 49,182,297</b>	<b>55</b>	<b>128</b>	<b>\$ 7,860,138</b>	<b>\$ 17,044,396</b>

Number of Vacant Lots Remaining 120

VILLAGE Statement of Accounts by month

7/20/2021

2021	April	May	June
<b>ICB Checking General 0300</b>			
Beginning Balance	\$ 1,728,880.18	\$ 1,589,375.08	\$ 1,462,847.99
Credits	\$ 407,482.76	311434.79	\$ 810,841.05
Debits	\$ 546,987.86	437961.88	\$ 295,793.94
Ending Balance	\$ 1,589,375.08	\$ 1,462,847.99	\$ 1,977,895.10

<b>ICB Checking Taxes 1753</b>			
Beginning Balance	\$ 8,291,059.95	\$ 8,162,182.30	\$ 8,162,883.22
Credits	\$ 2,695.30	\$ 700.92	\$ 724.29
Debits	\$ 131,572.95		
Ending Balance	\$ 8,162,182.30	\$ 8,162,883.22	\$ 8,163,607.51

<b>ICB Checking Town 8500</b>			
Beginning Balance	\$ 11,057.75	\$ 11,057.75	\$ 11,057.75
Credits	\$ -	\$ -	\$ 1.40
Debits	\$ -	\$ -	\$ -
Ending Balance	\$ 11,057.75	\$ 11,057.75	\$ 11,059.15

<b>TOTAL OF VOH CHECKING ACCTS</b>	<b>\$ 9,762,615.13</b>	<b>\$ 9,636,788.96</b>	<b>\$ 10,152,561.76</b>
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<b>ICB Checking Fire Dept 1189</b>			
Beginning Balance	\$ 1,286.97	\$ 1,286.97	\$ 1,286.97
Credits			
Debits			
Ending Balance	\$ 1,286.97	\$ 1,286.97	\$ 1,286.97



VILLAGE Statement of Accounts by month

7/20/2021

2021	April	May	June
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**ICB Money Mrkt General 0310**

Beginning Balance	\$ 1,866,163.94	\$ 1,866,416.51	\$ 1,866,657.36
Credits			
Debits			
Interest	\$ 252.57	\$ 240.85	\$ 230.14
Ending Balance	\$ 1,866,416.51	\$ 1,866,657.36	\$ 1,866,887.50

**ICB Money Mrkt Tax 1110**

Beginning Balance	\$ 470,580.43	\$ 470,644.12	\$ 470,704.85
Credits	\$ -	\$ -	\$ -
Debits	\$ -	\$ -	\$ -
Interest	\$ 63.69	\$ 60.73	\$ 58.03
Ending Balance	\$ 470,644.12	\$ 470,704.85	\$ 470,762.88

**East WI Money Mrkt 4895**

Beginning Balance	\$ 289,340.46	\$ 289,445.87	\$ 289,519.64
Credits	\$ -		\$ -
Debits	\$ -	\$ -	\$ -
Interest	\$ 105.41	\$ 73.77	\$ -
Ending Balance	\$ 289,445.87	\$ 289,519.64	\$ 289,519.64

<b>TOTAL OF VOH MONEY MARKETS</b>	<b>\$ 2,626,506.50</b>	<b>\$ 2,626,881.85</b>	<b>\$ 2,627,170.02</b>
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**Local Gov't Investment Pool**

Beginning Balance	\$ 248,897.61	\$ 248,907.17	\$ 248,917.36
Credits			
Debits			
Interest	\$ 9.56	\$ 10.19	\$ -
Ending Balance	\$ 248,907.17	\$ 248,917.36	\$ 248,917.36

**ICB Stargazer MM acct 9998**

Beginning Balance	\$ -	\$ -	\$ -
Credits			\$ 368,481.00
Debits			
Interest			\$ 1.51
Ending Balance	\$ -	\$ -	\$ 368,482.51

**UTILITY Statement of Accounts by month**

2021	April	May	June
<b>ICB Money Mrkt Utility 6956</b>			
Beginning Balance	\$ 868,311.79	\$ 868,429.31	\$ 868,541.37
Credits	\$ -	\$ -	\$ -
Debits	\$ -	\$ -	\$ 200,000.00
Interest	\$ 117.52	\$ 112.06	\$ 99.68
Ending Balance	\$ 868,429.31	\$ 868,541.37	\$ 668,641.05

(x/f to checking)

**ICB Checking Utilities 1937**

Beginning Balance	\$ 91,693.69	\$ 177,022.85	\$ 172,009.24
Credits	\$ 160,490.00	\$ 7,660.00	\$ 322,504.93
Debits	\$ 75,160.84	\$ 12,673.61	\$ 235,016.99
Ending Balance	\$ 177,022.85	\$ 172,009.24	\$ 259,497.18

**\*Associated Bank Utility Checking 0567 (customer payments)**

Beginning Balance	\$ 1,177,593.85	\$ 1,357,048.38	\$ 1,357,048.38
Credits	\$ 179,935.56		
Debits	\$ 481.03		
Interest	\$ -	\$ -	\$ -
Ending Balance	\$ 1,357,048.38	\$ 1,357,048.38	\$ 1,357,048.38

**\*Associated Bank Utility Checking 540 - (Public funds - W/S Constr Permit Fees)**

Beginning Balance	\$ 797,364.22	\$ 797,364.22	\$ 797,364.22
Credits			
Debits	\$ -		\$ -
Interest	\$ -		\$ -
Ending Balance	\$ 797,364.22	\$ 797,364.22	\$ 797,364.22

**\*Associated Bank Utility Checking 5311 - (General funds)**

Beginning Balance	\$ 517,009.28	\$ 444,593.00	\$ 444,593.00
Credits	\$ -		
Debits	\$ 72,416.28		
Interest	\$ -	\$ -	\$ -
Ending Balance	\$ 444,593.00	\$ 444,593.00	\$ 444,593.00

**Assoc. Bank Money Mrkt Utility 3417 (DNR & Rev Bonds)**

Beginning Balance	\$ 122,236.25	\$ 122,237.25	\$ 122,237.25
Credits	\$ -	\$ -	\$ -
Debits	\$ -	\$ -	\$ -
Interest	\$ 1.00	\$ -	\$ -
Ending Balance	\$ 122,237.25	\$ 122,237.25	\$ 122,237.25

**Nicolet National Bank : RECOMMEND MOVING TO UTILITY GF**

Beginning Balance	\$ 1,254.36	\$ 1,254.36	\$ 1,254.36
Credits	\$ -	\$ -	\$ -
Debits	\$ -	\$ -	\$ -
Interest	\$ -	\$ -	\$ -
Ending Balance	\$ 1,254.36	\$ 1,254.36	\$ 1,254.36

**CD'S Statement of Accounts by month**

<b>2021</b>	<b>April</b>	<b>May</b>	<b>June</b>
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**Comm First CD 20092! NEED ACCESS TO UPDATE**

Beginning Balance	\$ 58,426.06	\$ 58,671.95	\$ 58,671.95
Interest	\$ 245.89	\$ -	\$ -
Ending Balance	\$ 58,671.95	\$ 58,671.95	\$ 58,671.95

**Comm First CD 70008**

Beginning Balance	\$ 324,297.53	\$ 324,297.53	\$ 324,297.53
Interest	\$ -	\$ -	\$ -
Ending Balance	\$ 324,297.53	\$ 324,297.53	\$ 324,297.53

**State Bank of Chilton CD 0343**

Beginning Balance	\$ 127,297.05	\$ 127,297.05	\$ 127,297.05
Interest	\$ -	\$ -	\$ -
Ending Balance	\$ 127,297.05	\$ 127,297.05	\$ 127,297.05

**State Bank of Chilton CD 1028**

Beginning Balance	\$ 312,454.70	\$ 312,454.70	\$ 312,454.70
Interest	\$ -	\$ -	\$ -
Ending Balance	\$ 312,454.70	\$ 312,454.70	\$ 312,454.70

**State Bank of Chilton CD 0368**

Beginning Balance	\$ 262,792.62	\$ 262,792.62	\$ 262,792.62
Interest	\$ -	\$ -	\$ -
Ending Balance	\$ 262,792.62	\$ 262,792.62	\$ 262,792.62

**East Savings CD 7150**

Beginning Balance	\$ 255,691.88	\$ 255,691.88	\$ 255,691.88
Interest	\$ -	\$ -	\$ -
Ending Balance	\$ 255,691.88	\$ 255,691.88	\$ 255,691.88

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Check Register - Full Report - ALL  
ALL Checks

Page: 1  
ACCT

INVESTORS COMMUNITY BANK

Dated From: 6/23/2021

From Account:

Thru: 7/09/2021

Thru Account:

Check Nbr	Check Date	Payee	Amount
11130	7/09/2021	ALANA SCHAREN BROCH GRADING ESCROW RETURN N9367 VARSITY LN	
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN N9367 VARSITY LN	1,500.00
		Total	1,500.00
11131	7/09/2021	BARB BUECHEL REIMB STORMWATER UTIL FEE PARCEL 40652	
100-00-46324-000-000		Harrison Stormwater Util Fee REIMB STORMWATER UTIL FEE PARCEL 40652	50.00
		Total	50.00
11132	7/09/2021	BATTERIES PLUS BULBS #508 P40846877	
100-06-52200-400-000		Fire Dept - Supplies/Services BATTERIES FROM 6/18/21 P40846877	217.60
		Total	217.60
11133	7/09/2021	BECKY SMUDDE REIMBURSE FIRE INSPECTOR EXAM	
100-06-52200-305-000		Fire Dept - Training/Mem REIMBURSE FIRE INSPECTOR EXAM	80.00
		Total	80.00
11134	7/09/2021	BIRSCHBACH INSPECTION SERVICE INC BUILDING INSPECTIONS FOR JUNE 2021	
100-00-52400-000-000		Building Inspector - Contract BUILDING INSPECTIONS FOR JUNE 2021	13,370.00
		Total	13,370.00
11135	7/09/2021	BRAD WELHOUSE JUNE CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone JUNE CELL PHONE STIPEND	30.00
		Total	30.00
11136	7/09/2021	BRANDON RILEY GRADING ESCROW RETURN W5935 EDGEWOOD DR	
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN W5935 EDGEWOOD DR	1,500.00

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Check Register - Full Report - ALL  
ALL Checks  
INVESTORS COMMUNITY BANK

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ACCT

Dated From: 6/23/2021  
Thru: 7/09/2021

From Account:  
Thru Account:

Check Nbr	Check Date	Payee	Amount	
			Total	1,500.00
11137	7/09/2021	BROOKS TRACTOR INC - SUN PRAIRIE R30503		
100-09-57330-000-000		Capital Outlay - Road Projects FROM 6/14/21 RYFORD ROLLER SOIL R30503	1,275.00	
100-00-57220-000-000		Capital Outlay - Parks FROM 6/14/21 COMM PARK ROLLER SOIL R30503	3,825.00	
			Total	5,100.00
11138	7/09/2021	BRUSH BOY CUSTOMS 1707, 1715		
100-09-53315-902-000		Hwy Dept - Signs FROM 6/9/21 INV #1707 TWO FIRE NUMBERS	80.00	
100-09-53315-902-000		Hwy Dept - Signs FROM 6/16/21 INV #1715 FIRE NUMBER	40.00	
			Total	120.00
11139	7/09/2021	CATHY FRONEK GRADING ESCROW RETURN N8850 NOE RD		
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN N8850 NOE RD	1,500.00	
			Total	1,500.00
11140	7/09/2021	CHAD BOESCH JUNE CELL PHONE STIPEND		
100-09-53311-500-022		Hwy Dept - Telephone JUNE CELL PHONE STIPEND	30.00	
			Total	30.00
11141	7/09/2021	CORPORATE NETWORK SOLUTIONS, INC 67121		
100-02-51400-400-006		Gen. Admin - Service Contracts MICROSOFT OFFICE 365 BUS ESS & PREM 1 YR 67121	2,378.00	
			Total	2,378.00
11142	7/09/2021	Department of Natural Resources SNOWMOBILE REG NO: SN 1053 MA		
100-06-52200-400-000		Fire Dept - Supplies/Services SNOWMOBILE REG NO: SN 1053 MA	5.00	

7/09/2021 12:47 PM

Check Register - Full Report - ALL  
ALL Checks  
INVESTORS COMMUNITY BANK

Page: 3  
ACCT

Dated From: 6/23/2021  
Thru: 7/09/2021

From Account:  
Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total 5.00
11143	7/09/2021	FIRST AMERICAN TITLE INS CO-EVANS TITLE DIV REIMBURSE OVERPAY ON REAL EST INQUIRIES	
100-00-46110-000-000		Real Estate Inquiry Fee REIMBURSE OVERPAY ON REAL EST INQUIRIES	30.00
			Total 30.00
11144	7/09/2021	FOX VALLEY TECHNICAL COLLEGE TPB0000643768	
100-06-52200-305-000		Fire Dept - Training/Mem TPB0000643768 6/16/21 3 EXAMS	240.00
			Total 240.00
11145	7/09/2021	GAT SUPPLY, INC 381610-1, 381841-1	
100-09-53311-400-000		Hwy Dept - Supplies FROM 6/30/21 GLASSES, GLOVES, FLAGGING 381610-1	138.02
100-09-53311-400-000		Hwy Dept - Supplies FROM 6/30/21 STOP/SLOW 381841-1	100.72
			Total 238.74
11146	7/09/2021	GRANT GORGES JUNE CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone JUNE CELL PHONE STIPEND	30.00
			Total 30.00
11147	7/09/2021	GRUETT'S 67657P, 68537P, 68628P, STMT BAL	
100-09-53311-900-000		Hwy Dept - Road Maintenance FROM 5/26/21 STEEL 67657P	33.80
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 6/22/21 FILTERS 68628P	112.30
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 6/19/21 RTN HUB/PULLEY, PURCH PARTS 68537P	-8.81
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 6/30/21 BALANCE OF STATEMENT 06302021	0.51
			Total 137.80

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11148	7/09/2021	HERRLING CLARK LAW FIRM LTD 14283-03M	
100-09-51300-000-000		Hwy Dept - Legal FOR SERVICES THROUGH 6/14/21	10,241.00
			Total 10,241.00
11149	7/09/2021	JARRED GERL REIMB EMER MED RESP/EMSTST,JUN CELL STIP	
100-06-52200-305-000		Fire Dept - Training/Mem REIMBURSE EMER MED RESPONDER & EMSTST	170.58
100-07-52200-500-022		Fire Station 70 - Telephone JUNE CELL PHONE STIPEND	40.00
			Total 210.58
11150	7/09/2021	JEFF FUNK JUNE CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone JUNE CELL PHONE STIPEND	40.00
			Total 40.00
11151	7/09/2021	JEFF WISNET JUNE CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone JUNE CELL PHONE STIPEND	30.00
			Total 30.00
11152	7/09/2021	JOE'S POWER CENTER 95863, 96733, 96117, 97180	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 6/14/21 PULLEY 95863	102.12
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 6/24/21 TRIMMER LINE 96733	49.90
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 7/1/21 POLE SAW REPAIR 96117	69.07
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 7/1/21 BALL BEARINGS, BLADE SETS 97180	254.60
			Total 475.69
11153	7/09/2021	KAATS WATER CONDITIONING INC. ACCT 1130062	

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100-09-53311-400-000		Hwy Dept - Supplies	53.52
		CHARGES THROUGH 6/22/21	
Total			53.52
<hr/>			
11154	7/09/2021	KAYLEE GREZINSKI	
		JUNE CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone	40.00
		JUNE CELL PHONE STIPEND	
Total			40.00
<hr/>			
11155	7/09/2021	KIWANIS CLUB OF DARBOY, INC.	
		2021-301	
100-00-55200-120-000		Parks - Recreation Programs	1,000.00
		ICE CREAM SOCIAL JUNE 9	
100-00-55200-120-000		Parks - Recreation Programs	1,000.00
		TOUCH A TRUCK JUNE 23	
Total			2,000.00
<hr/>			
11156	7/09/2021	KM CONSTRUCTION	
		GRADING ESCROW RETURN N9015 SWEETGRASS	
100-00-21060-000-000		Building Escrows Payable	1,500.00
		GRADING ESCROW RETURN N9015 SWEETGRASS	
Total			1,500.00
<hr/>			
11157	7/09/2021	LISOWE OIL DIV OF ADVANCED FUEL SERV	
		25812, 25868	
100-09-53311-600-030		Hwy Dept - Fuel	1,920.04
		FROM 6/18/21	
		25812	
100-09-53311-600-030		Hwy Dept - Fuel	2,378.13
		FROM 6/30/21	
		25868	
Total			4,298.17
<hr/>			
11158	7/09/2021	MARK MOMMAERTS	
		JUNE CELL PHONE STIPEND	
100-00-51600-500-022		Municipal Bldg - Telephone	40.00
		JUNE CELL PHONE STIPEND	
Total			40.00
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11159	7/09/2021	MGD INDUSTRIAL CORPORATION	
		194574, 194993	



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100-09-53311-400-000		Hwy Dept - Supplies	181.94
	FROM 6/16/21	SUPPLIES	194574
100-09-53311-400-000		Hwy Dept - Supplies	51.22
	FROM 6/28/21	SUPPLIES	194993
<b>Total</b>			<b>233.16</b>
<hr/>			
11160	7/09/2021	MIDWEST DESIGN HOMES	
		GRADING ESCROW RETURN W6049 ZACH ST	
100-00-21060-000-000		Building Escrows Payable	1,500.00
		GRADING ESCROW RETURN W6049 ZACH ST	
<b>Total</b>			<b>1,500.00</b>
<hr/>			
11161	7/09/2021	MIKE BRANTMEIER	
		JUNE CELL PHONE STIPEND	
100-06-52200-500-022		Fire Station 60 - Telephone	30.00
		JUNE CELL PHONE STIPEND	
<b>Total</b>			<b>30.00</b>
<hr/>			
11162	7/09/2021	MIKE NETT	
		JUNE CELL PHONE STIPEND	
100-09-53311-500-022		Hwy Dept - Telephone	40.00
		JUNE CELL PHONE STIPEND	
<b>Total</b>			<b>40.00</b>
<hr/>			
11163	7/09/2021	OFFICE DEPOT BUSINESS CREDIT - VOH	
		6011568517758058	
100-02-51400-400-000		Gen. Admin - Supplies	437.42
		THROUGH 6/10/21 OFFICE SUPPLIES	
<b>Total</b>			<b>437.42</b>
<hr/>			
11164	7/09/2021	OUTAGAMIE COUNTY	
		124254	
100-00-51440-600-000		Elections - Publications	174.55
	6/30/21	FEBRUARY & APRIL PUBLICATIONS	124254
100-00-51440-400-000		Elections - Supplies	1,020.90
	6/30/21	FEB & APRIL BALLOTS,SUPPLIES	124254
100-00-51440-300-000		Elections - Service Contracts	1,314.35
	6/30/21	FEB & APR CODING,ON-SITE SUPPORT	124254
<b>Total</b>			<b>2,509.80</b>

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11165	7/09/2021	PATRICK KLEIN REIMBURSE PARADE SUPPLIES	
100-06-52200-400-000		Fire Dept - Supplies/Services REIMBURSE PARADE SUPPLIES	397.02
Total			397.02
11166	7/09/2021	PAUL DEDERING REIMBURSE PAC TOOLOK HD	
100-06-52200-400-000		Fire Dept - Supplies/Services REIMBURSE PAC TOOLOK HD	72.99
Total			72.99
11167	7/09/2021	POMP'S TIRE SERVICE INC. 320113563, 320113791	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 6/9/21 FORD F550 TIRE 320113563	278.15
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance FROM 6/9/21 REPAIR 320113791	72.00
Total			350.15
11168	7/09/2021	RACHEL OR BRETT BIRNSCHEIN GRADING ESCROW RETURN W5925 DELTA DR	
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN W5925 DELTA DR	1,500.00
Total			1,500.00
11169	7/09/2021	RICHARD GRIESBACH GRADING ESCROW RETURN W6008 ZACH ST	
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN W6008 ZACH ST	1,500.00
Total			1,500.00
11170	7/09/2021	RIESTERER & SCHNELL, INC Chilton 2015474	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 6/23/21 REPAIR JOHN DEERE 6430 2015474	686.14
Total			686.14
11171	7/09/2021	ROBERT J IMMEL EXCAVATING INC 18913	

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100-00-53441-000-000		Storm Sewer Maint./Ponds	3,867.27
	FROM 7/1/21	SWEET CLOVER SINK HOLE 18913	
		Total	3,867.27
11172	7/09/2021	SCHILLER'S TREE SERVICE INC 24298	
100-09-53311-900-000		Hwy Dept - Road Maintenance	600.00
	FROM 6/22/21	REMOVE STORM DAMAGED TREE 24298	
		Total	600.00
11173	7/09/2021	SHERWOOD ELEVATOR 114351, 114359	
100-09-53311-900-000		Hwy Dept - Road Maintenance	74.99
	FROM 6/25/21	ROUNDUP 113451	
100-09-53311-900-000		Hwy Dept - Road Maintenance	74.99
	FROM 6/25/21	ROUNDUP 114359	
		Total	149.98
11174	7/09/2021	STEVE LITTLE JUNE CELL PHONE STIPEND	
100-08-52300-000-000		1st Responders - Operating Exp	30.00
		JUNE CELL PHONE STIPEND	
		Total	30.00
11175	7/09/2021	STUMPF CREATIVE LANDSCAPES INC 11137	
100-09-57330-000-000		Capital Outlay - Road Projects	1,325.00
	FROM 5/14/21	RYFORD ST SILT FENCE 11137	
		Total	1,325.00
11176	7/09/2021	STUMPF EXCAVATING & TRUCKING 8857, 8871, 8879	
100-09-53311-505-000		Hwy Dept - Building Maint	120.00
	PUMP HOLDING TANK SHOP 6/21/21	8857	
100-09-53311-505-000		Hwy Dept - Building Maint	240.00
	PUMP HOLDING TANKS 6/28/21	8871	
100-09-53311-505-000		Hwy Dept - Building Maint	120.00
	PUMP HOLDING TANK SHOP 7/5/21	8879	
		Total	480.00

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11177 47799-IN	7/09/2021	SWINKLES TRUCKING & EXCAVATING CORP	
100-00-55200-000-000		Parks - Maint. and Utilities	2,592.00
		FROM 6/16/21 SAND VOLLEYBALL COURTS 47799-IN	
		Total	2,592.00
11178 IN2043214	7/09/2021	TASC	
100-02-51400-400-006		Gen. Admin - Service Contracts	35.00
		JUNE 2021 BILLING IN2043214	
		Total	35.00
11179 296572-00	7/09/2021	TOLEDO PHYSICAL EDUCATION SUPPLY	
100-00-57220-000-000		Capital Outlay - Parks	2,650.33
		FROM 6/28/21 VOLLEYBALL SYS 296572-00	
		Total	2,650.33
11180 1/2 WAGES CROSSING GUARDS 8/1/20-7/31/21	7/09/2021	TOWN OF BUCHANAN	
100-00-52102-000-000		School Crossing Guard & Lights	1,862.15
		1/2 WAGES CROSSING GUARDS 8/1/20-7/31/21 06292021	
		Total	1,862.15
11181 GRADING ESCROW RETURN N9345 ROSELLA DR	7/09/2021	TRUNG LE	
100-00-21060-000-000		Building Escrows Payable	1,500.00
		GRADING ESCROW RETURN N9345 ROSELLA DR	
		Total	1,500.00
11182 5036	7/09/2021	WASTE OIL DOCTOR, LLC	
100-09-53311-505-000		Hwy Dept - Building Maint	2,659.00
		FROM 6/17/21 DUAL AIR COMP 5036	
		Total	2,659.00
11183 5015636065	7/09/2021	WELLS FARGO FINANCIAL LEASING	
100-02-51400-400-006		Gen. Admin - Service Contracts	575.69
		COVERAGE PERIOD 6/17-7/16/21 5015636065	

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			Total	575.69
11184	7/09/2021	WESLEY POMPA JUNE CELL PHONE STIPEND		
100-07-52200-500-022		Fire Station 70 - Telephone JUNE CELL PHONE STIPEND	30.00	
			Total	30.00
11185	7/09/2021	WISCONSIN EMS ASSOCIATION 300000050		
100-08-52300-000-000		1st Responders - Operating Exp SERVICE MEMBERSHIP TIER 2	450.00	
			Total	450.00
11186	7/09/2021	WISCONSIN MEDIA 3911962		
100-01-51101-800-000		Planning - Publications BILL PERIOD MAY 1-MAY 31	290.53	
		3911962		
100-00-46105-000-000		Publication Fee - Liquor BILL PERIOD MAY 1 - MAY 31	45.41	
		3911962		
			Total	335.94
11187	7/09/2021	WMCA REG FEE KRISTY VAN HEFTY CLERK BOOT CAMP		
100-02-51400-305-000		Gen. Admin - Training/Conf. REG FEE KRISTY VAN HEFTY CLERK BOOT CAMP	30.00	
			Total	30.00
11188	7/09/2021	ZACH PRENDERGAST GRADING ESCROW RETURN N9342 VARSITY LN		
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN N9342 VARSITY LN	1,500.00	
			Total	1,500.00
			Grand Total	75,415.14

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Total Expenditure from Fund # 100 - GENERAL FUND

75,415.14

Total Expenditure from all Funds

75,415.14

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Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	SHARE OF CHECKING-General		75,415.14
	Total Expenditure - Fund # 100	75,415.14	
	<b>Total</b>	<b>75,415.14</b>	<b>75,415.14</b>

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11189	7/19/2021	ADVANCED DISPOSAL B20000477730	
100-00-53620-000-000		Refuse and Garbage Services COMMERICAL TRASH DUMPSTER FOR JUN	87.55
100-00-53635-000-000		Recycling Services COMMERICAL RECYCLING DUMPSTER for JUN	59.74
100-00-53620-000-000		Refuse and Garbage Services FUEL FEE	0.00
100-00-53620-000-000		Refuse and Garbage Services LANDFILL TAX	0.00
100-00-53620-000-000		Refuse and Garbage Services RES TRASH 90 GALLON CARTS for JUN	33,342.12
100-00-53635-000-000		Recycling Services RES RECYCLING SINGLE STREAM JUN	16,231.54
100-00-53620-000-000		Refuse and Garbage Services REPLACEMENT CART(S) -	0.00
100-00-53620-000-000		Refuse and Garbage Services REPLACEMENT CART -	0.00
100-00-53620-000-000		Refuse and Garbage Services SPRING PICK UP	0.00
100-00-53620-000-000		Refuse and Garbage Services BULKY ITEM PICKUP-	0.00
100-00-53620-000-000		Refuse and Garbage Services BULKY PICKUP -	0.00
100-00-53620-000-000		Refuse and Garbage Services BULKY PICKUP -	0.00
100-00-53635-000-000		Recycling Services RESID RECYCLE	0.00
100-00-53620-000-000		Refuse and Garbage Services COMMERCIAL TRASH DUMPSTER PARK DEC	0.00
100-00-53635-000-000		Recycling Services COMM RECYCLING PARK DEC	0.00
100-00-53620-000-000		Refuse and Garbage Services ENERGY & ENVIRONMENTAL FEE PARK 11/30/19	0.00
100-00-53620-000-000		Refuse and Garbage Services ADMIN, COMPLIANCE/IMPACT FEES PARK 11/30	0.00
Total			49,720.95



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11190	7/19/2021	BENJAMIN CISKE GRADING ESCROW RETURN N9351 VARSITY LN	
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN N9351 VARSITY LN	1,500.00
			Total 1,500.00
11191	7/19/2021	BRUSH BOY CUSTOMS 1729	
100-09-53315-902-000		Hwy Dept - Signs FROM 7/12/21 INV #1729 FIRE NUMBER N7437	45.00
			Total 45.00
11192	7/19/2021	CARDMEMBER SERVICE 4798510057423846	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 6/21 KENS SPORTS 3 PIN HARNESS	56.81
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 6/10 LYNN CARD CO CARDS	136.75
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 6/15 FLEET FARM TOTES	111.92
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 6/18 OFFICE DEPOT SELF INK STAMPS	50.20
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 6/23 WALMART HOOKS	7.88
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 6/26 OFFICE DEPOT CARBONLESS FORMS	121.33
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 7/3 WALMART HANGERS	8.16
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 7/3 EASYKEYS KEYS	10.75
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 7/3 MENARDS MARKER, TORX, TAPE, GARBAG	341.79
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 7/2 BEST BUY TRIPOD	19.99
			Total 865.58
11193	7/19/2021	DARBOY SANITARY DISTRICT BILLING PERIOD 03/31/21-06/30/21	

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100-00-55200-000-000		Parks - Maint. and Utilities	149.81
		BILLING PERIOD 03/31/21-06/30/21	
		Total	149.81
11194	7/19/2021	DWIGHT KEUER	
		GRADING ESCROW REFUND N7437 HWY 55	
100-00-21060-000-000		Building Escrows Payable	1,500.00
		GRADING ESCROW RETURN N7437 HWY 55	
		Total	1,500.00
11195	7/19/2021	FERGUSON WATERWORKS #1476	
		336103	
100-09-57330-000-000		Capital Outlay - Road Projects	2,147.28
		FROM 7/14/21 KIMBERLY HEIGHTS 336103	
		Total	2,147.28
11196	7/19/2021	GAT SUPPLY, INC	
		382407-1	
100-09-53315-902-000		Hwy Dept - Signs	51.32
		FROM 7/5/21 HANDLES 382407-1	
		Total	51.32
11197	7/19/2021	GRAEF	
		116059-116064, 116067	
100-00-52410-000-000		Erosion/Stormwater Plan Review	797.50
		ASTERION PHASE 2 EROSION PLAN REVIEW 116059	
100-09-53311-000-000		Hwy Dept - Engineer/Consultant	5,476.00
		COMPREHENSIVE OUTDOOR REC PLAN UPDATE 116060	
100-00-53650-000-000		Harr Stormwater Util Drainage	8,853.50
		N COOP RD BOX CULVERT DESIGN & BIDDING 116061	
100-09-57330-000-000		Capital Outlay - Road Projects	1,950.00
		KAMBURA ACRES PH 3&4 CONSTRUCTION SERV 116062	
100-09-57330-000-000		Capital Outlay - Road Projects	1,950.00
		HIDDEN PINES CONSTRUCTION SERVICES 116063	
100-09-57330-000-000		Capital Outlay - Road Projects	3,261.50
		KIMBERLY HEIGHTS PH 1-3 CONSTRUCTION SRV 116064	
100-00-52400-200-000		Inspections - Grade Checks	8,015.00
		LOT GRADE CHECK SERVICES 116067	
		Total	30,303.50

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11198	7/19/2021	HARRISON UTILITIES	
ACCOUNT 000-2781-00			
100-07-52200-500-023		Fire Station 70 - Water/Sewer	40.35
ACCOUNT 000-2781-00			
Total			40.35
11199	7/19/2021	KITZ & PFEIL HARDWARE - OSHKOSH	
24388/2			
100-09-53315-902-000		Hwy Dept - Signs	20.27
CUST 812330 - 7/8/21 SIGN PARTS 24388 /2			
Total			20.27
11200	7/19/2021	LISOWE OIL DIV OF ADVANCED FUEL SERV	
25918			
100-09-53311-600-030		Hwy Dept - Fuel	1,765.91
FROM 7/8/21 25918			
Total			1,765.91
11201	7/19/2021	MCMAHON	
923204			
100-00-53650-000-000		Harr Stormwater Util Drainage	4,600.95
RYFORD STREET EXTENSION 923204			
Total			4,600.95
11202	7/19/2021	MENARDS-APPLETON EAST	
6471, 6593			
100-00-57220-000-000		Capital Outlay - Parks	284.76
FROM 7/12/21 PARK VOLLEYBALL COURTS 6471			
100-09-53311-400-000		Hwy Dept - Supplies	55.58
FROM 7/14/21 CLEANING, FRESHNER, SOAP 6593			
Total			340.34
11203	7/19/2021	MGD INDUSTRIAL CORPORATION	
195383			
100-09-53311-400-000		Hwy Dept - Supplies	156.25
FROM 7/12/21 SUPPLIES 195383			
Total			156.25
11204	7/19/2021	RUCON CONSTRUCTION MANAGEMENT	
GRADING ESCROW RETURN N9351 VARSITY LN			

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ACCT

INVESTORS COMMUNITY BANK

Dated From: 7/09/2021

From Account:

Thru: 7/19/2021

Thru Account:

Check Nbr	Check Date	Payee	Amount
100-00-21060-000-000		Building Escrows Payable	1,500.00
		GRADING ESCROW RETURN N9351 VARSITY LN	
		Total	1,500.00
11205	7/19/2021	SCHAEFFERS MFG CO	
781393-INV1			
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	1,184.70
		FROM 7/6/21 55 GAL SYNSHIELD 15W-40	
		781393-INV1	
		Total	1,184.70
11206	7/19/2021	SERVICEMASTER BUILDING MAINTENANCE	
37224			
100-02-51400-400-006		Gen. Admin - Service Contracts	925.00
		FROM 7/1/21 JANITORIAL JULY	
		37224	
		Total	925.00
11207	7/19/2021	SHERWOOD WATER & SEWER	
ACCT 3050, 3055			
100-06-52200-500-023		Fire Station 60 - Water/Sewer	186.68
		ACCOUNT NUMBER 000-3050-00 STATION 60	
100-06-52200-500-023		Fire Station 60 - Water/Sewer	623.29
		ACCOUNT NUMBER 000-3055-00 TOWN	
		Total	809.97
11208	7/19/2021	SPECTRUM- 4901	
607974901062521			
100-02-51400-400-006		Gen. Admin - Service Contracts	207.94
		SERVICE PERIOD 6/24-7/23	
		Total	207.94
11209	7/19/2021	SPECTRUM- 5101	
607975101062421			
100-02-51400-400-006		Gen. Admin - Service Contracts	136.87
		SERVICE PERIOD 6/23-7/22	
		Total	136.87
11210	7/19/2021	SPECTRUM- 6401	
606836401070921			
100-02-51400-400-006		Gen. Admin - Service Contracts	424.91
		ACC 606836401 SERVICE PERIOD 7/08-8/07	

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ACCT

INVESTORS COMMUNITY BANK

Dated From: 7/09/2021

From Account:

Thru: 7/19/2021

Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total
			424.91
11211	7/19/2021	STUMPF EXCAVATING & TRUCKING	
8891			
100-09-53311-505-000		Hwy Dept - Building Maint	240.00
		PUMP HOLDING TANKS 7/12/21	
		8891	
			Total
			240.00
11212	7/19/2021	TECC SECURITY SYSTEMS INC	
54230			
100-02-51400-400-006		Gen. Admin - Service Contracts	914.99
		SERVICE 6/17, 6/29 REPEATER, TEST SENSOR 54230	
			Total
			914.99
11213	7/19/2021	WIL-KIL PEST CONTROL	
4202382			
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		FIRE STATION 60	
		NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		FIRE STATION 70	
		NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION #60	
		NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION 70	
		NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		POWER SPRAY - VILLAGE HALL	
		NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	86.75
		VILLAGE HALL	
		4202382	
			Total
			86.75
			Grand Total
			99,638.64

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INVESTORS COMMUNITY BANK

Dated From: 7/09/2021

From Account:

Thru: 7/19/2021

Thru Account:

Amount

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Total Expenditure from Fund # 100 - GENERAL FUND

99,638.64

Total Expenditure from all Funds

99,638.64

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ACCT

INVESTORS COMMUNITY BANK

Dated From: 7/09/2021  
Thru: 7/19/2021

Account Number	Account Code Description	Debit	Credit
100-00-11100-000-000	SHARE OF CHECKING-General		99,638.64
	Total Expenditure - Fund # 100	99,638.64	
	Total	99,638.64	99,638.64

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UTILITIES

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ACCT

Dated From: 6/23/2021 From Account:  
Thru: 7/08/2021 Thru Account:

Check Nbr	Check Date	Payee	Amount
22112 2107704	7/08/2021	ACCURATE FULL SERVICE VEHICLE CENTER	
610-00-57933-000-000		Transportation Expense	146.19
		FROM 6/10/21 2003 FORD F350 FRONT AXLE 2107704	
620-00-57828-000-000		Transportation Expense	146.19
		FROM 6/10/21 2003 FORD F350 FRONT AXLE 2107704	
		Total	292.38
22113 9004898810	7/08/2021	CLEAN WATER TESTING LLC	
610-00-57641-000-000		Operation Supplies & Expenses	96.00
		FROM 6/16/21 MONTHLY WATER SAMPLE TESTS 9004898810	
		Total	96.00
22114	7/08/2021	DAVE DORNFELD	
		REIMBURSE MILEAGE EXPO PLOVER	
610-00-57921-000-000		Office Supplies & Expenses	40.88
		REIMBURSE MILEAGE EXPO PLOVER	
620-00-57851-000-000		Office Supplies & Expenses	40.88
		REIMBURSE MILEAGE EXPO PLOVER	
		Total	81.76
22115	7/08/2021	DIGGERS HOTLINE INC	
		PREPAYMENT 210 6 34101 PP2	
610-00-57641-000-000		Operation Supplies & Expenses	576.00
		FROM 7/1/21 PREPAYMENT 2ND PAY JUL 2021 210 6 34101 PP2	
620-00-57827-000-000		Operation Supplies & Expenses	576.00
		FROM 7/1/21 PREPAYMENT 2ND PAY JUL 2021 210 6 34101 PP2	
		Total	1,152.00
22116 13823	7/08/2021	ENDURACLEAN, INC.	
610-00-57641-000-000		Operation Supplies & Expenses	34.25
		MARKING PAINT 13823	
620-00-57827-000-000		Operation Supplies & Expenses	34.25
		MARKING PAINT 13823	
		Total	68.50
22117 332274	7/08/2021	FERGUSON WATERWORKS #1476	



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UTILITIES

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ACCT

Dated From: 6/23/2021 From Account:  
Thru: 7/08/2021 Thru Account:

Check Nbr	Check Date	Payee	Amount
610-00-18346-000-000		Meters	722.00
		COUPLERS FOR 5/8" WATER METERS	332274
		Total	722.00
22118	7/08/2021	FOX CROSSING UTILITIES	
		ACCT 14053-44503	
610-00-57601-000-000		Purchased Water - COA	687.42
		WATER BASE AND VOLUME 5.0	
		Total	687.42
22119	7/08/2021	GUARANTY TITLE SERVICES INC	
		REFUND RE INQ W5859 HWY 10-NOT HARR UTIL	
610-00-47400-000-000		Other Water Revenue	12.50
		REFUND RE INQ W5859 US 10-NOT HARR UTIL	
620-00-47635-000-000		Other Sewer Revenue	12.50
		REFUND RE INQ W5859 US 10-NOT HARR UTIL	
		Total	25.00
22120	7/08/2021	KEVIN HIETPAS	
		REIMBURSE STAMPS FOR POSTAGE	
610-00-57921-000-000		Office Supplies & Expenses	55.00
		REIMBURSE STAMPS FOR POSTAGE	
620-00-57851-000-000		Office Supplies & Expenses	55.00
		REIMBURSE STAMPS FOR POSTAGE	
		Total	110.00
22121	7/08/2021	MARTENSON & EISELE INC	
		60681	
610-00-57923-000-000		Outside Services Employed	4,900.00
		RISK & RESILIENCE ASSESSMENT/PROJ MGMT 60681	
		Total	4,900.00
22122	7/08/2021	NEENAH-MENASHA SEWERAGE COMMISSION	
		2021-088, 2021-093	
620-00-57829-000-000		Sewerage Treatment Charges	16,169.60
		FROM 6/18 WASTEWATER TREATMENT 2021-088	
620-00-57870-000-000		Interest Expense - CWF Loan	1,491.00
		FROM 6/18 CLEAN WATER LOAN INTEREST 2021-093	
620-00-57875-000-000		Amortization Expense-CWF Loan	4,330.00
		FROM 6/18 CLEAN WATER LOAN DEBT 2021-093	

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ACCT

Dated From: 6/23/2021 From Account:  
Thru: 7/08/2021 Thru Account:

Check Nbr	Check Date	Payee	Amount	
			Total	21,990.60
22123	7/08/2021	OFFICE DEPOT BUSINESS CREDIT - HU 6011564201938668		
610-00-57921-000-000		Office Supplies & Expenses OFFICE SUPPLIES THROUGH 6/3/21	27.99	
620-00-57851-000-000		Office Supplies & Expenses OFFICE SUPPLIES THROUGH 6/3/21	27.99	
			Total	55.98
22124	7/08/2021	PCI DATA SYSTEMS INC 22675		
610-00-57921-000-000		Office Supplies & Expenses FROM 6/30/21 REMOTE MAINTENANCE 22675	52.50	
620-00-57851-000-000		Office Supplies & Expenses FROM 6/30/21 REMOTE MAINTENANCE 22675	52.50	
			Total	105.00
22125	7/08/2021	STUMPF CREATIVE LANDSCAPES INC 11315		
610-00-57652-000-000		Maintenance of Services REPLACE CURBSTOP-DRIVEWAY 7012 SHEA RD 11315	50.00	
610-00-57652-000-000		Maintenance of Services CURBSTOP/1" COPPER-1401 SOUTHFIELD DR 11315	91.25	
			Total	141.25
22126	7/08/2021	SUPERIOR CHEMICAL CORPORATION 306858		
610-00-57641-000-000		Operation Supplies & Expenses CLEANERS, MOISTURE REMOVER, WEED CONTROL 306858	194.20	
620-00-57827-000-000		Operation Supplies & Expenses CLEANERS, MOISTURE REMOVER, WEED CONTROL 306858	194.21	
			Total	388.41
			Grand Total	30,816.30

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ACCT

Dated From: 6/23/2021 From Account:  
Thru: 7/08/2021 Thru Account:

	Amount
Total Expenditure from Fund # 610 - WATER UTILITY	7,686.18
Total Expenditure from Fund # 620 - SEWER UTILITY	23,130.12
Total Expenditure from all Funds	30,816.30

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ACCT

UTILITIES

Dated From: 6/23/2021  
Thru: 7/08/2021

Account Number	Account Code Description	Debit	Credit
610-00-11131-000-000	SHARE OF CHECKING-Water		7,686.18
	Total Expenditure - Fund # 610	7,686.18	
620-00-11131-000-000	SHARE OF CHECKING-Sewer		23,130.12
	Total Expenditure - Fund # 620	23,130.12	
	Total	30,816.30	30,816.30

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UTILITIES

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ACCT

Dated From: 7/09/2021 From Account:  
Thru: 7/19/2021 Thru Account:

Check Nbr	Check Date	Payee	Amount
22127	7/19/2021	CLEAN WATER TESTING LLC 9004986640	
610-00-57641-000-000		Operation Supplies & Expenses FROM 7/14/21 MONTHLY WATER SAMPLE TESTS 9004986640	96.00
Total			96.00
22128	7/19/2021	DONALD HIETPAS & SONS INC INVOICES 7/4 2077 & 1401 SOUTHFIELD DR	
610-00-57651-000-000		Maintenance of Mains FROM 7/4 REPAIR 8" VALVE 2077 SOUTHFIELD	2,059.42
610-00-57651-000-000		Maintenance of Mains FROM 7/4 1" LATERAL 1401 SOUTHFIELD	1,700.92
Total			3,760.34
22129	7/19/2021	FERGUSON WATERWORKS #1476 335438	
610-00-57651-000-000		Maintenance of Mains VALVE RISER CASTINGS 0335438	1,275.00
Total			1,275.00
22130	7/19/2021	GRAEF 116066	
620-00-57852-000-000		Outside Services Employed FROM 7/1 STARGAZER ESTATES DEV BILL 116066	787.00
Total			787.00
22131	7/19/2021	MARTENSON & EISELE INC 60700, 60821	
620-00-57852-000-000		Outside Services Employed FINAL PUNCH LIST 3RD ADD WOODLAND HILLS 60700	765.00
620-00-57852-000-000		Outside Services Employed ENGINEERING FOR RYFORD ST CULVERT PROJ 60821	288.75
Total			1,053.75
22132	7/19/2021	MENARDS-APPLETON EAST 6704	
610-00-57641-000-000		Operation Supplies & Expenses FROM 7/16 SHOP SUPPLIES 6704	11.37
620-00-57827-000-000		Operation Supplies & Expenses FROM 7/16 SHOP SUPPLIES 6704	11.37

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UTILITIES

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ACCT

Dated From: 7/09/2021 From Account:  
Thru: 7/19/2021 Thru Account:

Check Nbr	Check Date	Payee	Amount	
			<b>Total</b>	<b>22.74</b>
22133	7/19/2021	ULTIMATE CLEANING LIMITED 2078		
610-00-57935-000-000		Maintenance of General Plant FROM 7/14 AUGUST 2021 CLEANING SERVICE 2078	94.50	
620-00-57834-000-000		Maintenance of General Plant FROM 7/14 AUGUST 2021 CLEANING SERVICE 2078	94.50	
			<b>Total</b>	<b>189.00</b>
			<b>Grand Total</b>	<b>7,183.83</b>

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UTILITIES

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ACCT

Dated From: 7/09/2021 From Account:  
Thru: 7/19/2021 Thru Account:

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	Amount
Total Expenditure from Fund # 610 - WATER UTILITY	5,237.21
Total Expenditure from Fund # 620 - SEWER UTILITY	1,946.62
Total Expenditure from all Funds	7,183.83

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Posting Date: 7/19/2021

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ACCT

UTILITIES

Dated From: 7/09/2021  
Thru: 7/19/2021

Account Number	Account Code Description	Debit	Credit
610-00-11131-000-000	SHARE OF CHECKING-Water		5,237.21
	Total Expenditure - Fund # 610	5,237.21	
620-00-11131-000-000	SHARE OF CHECKING-Sewer		1,946.62
	Total Expenditure - Fund # 620	1,946.62	
	Total	7,183.83	7,183.83



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**VILLAGE BOARD MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

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**VILLAGE OF HARRISON**

**Meeting Date:**

July 27, 2021

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**Title:**

Conditional Use Permit - Fairways

---

**Issue:**

Should the Village Board approve a Conditional Use Permit for a contractor business and multi-tenant building?

---

**Background and Additional Information:**

The applicant, Fairways Lawn Care & Snow Removal, LLC, is seeking a Conditional Use Permit (CUP) in order to operate a trade and contractor business at property located along Amy Avenue east of State Park Road, Loc ID 33148. The property is currently zoned Office & Retail Commercial [COR]. Trade and contractor businesses are conditional uses within the COR zoning district. The property is 2.542-acres and is located along the north side of Amy Avenue east of State Park Road and abuts County Road KK. Access to the property will be from Amy Avenue. The property is adjacent to a stormwater management pond. Stormwater management can be address through a buy-in from the adjacent pond.

The applicant is proposing to construct a 5,100-square foot building to house their business for lawn care and snow removal. Expected hours of operation are Monday-Friday 7:00am-5:00pm and Saturday 7:00am-Noon. Typically, only 1 employee will be on-site, other employees will be on-site to load equipment and vehicles and then leave for work sites. Customer visits will be by appointment only. Outdoor storage of landscape materials (mulch & stone) is proposed. Screening and landscaping is proposed around the outdoor storage bins. Most vehicles and trailers will be stored inside. Some overnight parking of vehicles and trailers outdoors is proposed as well. Staff has some concerns about the overnight outdoor parking of vehicles and trailers.

The applicant is also planning a 3,500-square foot expansion area for the building to lease out in the future. As such, the north wall is proposed to be constructed and clad in a temporary state. Staff suggests granting a temporary waiver to the materials standards to allow for future expansion.

*Basis for Approval: (from the Zoning Ordinance Section 117-319) Each item must be met in order to grant approval.*

- 1. Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of this chapter. Where there is an existing nonconforming structure, the design standards of the underlying*

- zoning district may be waived by the plan commission and village board. Trade and contractor businesses are a conditional use within the COR zoning district.*
2. *Plans. The proposed use conforms to the comprehensive plan and any other officially adopted plan. The proposed use of the property as a commercial/business use conforms to the Comprehensive Plan.*
  3. *Traffic. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. Access to the property is from an existing road, Amy Avenue. It is anticipated that there will be minimal traffic entering/exiting the development on a daily basis as most of the business operations occur off site.*
  4. *Landscaping and screening. Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in article VI, Access, Parking, and Loading and article IX, Landscaping and Screening Standards. Landscaping may be required to meet buffering requirements. The applicant has indicated that landscaping will be utilized to buffer aspects of the business operations.*
  5. *Neighborhood compatibility. The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust. The surrounding land uses are for commercial or business development. There will be minimal traffic for this business. Most business operations occur off-site so there will be minimal noise.*
  6. *Services. Adequate facilities, access roads, drainage and/or necessary services have been or will be provided. Sanitary sewer and water is provided to the site. Stormwater management is available. Roadway access is provided via Amy Avenue.*

The Plan Commission held a public hearing on the Conditional Use Permit on July 20<sup>th</sup>, no one spoke in opposition.

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**Budget Impacts:**

None

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**Recommended Action:**

The Plan Commission recommends approval of the Conditional Use Permit (CUP) request with the following conditions:

1. The north exterior wall shall meet the exterior materials design standards within 5-years of CUP approval. All other walls must meet the design standards for exterior materials as part of the building construction.
2. Berms and/or plantings to be provided around the north, east, and south sides of the landscape material storage bins. Plantings shall be at least as tall as the storage bin height. Care should be taken to design the berm and/or plantings to provide approximately 75% opacity within 5-years.
3. Hours of operation shall be Monday-Friday 7:00am-5:00pm and Saturday 7:00am-Noon. The Plan Commission may approve different hours of operation upon request and review.

4. No outside storage of any vehicles, equipment, materials, or items shall be permitted. Occasional overnight outdoor parking of 1-2 vehicles and trailers may be allowed, 1-2 nights a week but not Saturday or Sunday nights.
5. All exterior lighting shall be direct cut-off fixtures to reduce/eliminate any glare.
6. The stormwater management plan approval shall be in accordance with the Harrison requirements or buy-in to the regional stormwater pond shall be paid.
7. Any comments or revisions from Village staff during the site plan review process shall be incorporated as conditions of approval.
8. All provisions of the zoning ordinance and all other Village ordinances shall be met.
9. All necessary permits shall be obtained prior to construction.
10. The developer shall acknowledge the conditions of approval and agree to abide by all conditions. Failure to abide by conditions may be cause for revocation of Conditional Use Permit.

**Action Options:**

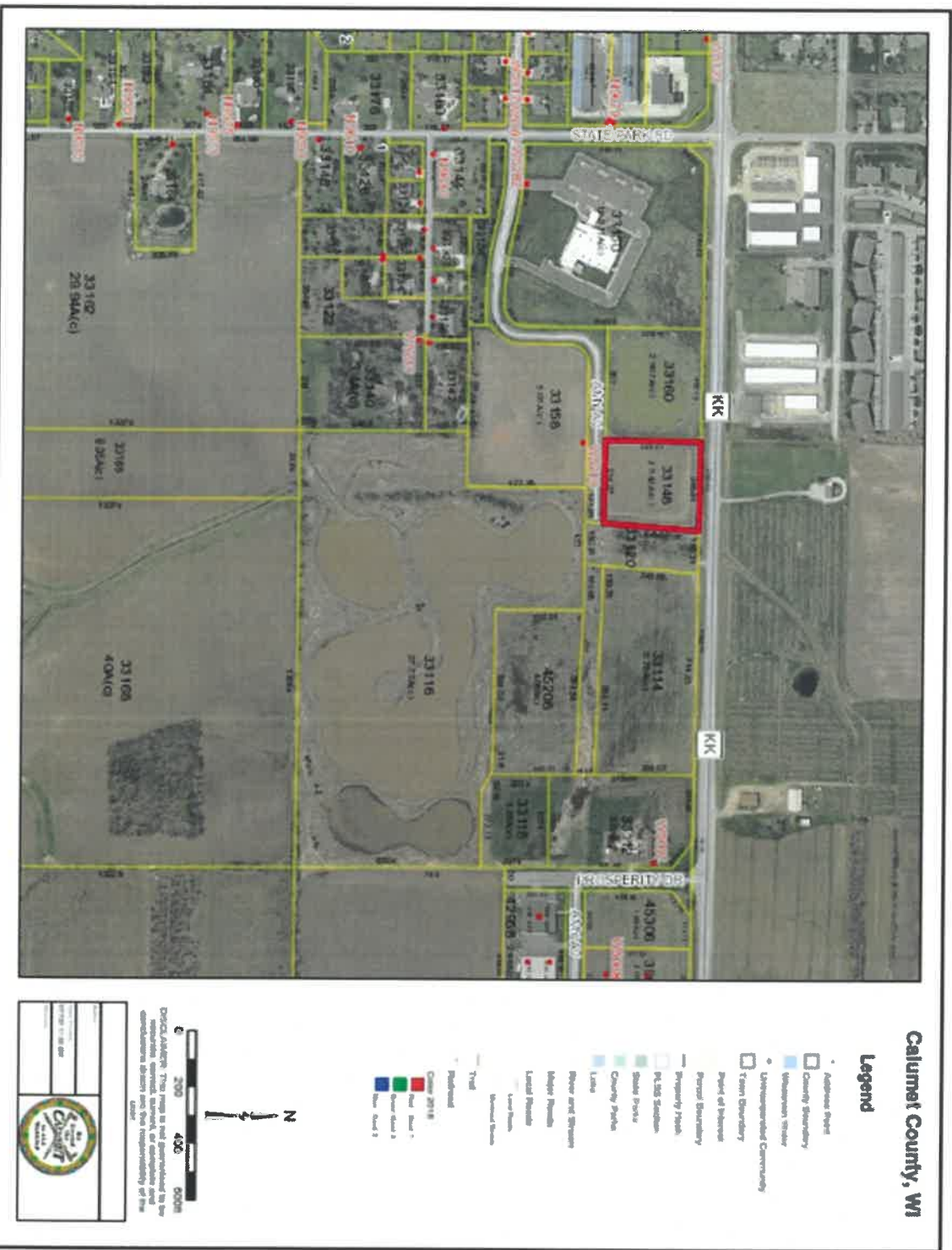
1. Approve the Conditional Use Permit.
2. Approve the Conditional Use Permit with conditions #1-10 above.
3. Approve the Conditional Use Permit with amended conditions.
4. Postpone action. (*The Village Board has until September 3<sup>rd</sup>, 45-days from the date of the Plan Commission recommendation, to take approval or denial action.*)
5. Deny the Conditional Use Permit.

The Plan Commission is recommending approval of the Conditional Use Permit with conditions #1-10 as listed. (Option #2)

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**Attachments:**

- Aerial Map
- Project Narrative & Plans



Proposal for Development Lot No. 33148



**Narrative**

Jeff & Jen Feistel (Owners of Fairways, LLC) – seek conditional use permit for their 5100 sq ft Snow and Lawn Care facility zoned in (COR) – Office and retail Commercial District. The intent of this development is a space for Fairways to serve the local community, create jobs, and build an additional 3500 sq ft future commercial tenant space to promote more commercial footprint businesses to the Village of Harrison.

**Business Highlights:**

- 2021 Appleton Post Crescent 'Best of the Valley' Finalist
- 2020 Appleton Post Crescent 'Best of the Valley' WINNER
- Locally serving both residential and commercial clients

Summer hours of operation will be 7a-5p Monday-Friday, 7a-12p Saturday. 1 employee will be on site and 4 employees will be coming in to grab trucks and leaving to cut lawns. These employee numbers could change the more we grow. However, majority of employees will always be working offsite.

Winter hours of operation will vary. Employees will be at the facility when it snows to pick up their plow trucks and to refill their salt hoppers. An employee will be there regularly for upkeep and cleaning equipment, etc inside. If we DO need to have some type of set hours for the winter I would choose 7a-5p as well. If a customer needed to come to the building it would be by appointment only.

For outdoor space we will have concrete bins on the ground to hold landscaping materials such as mulch and stone. We will also have a space for our outdoor garbage. During the winter months all vehicles will be kept indoors. During the summer months there may occasionally be a truck and or trailer left outside after an employee is done with work overnight. The next morning when business is resumed the vehicle and trailer would be gone.

**Item No. 2: Conceptual Layout – Items**

**On-Site Storage**

The attached Floor Plan reflects all equipment has the capacity to be stored indoors. Site Plan for Material storage bins (Mulch & Stone) & refuse enclosure will be screened to meet compliance per the Village of Harrison's municipal code.

We discussed the possibility of parking some trucks next to bins, creating "bin stalls" for them and then screening them appropriately. This is an item that may need to be considered for approval in the future when the 3,500 expansion occurs.

#### Architectural Materials

Façade selected on the elevation drawings adheres to village code guidance. Use of Insulated Metal Wall Panels and Masonry incorporated on east, west, and south sides. North end wall is expandable per design to allow for future expansion. This wall will be covered by 26 gauge semi-concealed fastener architectural wall panel.

Please keep in mind that this North side will be visible from CTH "KK", therefore, we approval from the Plan Commission.

#### Signage

Signage is reflected on west elevation of the building. Fairways may elect to have 1 additional ground mounted, masonry constructed, for view from CTH KK.

If a tenant becomes interested in utilizing the 3,500 square feet, signage placement will need to be re-visited at that point.

#### Lighting

A lighting plan and photometric plan will be reviewed during the site plan process. The lighting footprint will need to be contained within the site limits.

#### Screening

The landscape bins will be screened with vegetation. Dumpster enclosure will be screened by vinyl composite fencing. All ground equipment will also be screened.

#### TID

This parcel is within TID No. 2. We're asking that the village consider an investment of \$30,000 of TIF funding to help us accelerate this project. It would go a long way in helping us get started and grow in the community.

**SHEET INDEX**  
 C1.0 SHEET  
 A1.0 SECTION  
 A2.0 SECTION

**BUILDING & DRE AREA  
 SQUARE FOOTAGES**

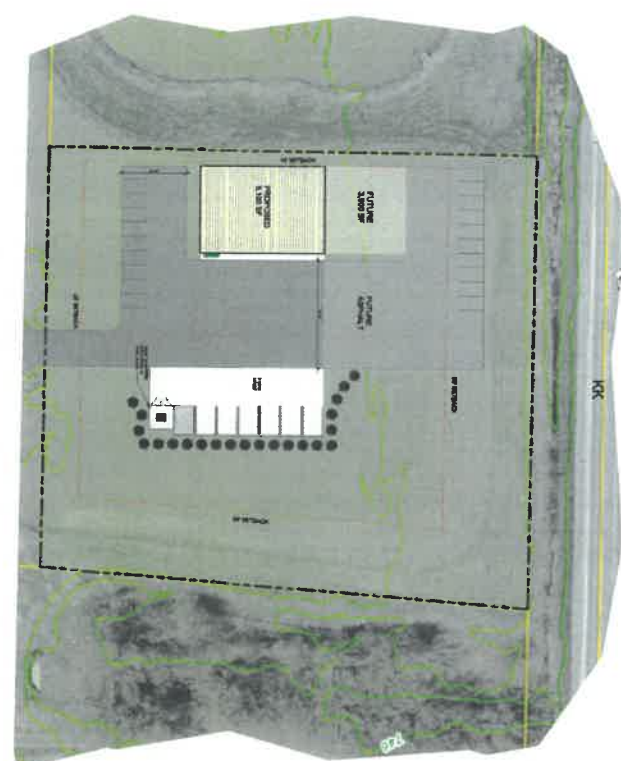
Category	Area	Volume
Building	15,000	15,000
Driveway	1,000	1,000
Other	500	500
<b>Total</b>	<b>16,500</b>	<b>16,500</b>

**BUILDING CODE ANALYSIS**

Project Address: 1000 N. ...  
 City, State, Zip: ...  
 State Building Code: ...  
 Local Ordinance: ...

Approved by: ...  
 Date: ...

**GENERAL NOTES:**  
 1. All work shall conform to the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).  
 2. The owner shall be responsible for obtaining all necessary permits.  
 3. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.  
 4. The contractor shall be responsible for maintaining access to all adjacent properties at all times.  
 5. The contractor shall be responsible for protecting all existing utilities and structures.  
 6. The contractor shall be responsible for maintaining the site in a safe and clean condition at all times.  
 7. The contractor shall be responsible for providing all necessary safety equipment and personnel.  
 8. The contractor shall be responsible for providing all necessary materials and labor.  
 9. The contractor shall be responsible for providing all necessary equipment and machinery.  
 10. The contractor shall be responsible for providing all necessary transportation and parking facilities.  
 11. The contractor shall be responsible for providing all necessary communication and coordination with all stakeholders.  
 12. The contractor shall be responsible for providing all necessary documentation and records.  
 13. The contractor shall be responsible for providing all necessary training and education for all personnel.  
 14. The contractor shall be responsible for providing all necessary safety and health programs.  
 15. The contractor shall be responsible for providing all necessary environmental protection measures.  
 16. The contractor shall be responsible for providing all necessary quality control and assurance measures.  
 17. The contractor shall be responsible for providing all necessary risk management and mitigation measures.  
 18. The contractor shall be responsible for providing all necessary communication and coordination with all stakeholders.  
 19. The contractor shall be responsible for providing all necessary documentation and records.  
 20. The contractor shall be responsible for providing all necessary training and education for all personnel.  
 21. The contractor shall be responsible for providing all necessary safety and health programs.  
 22. The contractor shall be responsible for providing all necessary environmental protection measures.  
 23. The contractor shall be responsible for providing all necessary quality control and assurance measures.  
 24. The contractor shall be responsible for providing all necessary risk management and mitigation measures.



THE LOT DIMENSIONS AND BOUNDARIES SHOWN ON THIS PLAN ARE ESTIMATED BASED ON AERIAL PHOTOGRAPHS AND LOCAL AUTHORITY RECORDS. THE OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE DIMENSIONS AND BOUNDARIES.



**PROPOSED FOR:**

**FAIRWAYS LLC**  
 MENASHA, WISCONSIN



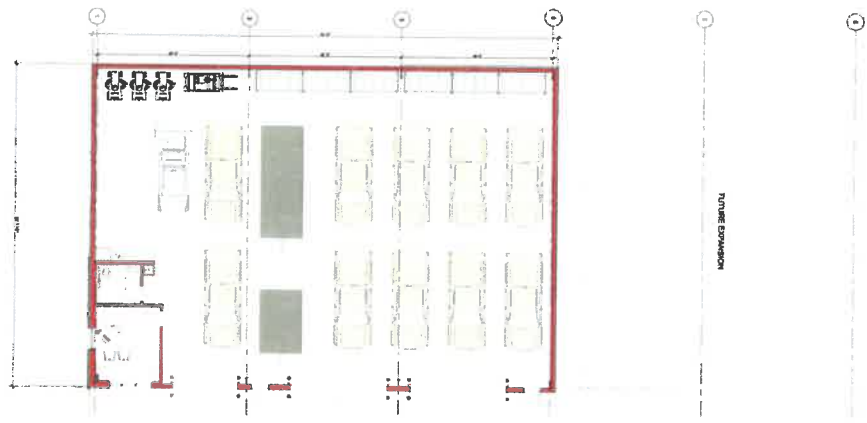
**Keller**  
 ARCHITECTURAL & INTERIOR DESIGN  
 1000 N. ...  
 CITY, STATE, ZIP

PROPOSED FOR:  
**FAIRWAYS LLC**  
 MENASHA, WISCONSIN

**PRELIMINARY - NOT FOR CONSTRUCTION**

**CONTRACTOR NOTICE:**  
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NO.	DESCRIPTION	DATE
1	CONCEPTUAL SITE PLAN	08/14/2021
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WALL TYPE	
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[Symbol]	GLASS
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[Symbol]	OTHER
[Symbol]	DOOR
[Symbol]	WINDOW
[Symbol]	STAIR
[Symbol]	ELEVATOR
[Symbol]	MECHANICAL
[Symbol]	PLUMBING
[Symbol]	ELECTRICAL
[Symbol]	TELEPHONE
[Symbol]	DATA
[Symbol]	OTHER

**PRELIMINARY - NOT FOR CONSTRUCTION**

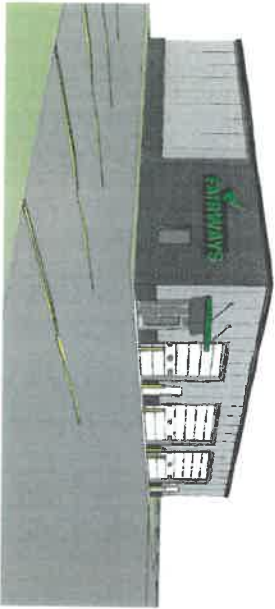
DATE: 08.14.2011  
 SHEET: A1.0

PROPOSED FOR:  
**FAIRWAYS LLC**  
 MENASHA, WISCONSIN

**Keller**

ARCHITECTURAL DIVISION  
 1000 W. WISCONSIN ST.  
 MENASHA, WI 53233  
 TEL: 920.735.4400  
 FAX: 920.735.4401  
 WWW.KELLERARCHITECTS.COM





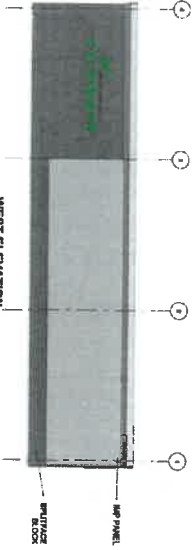
SE PERSPECTIVE



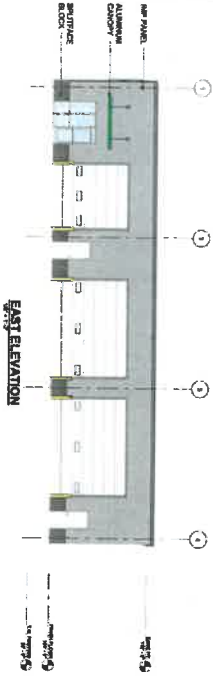
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

**PRELIMINARY - NOT FOR CONSTRUCTION**

DATE: 06.14.2021  
 SHEETS: **A2.0**

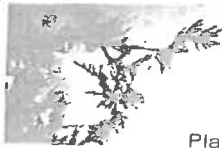
PROPOSED FOR:  
**FAIRWAYS LLC**  
 MENASHA, WISCONSIN

**Keller**  
 ARCHITECTS

1000 W. MICHIGAN  
 SUITE 200  
 MENASHA, WI 53051  
 TEL: 920.735.1234  
 FAX: 920.735.1235  
 WWW.KELLERARCHITECTS.COM

**NOT FOR CONSTRUCTION**  
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**PROJECT INFORMATION**  
 PROJECT: FAIRWAYS LLC  
 ARCHITECT: KELLER ARCHITECTS  
 CONTRACT NO.:  
 DATE: 06.14.2021



# Martenson & Eisele, Inc.

Your Solution Professionals

Planning - Environmental - Surveying - Engineering - Architecture



June 29, 2021

Keller, Inc.  
Cole Myhra  
Project Manager/Co-Owner  
N216 State Highway 55  
Kaukauna, WI 54130

**Re: Fairways, LLC – Village of Harrison**

Dear Cole:

Below is a list of the notes that we are putting on the conceptual site plan to be utilized for the Conditional Use Permit Application. Please let me know if I am forgetting anything.

#### SITE/PROJECT INFORMATION LEGAL DESCRIPTION

Lot 1 of Certified Survey Map 3174  
Zoning = COR Office & Retail Commercial  
Parcel No. 33148  
Lot Frontage from Amy Avenue

#### SITE DATA

Total Site Area = 110,739 S.F. (2.542 Acres)

Existing Open Space = 110,739 S.F.  
Existing Pavement = 0 S.F.  
Existing Rooftop = 0 S.F.  
Existing Impervious Coverage = 0 S.F. = 0.00%

#### **Phase 1**

Proposed Open Space = 84,487 S.F.  
Proposed Pavement = 20,917 S.F.  
Proposed Rooftop = 5,335 S.F.  
Proposed Impervious Coverage = 26,252 S.F. = 23.71%

#### **Ultimate Build Out**

Proposed Open Space = 68,918 S.F.  
Proposed Pavement = 33,075 S.F.  
Proposed Rooftop = 8,746 S.F.  
Proposed Impervious Coverage = 41,821 S.F. = 37.77%

**Menasha Office** | 1377 Midway Road, PO Box 449  
920 • 731 • 0381 | Menasha WI 54952 0449

**Omro Office** | 109 W. Main Street  
920 • 685 • 6240 | Omro, WI 54963

1 • 800 • 236 • 0381  
www.martenson-eisele.com



PROPOSED USE OF PROPERTY/HOURS OF OPERATION/EMPLOYEES

The Fairways Lawn Care & Snow Removal, LLC business performs lawn care and snow removal for various businesses in and around the Fox Valley area.

The anticipated hours of operation are Monday through Friday (7:00 AM to 5 PM) & Saturdays (7:00 AM to 12:00 PM). Saturdays are usually a catch up day if weather disrupted schedule.

There will be 3-5 employees for this location.

OUTDOOR STORAGE/EQUIPMENT/VEHICLES

The 5,100 square foot proposed building, on the west side, will house their vehicles along with landscaping vehicles.

There will be landscape bins, on the east side will store landscape materials.

ZONING CLASSIFICATIONS & LAND USE (ADJOINING PROPERTIES)

North = Storage Units (Ketels Rev Liv Trust) – Outagamie County

West = Village of Harrison Stormwater Pond → COR Office & Retail Commercial

West = Thedacare, Inc. → COR Office & Retail Commercial

South = Care Properties, LLC → CC Community Commercial & AG General Agriculture

East = Gamers Creek Stormwater Utility → AG General Agriculture (Drainage Easement)

DEVELOPMENT PHASING

The future expansion to the north, illustrated as 3,500 S.F. on Keller, Inc.'s conceptual plan, C1.0 along with the future asphalt will be the ultimate build out of the parcel.

DRAINAGE/STORM WATER MANAGEMENT DEVICE

There will be a storm sewer system proposed on the parcel that will collect storm water and convey it to the existing storm water pond directly west of the property.

LANDSCAPING/SCREENING

The Keller, Inc. plan, C1.0, indicates plantings to be utilized for screening.

Jeff & Jen Feistel are very aware that screening will be important aspect of approval when the site plan process begins. This proposed business is a landscape company and they are fully prepared to meet and exceed ordinance requirements as the appearance of their business will reflect their product business.

## UTILITIES

### **Sanitary Sewer & Water Main**

There are existing sanitary and water laterals located on Amy Avenue to service this site. They are 6" PVC and 8" PVC respectively.

### **Storm Sewers**

Storm Sewers will be sized to meet State and Local regulations.

### **Electrical, Natural Gas & Communication Lines**

There are existing utilities and easements located on the north, east and south side of this parcel.

## EXTERIOR LIGHTING

The Preliminary consultation meeting provided a discussion regarding the requirement of limiting the photometric lighting pattern within the property limits. Specific plans will be supplied as part of the Site Plan process.

## SIGNAGE

The Keller, Inc.'s plan A2.0 illustrates the signage that is desired for the first phase of this development.

If a potential tenant becomes available for the ultimate build out, signage may be requested along CTH KK.

## TRASH COLLECTION/SCREENING

The Keller, Inc. plan, C1.0, indicates there will be a 16' x 16' dumpster enclosure along the south side of the bins. The enclosure will be screened with vinyl slats and landscaping.

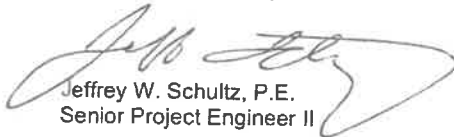
There will more specific details on the enclosure as part of the site plan process.

## SNOW STORAGE

Snow storage will be located on the north side of the parcel as indicated on our Conditional use Illustration map.

Please let me know if you disagree with any of the items. Please let me know if you have any questions.

**Martenson & Eisele, Inc.**



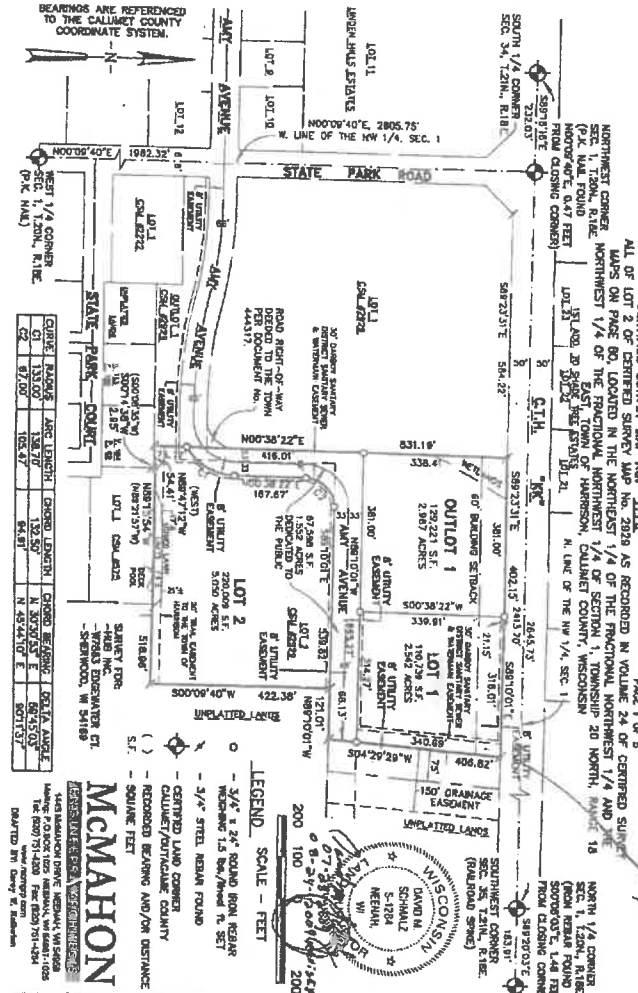
Jeffrey W. Schultz, P.E.  
Senior Project Engineer II

CC Team  
Attachments

14

2009

30+8 2009



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**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

July 27, 2021

---

**Title:**

Final Plat – Jewel Box Estates

---

**Issue:**

Should the Village Board approve the Final Plat of the Jewel Box Estates subdivision?

---

**Background and Additional Information:**

The applicant is proposing a 65-lot final plat for a new subdivision called Jewel Box Estates. The subdivision is located north of Midway Road, west of Lake Park Road. The property is currently zoned Single Family Residential (Traditional) [RS-2] for lots 2-65. Lot 1 is currently zoned Multiple Family Residential [RM] and will be developed with townhomes. The subdivision is proposed to have roadway access to Lake Park Road via extension of Steamboat Lane from the City of Appleton on the west. A cul de sac road called Gemstone Court is proposed, along with 2 street connections to the north for future development. All roadways are proposed to be dedicated to the public. Lots are generally 8,775-9,500 square feet in area, the corner lots vary in size. A few proposed lots at the end of the cul de sac are larger. Sewer and water will be extended through the subdivision and will be serviced by the City of Appleton via an intergovernmental agreement that was approved between Appleton and Harrison. Stormwater management will be accommodated in a stormwater pond located on Outlot 1. It is expected that the stormwater pond will be deeded to the Village in the future. Outlot 2 is for a future trail connection from the end of Gemstone Court to Midway Road for pedestrian access. The City of Appleton will require a watermain easement through this area as well.

---

**Recommended Action:**

Since the final plat conforms substantially to the preliminary plat, the Plan Commission recommends approval of the Final Plat for Jewel Box Estates with the following conditions:

1. All improvements, including but not limited to, utilities, curb & gutter, street paving, sidewalks, shall be installed prior to issuance of building permits or zoning permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.
2. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
3. All lots shall have a storm sewer lateral provided for sump pump discharge.
4. All comments from the Village engineer and staff shall be included in the Plan Commission discussion and decision.
5. A note shall be added to the plat indicating access control to County AP/Midway Road and Lake Park Road.

6. A grading/drainage stormwater management plan and erosion control plan shall be reviewed and approved by the Village engineer and Village staff.
7. Final utility and street plans shall be reviewed and approved by the appropriate review authority prior to approval of the Final Plat and prior to utility and street construction.
8. Grading/Drainage Plan shall identify elevations of ground at the foundation.
9. All road names shall be approved by the Appleton Post Office, the Village of Harrison, and Calumet County E911.
10. The final plat and final grading/drainage plans shall include benchmarks for all fire hydrants. Benchmarks shall refer to hydrant tag bolts.
11. Plans shall be sent to the appropriate utility entities for review (ie phone, cable, gas/electric, sewer/water).
12. All easements shall be labeled with correct ownership and shall provide all benefits needed to the easement holder, including but not limited to access, maintenance, or other authority. The Utility Easement shall name the City of Appleton, Village of Harrison, and Harrison Utilities as a grantee for water, sanitary, and storm sewer utility purposes. All water, sanitary, and storm sewer laterals are to be stubbed into all lots a minimum of 6-feet.
13. A street light shall be installed at the intersection of Steamboat Lane & Lake Park Road. Any proposed street lights shall be installed and upfront costs to be paid by the Developer.

**Action Options:**

1. Approve the Final Plat.
2. Approve the Final Plat with conditions #1-13 above.
3. Approve the Final Plat with amended conditions.
4. Postpone action. (*The Village Board has until August 23<sup>rd</sup>, 60-days from the date of the application filing, to take approval or denial action.*)
5. Deny the Final Plat.

The Plan Commission is recommending approval of the Final Plat for Jewel Box Estates with conditions #1-13 as listed. (Option #2)

---

**Attachments:**

- Aerial Map
- Final Plat

# Calumet County, WI

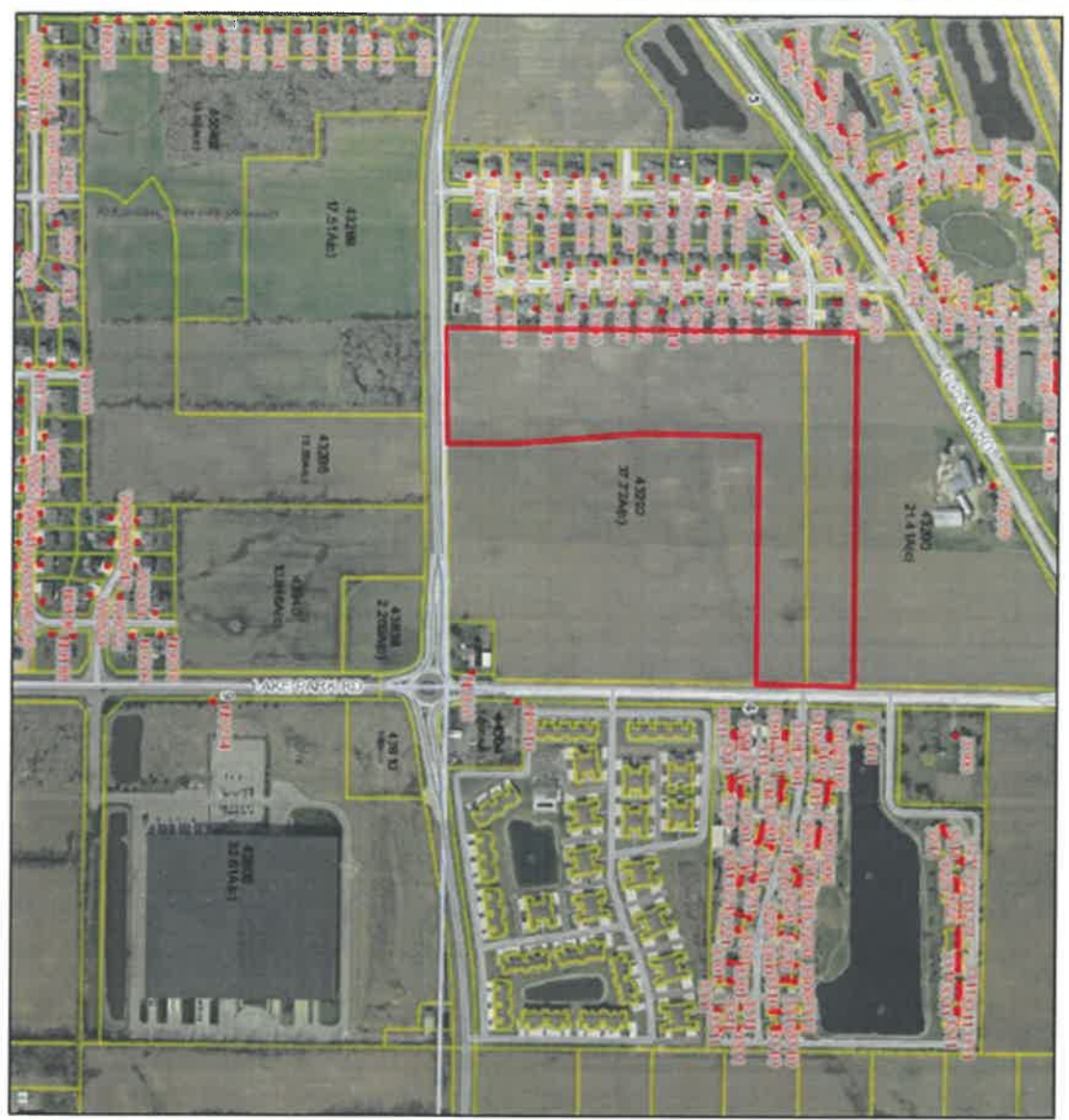
## Legend

- Address Point
- County Boundary
- Precinct Water
- Unincorporated Community
- Town Boundary
- Precinct of Interest
- Precinct Boundary
- Property Tract
- PL 205 Station
- State Route
- County Parks
- Lake
- River and Stream
- Water Wetland
- Local Road
- Local Road
- National Road
- Trail
- Railroad
- Clear 2018
- Red Area 1
- Blue Area 2
- Blue Area 3



**DISCLAIMER:** This map is not guaranteed by the mapmaker. The mapmaker is not responsible for any errors, omissions, or inaccuracies. The user assumes all responsibility for the use of this map.

DATE: 11/11/2014 TIME: 11:11:11 AM	PROJECT: 11111111







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**VILLAGE BOARD MEETING**

---

**VILLAGE OF HARRISON****From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

January 12, 2021

---

**Title:**

Development Agreement for Jewel Box Estates Subdivision

---

**Issue:**

Should the Village Board approve the development agreement for the Jewel Box Estates subdivision?

---

**Background and Additional Information:**

As a part of the subdivision plat approval process, the Village requires a Development Agreement in order to assure all the public improvements are installed in the subdivision if the final plat is to be approved prior to all the improvements being completed. The agreement is the same as the one approved for Stargazer Estates subdivision which was approved earlier this year. The Development Agreement provides standards for utility and roadway construction in a temporary state and final state.

---

**Budget/Financial Impact:**

None.

---

**Action Options:**

1. Approve the Development Agreement.
2. Approve the Development Agreement with amended language.
3. Postpone action.
4. Do not approve the Development Agreement.

Staff recommends that a development agreement be approved for the Jewel Box Estates subdivision.

---

**Attachments:**

- Draft Development Agreement

Draft

**SUBDIVISION DEVELOPMENT AGREEMENT  
JEWEL BOX ESTATES**

THIS AGREEMENT, made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, between Quattro Development, LLC, hereinafter called "Subdivider", and the Village of Harrison, a municipal corporation of the State of Wisconsin, located in Calumet and Outagamie counties, hereinafter called "Village".

WHEREAS, Subdivider is the owner of approximately 42.995-acres of land in the Village, said land being referred to as "Jewel Box Estates" described as:

*Being part of the Southeast 1/4 of the Southeast 1/4 and part of the Northeast 1/4 of the Southeast 1/4, all located in Section 5, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin more fully described as follows:  
Commencing at the South 1/4 Corner of said Section 5; thence N88°57'36"E, 1319.57 feet on the south line of said Southeast 1/4 to the southwest corner of said Southeast 1/4 of the Southeast 1/4; thence N00°27'59"E, 10.00 feet on the east line of said Southwest 1/4 of the Southeast 1/4 to the north right of way of Midway Road (aka CTH 'AP'), the POINT OF BEGINNING; thence continuing N00°27'59"E, 1515.51 feet on the east line of Aspen Ridge, Volume C, Page 179; thence S89°32'01"E, 170.01 feet; thence S89°05'53"E, 975.28 feet; thence S89°09'59"E, 133.34 feet to the west right of way of Lake Park Road (aka CTH 'LP'); thence S00°49'58"W, 1308.19 feet on said west right of way to the north line of lands described in Volume 98 of Records, Page 555; thence S88°57'36"W, 191.87 feet on said north line to the northwest corner of said lands; thence S00°46'05"W, 165.70 feet on the west line of said lands to said north right of way; thence S88°57'36"W, 1077.92 feet on said north line to the Point of Beginning.  
Said parcel contains 1,872,857 Square Feet (42.995 Acres) of land more or less. Subject to easements and restrictions of record..*

WHEREAS, Subdivider desires to subdivide and develop said lands;

WHEREAS, said lands are presently zoned or planned to be zoned as **RS-2 | Single-Family Residential (Traditional)** which permits the above development; and

WHEREAS, the Plan Commission has recommended to the Village Board that the proposed subdivision of the above described lands be given final approval when the final plat thereof has been presented to the Village Board on the condition that the Subdivider enter into an agreement with the Village relative to the manner and method by which said lands are to be developed; and

WHEREAS, the Subdivider agrees to develop said land as herein described in accordance with this Agreement and in accordance with all of the ordinances and regulations of the Village of Harrison; and

WHEREAS, the developer/subdivider assures the Village and shall on the plat acknowledge:

"The owner/subdivider has no notice or knowledge of any environmental problems (the existence of hazardous or toxic substances) of any sort on the property being transferred. The owner/subdivider understands that it will pay for any costs to remediate any environmental problems encountered during construction of any of the public improvements required by the Village on the plat in the Developer's Agreement. The owner/subdivider understand that they shall be individually responsible for any environmental problems found on the land, transferred to the Village on the Plat of Survey or Certified Survey Map during the construction of roads or other dedications and agree to hold the Village harmless until construction, installation or grading is complete."; and

WHEREAS, the Village and Subdivider agree that the required dedications for surface water drainage and detention shall be dedicated with the plat acceptance, but shall be constructed by the developer as specified. Security for performance of the construction shall be secured by letter of credit or escrow. Security for performance shall not be released in full or in part, at the discretion of the Village, until performance is complete and sufficient development of the subdivision has occurred to satisfy the Village that further development related impairment or damage of surface water structures will not occur.

NOW, THEREFORE, in consideration of the granting of approval of a final plat for **Jewel Box Estates** and the development thereof by the Village Board, the Subdivider does hereby agree to subdivide and develop said lands as follows:

### **SECTION 1 – IMPROVEMENTS**

All public improvements shall be in accordance with the Village of Harrison Standards and Specifications as established in the *Standard Specifications Manual*, the Land Division Ordinance, and all other ordinances for the Village of Harrison. All plans and specifications for the public improvements shall require approval from the Village Engineer and Public Works Department prior to proceeding with construction.

**A.     ROADS AND STREETS     The Subdivider and Village hereby agrees:**

To furnish, construct, grade and surface all roads and streets in the subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village.

The Village has given consideration to the installation required and completion dates shall hereinafter be established and specified below. The completion dates are based upon the developer's installation in accordance with the land division ordinance and the **FINAL** plan specifications and drawings approved by the Village.

*All street construction, including but not limited to, sanitary sewer, watermain, storm sewer and associated laterals, subgrade, gravel base, and 1½" temporary asphalt binder shall be inspected by the Village, or their designee, in accordance with Section I, below.*

*Once the Village of Harrison standards have been met, the Village Board will take action respectively, to accept the listed roads. Acceptance of a gravel road may only occur after the subgrade, gravel, and 1½" temporary asphalt binder has been installed and inspected by the Village, all utilities (sanitary sewer, water, storm sewer, gas, electric, cable/phone, etc.) have been installed, and all terraces and primary drainage swales and ditches have been graded, seeded, and mulched and inspected by the Village. Once approved, the roads will sit for a period not less than two (2) freeze/thaw cycles but no more than three (3) years after acceptance by the Village Board.*

*During the specified time period, the curb and gutter shall be installed, the asphalt paving completed, and sidewalks and/or trails installed. The Subdivider shall be responsible for the construction of the curb and gutter, asphalt paving, and sidewalk and/or trail construction.*

*All costs for construction of the curb and gutter, the asphalt paving, and sidewalks and/or trails shall be held in escrow, in the form of a Performance Bond, Letter of Credit, or Cash Escrow, payable to the Village of Harrison.*

Any variation to the proposed schedule of the improvements as set forth in the contract below may be extended where requests are made by the Subdivider for construction during periods within the determination of the Public Works Department and the Village's Engineer, require extension of time periods to assure the Village that the improvements will not suffer from premature degeneration as a result of said construction.

For new utility or street construction between November 15th and May 1st, there will be an additional warranty period of three years beginning from the acceptance of the "gravel road". Such warranty shall apply to all improvements in case of failure. Such warranty shall be in the form of a Performance Bond, Letter of Credit or Cash Escrow in an amount sufficient, as approved by the Public Works Department and/or Village Engineer, to repair defects in the roadway. Repair of such defects shall be determined by the Public Works Department.

The schedule for construction shall be as follows:

<b>Timeframe Record</b>	
<b>Subdivision</b>	<b>Jewel Box Estates</b>
Final Subdivision Approval	Summer 2021
Sanitary, Water, and Storm Sewers	Winter 2021
Utilities (Gas, Electric, Phone, Cable, etc.)	Spring 2022
Grade & Gravel	Spring 2022
Terraces	Spring/Summer 2022
1½" Temporary Asphalt Binder	Spring/Summer 2022
Landscape Berm with Plantings	NA
Concrete Mountable Curb & Gutter	Summer/Fall 2024
Asphalt Pavement	Summer/Fall 2024
Sidewalks/Trails	Summer/Fall 2024

If 80% of the property owners of the subdivision request an earlier timeframe for curb & gutter, asphalt pavement, and sidewalks/trails to be installed, the Village Board may review such request.

**B. CURB AND GUTTER      The Subdivider hereby agrees:**

1. To furnish, construct and install curb and gutter in accordance with the plat, plans, specifications and drawings attached hereto as Exhibit "A" and to complete said installation as set forth in the schedule above.

**C. SIDEWALKS      The Subdivider hereby agrees:**

1. To furnish, construct and install concrete sidewalks in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above. Sidewalks are to be constructed on both sides of the street.

**D. TRAILS      The Subdivider hereby agrees:**

1. To furnish, construct and install 2-1/2-inch asphalt trail within Outlot 2 in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above. Sidewalks are to be constructed on both sides of the street.

**E. SANITARY SEWER** The **Subdivider** hereby agrees:

1. To furnish, construct, install and provide a complete sewerage system throughout the entire subdivision, all in accordance with the plat plans, specifications and drawings *as per the requirements of City of Appleton* and the *Standard Specifications Manual* for the Village of Harrison.
2. To install separate sanitary sewer laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
3. The sanitary sewer system will not be accepted until the sanitary sewers have been installed and tested in accordance with *City of Appleton* specifications on file with the Department of Natural Resources and the Subdivider's plan specifications as approved by *City of Appleton* and the Village's Engineer.

**F. WATER** The **Subdivider** hereby agrees:

1. To furnish, construct, install and provide a complete water distribution system throughout the entire subdivision, all in accordance with the plat, plans, specifications and drawings *as per the requirements of City of Appleton* and the *Standard Specifications Manual* for the Village of Harrison.
2. To install separate water laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
3. The water distribution system will not be accepted until the water distribution system has been installed and tested in accordance with *City of Appleton* specifications on file with the Department of Natural Resources and Public Service Commission and the Subdivider's plans and specifications approved by the *City of Appleton* and the Village's Engineer.

**G. SURFACE WATER DRAINAGE** The **Subdivider** hereby agrees:

1. To furnish, construct, install and provide adequate facilities for storm and surface water drainage throughout the entire subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village and the Wisconsin Department of Natural Resources (WDNR) Post-Construction Performance Standards.
2. All stormwater management facility construction, including but not limited to, retention/detention ponds, primary drainage swales, and associated piping systems shall be inspected by an on-site inspector designated by the Village, before acceptance by the Village.
3. To install separate storm sewer laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
4. The Village Board will not accept the storm and surface water drainage improvements until the same have been installed and tested in accordance with the Village's specifications and the Subdivider's plans and specifications approved by the Village.

The storm water and surface water drainage improvements shall be completed before a release of the performance guarantee specified by this contract.

**H. EROSION CONTROL**      The **Subdivider** hereby agrees:

1. To install silt fence at the right-of-way line along all streets in the **FINAL** plat prior to acceptance of the street(s) in a graveled state. Silt fence to be installed in accordance with the WDNR Technical Standards.
2. Maintain silt fence along the right-of-way line until all land disturbances have been stabilized in accordance with WDNR Technical Standards.
3. Maintain all other erosion control practices for stormwater management facilities, environmental protections, etc., in accordance with WDNR Technical Standards.

**I. GRADING**      The **Subdivider** hereby agrees:

1. To complete rough and fine grading along all primary drainage swales and ditches in the subdivision all in accordance with **FINAL** plat, plans specifications and drawings approved by the Village.
2. To complete rough grading along all property lines to the design grade.
3. To seed and establish a vegetative cover over all disturbed areas.

**J. LANDSCAPING RESTORATION**      The **Subdivider** hereby agrees:

1. To preserve to the maximum extent possible existing trees, shrubbery, vines and grasses not actually lying within public roadways, easements, drainageways, building foundations sites, private driveways, solid absorption waste disposal areas, paths and trails by use of sound conservation practices.
2. To remove and lawfully dispose of all destroyed trees, brush, tree trunks, shrubs and other natural growth and all rubbish.
3. To provide topsoil, seed, fertilizer and mulch for primary drainage swales and ditches and seed fertilizer and mulch for terrace areas in order to provide permanent growth of grass prior to acceptance of the street(s) in a graveled state.
4. To provide a growth of grass and warranty for washouts or other destruction of the drainage plan structures.

**K. LANDSCAPE BERMS**      The **Subdivider** hereby agrees:

1. None are proposed.

**L. INSPECTIONS**      The **Subdivider** hereby agrees:

1. To allow for the Village, or a third party selected by the Village, to inspect all improvements for the purpose of ensuring compliance with the *Standard Specifications Manual* for the Village of Harrison.

2. To pay for all costs associated with the inspection of improvements within the subdivision development. Cost of Village inspections to be billed at the following rates: \$52 per hour for Engineering Technician (Field Inspector), \$59 per hour for Public Works Lead Foreman, and \$69 per hour for Operator, plus actual costs for incidental items, such as equipment, mileage, etc. Costs of third party inspectors to be billed at actual costs to the Village at a rate not to exceed \$107 per hour.

**M. PAYMENT IN LIEU OF PARKLAND**      The **Subdivider** hereby agrees:

1. None. Subdivider dedicated land for parkland purposes.

**N. STREET LIGHTS**      The **Subdivider** hereby agrees:

1. To furnish, construct, install and provide street lights at the intersections of Lake Park Road/E. Steamboat Lane. Such streets lights are to be LED lights mounted on a black, smooth fiberglass pole approved by the Village. If conditions warrant, installation on an existing pole may be approved by the Village.

## **SECTION II – MISCELLANEOUS REQUIREMENTS**

- A. Survey Monuments. The Subdivider hereby agrees to properly place and install all survey or other monuments required by statute and ordinance.
- B. Grade. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner, the final signed plan set showing the finished grade at each lot corner.
- C. Plans. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner all plans and specifications identified in the Land Division Ordinance of the Village of Harrison.
- D. Compliance with Ordinances and Statutes. The Subdivider hereby agrees to comply with the requirements and provisions of all Village ordinances and state statutes.
- E. Record Drawings. The Subdivider agrees to provide the Village with grade sheets, asphalt mix records, and record drawings of the sanitary sewer, water main, storm sewer improvements, and streets showing location of all the appurtenances and features of the systems as required by the Village of Harrison Standard Specifications.
- F. Locations for Laterals or Other Improvements. If locates are necessary for any reason prior to final acceptance, the developer shall either provide adequate record drawings to the Village or the developer shall provide the field locates of utilities (such as laterals).

## **SECTION III – PUBLIC IMPROVEMENT GUARANTEE**

- A. The Village will not sign the final plat until such improvement is guaranteed as listed in A(1).



1. The Subdivider shall provide an irrevocable letter of credit, or cash escrow, together referred to as Financial Guarantee, of which the Village can draw from, for an amount equal to one hundred twenty percent (120%) of the cost of furnishing, constructing, installing, staking, inspecting and testing the improvement as required by this contract. The amount shall include construction engineering costs, inspection, and shall be subject to final approval by the Village. (Improvements are described in this contract in Section 1 – Part, A, B, C, D, E, F , G , H, I , J, K, L, M & N hereof) The improvements shall be guaranteed prior to the Village approving the final plat.

The Subdivider shall notify the Village a minimum of ninety (90) days prior to the expiration of the Financial Guarantee. The Subdivider shall cause the Financial Guarantee to automatically renew year after year until released fully by the Village. Failure to notify the Village in writing that the Financial Guarantee will expire will be deemed a violation of this Agreement and the Village Board shall have the authority to draw upon the Financial Guarantee at any time.

That amount of the public improvements, **as provided by the developer’s engineer**, and verified by the Village engineer is \$\_\_\_\_\_.

A detail of the estimated cost shall be attached as Exhibit “B”.

- B. The Subdivider shall furnish, construct, install, stake, inspect and test the improvement. The improvement shall be dedicated to and accepted by the Village prior to the Village approving any release of a public improvement guarantee.
- C. The Subdivider hereby agrees to guarantee the improvements described in Section I hereof against defects due to faulty materials or workmanship which appear within a period of two (2) years [or three (3) years if winter construction is utilized] from the date the final course of asphalt has been laid and shall pay for any damages resulting therefrom to Village property. The warranty shall be in the form of a letter of credit, or cash escrow in an amount sufficient, as approved by the Public Works Department and/or Village Engineer, to repair such defect. Repair of such defect shall be determined by the Public Works Department. The amount of the warranty is \$\_\_\_\_\_.
- D. As improvements required by this Agreement are completed, approved and accepted by the Village, the Subdivider may request a reduction of the public improvement guarantee based upon a demonstration that there exists no necessity for a guarantee in the full amount as originally required. Reductions in the amount of the public improvement guarantee shall be solely within the discretion of the Village Board and shall be made only upon recommendation by the Public Works Department and Village Engineer.
- E. That the public improvement guarantee provided hereunder shall in all respects require compliance with the land division ordinance and particularly the performance guarantee as required by Article IV entitled “Development Agreements”.

#### **SECTION IV – BUILDING PERMITS**

- A. The Village will not allow building permits to be issued to any person in the said subdivision until all improvements required herein have been dedicated to and accepted

by the Village. The Village will perform no repair, maintenance or snow plowing upon said improvements until full acceptance of the roadways by the Village.

- B. Building permits may be issued by the Village upon all outstanding inspection and plan review fees or charges being paid and dedication acceptance and verification by the Village that the provisions of this Agreement have been complied with.
- C. The Village shall also require verification that all public improvements have been paid for in the form of Lien Waivers from all persons providing materials or performing work on the Public Improvements for which certification is sought, and upon recording of the final plat, provided that the Subdivider has filed a sufficient Financial Guarantee with the Village to cover the cost of remaining items. Should the Subdivider fail to complete any items pursuant to the terms of the contract by the date set forth herein, the Village shall have the right through the Financial Guarantee provided by the Subdivider to complete the said improvement and the Village shall have unrestricted access to the Subdivider's land for said purpose.
- D. Further, in the event that during the construction of the improvements specified herein, it is determined by the Public Works Department, or Village's Engineer, that the Subdivider and/or its subcontractors installing said improvements have created a situation that is hazardous to the public and requires guarding improvement or repair, the Village may access the Subdivider's property for the purpose of making said repairs and any costs associated with the maintenance of roadways, filling of holes, removal of obstructions or other necessary work may be charged against the cash escrow or irrevocable letter of credit. The Public Works Department shall make an effort to notify the Subdivider of the situation. The Public Works Department and the Engineer in their judgment may determine the necessity of the repairs are urgent in nature and complete those repairs without notice to the Subdivider.

## **SECTION V – AMENDMENTS**

The Village Board and Subdivider by mutual consent may amend this Agreement at any regularly scheduled meeting of the Village Board of the Village of Harrison. The Village Board shall not, however, consent to an amendment until after having first received a recommendation from the Public Works Department and/or the Village's Engineer.

*The rest of this page left blank intentionally.*

**SUBDIVIDER**

IN WITNESS WHEREOF, the Subdivider has caused this Agreement to be signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**Quattro Development, LLC**

BY: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

BY: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF WISCONSIN )  
  ) SS  
COUNTY OF \_\_\_\_\_ )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, the above named \_\_\_\_\_ and \_\_\_\_\_, to me known to be the persons who executed the foregoing instrument.

\_\_\_\_\_  
Notary Public-State of Wisconsin  
My Comm. Exp. \_\_\_\_\_

**VILLAGE OF HARRISON**

Adopted by the Village Board of the Village of Harrison this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**VILLAGE OF HARRISON**

By: \_\_\_\_\_  
Kevin Hietpas, Village President

Attest: \_\_\_\_\_  
Vicki Tessen, Village Clerk

EXHIBIT A

*Final Plat, Plans, and Drawings as approved by the Village.*

# JEWEL BOX ESTATES

PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 11 EAST, VILLAGE OF RAMBOWEN, CLATSOP COUNTY, OREGON

## OWNER'S CERTIFICATE

This is to certify that the above described property is the property of the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

The following is a true and correct copy of the Declaration of Covenants, Conditions and Restrictions as recorded in the public records of Clatsop County, Oregon, Book 10374, Page 10374.

The above described property is shown on the attached plat as being subject to the provisions of the Declaration of Covenants, Conditions and Restrictions as recorded in the public records of Clatsop County, Oregon, Book 10374, Page 10374.

The owner of the above described property is the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

THE SIGNATURE OF THE OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

## OWNER'S CERTIFICATE OF RESIDENCE

This is to certify that the above described property is the property of the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

The owner of the above described property is the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

THE SIGNATURE OF THE OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

**DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS**

WHEREAS, the owners of the above described property have determined that it is in their best interests to have the property subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

THE SIGNATURE OF THE OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

**PLATT MANAGEMENT PROVISIONS**

This is to certify that the above described property is the property of the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

THE SIGNATURE OF THE OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

**NOTES**

1. The owner of the above described property is the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

2. The owner of the above described property is the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

3. The owner of the above described property is the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.



## VILLAGE ROAD PAVEMENT CERTIFICATE

This is to certify that the above described property is the property of the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

THE SIGNATURE OF THE OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

## VILLAGE OF RAMBOWEN TRANSPORTATION CERTIFICATE

This is to certify that the above described property is the property of the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

THE SIGNATURE OF THE OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

## CLATSOP COUNTY TRANSPORTATION CERTIFICATE

This is to certify that the above described property is the property of the owner of the land shown on the attached plat and that the same is subject to the provisions of the Declaration of Covenants, Conditions and Restrictions which are hereby incorporated by reference into this certificate.

THE SIGNATURE OF THE OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

**PLATTED LOTS INDICATED TO THE PUBLIC**

1. 18' 0" x 110' 0" x 110' 0" x 110' 0"

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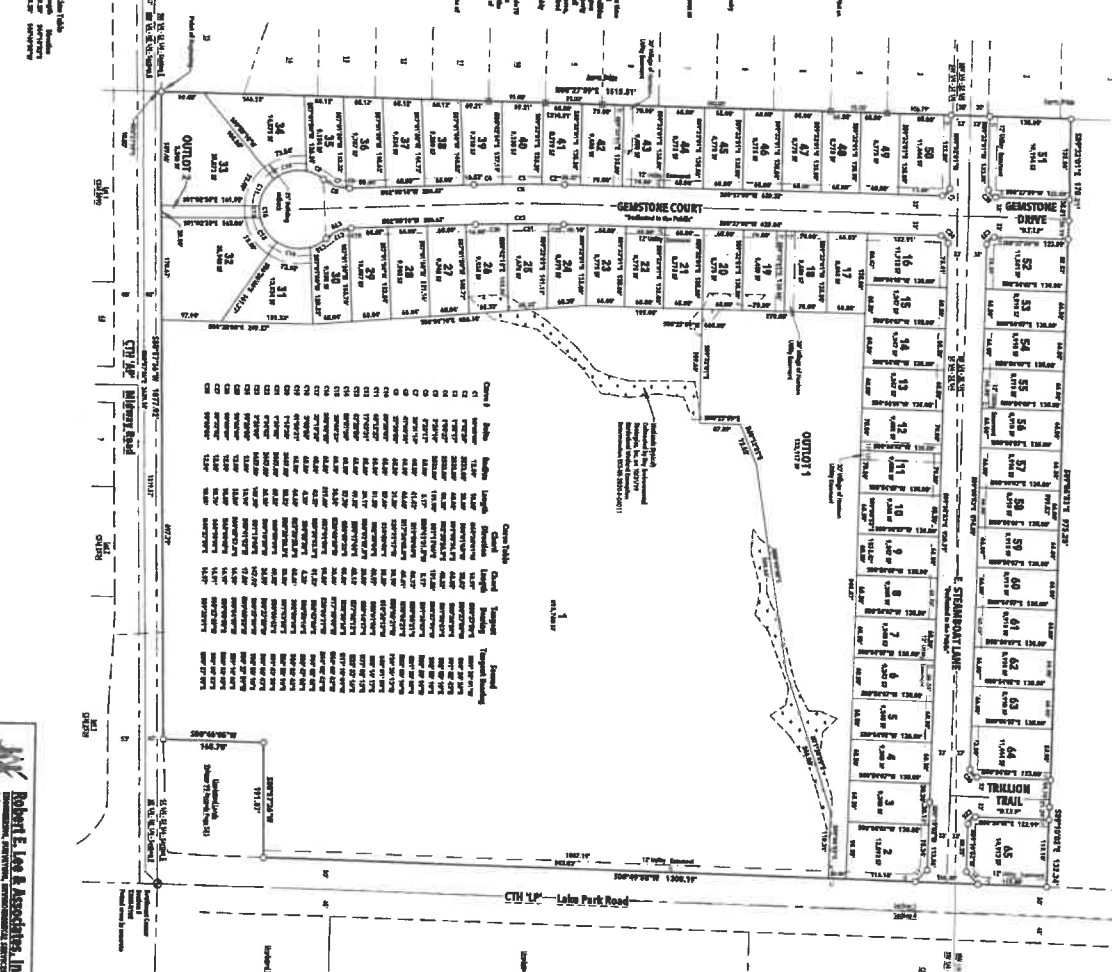
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**Robert E. Lane & Associates, Inc.**

1000 N. BROADWAY, SUITE 200, SEASIDE, OREGON 97138

503.738.1000

www.relane.com

REGISTERED PROFESSIONAL LAND SURVEYORS

REGISTERED PROFESSIONAL ENGINEERS

REGISTERED PROFESSIONAL ARCHITECTS

REGISTERED PROFESSIONAL PLANNERS

REGISTERED PROFESSIONAL GEOLOGISTS

REGISTERED PROFESSIONAL HISTORIC PRESERVATION ARCHITECTS

REGISTERED PROFESSIONAL ENVIRONMENTAL SCIENTISTS

REGISTERED PROFESSIONAL ENVIRONMENTAL ENGINEERS

REGISTERED PROFESSIONAL ENVIRONMENTAL PLANNERS

REGISTERED PROFESSIONAL ENVIRONMENTAL RESTORATION SCIENTISTS

REGISTERED PROFESSIONAL ENVIRONMENTAL RESTORATION ENGINEERS

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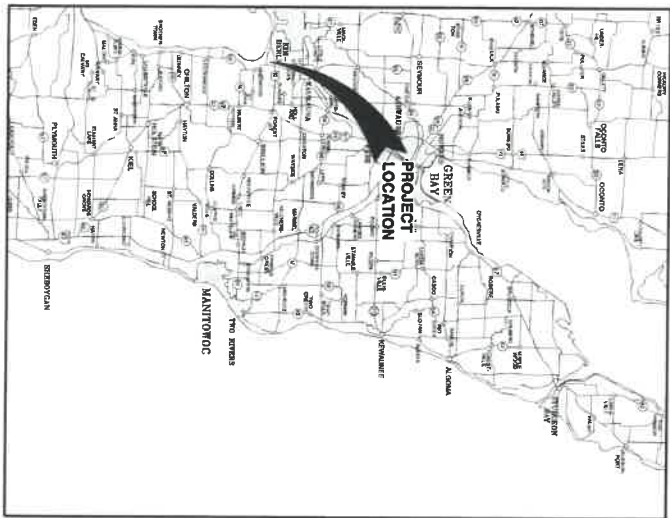
REGISTERED PROFESSIONAL ENVIRONMENTAL RESTORATION ENGINEERS

REGISTERED PROFESSIONAL ENVIRONMENTAL RESTORATION PLANNERS

# JEWEL BOX ESTATES 2021 UTILITY AND STREET CONSTRUCTION VILLAGE OF HARRISON, CALUMET CO., WI

CONTRACT NO. 4329-21-01

**ATTENTION!**  
DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



VICINITY MAP

**NOTE:**  
ALL UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES. ALL UTILITIES SHALL BE MARKED ON SITES BY THE CONTRACTOR'S BODIES PRIOR TO EXCAVATION.

**NOTE:**  
ALL EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN PERMITS FROM THE DEPARTMENT OF NATURAL RESOURCES AND SHALL CONFORM TO THE WISCONSIN EROSION CONTROL ACT AND TECHNICAL STANDARDS.



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1											

CONTRACT NO. 4329-21-01 JEWEL BOX ESTATES 2021 UTILITY AND STREET CONSTRUCTION VILLAGE OF HARRISON, CALUMET CO., WI		LOCATION MAPS	DATE FILE NO.	SHEET NO. 1
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Robert E. Lee & Associates, Inc.  
REGISTERED PROFESSIONAL ENGINEERS  
CALUMET COUNTY, WISCONSIN  
**RECEIVED**

JUL 16 2021

HARRISON PLANNING

- LEGEND**
- PROPOSED
  - EXISTING
  - FINE HYDRANT
  - WATER VALVE/URB STOP
  - WATER MANHOLE
  - REDUCER/ANCHOR
  - SANITARY MANHOLE
  - LEFT STATION
  - TACKER WIRE SIGNAL CONNECTION BOX
  - AIR RELIEF MANHOLE
  - STORM MANHOLE
  - OPEN STORM MANHOLE
  - STORM INLET MANHOLE
  - YARD DRAIN
  - SOIL BORING
  - POWER POLE W/6UW WIRE
  - LIGHT POLE
  - TRAFFIC SIGNAL POLE
  - ELECTRIC METER
  - TELEPHONE METER
  - CABLE TV MANHOLE
  - CABLE TV REBROADCAST
  - GAS VALVE
  - MALIBOX
  - SIGN
  - POST
  - IRON PIPE/END
  - PK NAIL
  - INLET PROTECTION
  - DEBRIDIOUS TREE
  - CONIFEROUS TREE
  - BUSH
  - BALE DITCH CHECK
  - RIP RAP
  - LATERAL LOCATION
  - SPOT ELEVATION
  - FIRST FLOOR/BASEMENT ELEVATION
  - APPROXIMATE ROCK ELEVATION
  - EXISTING CULTURE
  - TRACKING PAD
  - CUT AND FILL

- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- THREE/BRUSH LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE
- SILT FENCE
- GR. GRAVEL
- BIT. BITUMENS
- CONC. CONCRETE
- S.W. SIDEWALK
- BLDG. BUILDING
- HSE. HOUSE
- FED. FEDERAL
- LP. LIGHT POLE
- BM. BENCHMARK
- WM. WATERMAIN
- HYD. HYDRANT
- WATER VALVE
- WV. WATER VALVE
- MAN. MANHOLE
- ST. STORM SEWER
- CB. CATCH BASIN
- TELE. TELEPHONE
- ELEC. ELECTRIC
- TV. TELEVISION
- STA. STATION
- VP. VERTICAL POINT OF CURVATURE
- HYD. HYDRANT
- WV. WATER VALVE
- WV. WATER VALVE
- POINT OF INTERSECTION
- POINT OF INTERSECTION
- POINT OF INTERSECTION
- POINT OF INTERSECTION
- EXISTING
- PROPOSED
- END OF RADIUS
- BACK TO BACK (OF CURB)
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER (SIZE NOTED)
- PROPOSED FORCEMAIN
- EXISTING FORCEMAIN (SIZE NOTED)
- PROPOSED STORM SEWER (SIZE NOTED)
- EXISTING STORM SEWER (SIZE NOTED)
- EXISTING WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- FIBER OPTIC LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- UNDERGROUND CABLE TV LINE
- PROPERTY LINE
- FASEMENT LINE
- BUILDING SETBACK LINE
- RIGHT OF WAY
- TOP OF CURB
- FLOW LINE
- CENTRELINE
- PROBETRY LINE
- REFERENCE LINE
- CONCRETE PIPE
- REINFORCED CONCRETE PIPE
- CULT. CULTIVENT

**URGENT NOTICE**  
 Dial 811 or (800) 242-8811  
 www.811wi.com  
 MS. STAIVE (820175) (19'A)  
 REQUIRES MAX. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE.

TO OBTAIN LOCATION OF PARTICIPANTS  
 UNDERGROUND FACILITIES BEFORE YOU  
 EXCAVATE IN MISSISSIPPI

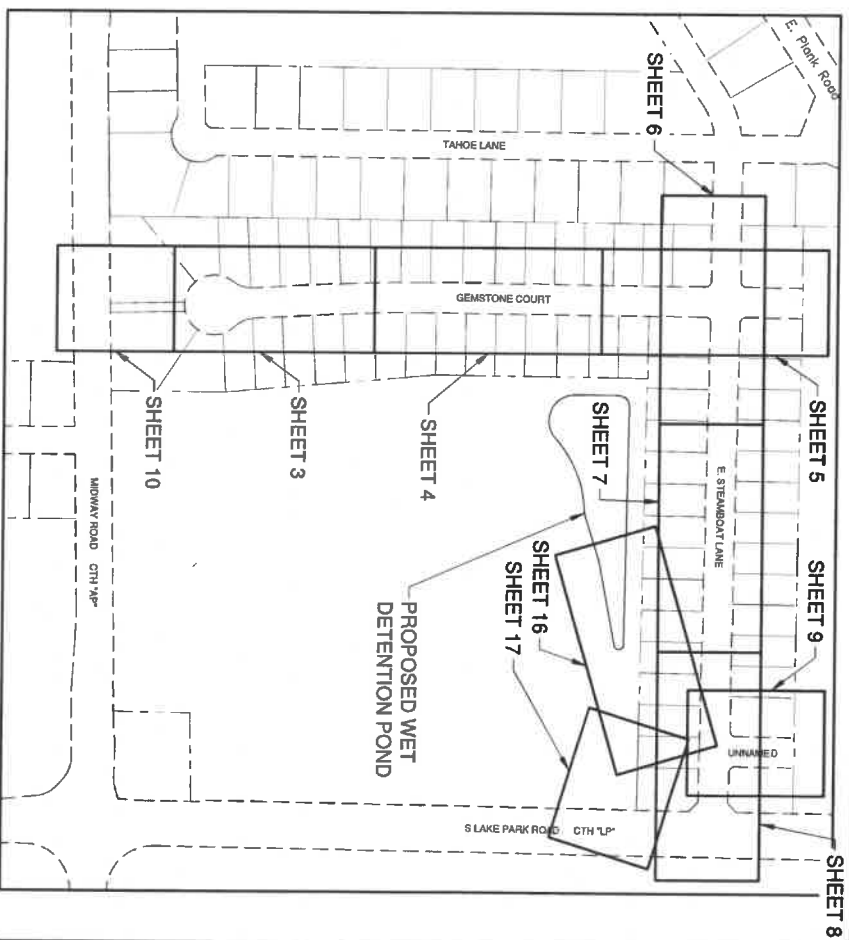
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1	1/28/21	AS	AS SET					AS SET	AS SET

CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

LEGEND AND INDEX TO DRAWINGS

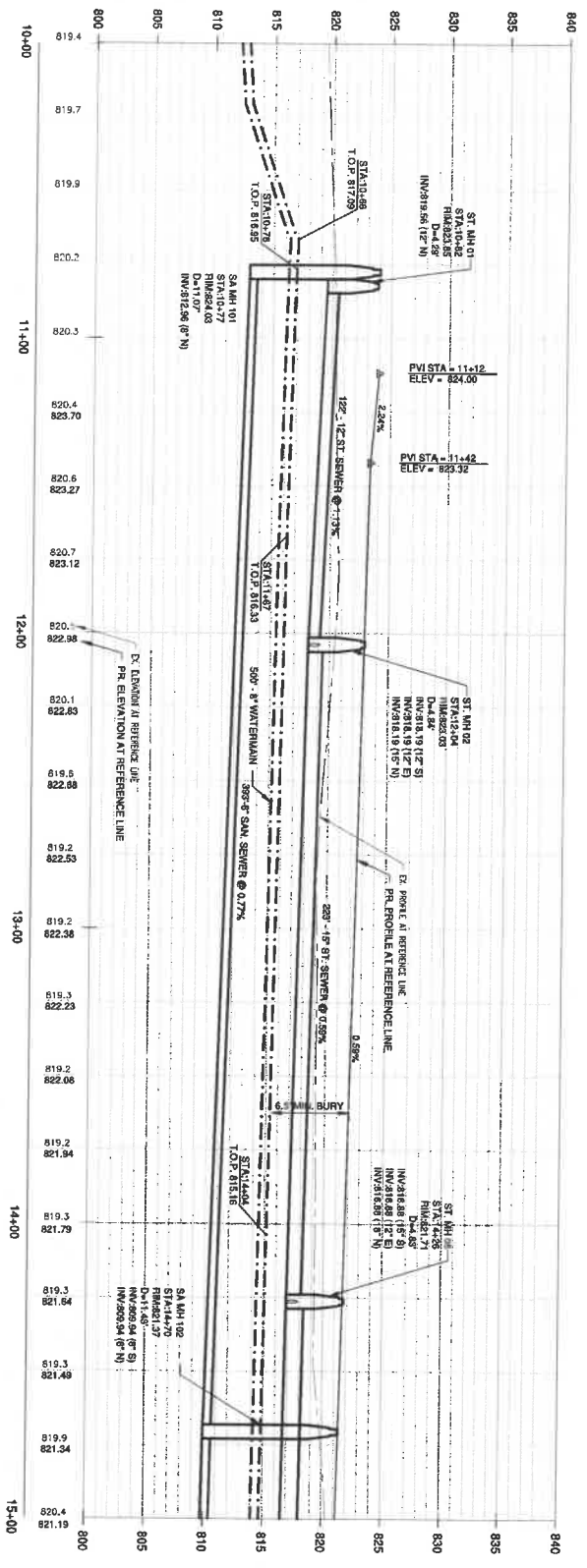
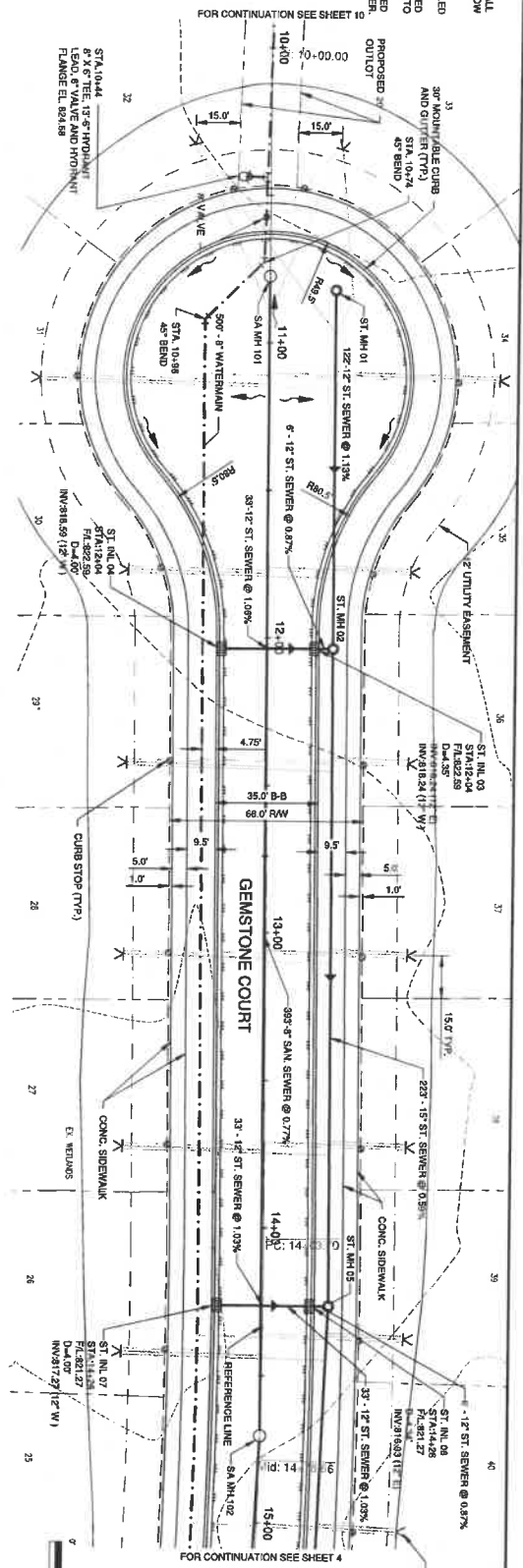
DATE: 1/28/21  
 TIME: 10:00 AM  
 JOB NO.: 4329-21-01  
**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1201 CENTRE STREET, SUITE 200, WAUKESHA, WI 53150  
 PHONE: 262-546-8441  
 FAX: 262-546-8442  
 WWW: www.relee.com

SHEET NO. 2



SHT. NO.	DESCRIPTION	SHT. NO.	DESCRIPTION
1	LOCATION MAPS	16	STORM SEWER OUTFALL - STA. 100+00 TO STA. 105+00
2	LEGEND AND INDEX TO DRAWINGS	17	STORM SEWER OUTFALL - STA. 105+00 TO STA. 107+00
3	GEMSTONE COURT - STA. 10+00 TO STA. 15+00	18	MISCELLANEOUS DETAILS
4	GEMSTONE COURT - STA. 15+00 TO STA. 20+00	19	MISCELLANEOUS DETAILS
5	GEMSTONE COURT - STA. 20+00 TO STA. 24+50	20	MISCELLANEOUS DETAILS
6	E. STEAMBOAT LANE - STA. 0+00 TO STA. 18+00	21	MISCELLANEOUS DETAILS
7	E. STEAMBOAT LANE - STA. 18+00 TO STA. 25+00	22	MISCELLANEOUS DETAILS
8	E. STEAMBOAT LANE - STA. 25+00 TO STA. 29+00		
9	TRILLION TRAIL - STA. 9+00 TO STA. 12+50		
10	WATERMAIN EASEMENT - STA. 8+00 TO STA. 10+00		
11	OVERALL UTILITY PLAN		
12	OVERALL GRADING PLAN		
13	OVERALL EROSION CONTROL PLAN		
14	POUND PLAN		
15	POUND SECTION AND DETAILS		

NOTE: WATER SERVICES CROSSING STORM SEWER SHALL BE INSTALLED AT 1.5' MIN. BELOW STORM SEWER. WATERMANS AND WATERMAN SHALL BE INSTALLED PER CITY OF APPLETON SPECIFICATIONS AND RESPECTED TO THE SANITARY SEWER OR WATERMAN MUST BE APPROVED BY CITY OF APPLETON ENGINEER.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	8/20/21	AS	20/21				

NO.	DATE	APPROV.	REVISION
1	8/20/21	AS	20/21

CONTRACT NO. 4329-21-01 JEWEL BOX ESTATES 2021 UTILITY AND STREET CONSTRUCTION VILLAGE OF HARRISON, CALUMET CO., WI	GENESTONE COURT STA. 10+00 TO STA. 15+00
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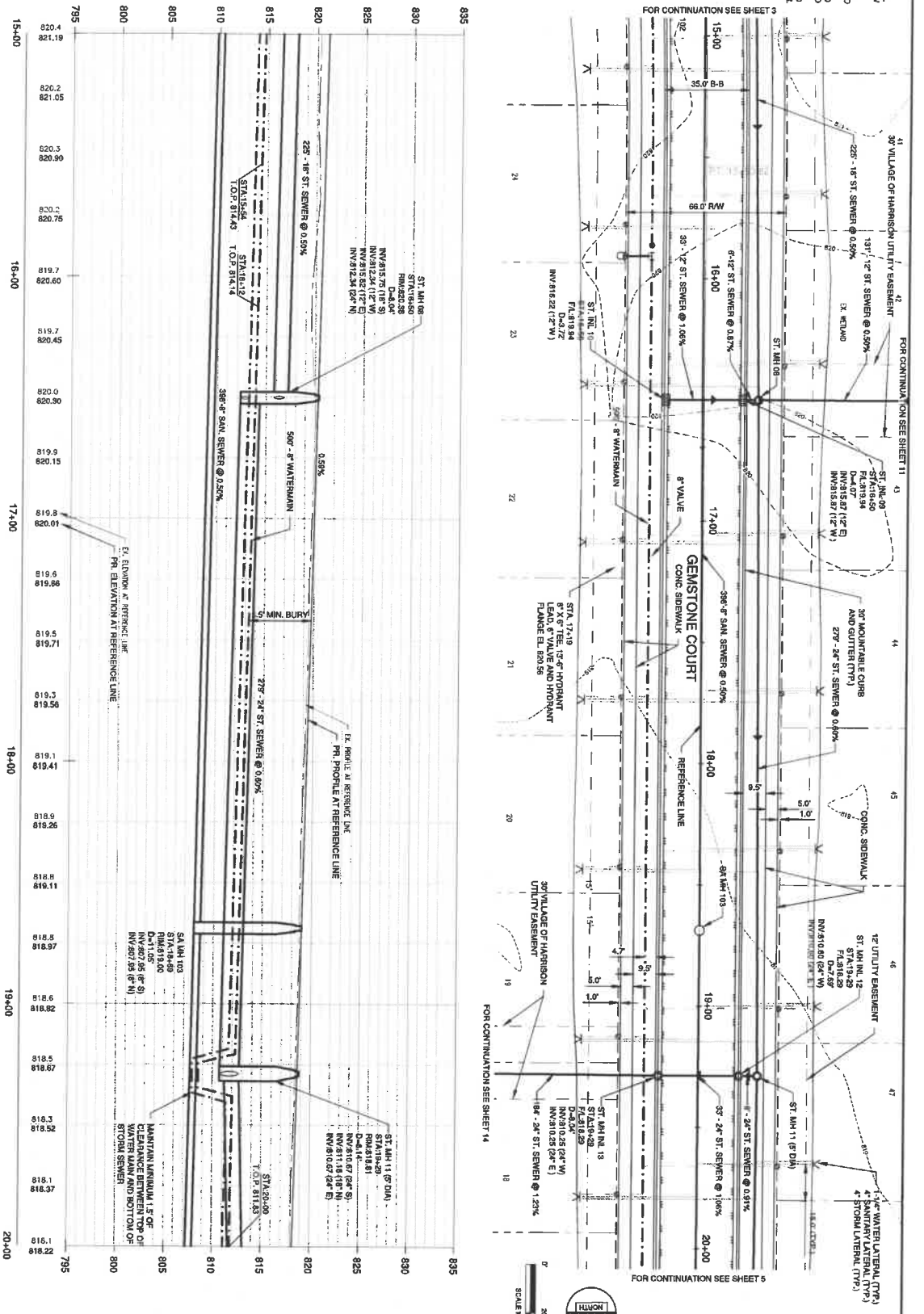
DATE	FILE NO.	JOB NO.

<b>Robert E. Lee &amp; Associates, Inc.</b> ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES 1730 COMMERCE DRIVE, SUITE 200 WAUKESHA, WI 53150 WWW.ROBERTLEE.COM	SHEET NO. <b>3</b>
---	-----------------------



NOTE:  
 1. ALL WATER SERVICES CROSSING STORM SEWERS SHALL BE INSTALLED AT 1.5 MIN. BELOW  
 2. ALL SANITARY SEWER AND WATERMAIN SHALL BE INSTALLED PER CITY OF APPLETON  
 3. CITY ENGINEER AND INSPECTED BY CITY ENGINEER AND INSPECTED WATERMAIN MUST BE APPROVED BY CITY OF APPLETON ENGINEER.



NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION
1	08/11/2021	[Signature]	ISSUED				

NO.	DATE	APPROVAL	REVISION
1	08/11/2021	[Signature]	ISSUED

NO.	DATE	APPROVAL	REVISION
1	08/11/2021	[Signature]	ISSUED

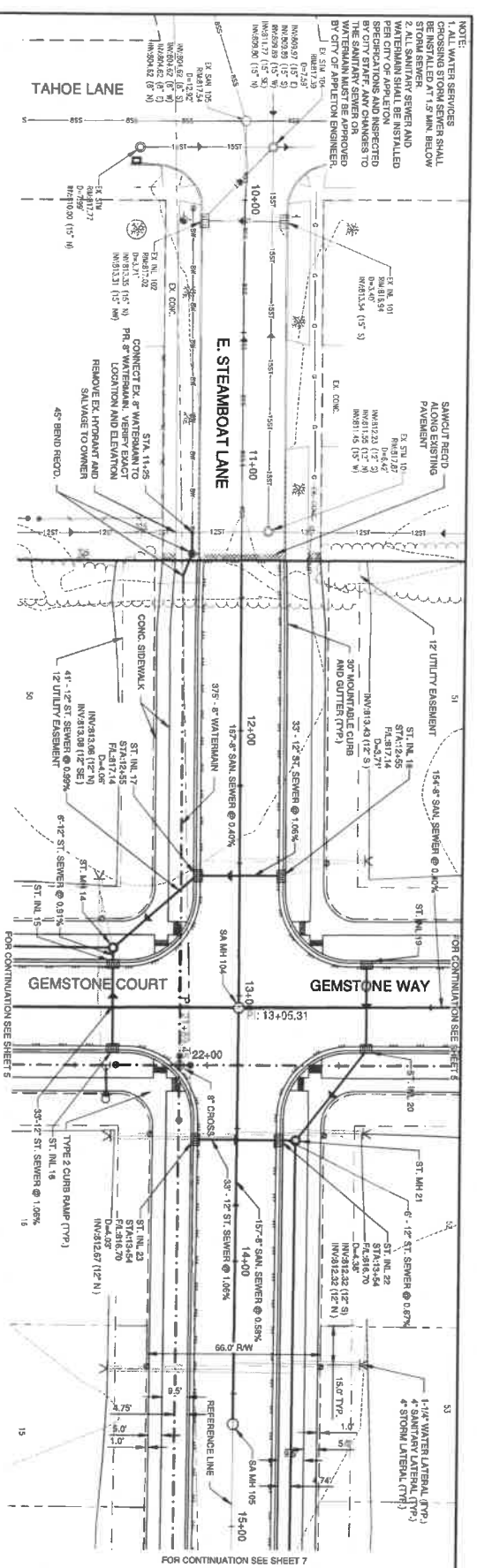
CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

GEMSTONE COURT  
 STA. 15+00 TO STA. 20+00

Robert E. Lee & Associates, Inc.  
 REGISTERED PROFESSIONAL ENGINEER  
 1201 S. CALUMET ST. SUITE 200  
 APPLETON, WI 54912  
 TEL: 920-832-9541  
 WWW.RELEEASSOCIATES.COM

SHEET NO. 4



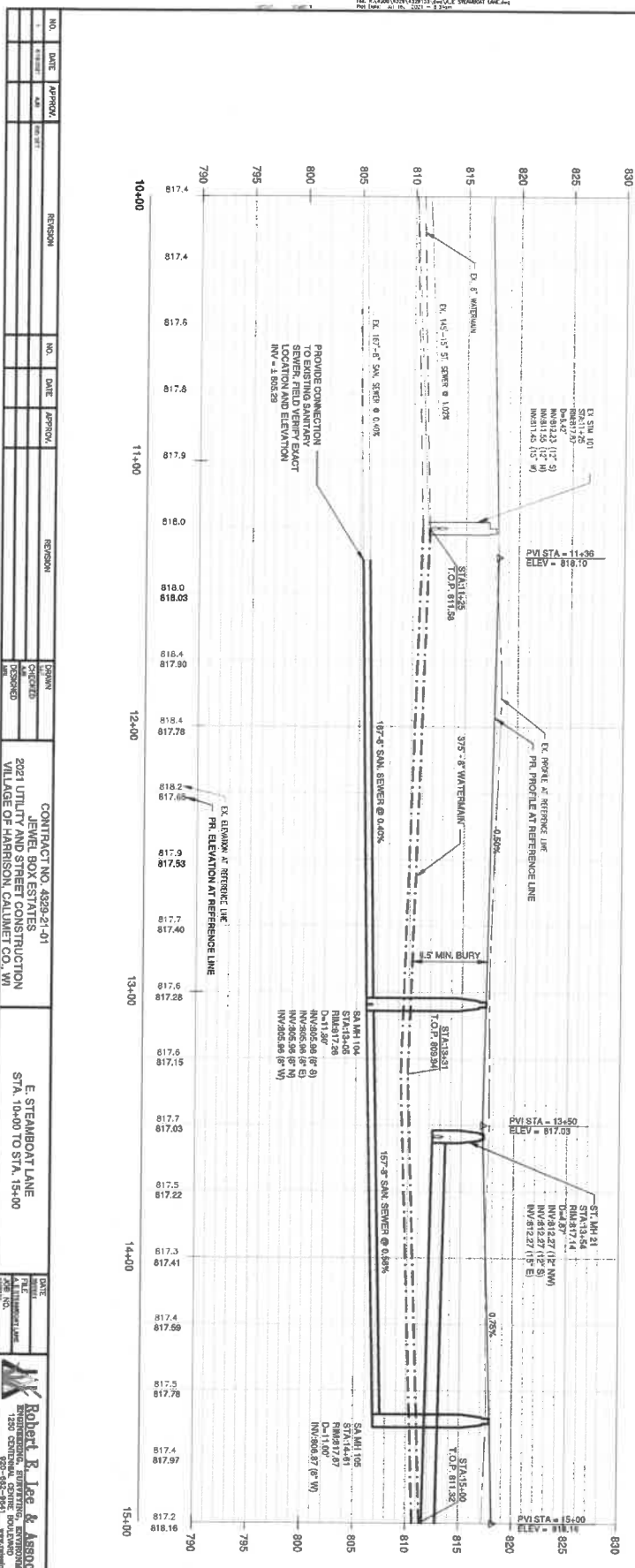


NOTE: WATER SERVICES CROSSING STORM SEWERS SHALL BE INSTALLED AT 1.5 MIN. BELOW STORM SEWER. SEWER AND WATERMAIN SHALL BE INSTALLED PER CITY OF APPLETON SPECIFICATIONS AND INSPECTED BY THE SANITARY SEWER ENGINEER. WATERMAIN MUST BE APPROVED BY CITY OF APPLETON ENGINEER.

FOR CONTINUATION SEE SHEET 5

FOR CONTINUATION SEE SHEET 7

SCALE: 1"=40'



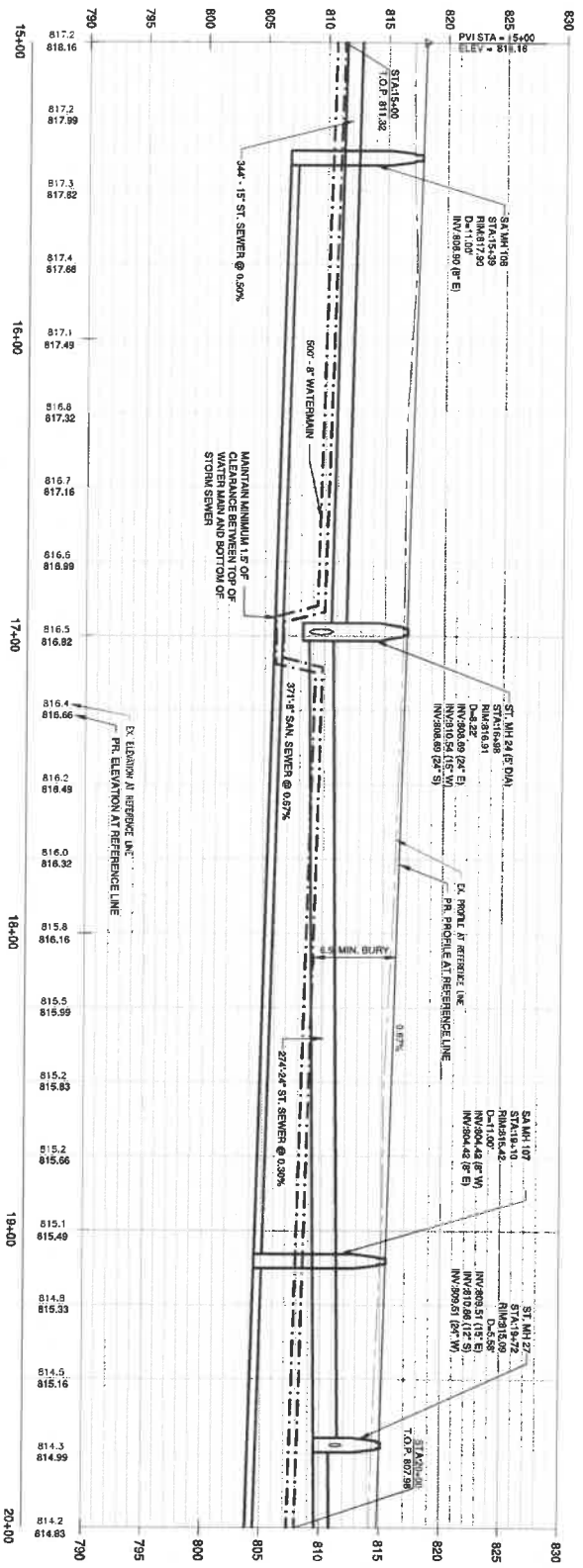
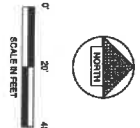
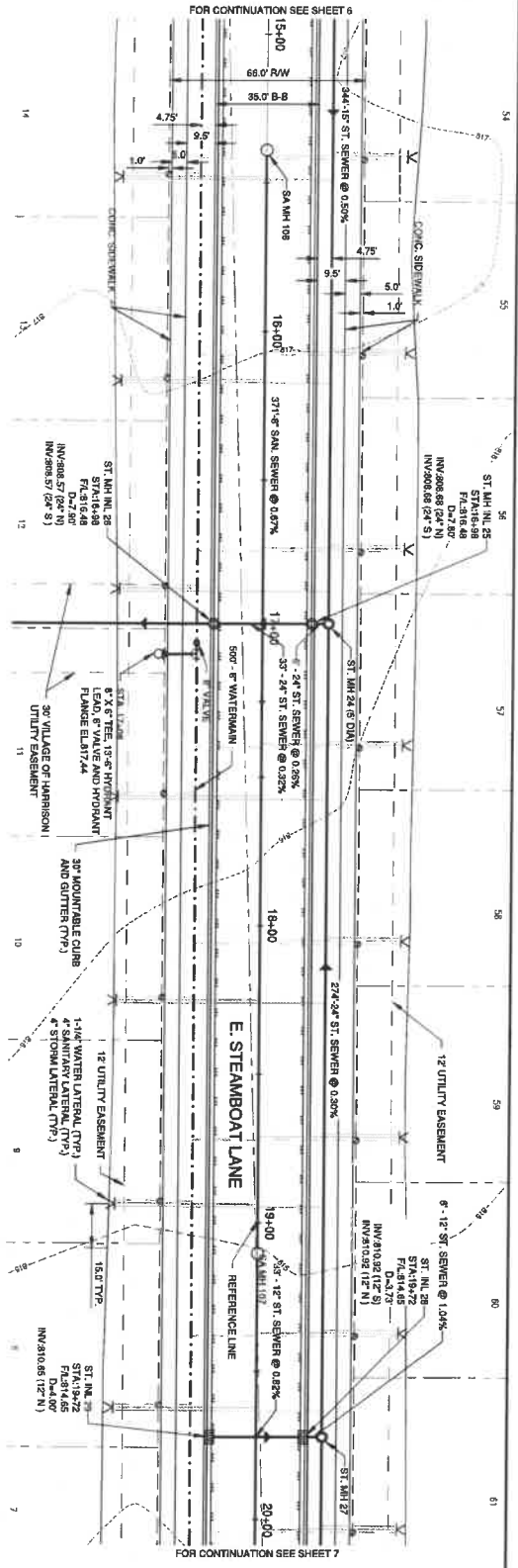
CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

E STEAMBOAT LANE  
 STA. 10+00 TO STA. 15+00

Robert R. Jee & Associates, Inc.  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTRE STREET, SUITE 200, WAUKESHA, WI 53150  
 PHONE: 262.546.4541 FAX: 262.546.4542

SHEET NO. 6

NOTE: WATER SERVICES CHANGING FROM SEWER SHALL BE INSTALLED AT 1.5 MIN. BELOW WATER MAIN. WATER MAIN SHALL BE INSTALLED PER CITY OF APPLETON SPECIFICATIONS AND INSPECTED BY THE CITY ENGINEER. ANY CHANGES TO WATER MAIN MUST BE APPROVED BY CITY OF APPLETON ENGINEER.



NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION
1							

DESIGNED	CHECKED	DATE	NO.

DESIGNED	CHECKED	DATE	NO.

CONTRACT NO. 4329-21-01  
**JEWEL BOX ESTATES**  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

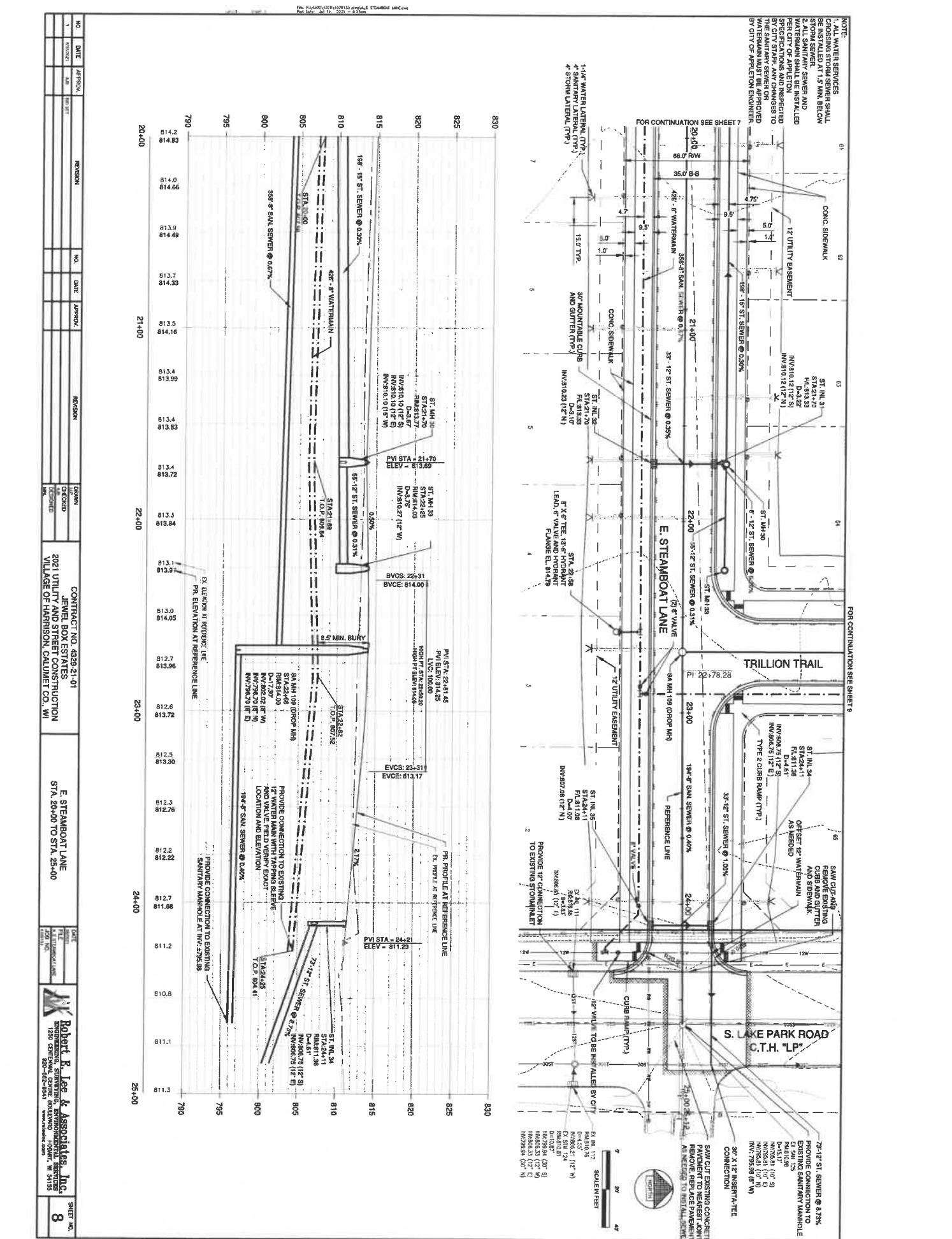
  

E STEAMBOAT LANE  
 STA. 15+00 TO STA. 20+00

**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES  
 202 N. WISCONSIN ST., SUITE 200  
 APPLETON, WI 54912  
 TEL: 920-862-2941  
 WWW.RELEE.COM

NOTE: WATER SERVICES CROSSING STORM SEWER SHALL BE INSTALLED AT 1.5' MIN BELOW STORM SEWER. SANITARY AND WATERMAIN SHALL BE INSTALLED PER CITY OF APPLETON SPECIFICATIONS AND INSPECTED BY THE SANITARY ENGINEER TO THE SANITARY SEWER BY CITY OF APPLETON ENGINEER.



FOR CONTINUATION SEE SHEET 7  
FOR CONTINUATION SEE SHEET 9

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	8/12/21	AB	REVISED				

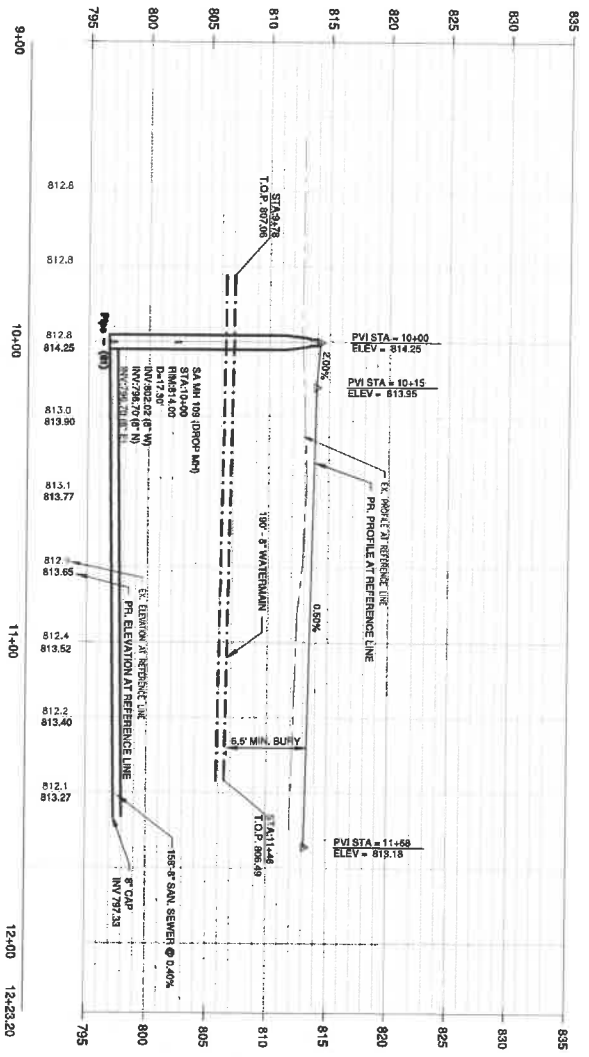
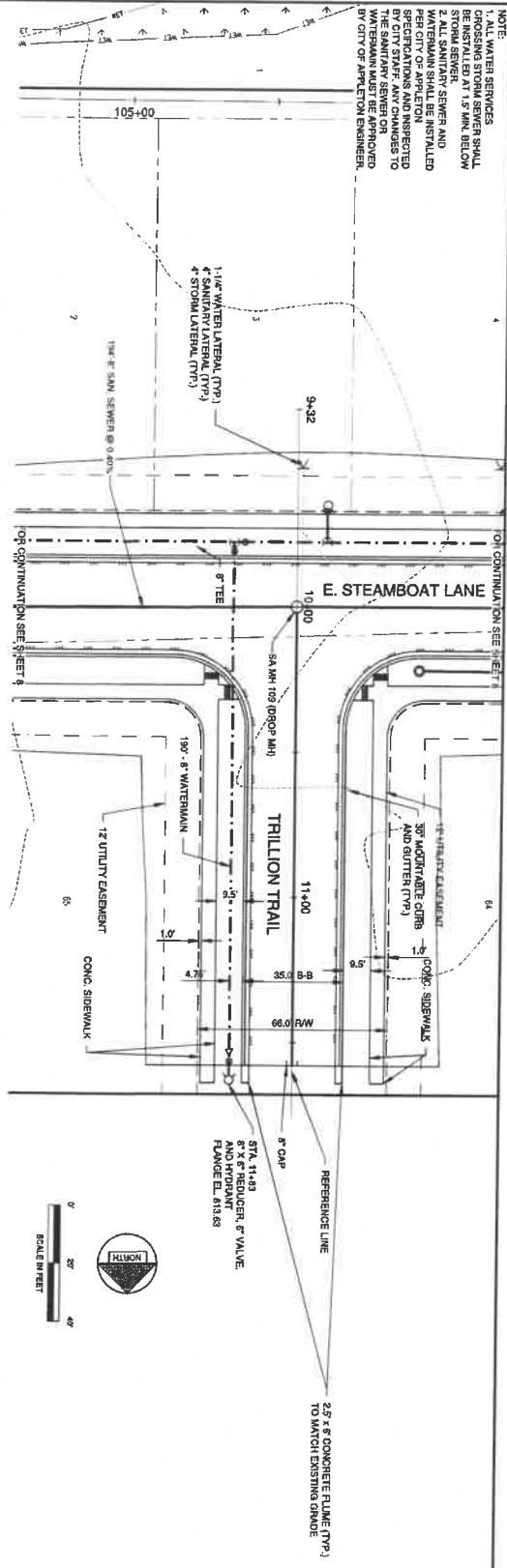
CONTRACT NO. 4329-21-01  
JEWEL BOX ESTIMATES  
2021 UTILITY AND STREET CONSTRUCTION  
VILLAGE OF HARRISON, CAUMMET CO., WI

E. STEAMBOAT LANE  
STA. 20+00 TO STA. 25+00

**Robert R. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ARCHITECTURAL SERVICES  
1225 CENTRAL AVENUE, SUITE 200  
APPLETON, WISCONSIN 54911  
TEL: 920-422-8141  
WWW.RRLA.COM

SHEET NO. **8**

NOTE:  
 1. ALL WATER SERVICES CROSSING STORM SEWER SHALL BE INSTALLED AT 1.5 MIN. BELOW  
 2. ALL SANITARY SEWER AND WATERMAIN SHALL BE INSTALLED PER CITY OF APPLETON SPECIFICATIONS AND RESPECTED BY THE CITY OF APPLETON. THE SANITARY SEWER OR WATERMAIN MUST BE APPROVED BY CITY OF APPLETON ENGINEER.



NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION	LOG/NO.	LOG/NO.	LOG/NO.	LOG/NO.
1								CHECKED	DESIGNED		

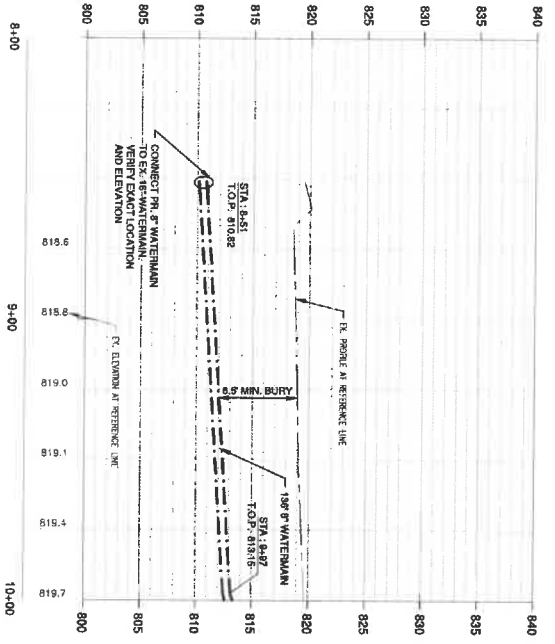
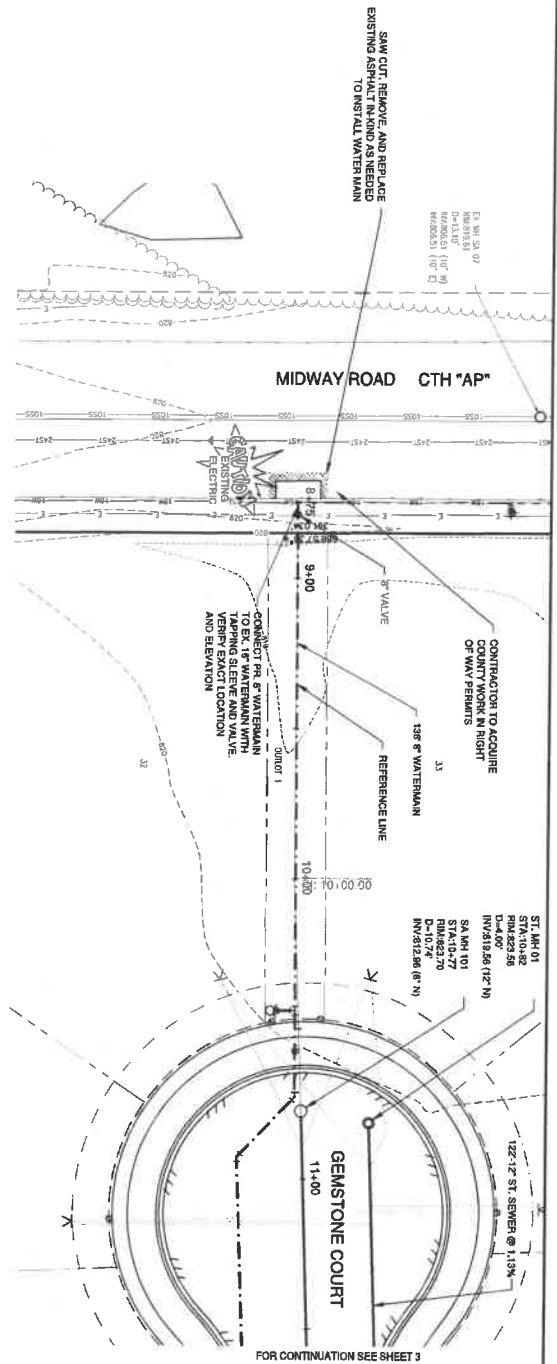
CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

TRILLION TRAIL  
 STA. 9+00 TO STA. 12+50

Robert E. Lee & Associates, Inc.  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1207 CENTRAL AVENUE, SUITE 100, HARRISON, WI 54113  
 920-562-9441  
 www.leeandassociates.com

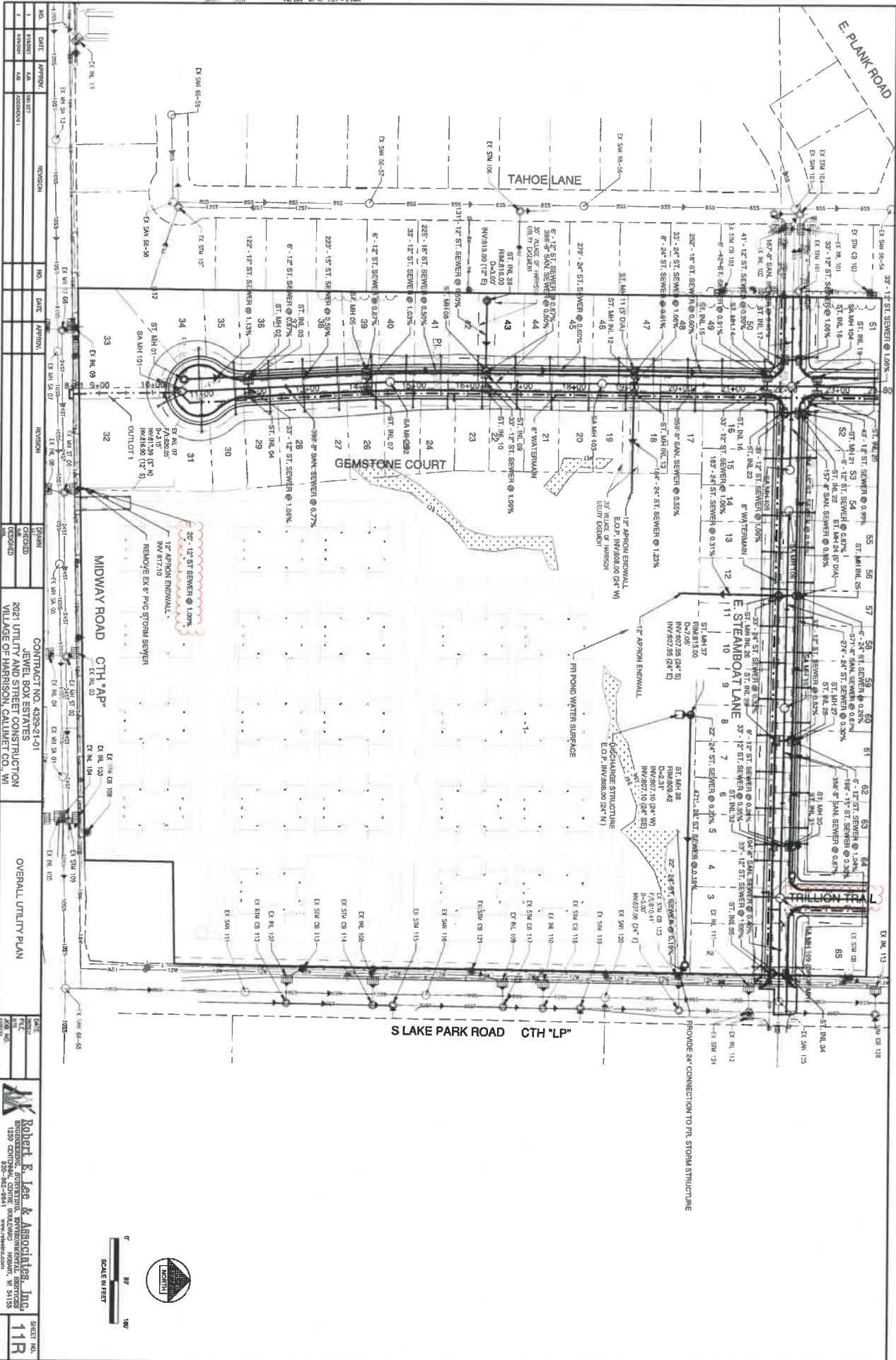
SHEET NO. 9

NOTE: WATER SERVICES CONNECTIONS SHALL BE INSTALLED AT 1.5 MIN. BELOW PER CITY OF APPLETON SPECIFICATIONS AND INSPECTED BY CITY STAFF. ANY CHANGES TO WATERMAIN MUST BE APPROVED BY CITY OF APPLETON ENGINEER.



NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION	DESIGN	CHECKED	DESIGNED	DATE	CONTRACT NO.	PROJECT	DATE	SCALE	SHEET NO.
1	8/12/21							CONTRACT NO. 4332-21-01				2021 UTILITY AND STREET CONSTRUCTION				10
								JEWEL BOX ESTATES				VILLAGE OF HARRISON, CALUMET CO. WI				
								WATERMAIN EASEMENT				STA. 8+00 TO STA. 10+00				

**Robert R. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1200 OGDON AVENUE, SUITE 200, WAUKESHA, WI 53186  
 262-582-8951  
 www.rleeassoc.com



NO.	DATE	APPROV.	REVISION
1	01/20/21	JAL	NO SET
2	02/02/21	AM	REVISION

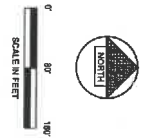
NO.	DATE	APPROV.	REVISION
1	01/20/21	JAL	NO SET
2	02/02/21	AM	REVISION

CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

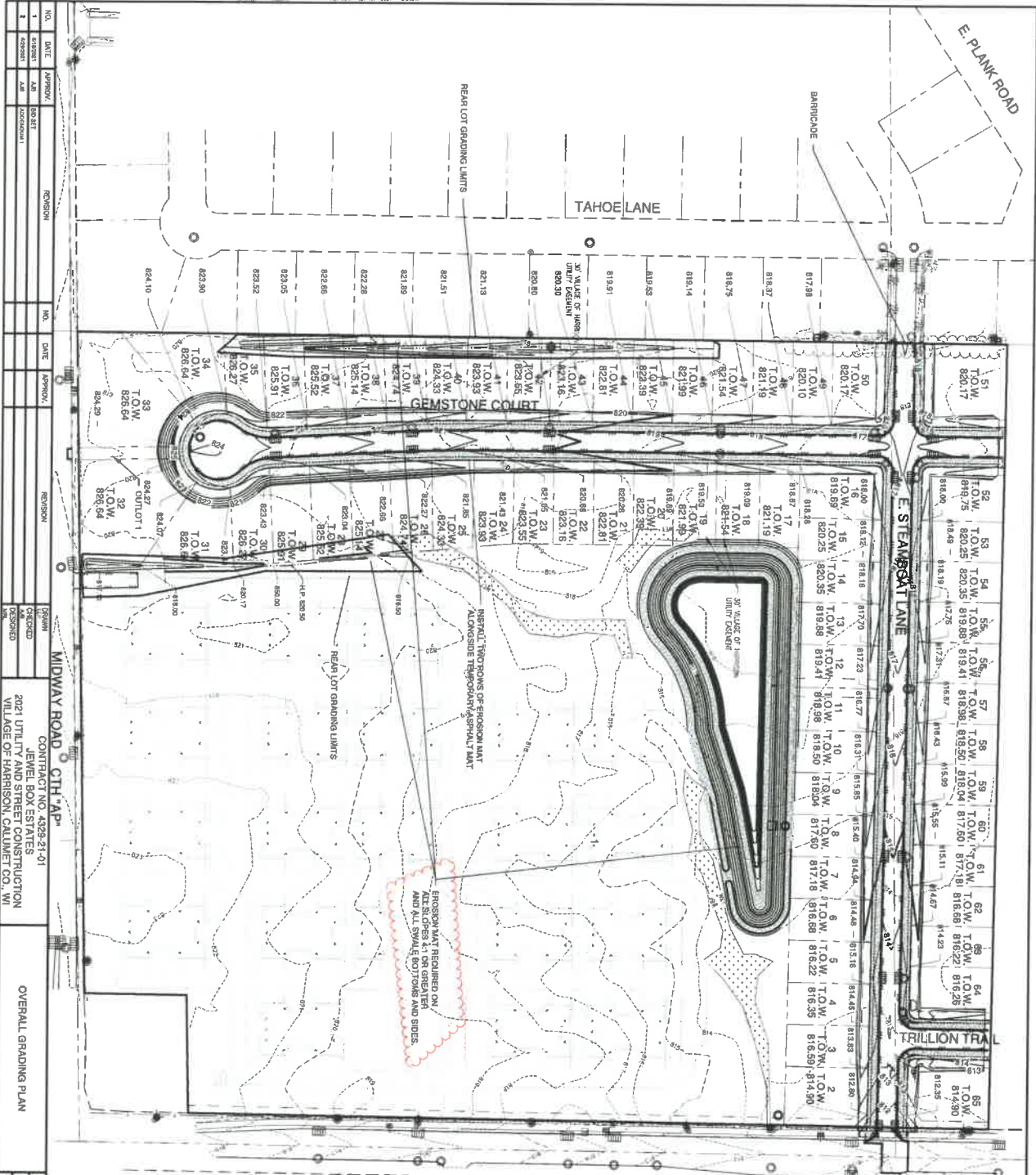
OVERALL UTILITY PLAN

Robert E. Lee & Associates, Inc.  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTRE STREET, SUITE 200  
 WAUKESHA, WI 53150

SHEET NO. 119







- LEGEND**
- TC 989.99 TOP OF CURB ELEVATION
  - FW 888.88 FLOW LINE ELEVATION
  - SW 888.88 TOP OF SIDEWALK ELEVATION
  - EP 855.55 EDGE OF PAVEMENT ELEVATION
  - RW 444.44 TOP OF RETAINING WALL ELEVATION
  - 533.33 GROUND ELEVATION
  - DRAINAGE SWALE
  - DRAINAGE GULCH
  - FLOW ARROW



NO.	DATE	APPROV.	NO.	DATE	APPROV.
1	6/12/2021	A.B. JOHNSON			
2	4/29/2021	A.B. JOHNSON			

NO.	DATE	APPROV.	NO.	DATE	APPROV.
1	6/12/2021	A.B. JOHNSON			
2	4/29/2021	A.B. JOHNSON			

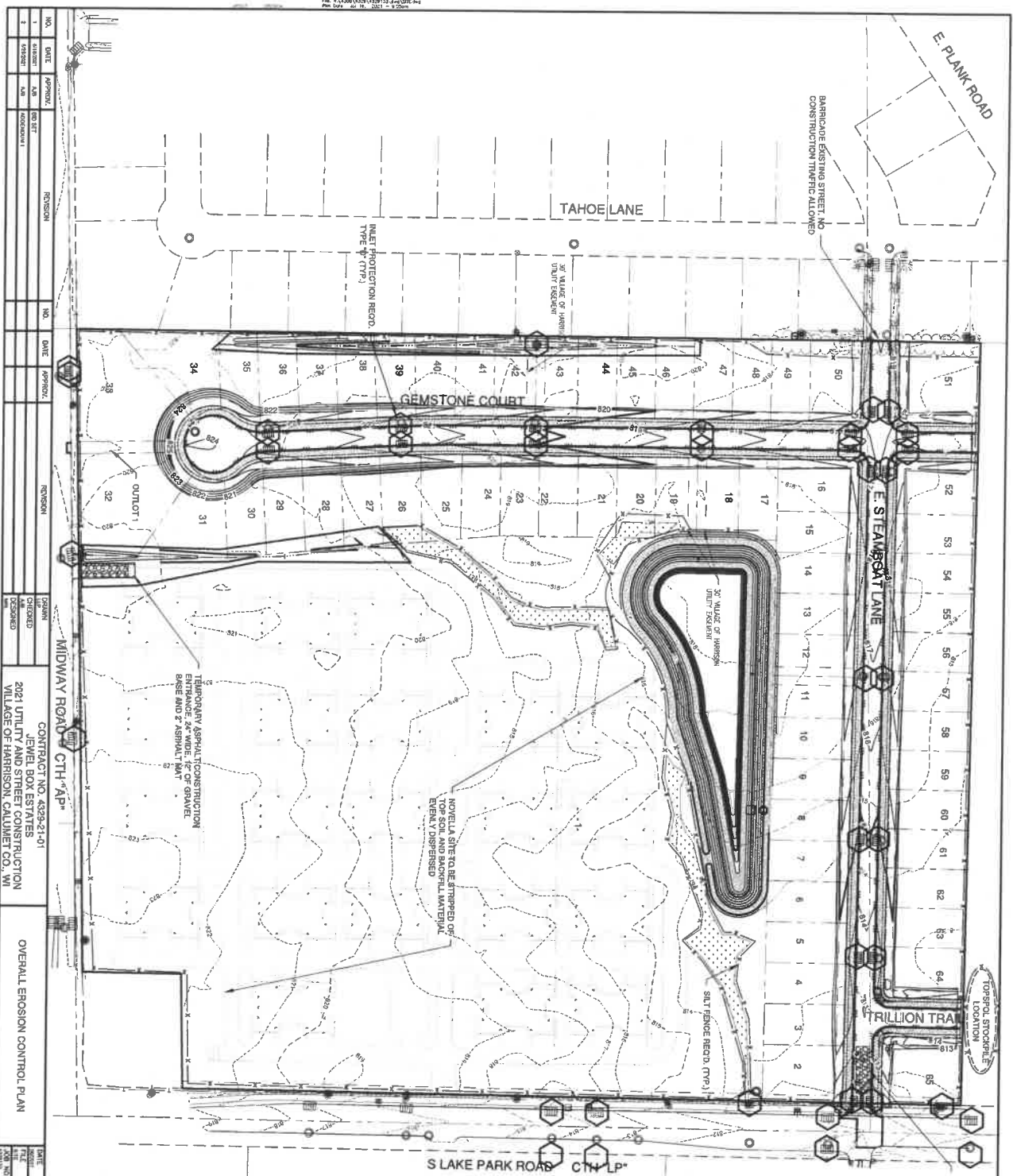
NO.	DATE	APPROV.	NO.	DATE	APPROV.
1	6/12/2021	A.B. JOHNSON			
2	4/29/2021	A.B. JOHNSON			

MIDWAY ROAD CTH "AP"  
 CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

OVERALL GRADING PLAN

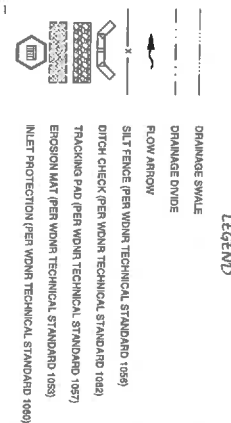
Robert E. Lee & Associates, Inc.  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTRAL AVENUE, SUITE 200, WAUKESHA, WI 53150  
 TEL: 262-546-4851 FAX: 262-546-4851 WWW: RLEEASSOCIATES.COM

SHEET NO. 12R



TRACKING PAD (P.P.) REQUIRED AT ALL CONSTRUCTION INGRESS / EGRESS ACCESS POINTS. FULL WIDTH OF ACCESS.

NOTE: CONSTRUCTION TRAFFIC TO ENTER SITE FROM S. LAKE PARK ROAD



**EROSION CONTROL**

ALL EROSION CONTROL MEASURES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE EROSION CONTROL MEASURES SHALL BE DETERMINED BY THE FIELD SUPERVISOR ON THE CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWN-SLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ALL INGRESS/EGRESS LOCATIONS WHERE SEDIMENT MAY BE TRANSPORTED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DESWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDM TECHNICAL STANDARD 1061.

**CONSTRUCTION SEQUENCE**

1. INSTALL EROSION CONTROL BARRIERS SUCH AS SILT FENCE, INLET PROTECTION, AND TRACKING CONTROL PADS PRIOR TO ANY SITE DISTURBANCE. - SUMMER 2021
2. STRIP EXISTING TOPSOIL IN POND AREA AND BEGIN EXCAVATION OF POND FOR FILL FOR ROADWAY CONSTRUCTION. STOCKPILE TOPSOIL AND FILL MATERIAL ON SITE OR DEPOSE OF AS NEEDED. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF ANY POND THAT WILL REMAIN IN PLACE LONGER THAN 7 DAYS. - SUMMER 2021
3. INSTALL SANITARY SEWER, WATER MAIN, AND REMAINING STORM SEWER. - SUMMER/FALL 2021
4. GRADE PROPOSED STREETS AND TERRACES TO SUB GRADE AND INSTALL GRAVEL BASE COURSE. - FALL 2021
5. PAVE TEMPORARY MAT FOR PROPOSED STREETS AND BACKFILL TERRACES WITH TOPSOIL, SEED, AND MULCH. - FALL 2021
6. TOPSOIL, SEED, AND MULCH TO STAY ON ALL REMAINING DISTURBED AREAS IMMEDIATELY UPON FINAL GRADING. EROSION MAT REQUIRED ON ALL 4:1 AND STEEPER SLOPES. - FALL 2021
7. ONCE SITE VEGETATION HAS REACHED 70% ALL EROSION CONTROL BARRIERS SHALL BE REMOVED. SPRING 2022

NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION
1	01/20/21	ASB	DESIGN				
2	02/02/21	ASB	CHECKED				
3	02/02/21	ASB	DESIGNED				

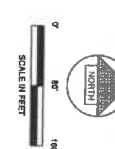
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ASB	ASB	ASB

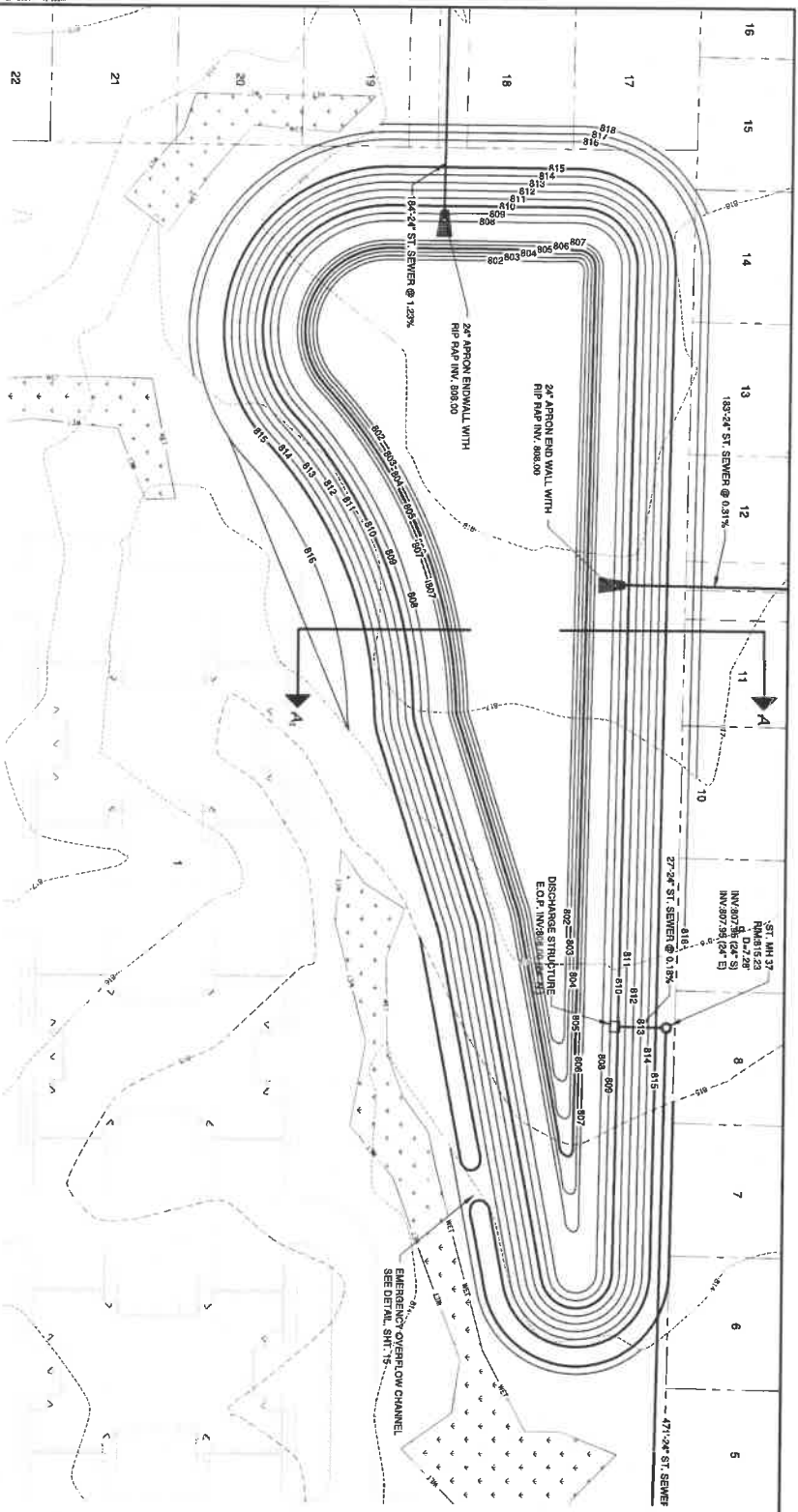
CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

OVERALL EROSION CONTROL PLAN

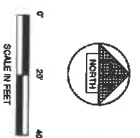
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Robert E. Lee & Associates, Inc.  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1201 CENTRE STREET, SUITE 200, WAUKESHA, WI 53150  
 TEL: 262-562-9484 FAX: 262-562-9484





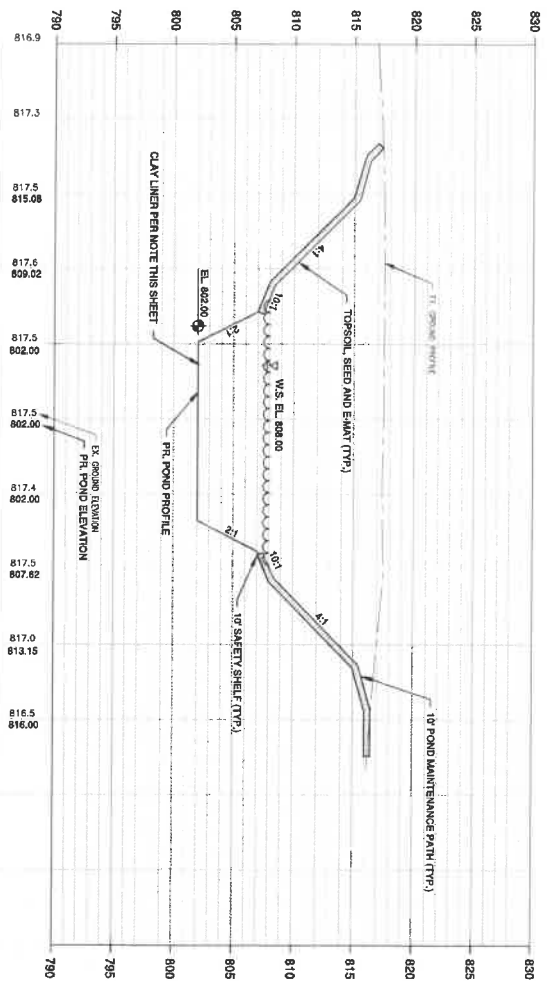
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	DESIGNED	ASB		REVISION	DESIGNED		ASB	REVISION		DESIGNED	ASB
DESIGNED			CHECKED			APPROVED			DATE		
CONTRACT NO. 4429-21-01 JEWEL BOX ESTATES 2021 UTILITY AND STREET CONSTRUCTION VILLAGE OF HARRISON, CALUMET CO., WI									POND PLAN		
Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1500 CENTRAL AVENUE, SUITE 200 MILWAUKEE, WI 53215 TEL: 414-264-8000 FAX: 414-264-8001 WWW.RELEE.COM						SHEET NO. 14					



CONTRACT NO. 4429-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

Robert E. Lee & Associates, Inc.  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1500 CENTRAL AVENUE, SUITE 200  
 MILWAUKEE, WI 53215  
 TEL: 414-264-8000 FAX: 414-264-8001  
 WWW.RELEE.COM

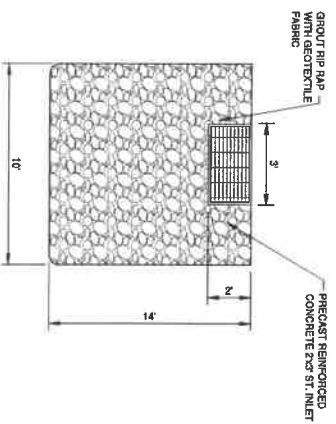
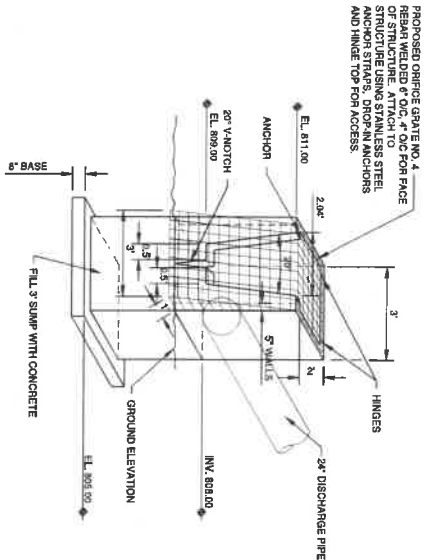
SHEET NO.  
 14



YEAR STORM	ELEVATION
1 YEAR	800.78
2 YEAR	810.06
5 YEAR	810.80
10 YEAR	811.15
100 YEAR	813.22

**POND CONSTRUCTION NOTE**  
 CONTRACTOR TO VERIFY EXISTING SOILS WITHIN POND EXCAVATION. IF SOILS OTHER THAN CLAY WITH A HYDRAULIC CONDUCTIVITY OF 1 FT/HR OR LESS ARE ENCOUNTERED, A TWO FOOT CLAY LINER WILL BE REQUIRED AND INSTALLED PER WMDOT TECHNICAL STANDARD 1001.

**DISCHARGE STRUCTURE DETAIL**



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	11/15/2021	JAL					

DESIGNED	CHECKED	CONTRACT NO. 4328-21-01	DATE
RESIGNED		JEWEL BOX ESTATES	11/15/2021
		2021 UTILITY AND STREET CONSTRUCTION	
		VILLAGE OF HARRISON, CALUMET CO., WI	

DATE	DESCRIPTION
10/8/2021	POND SECTIONS

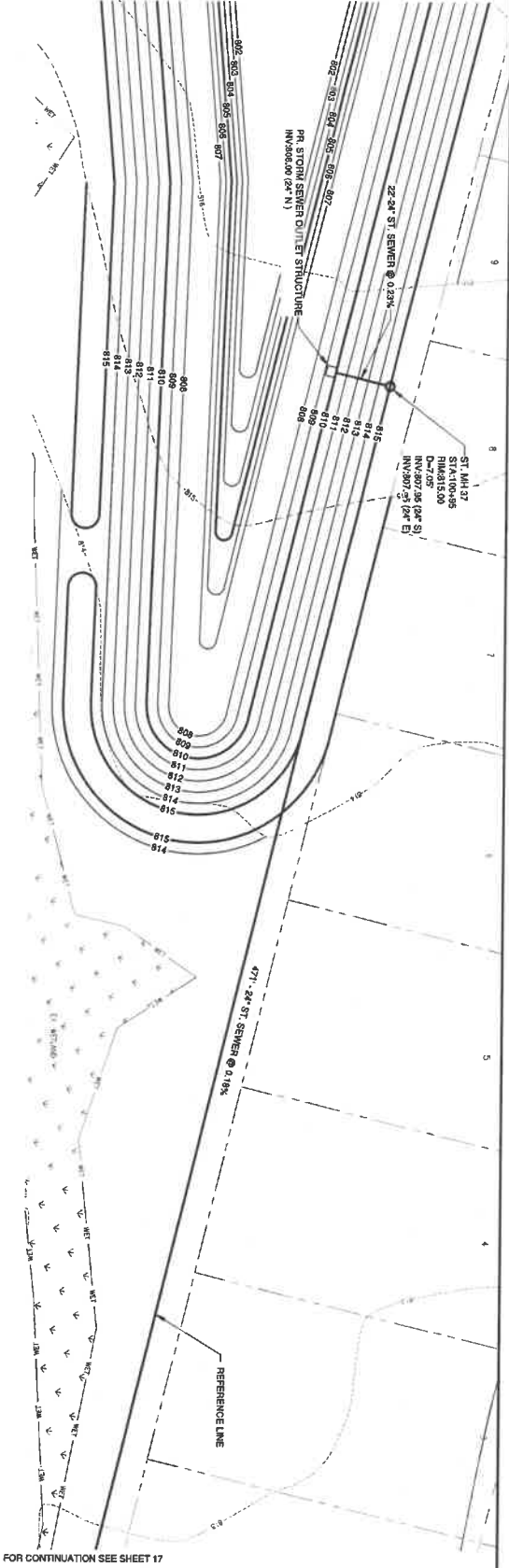
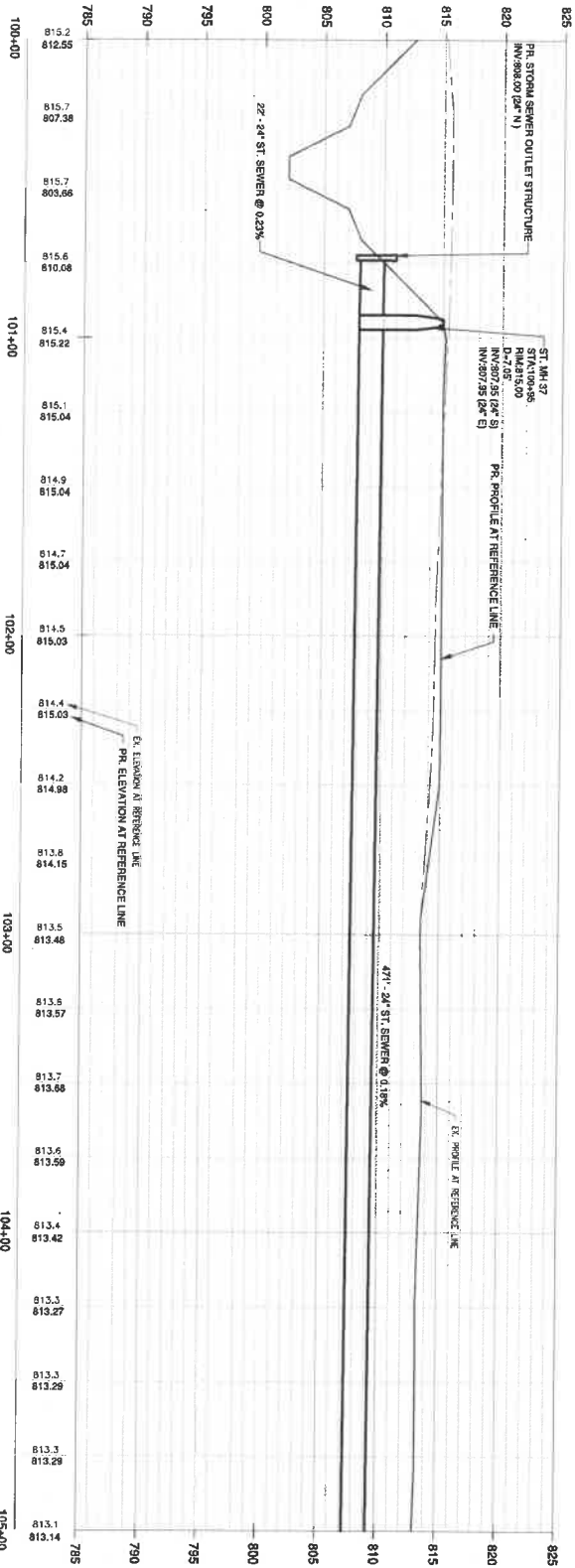
  

DATE	BY	FOR
11/15/2021	JAL	1008

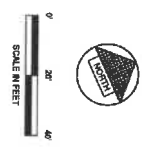
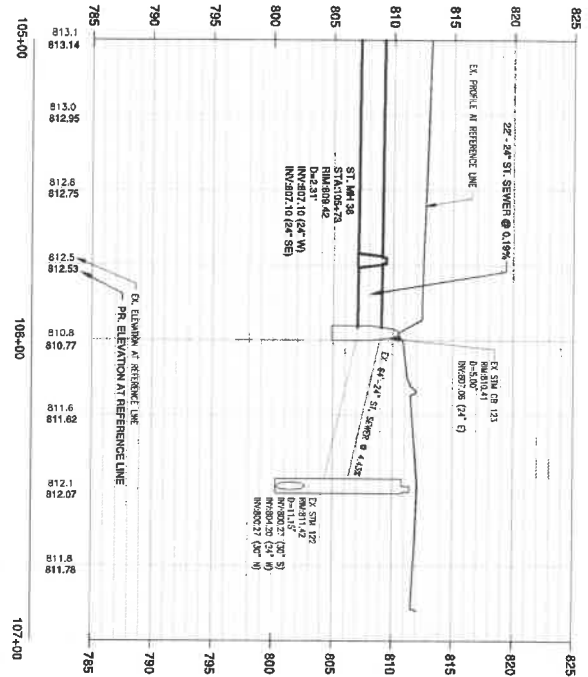
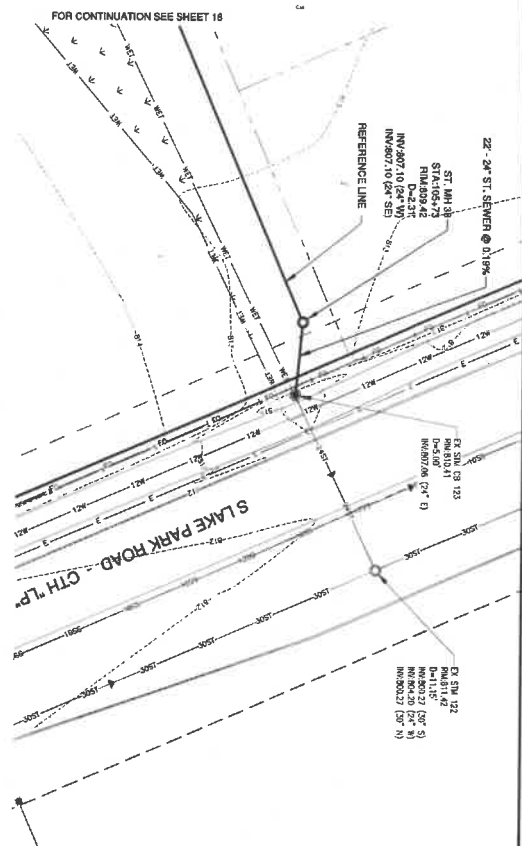
**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES  
 1200 CENTRAL AVENUE, SUITE 200  
 WASHINGTON, DC 20005  
 WWW.RELEE.COM

NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION
1	05/18/2011	AKB	AS BUILT								
CONTRACT NO. 4329-21-01 JEWEL BOX ESTATES 2021 UTILITY AND STREET CONSTRUCTION VILLAGE OF HARRISON, CALUMET CO., WI											
STORM SEWER OUTLET STA. 100+00 TO STA. 105+00											
DATE	SCALE	JOB NO.	Robert F. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1200 CENTER STREET, SUITE 200 WEST BEND, WI 53091 WWW.RFLA.COM								
			SHEET NO. 16								



FOR CONTINUATION SEE SHEET 17





NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION
1	01/20/21	ASB					

NO.	DATE	APPROVAL	REVISION

NO.	DATE	APPROVAL	REVISION

NO.	DATE	APPROVAL	REVISION

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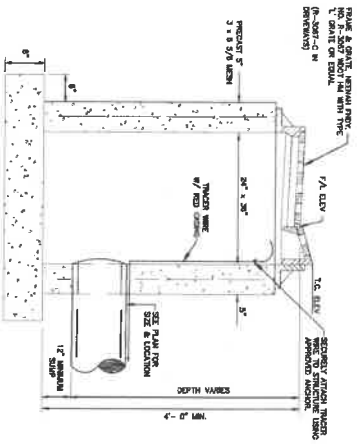
NO.	DATE	APPROVAL	REVISION

CONTRACT NO. 4329-21-01  
JEWEL BOX ESTIMATES  
2021 UTILITY AND STREET CONSTRUCTION  
VILLAGE OF HARRISON, CALUMET CO., WI

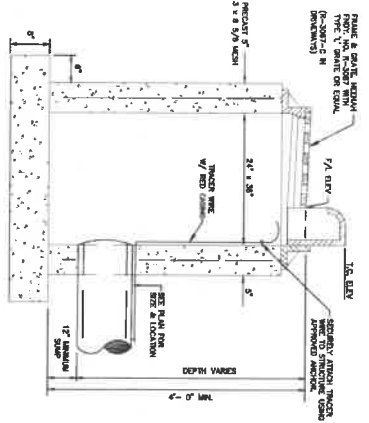
STORM SEWER OUTLET  
STA. 105+00 TO STA. 107+00

Robert E. Lee & Associates, Inc.  
ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES  
1250 CENTRE STREET, SUITE 200, WISCONSIN, WI 53115  
414.461.1111  
www.leeandassociates.com

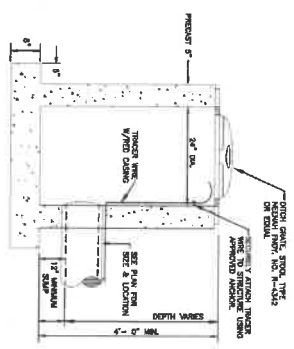
SHEET NO.  
17



**STORM SEWER CATCH BASIN**  
(FOR 30" MOUNTABLE CURB & GUTTER)

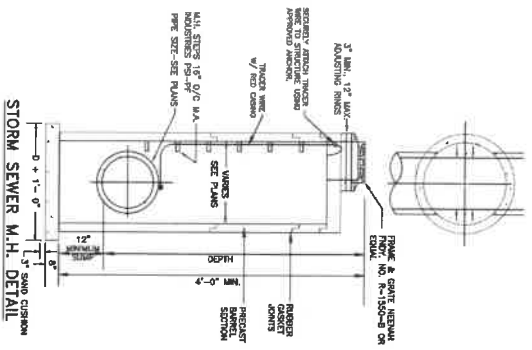


**STORM SEWER CATCH BASIN**  
(FOR 30" BARRIER CURB & GUTTER)

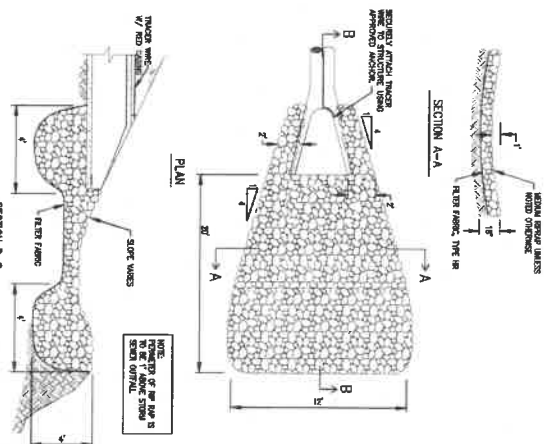


**DITCH INLET/YARD DRAIN**

**NOTE: ALL SANITARY SEWER AND WATERMAIN SHALL BE INSTALLED PER CITY OF APPLETON SPECIFICATIONS AND INSPECTED BY CITY STAFF. ANY CHANGES TO THE SANITARY SEWER OR WATERMAIN MUST BE APPROVED BY CITY OF APPLETON ENGINEER.**



**STORM SEWER M.H. DETAIL**



NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION
1	8/13/2014	AKB					

DESIGNED	CHECKED	DATE
DESIGNED	DESIGNED	10/1/14

CONTRACT NO. 4329-21-01	JEWEL BOX ESTATES
2021 UTILITY AND STREET CONSTRUCTION	VILLAGE OF HARRISON, CALUMET CO., WI

DATE	DATE
10/1/14	10/1/14

DESIGNED	CHECKED
DESIGNED	DESIGNED

DATE	DATE
10/1/14	10/1/14

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DESIGNED	DESIGNED

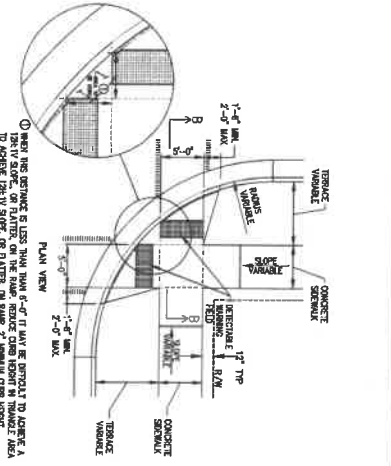
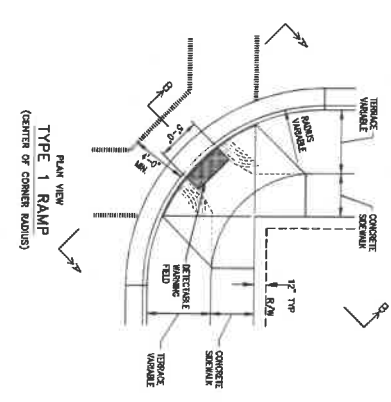
  

DATE	DATE
10/1/14	10/1/14

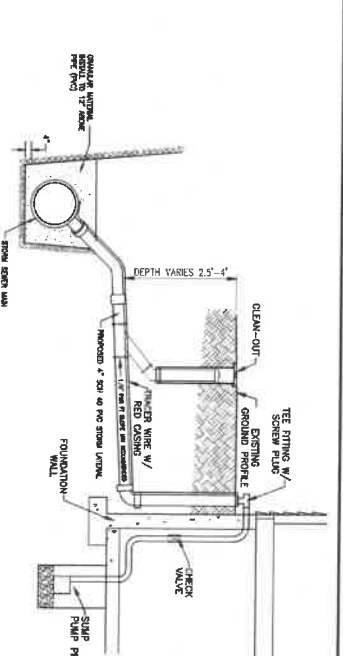
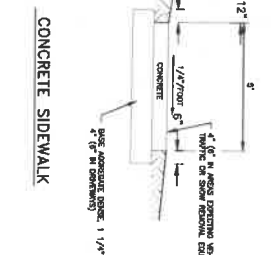
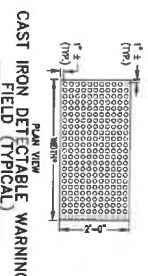
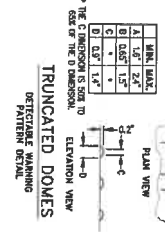
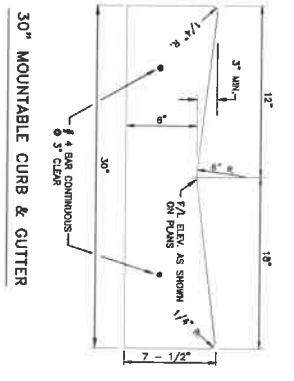
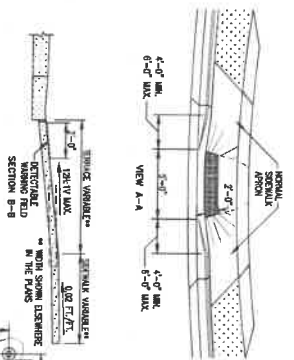
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DESIGNED	DESIGNED

**Robert R. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1201 SOUTH WISCONSIN AVENUE, SUITE 200  
 WAUKESHA, WI 53150  
 262-582-9941  
 www.rreandco.com

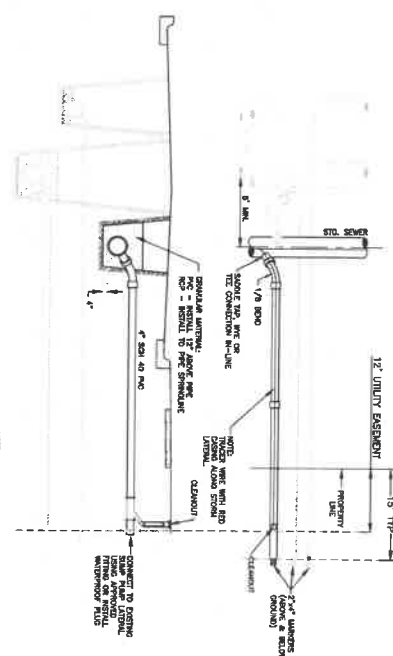


TYPE 1 RAMP  
(CENTER OF CORNER RADIUS)

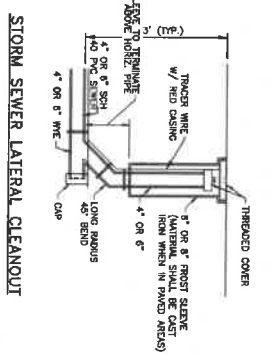
TYPE 2 RAMP  
(ON LINE WITH SIDEWALK)



TYPICAL STORM LATERAL CONNECTION TO HOME



TYPICAL STORM SEWER LATERAL TO R/W



STORM SEWER LATERAL CLEANOUT

NO.	DATE	APPROVAL	REVISION	NO.	DATE	APPROVAL	REVISION
1	04/11/17	[Signature]					

CONTRACT NO. 4329-21-01  
JEWEL BOX ESTATES  
2021 UTILITY AND STREET CONSTRUCTION  
VILLAGE OF HARRISON, CALUMET CO., WI

MISCELLANEOUS DETAILS

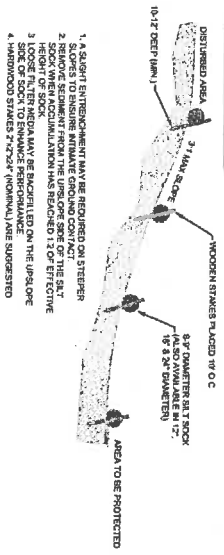
DATE: 04/11/17  
JOB NO.: 4329-21-01  
**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SCIENTISTS  
1230 SOUTH COUNTY ROAD, SUITE 100  
MILWAUKEE, WI 53115  
www.leeandassociates.com



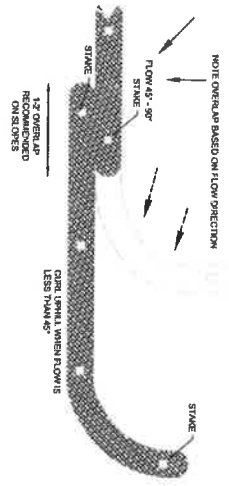


# SILT SOCK INSTALLATION GUIDELINES

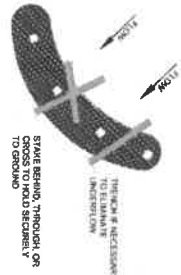
## SLOPE INTERRUPTION



## PERIMETER CONTROL & OVERLAPPING



## DITCH CHECK



## PERMANENT INSTALLATION STAKING



## INLET PROTECTION

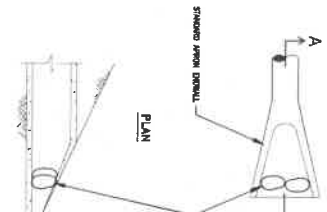


1. THESE GUIDELINES ARE BASED UPON MANUFACTURERS RECOMMENDATIONS. PROJECT SPECIFICATIONS MAY SUPERSEDE THESE GUIDELINES.
2. REFER TO REGULATORY AUTHORITY OR PROJECT ENGINEER FOR DETAILED INSTALLATION PROCEDURES.
3. WOOD FILLER MATERIAL IS PROPERLY SIZED BIODEGRADABLE, WEED, SEED & DISEASE FREE AND ENVIRONMENTALLY SOUND.

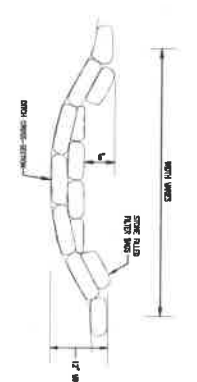
Manufacturing or Installation Support By:

# Silt Sock

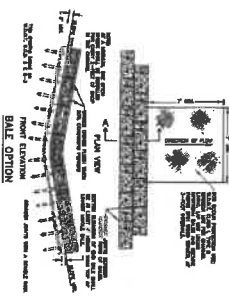
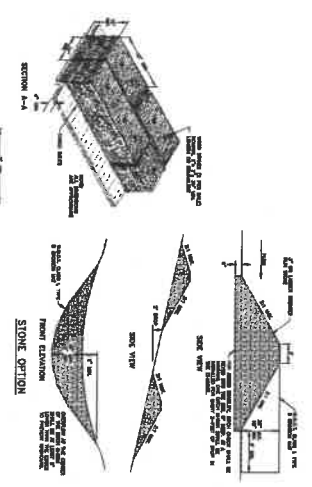
EROSION CONTROL PRODUCTS  
[Info@siltsock.net](mailto:Info@siltsock.net)  
 608-438-7625



## CULVERT PIPE DITCH CHECKS



## STONE DITCH CHECK



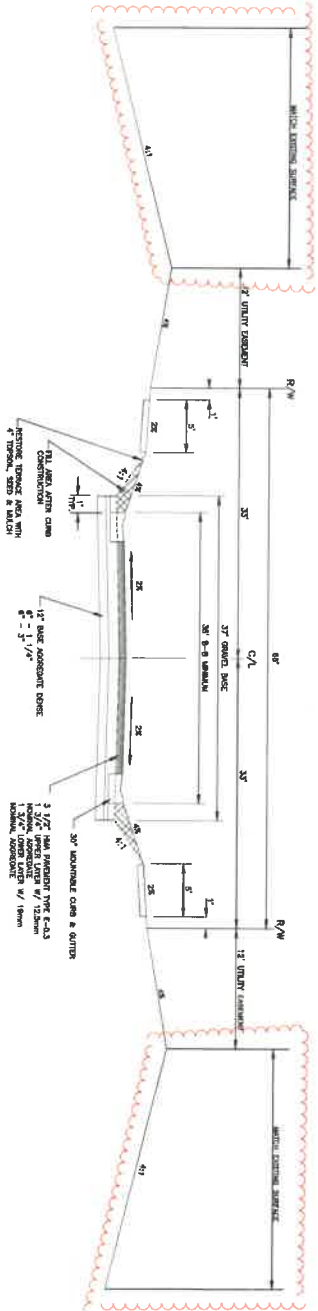
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1	8/18/22	AM									

CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON CALUMET CO, WI

MISCELLANEOUS DETAILS

DATE: 8/18/22  
 TIME: 10:00 AM  
 JOB NO.:  
 Robert E. Lee & Associates, Inc.  
 ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES  
 1520 SOUTH WISCONSIN AVENUE  
 SUITE 200  
 WISCONSIN, WI 53115  
 WWW.RELEE.COM

SHEET NO. 21



**HARRISON**  
**URBAN LOCAL STREET SECTION**  
 (SANITARY DISTRICT DEVELOPMENTS)

NO.	DATE	APPROVAL	NO.	DATE	APPROVAL
1	APPROVAL	HARRISON			
2	APPROVAL	HARRISON			

NO.	DATE	APPROVAL	NO.	DATE	APPROVAL

NO.	DATE	APPROVAL	NO.	DATE	APPROVAL

NO.	DATE	APPROVAL	NO.	DATE	APPROVAL

NO.	DATE	APPROVAL	NO.	DATE	APPROVAL

NO.	DATE	APPROVAL	NO.	DATE	APPROVAL

NO.	DATE	APPROVAL	NO.	DATE	APPROVAL

CONTRACT NO. 4329-21-01  
 JEWEL BOX ESTATES  
 2021 UTILITY AND STREET CONSTRUCTION  
 VILLAGE OF HARRISON, CALUMET CO., WI

MISCELLANEOUS DETAILS

DATE: \_\_\_\_\_  
 FILE NO.: \_\_\_\_\_  
 JOB NO.: \_\_\_\_\_

**Robert F. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTRAL BANK BUILDING, WISCONSIN  
 5201 W. WISCONSIN AVENUE, SUITE 200  
 MILWAUKEE, WI 53233  
 TEL: 414.224.4441 FAX: 414.224.4442  
 WWW.RFLA.COM

SHEET NO.  
**22R**

EXHIBIT B

*Engineer's Cost Estimate for Improvements.*

EXHIBIT C

*Financial Guarantee.*

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**VILLAGE BOARD MEETING**

---

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

July 27, 2021

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**Title:**

PASER Database Update

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**Issue:**

Should the Village Board authorize GRAEF to update PASER Database?

---

**Background and Additional Information:**

Every 2 years the Village must rate the conditions of roads and update the information in WISLR (state database). GRAEF has provided a proposal to complete the work in 2021. GRAEF intends to review 2019 PASER data, perform on-site road review and rating, discuss revised ratings, and enter new ratings in WISLR database.

The PASER scale is a 1-10 rating system for road pavement condition used by WisDOT. PASER uses visual inspection to evaluate pavement surface conditions. When assessed correctly, PASER ratings provide a basis for comparing the quality of roadway segments. It allows the Village to track road conditions over time by reviewing previous PASER ratings.

---

**Budget Impacts:**

Engineering cost is approximately \$2,900, see attached GRAEF Service Order 021. Roadway engineering is a budgeted item. In the past, the public works department and village manager completed the on-site review and clerk entered ratings in WISLR.

---

**Recommended Action:**

1. Approve Service Order 021 for 2021 PASER Database Update.
2. Postpone action.
3. Do not approve the Service Order 021.

---

**Attachments:**

- Service Order 021



collaborāte / formulāte / innovāte

**SERVICE ORDER:** 021  
**DATE:** 6/29/2021  
**CLIENT:** Village of Harrison, Wisconsin  
**PROJECT NAME:** 2021 PASER Database Update (WISLR)  
**PROJECT NUMBER:** 2021-2500.21

**PROJECT REPRESENTATIVES:**

Ryan P. Van Camp, PE  
Project Manager  
GRAEF  
1150 Springhurst Drive, Suite 201  
Green Bay, WI 54304  
920 / 405 3826 direct  
920 / 244 5368 mobile  
ryan.vancamp@graef-usa.com

Jeff Funk  
Operations Manager  
Village of Harrison  
W5298 State Road 114  
Menasha, WI 54952  
920 / 989 1139  
jfunk@harrison-wi.org

This service order shall authorize professional services for Project under the Master Agreement dated January 12, 2021 and is subject to GRAEF's Terms and Conditions attached to that Agreement.

**DESCRIPTION OF PROJECT:**

The Project is to assist the Village of Harrison with rating and updating the PASER ratings and WISLR database for roadways within the Village. The ratings are instrumental to assist the Village in the planning of their road rehabilitation program. The updates are also necessary to maintain certain funding eligibility from the state.

**SCOPE OF PROJECT SERVICES:**

- 1) For this Project, GRAEF proposes to provide the following Basic Services:
  - a) Review records from the 2019 WISLR database.
  - b) Perform on-site road review and rating for all roads maintained by the Village.
  - c) Discuss with Village staff the revised information.
  - d) Enter revised data into WISLR database.
- 2) Additional Services (upon written authorization)

**CLIENT RESPONSIBILITIES:**

- 1) Provide existing background information, i.e., past PASER ratings, traffic counts, record drawings, etc.
- 2) Review and concurrence of draft ratings and priorities.

**COMPENSATION:**

You agree to compensate GRAEF for all basic services noted above on an hourly rate and direct expense basis to an estimated fee of **\$2,900**. We will advise you if we anticipate exceeding this amount by more than 10 percent.

You agree to compensate GRAEF for all listed Additional Services with an additional fee agreed to in advance of the services being performed. Fees shall be negotiated on an annual basis per the Master Agreement.

1150 Springhurst Drive, Suite 201  
Green Bay, WI 54304-5950  
920 / 592 9440  
920 / 592 9445 fax  
www.graef-usa.com



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**SCHEDULE OF COMPLETION:**

GRAEF will begin Basic Services upon receipt of signed service order and in accordance with a mutually agreed-upon schedule. Completion of field work and compilation of ratings and priorities will be accomplished to accommodate the Village's capital improvement planning.

**PROJECT APPROVAL:**

Graef-USA Inc.

  
Ryan P. Van Camp, P.E., CFM, CPF/SC  
Project Manager | Practice Area Leader – Infrastructure

  
Patrick J. Skalecki, P.E., LEED AP  
Principal | Green Bay Office Manager

ACCEPTED BY: Village of Harrison

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Name Printed)

\_\_\_\_\_  
(Title)

Date: \_\_\_\_\_



---

**VILLAGE BOARD MEETING**

**VILLAGE OF HARRISON**

**From:**

Vicki Tessen, WCMC, Clerk-Treasurer

**Meeting Date:**

July 13, 2021

---

**Title:**

Does a church service with amplified sound require an outdoor sound amplification permit?

---

**Issue:**

Eternal Love Lutheran Church has filed a Darboy Community Park rental application for a picnic and worship service that would utilize amplified sound. The date is August 22, 2021 from 7:00 am – 2:00 pm including setup and clean up time. The application indicates that this is a public event and they will be using sound amplification for music and worship between 10:00 am and 11:00 am.

---

**Background and Additional Information:**

In an attempt to maintain the comfortable enjoyment of life, property and recreation, the Village Code of Ordinances Division 2 Outdoor Use of Sound Amplifying Devices, Section 28 prohibits excess noise and excess vibration from use of amplified sound that may unreasonably interfere with normal pursuits of life and recreation or the health and welfare of the Village's inhabitants.

Exceptions to this ordinance include emergency situations, businesses on a fixed site with drive-through services, auction services, and other like oriented businesses that use loudspeakers to service customers. All others wishing to use sound amplifying devices are required to obtain a permit approved by the Village Board at a public meeting. Other requirements include publication of the request, notification 10 days prior to the meeting to all property owners within 300 feet of the site, and representation at said public meeting.

The question to the Board is to determine if this type of event by a church falls in the exception category of "like oriented businesses that use loudspeakers to service customers".

---

**Budget Impacts:**

None

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**Action Options:**

1. Determine that an outdoor church service does fall in the category of a business that uses loudspeakers to service customers.
2. Determine that an outdoor church service does NOT fall in the category of a business that uses loudspeakers to service customers and thus must complete the steps to obtain a permit as outlined in Section 28 of the Village Code of Ordinances.

Staff recommends the Village Board categorize church services as a business that uses loudspeakers to service its customers.

---

**Attachments:**

- Eternal Love Lutheran Church park rental application
- Ordinance Division 2 – Outdoor Use of Sound Amplifying Devices

**Darboy Community Park Shelter Rental Application**

Park Address - N9334 Noe Rd. Harrison WI 54915

Village of Harrison - W5298 State Road 114 Harrison WI 54952

DATE OF RENTAL: 08-22-21 TIME: 7:00AM - 2:00PM  
(including set-up and clean-up)

NAME: Tom Marzahl

ORGANIZATION NAME (if any): Eternal Love Lutheran Church

MAILING ADDRESS: 1011 E. Midway Rd Appleton, WI 54915

RESIDENT OF: HARRISON / BUCHANAN / OTHER (please circle one)

HOME PHONE: 920 JAY PHONE: --- EMAIL: \_\_\_\_\_

TYPE OF EVENT: Church Picnic + worship

**Do you intend to have any of the following:**  
"Yes" to any of these may require special approval. Please allow 30 days for review.

1. Beer sales	No <input checked="" type="checkbox"/> Yes ___	If yes, liquor license is required
2. Concession Sales	No <input checked="" type="checkbox"/> Yes ___	If yes, contact Calumet Co. Health Dept.
3. Amplification/sound	No ___ Yes <input checked="" type="checkbox"/>	If yes, purpose/type <u>we will use sound only to provide music for worship + sermon 10-11AM.</u>
4. Tents	No <input checked="" type="checkbox"/> Yes ___	If yes, required to call in and pay for locates
5. Mechanical Rides	No <input checked="" type="checkbox"/> Yes ___	If yes, Certificate of Insurance required
6. Admission Fee charge	No <input checked="" type="checkbox"/> Yes ___	
7. This is a public event	No ___ Yes <input checked="" type="checkbox"/>	If yes, Certificate of Insurance may be required

I agree to indemnify and save harmless the Town of Buchanan, Village of Harrison and their employees and elected/appointed official and their agents from any and all liability from claims of bodily damage or any other nature whatsoever arising out of the use of the Community Park. I have received a copy of the facility Use Policies and Procedures attached to this contract and agree to abide by all the rules and regulations formulated for the use of the building and facilities located in the Village of Harrison.

Signature Tom Marzahl Date 7-12-21  
(Applicant must be 18 years or older)

Please complete this form and return with **two** separate payments of the **\$50.00 rental fee** (\$60.00 for non-residents) and **\$150.00 security deposit** and mail to: **Village of Harrison**  
**W5298 State Road 114**  
**Harrison, WI 54952**

**The Park Pavilion is not reserved until this completed form, rental fee, and security deposit are received!**

**The Shelter key must be picked up** from the Harrison Municipal Building, W5298 State Road 114, Harrison, prior to your event. There is a \$75.00 fee to have staff unlock the shelter if the key is not picked up or if the garbage cans are not emptied.

**Office use only**

Rental fee: \_\_\_\_\_ Key # issued: \_\_\_\_\_

Security Deposit: \_\_\_\_\_ Date key returned: \_\_\_\_\_

Electrical panel fee: \_\_\_\_\_ Office staff initials: \_\_\_\_\_

Board approval: \_\_\_\_\_

Certificate of insurance/licenses \_\_\_\_\_

*we will not disturb the neighborhood.*

# Darboy Community Park Shelter Rental Policies

**Park Hours:** 6:00am to 11:00pm

**Public Access:** Park land and public restrooms are open to the public. A reservation gives exclusive use of park shelter and concession only.

**Reservations:** Reservations for park pavilions or facilities are on a first come-first served basis and may be made no more than one (1) year in advance. In the event the one-year date reservation falls on a day that the Harrison Municipal Building is closed, the earliest reservation shall be the next working day.

The Park Shelter is not reserved until the completed reservation form, rental fee (\$50.00 resident, \$60.00 non-resident), and security deposit (\$150.00) are received at the Harrison Municipal Building, W5298 State Road 114, Harrison. Dates and hours on the reservation form must include set-up, takedown, and cleaning time. The adult signing the reservation form is the duly authorized representative for any and all damages, missing items, and clean up. The user is required to clear and clean the facility after use; this includes removing garbage from the waste receptacles.

The shelter key must be picked up from the Harrison Municipal Building prior to the event. There is a \$75.00 fee to have staff unlock the shelter if the key is not picked up. The key must be returned to the Harrison Municipal Building within two business days; a 24-hour drop box is available to return the key in after hours.

**Sale of Concessions/Commercial Events:** Sales of any kind are not permitted in the park unless authorized by person authorized to issue this permit. Groups authorized to sell concessions; secure all necessary permits for concession operations; provide all supplies, materials, and equipment to operate concessions; keep the area around the concession operation clean; and operate the concession in accordance with the satisfactory practices and abide by the laws and regulations governing same.

**Music/Disc Jockeys/Noise:** No person shall use or operate a P.A. system, amplifier or device which increases the volume of voice, music, or other sounds so loud as to disturb the public peace or the quiet and peacefulness of the surrounding neighborhood without prior approval from the Committee of the Whole.

**Alcohol Policy:** No alcoholic beverages, other than fermented malt beverages and wine are allowed in any park except by special permit from person issuing this permit.

No person shall drink from, open a container of, or have in his possession a container of fermented malt beverage or intoxicating liquor in the park before 12:00 pm or after 9:00 pm except where permitted by a special exception stated on this permit. A liquor license is required for the sale of any alcohol.

**Damage Policy:** It is the user's responsibility to inspect the facility and report any problems. If a park or facility is damaged due to an event or rental, the cost for the labor and materials used for repair will be charged to the renter. This amount will be deducted from the security deposit; the difference will be billed out if the assessed fine exceeds the amount paid for a security deposit. Charges will be assessed for any damages, cleaning, lost locks or other services required. Violation of Village Ordinance or the rental agreement will result in the security deposit being withheld and denial of future reservation requests. There is a \$75.00 fee to have staff unlock the shelter if the key is not picked up.

Garbage from the waste receptacles must be removed and replaced with clean bag. Garbage bags are provided in the shelter. A \$75.00 fee will be charged if the garbage cans are not emptied.

No additions, alterations, or changes to the park grounds, structure or buildings are permitted without written permission of the person issuing this permit.

**Security and Liability:** Security is the responsibility of the renter. The Village is not responsible for the safety of individuals attending or participating in an event. The Village and its staff shall not be liable for lost, stolen, or damaged property, personal injuries, or other loss at any reserved facility.

**Certificate of Insurance:** A certificate of insurance is required for rentals open to the public. The certificate of insurance must give evidence of proper liability insurance, naming the Village of Harrison as an additional insured in the amount of \$2 million. The certificate of insurance must be on file 2 weeks prior to the rental to the Village of Harrison. A copy of an insurance policy is not acceptable.

**Cancellation Policy:** For events held between September 1 and May 31, a full refund of the park pavilion or facility rental fee shall be made only if cancelled 30 or more days prior to the event date. There is NO refund when cancelled within 30 days of the scheduled event. For events held in the months of June, July and August, there is a strict No Refund policy regardless of notice date.

The Village reserves the right to cancel and/or relocate any reservation, if the reservation threatens the integrity of the park and/or facility due to misrepresentation or information on application, unsafe facility conditions, or weather conditions.

**All existing Park Rules and Village Ordinances, whether listed here or not, are to be observed. The Village reserves the right to revoke a reservation or special permit at any time when there is a violation of Park Rules or Village Ordinance.**

**Sec. 28-111. - Noises disturbing the public prohibited.**

- (a) *Making noise tending to unreasonably disturb person in the vicinity prohibited.* No person shall make or assist in making any noise tending to unreasonably disturb the comfort, quiet or repose of persons in the vicinity thereof. This provision shall not apply if the making and continuing of the noise cannot be prevented and is necessary for the protection or preservation of property or of the health, safety, life or limb of some person, or is necessary for operation of a legally established business in a properly zoned district.
- (b) *Loud operation of mechanical or electrical devices prohibited.* No person occupying or having charge of any building or premises, or any part thereof, shall cause or allow any loud, excessive or unusual noise in the operation or use of any radio, phonograph, tape recorder, loudspeaker or other mechanical or electrical device, instrument or machine, which noise shall unreasonably disturb the comfort, quiet or repose of persons therein or in the vicinity.
- (c) *Noise between certain hours prohibited.* Except when necessary to protect the public health, safety or welfare, no person shall cause or allow any noise between the hours of 8:00 pm and 6:30 am on any day as a result of excavating, grading, building, or constructing activities.
- (d) *Order by officer.* Any person violating this section shall upon the request of a law enforcement officer immediately cease any activities causing a violation of this section. Failure to cease such activities immediately upon the request of a law enforcement officer shall constitute an additional and separate violation.

Secs. 28-112—28-120. - Reserved.

**DIVISION 2. - OUTDOOR USE OF SOUND AMPLIFYING DEVICES**

**Sec. 28-121. - Findings of fact.**

The Village Board finds that excess noise and excessive vibration can degrade the environment of the Village to a degree which is harmful and detrimental to the public health, safety and welfare of its inhabitants and interferes with the comfortable enjoyment of life, property and recreation therein and causes nuisances. The Village Board further finds that no one has any right to interfere with comfortable enjoyment of life, property and recreation within the Village by creating excess noise or excess vibration by the use of sound amplification devices which may unreasonably interfere with normal pursuits of life and recreation or the health and welfare of the Village's inhabitants.

**Sec. 28-122. - Permit required.**

Except in cases of clear emergency, no person within the Village, excluding businesses which are on a fixed site and have drive-through services, auction services, and other like-oriented businesses that use loudspeakers to service customers shall operate or permit operation outside of a reasonably soundproof enclosure, any loudspeaker, public address system or similar sound amplifying device without first obtaining a permit from the Village Board as provided in this section

**Sec. 28-123. - Application.**

An application for an outdoor sound amplification permit shall be filed with the Village Clerk on forms provided by the clerk as approved by the Village Board and shall include at least the following information:

- (1) History of the applicant relative to the applicant's fitness to hold a permit.
- (2) The dates and times for which the applicant is applying and the type of equipment to be used.
- (3) The premises or area of the Village where the sound amplifying equipment will be used and the anticipated affected area.
- (4) A sworn statement of the applicant that all information provided in the application is true and correct.

**Sec. 28-124. - Time of filing.**

Each application for an outdoor sound amplification permit shall be filed with the Village Clerk at least 30 days prior to the date on which the permit is proposed to be used and at least 15 days prior to granting of the permit. If a permit is not turned in timely, but time allows for the clerk to do all the necessary legal publication and notice requirements, the clerk will use his/her discretion in accepting the permit for processing.

**Sec. 28-125. - Fee.**

The nonrefundable fee for an outdoor sound amplification permit shall be as set forth in the Village fee schedule to cover the cost of publication and mailing and shall be paid at the time of filing the application for the permit.

**Sec. 28-126. - Public meeting notice.**

No permit shall be granted until after a public meeting is held thereon in accordance with this section. The Village Clerk shall schedule a public meeting before the Village Board on the granting of the permit. A representative of the applicant shall attend the public meeting. The clerk shall notify all property owners within a radius of 300 feet of the site for which the permit is sought at least ten days before the meeting. Notice shall be given by first class mail.

**Sec. 28-127. - Investigation.**

The Village clerk shall refer each application for a permit to the Village Board which shall conduct an investigation as to the advisability of granting the permit as it deems necessary or desirable to protect the public interest described in section 28-112.

**Sec. 28-128. - Granting of permit.**

- (a) No permit may be granted until and unless the Village Board by a majority vote has authorized granting of the same.
- (b) If the Village Board decides not to issue a permit it shall notify the applicant of its decision in writing and state the reasons therefore.

(c) Permits shall contain the date of issuance, the amount of fee paid and the name of the permittee. No permit shall be valid at times or dates other than as stated on the face thereof, nor for longer than four months.

**Sec. 28-129. - Appeals.**

Any applicant aggrieved by the Village Board's denial of a permit may within thirty (30) days after the written denial commence an action seeking the remedy available by certiorari.

**Sec. 28-130. - Abatement orders.**

In lieu of or in addition to issuing a citation or complaint, any law enforcement officer may issue an order requiring the immediate abatement of any source of sound in violation of this article.

Secs. 28-131—28-142. - Reserved.

**ARTICLE V. - ABATEMENT**

**Sec. 28-143. - Inspection of premises.**

Whenever a complaint is made to any Village official or employee that a public nuisance exists within the Village, said complaint shall be directed to the appropriate department head who shall in his/her reasonable discretion inspect or cause to be inspected the premises complained of and shall make a written report of his/her findings to the Village Manager. Whenever practicable, the inspecting officer shall cause photographs to be made of the premises.

**Sec. 28-144. - Summary abatement; notice to owner.**

If the inspecting officer shall determine that a public nuisance exists within the Village, the department head may serve notice personally or by certified mail on the persons causing, permitting, or maintaining such nuisance or upon the owner or occupant of the premises where such nuisance is caused, permitted, or maintained. Such notice shall direct the person causing, permitting, or maintaining such nuisance or the owner or occupant of the premises to abate or remove such nuisance within a specified, reasonable period of time after consideration of all relevant circumstances and shall state that unless the same is done will cause the nuisance to be abated and will charge the cost thereof to the owner, occupant, or person causing, permitting, or maintaining the nuisance, as the case may be and that said costs may be collected as a special charge pursuant to Wis. Stats. § 66.0627.

**Sec. 28-145. - By Village.**

If the nuisance is not abated within the time provided or if the owner, occupant, or person causing the nuisance cannot be found, the department head shall cause the abatement or removal of such public nuisance. Wherever possible, costs or abatement shall be billed to the owner, occupant, or person causing the nuisance. If said costs are not paid within 30 days of



## Discharge of Firearms Application

Owner mailing address: W 5725 Manitowoc Rd. Appleton WI 54915

I, Tony Mader own 117 contiguous acres of land  
(name) (# of acres)

within the Village of Harrison, located at:

W 5725 Manitowoc Rd and N9093 CH Rd N  
(address or description of property)

I acknowledge as the land owner, I

- am the only one who can give non-family members permission to fire or discharge firearms on the land.
- must request a waiver annually.
- that the waiver can be revoked for a violation of WI State Statute Chapter 167 or Chapter 941 relative to the use of firearms.

Tony Mader  
Authorized Signature (Land Owner)

7-15-21  
Date

BOARD ACTION:	<u>Approve</u>	<u>Deny</u>	<u>Date of Meeting</u>
Land Owner	<u>Calumet County Sheriff's Department</u>	<u>Municipal Copy</u>	





Staff Use Only:


Verification of Acres Listed Above: 113.2 ac jgm

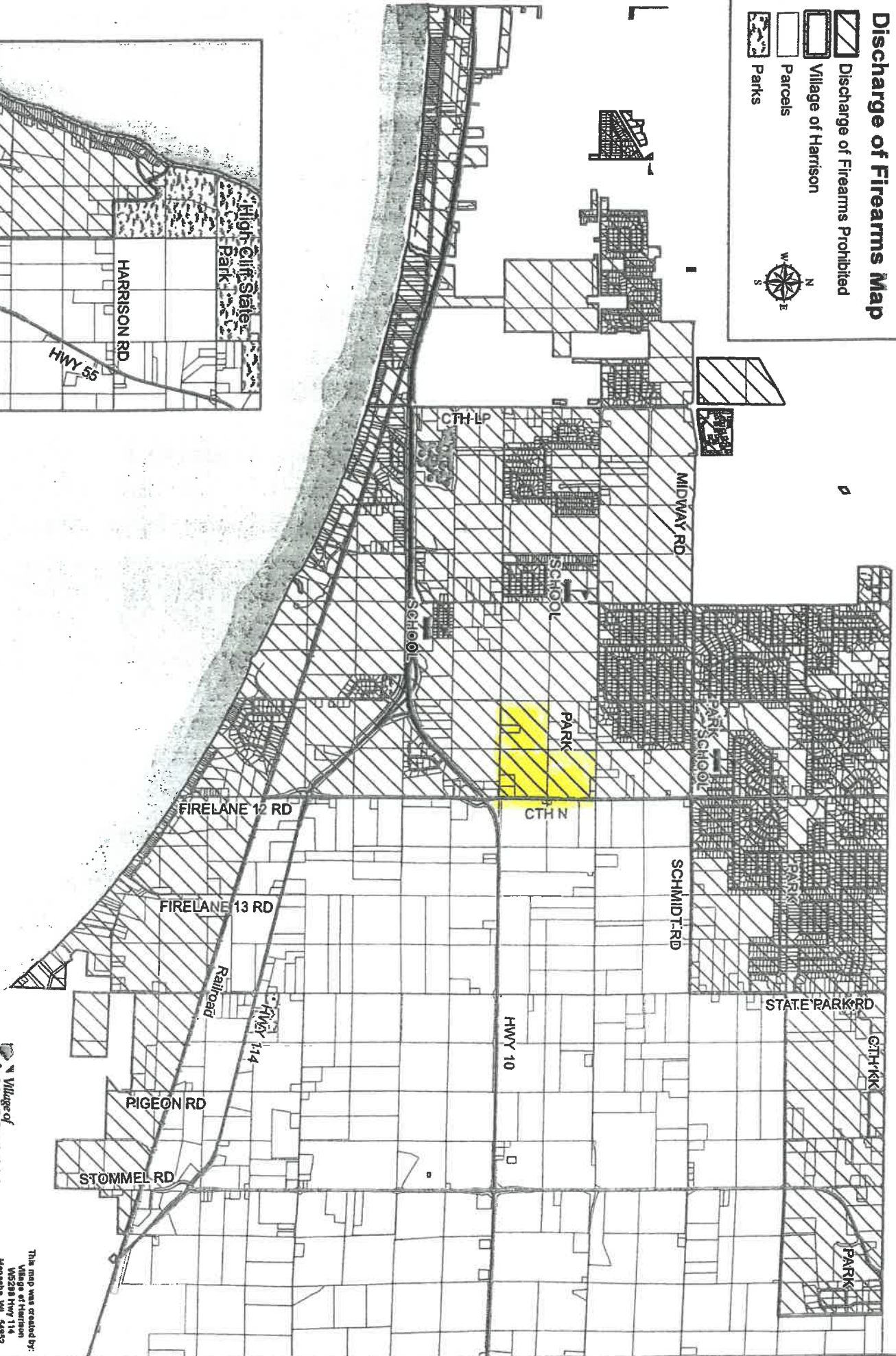
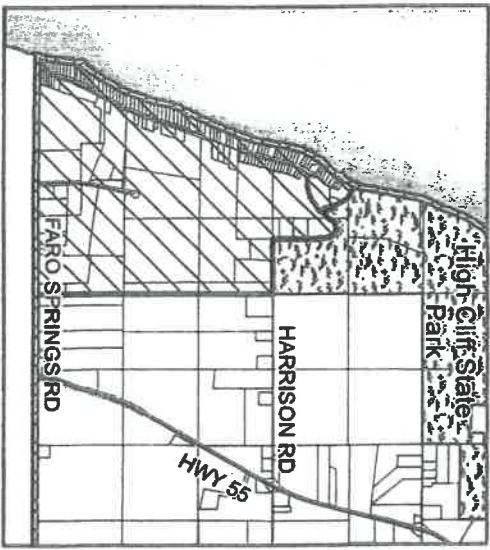
Renewal



# Discharge of Firearms Map

-  Discharge of Firearms Prohibited
-  Village of Harrison
-  Parcels
-  Parks





**Village of HARRISON**  
WHERE OPPORTUNITY LIVES

This map was created by:  
Village of Harrison  
46298 Hwy 114  
Montana, WI 54852  
820.989.1092

October 28, 2019

Disclaimer: This map is intended for informational purposes only. It is not a guarantee of accuracy or completeness. The Village of Harrison is not responsible for any errors or omissions in this map. The Village of Harrison is not responsible for any damages, including but not limited to, personal injury, property damage, or economic loss, arising from the use of this map. The Village of Harrison is not responsible for any actions taken by any individual or entity based on the information provided in this map. The Village of Harrison is not responsible for any actions taken by any individual or entity based on the information provided in this map.



# Discharge of Firearms Application

Owner mailing address: W 2425 Buchanan Rd.

I, John Ruys own 79 contiguous acres of land  
(name) (# of acres)

within the Village of Harrison, located at:

Tony Ruys' old farm (corner of St. Park & Schmidt)  
(address or description of property)

I acknowledge as the land owner, I

- am the only one who can give non-family members permission to fire or discharge firearms on the land.
- must request a waiver annually.
- that the waiver can be revoked for a violation of WI State Statute Chapter 167 or Chapter 941 relative to the use of firearms.

John Ruys  
Authorized Signature (Land Owner)

7-17-21  
Date

<b>BOARD ACTION:</b> _____ <i>Approve</i> _____ <i>Deny</i> _____ <i>Date of Meeting</i> Land Owner _____ Calumet County Sheriff's Department _____ Municipal Copy _____
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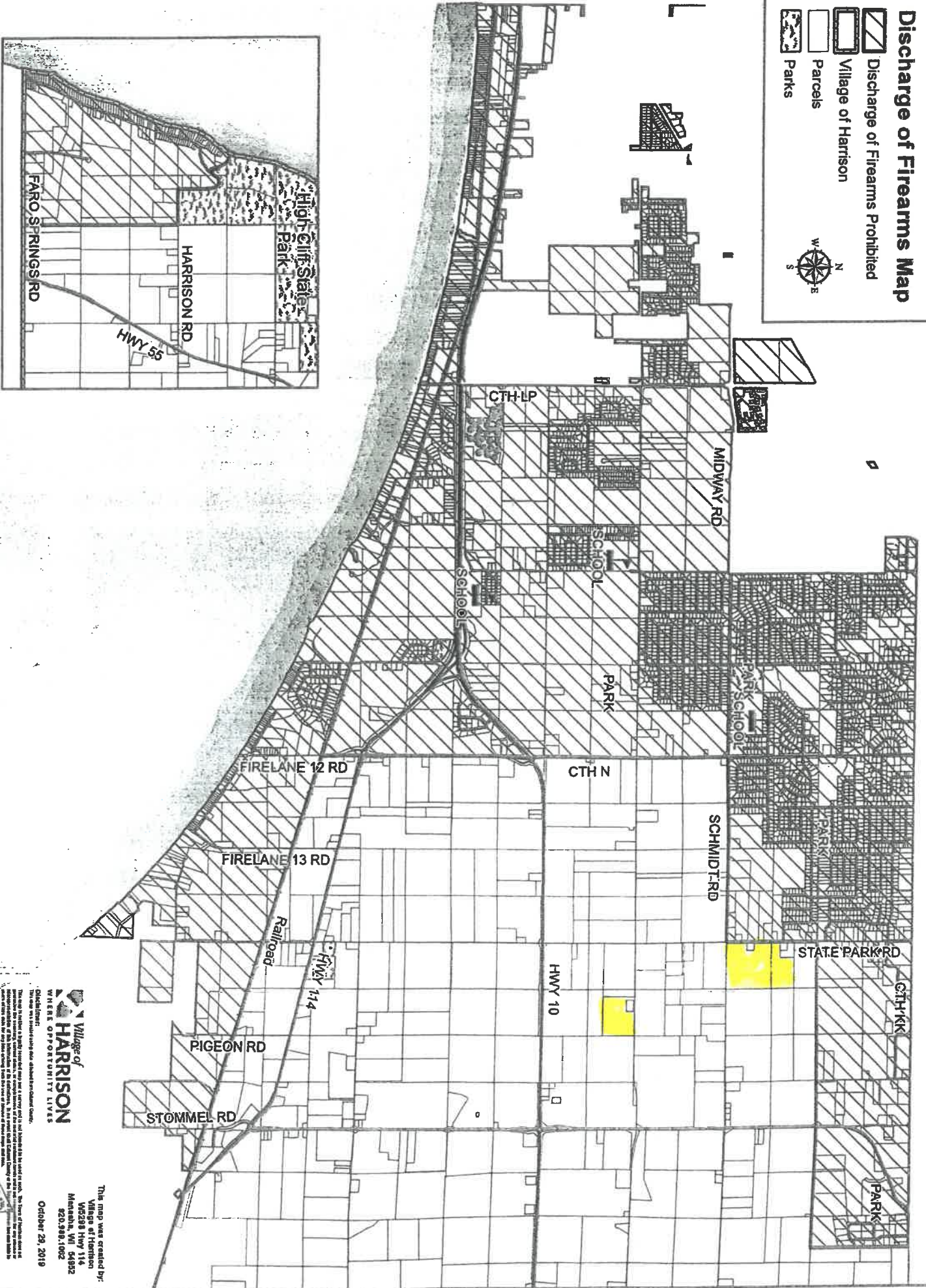
Staff Use Only:

Verification of Acres Listed Above: 78.84-ac gjm

Renewal

# Discharge of Firearms Map

-  Discharge of Firearms Prohibited
-  Village of Harrison
-  Parcels
-  Parks



The map was created by:  
 Village of Harrison  
 49528 Hwy 114  
 Meriden, WI 54952  
 920.986.1002

October 29, 2019

Disclaimer: The Village of Harrison and its Board of Trustees are not responsible for any errors or omissions on this map. The Board of Trustees is not liable for any damages, including but not limited to, consequential or special damages, arising from the use of this map. The Board of Trustees is not liable for any damages, including but not limited to, consequential or special damages, arising from the use of this map. The Board of Trustees is not liable for any damages, including but not limited to, consequential or special damages, arising from the use of this map.