

NOTICE OF VILLAGE BOARD MEETING

DATE: Tuesday, April 26, 2022
TIME: 6:00pm
PLACE: Harrison Municipal Building
W5298 State Road 114
Harrison, WI 54952

NOTICE IS HEREBY GIVEN that a Village Board meeting will be held at 6:00pm on Tuesday, April 26, 2022, at the Harrison Municipal Building. This is a public meeting and the agenda is listed below.

1. Call to Order

2. Pledge of Allegiance

3. Roll Call of Village Board

4. Correspondence or Communications from Board and Staff

- a) Confirmation of who will attend Board of Review training
- b) Village Board training opportunity

5. Corrections and Approval of the Previous Meetings Minutes

- a) April 12, 2022

6. Public Comments

Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three-minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.

7. Reports

- a) Harrison Fire Rescue
- b) Calumet Co. Sheriff Department
- c) Village Manager
 - i. Budget Report
- d) Planning and Zoning
- e) Parks and Trails
- f) Public Works Department/Engineering
- g) Harrison Utilities
- h) Clerk-Treasurer (Statement of Income and Expenses)

8. Approval of Bills and Claims for March 2022

9. Appointments to Boards and Commissions (term, end date)

- a) Plan Commission
 - i. Dennis Reed (3-year, April 30, 2025)
 - ii. Jim Lincoln (3-year, April 30, 2025)
- b) Zoning Board of Appeals
 - i. Craig Majewski (3-year, April 30, 2025)
 - ii. Dan Garber (3-year, April 30, 2025)
- c) Weed Commissioner
 - i. Kaylee Grezinski (1-year, April 30, 2023)
- d) Fire Commissioner
 - i. Mike Pompa (5-years, April 2027)

10. Unfinished Business for Discussion, Consideration, and/or Action

- a) Update on Comprehensive Outdoor Recreation Plan by Graef
- b) Update on Bid for Darboy Park Improvements (Pickleball/Tennis courts)

11. New Business for Discussion, Consideration, and/or Action

- a) Approve Proclamation for Former Trustee Pete Stier
- b) Award Bid for Street Resurfacing Program
- c) Development Agreement – Luniak Meadows – Schmidt Road
- d) Final Plat – Luniak Meadows – Schmidt Road
- e) Ord V22-03 – Zoning Map Amendment – Macrander – Firelane 12
- f) Ord V22-04 - Zoning Map Amendment – Mielke – Mielke Road
- g) Certified Survey Map – Mielke – Mielke Road
- h) Certified Survey Map – Zahringer – Hwy 55
- i) Conditional Use Permit – Milis Enterprise – County KK
- j) Salt Spinner for DPW truck
- k) Revised Village Cell Phone Policy
- l) 6-month Class B Alcohol License for Harrison Athletic Association
- m) Woodland School Request to Waive Park Rental Fees for End of Year Party
- n) Resolution V2022-08 Adopting the Calumet County Hazard Mitigation Plan

12. Future Agenda Items

- a) Discussion/Action on a 5-year Capital Improvement Plan
- b) Noise Ordinance that includes measurable limits – May 10th (possibly rescind motion from April 12, 2022 and propose new motion)
- c) Village IT plan
- d) Proposal of new meeting/agenda software – May 31, 2022
- e) Online payment option – May 31, 2022
- f) Resolution combining wards for the Primary and General Election (due by June 10th)
- g) Take from the Table the Waverly Beach revised Outdoor Amplification Application (May 10th)

13. Adjournment

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

Agenda posted on April 21, 2022 at www.harrison-wi.org and the Municipal Building lobby.
Vicki Tessen, Clerk

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:
Vicki Tessen, Clerk

Meeting Date:
April 26, 2022

Title:
Board Training Opportunity

Issue:
Are any board members interested in attending a board member training?

Background and Additional Information:
Trustees have mentioned they would like to be made aware of trainings/seminars/webinars that may be beneficial to their role on the village board.

The League of Wisconsin Municipalities is sponsoring a new / refresher board member training that trustees may be interested in attending. The LWM is well known for offering exceptional educational materials.

A summary of the dates, locations, and agendas are attached.

Budget Impacts:
\$110 per attendee

Staff Recommendation:
The Clerk's opinion is that continuing education is essential and a direct correlation to how well someone is capable of performing their job. Therefore, if the topics are unfamiliar then I recommend attending the training.

Action Options:
If interested in attending – send an email to the clerk with the class date you want to attend.

Attachments:

- Class: Local Government 101 summary sheet
- Agenda for in-person classes w/ covid precaution sheet
- Agenda for webinar classes

Class: Local Government 101

The League's 1-day workshop provides a basic framework for governing to both new city and village officials and those who want to brush up on their knowledge of local governance.

You'll learn about city and village powers including municipal home rule, hear about how to recognize and avoid conflicts of interest, go home with a quick tutorial on municipal budgeting as well as how to run a meeting and finish with an overview on managing public works projects. In addition, you'll have that age-old question answered: "what is a walking quorum anyway?"

\$110 Member / \$135 Non-member

2022 In Person Offerings – 3 dates/locations to choose from

Attendee Care for League of WI Municipalities In-Person Events

[Attendees please review this PDF](#)

1. May 13, 2022 – Eau Claire, The Lismore Hotel

Although this is intended to be a drive-in/day program, we have a small block of rooms reserved at the Lismore Hotel. \$90/night Phone: 715-835-8888 Hotel room block cut-off date: April 22, 2022 – Identify yourself as part of the Local Gov 101-League of WI Municipalities for this special rate.

2. June 3, 2022 – Madison Marriott West, Middleton

3. September 16, 2022 – Tundra Lodge, Green Bay

[In Person Registration](#)

(Credit Card Required)

[In Person Registration Invoice](#)

(Invoice Mailed To You)

[In Person Agenda](#) (PDF)

2022 Webinar Offerings:

All online & may attend any LG 101 Webinar(s)

1. May 6 - Webinar

2. September 9 - Webinar

Take one, take parts, take all. Participants who opt for the online webinar version have the option to take the course all in one day or mix and match the four different modules during either of our offered webinar dates over a 12 month period following their registration. In addition to the online training, participants will have the option of receiving a hard copy workbook or a USB version. The cost of the program is \$110 per person.

[Webinar Registration](#)

(Credit Card Required)

[Webinar Registration Invoice](#)

(Invoice Mailed To You)

[Webinar Agenda](#) (PDF)

2022 Local Government 101

(In-Person)

**May 13, 2022 – Lismore
Hotel Eau Claire**

OR

June 3, 2022

Madison Marriott West

Agenda

8:30 a.m. **Registration**

9:00 a.m. **Welcome**

From League of Wisconsin Municipalities:

Jerry Deschane, Executive Director *or*

Gail Sumi, Member Engagement & Communications Director

Organization & Powers of Cities and Villages

From League of Wisconsin Municipalities:

Claire Silverman, Legal Counsel *or*

Maria Davis, Assistant Legal Counsel

Recognizing and Avoiding Conflicts of Interest

From League of Wisconsin Municipalities:

Claire Silverman, Legal Counsel *or*

Maria Davis, Assistant Legal Counsel

10:45 a.m. **Break**

11:00 a.m. **Budgeting and Financial Oversight**

From Ehlers, Inc. Staff:

12:15 p.m. **Lunch** (included)

1:00 p.m. **Procedures for Local Government Meetings**

Daniel Foth, Local Government Specialist, Local Government Education
University of Wisconsin - Extension

2:30 p.m. **Break**

2:45 p.m. **Managing Public Works Activities**

Ben Jordan, Program Director, Engineering Professional Development, UW-Madison

4:00 p.m. **Adjourn**

Thank you to our Local Government 101 sponsors: Stafford Rosenbaum and League Mutual Insurance

Attendee Care for League of WI Municipalities

2022 In-Person Events

*This may be subject to change. Last revised: 2/4/22

During this uncertain time, your health and that of your fellow local officials is the League's first priority.

With that in mind, we ask all persons attending League conferences, regardless of vaccination status, wear masks that cover their mouth and nose in all enclosed public spaces/common areas that are hosting League events or functions.

For your comfort and confidence, we ask all of our attendees to observe any current health advisories and abide by the social distancing rules of the establishment hosting our event.

A list of the most current social distancing recommendations from the Centers for Disease Control is below. We will be organizing seating, attendee flow and meals in compliance with those guidelines. Prior to each event we will brief all attendees with site-specific protocols.

We will also cheerfully refund your registration if at the time of the event you have been exposed to or are experiencing COVID-19 symptoms.

As for handshaking, hugging, backslapping, "knucks," high fives and the many other ways we greet one another, we recommend restraint.

Helpful links:

<https://www.cdc.gov/coronavirus/2019-ncov/communication/guidance.html>

<https://www.dhs.wisconsin.gov/>

**2022 Local Government 101
Webinar**

Agenda

- 9:00 a.m. **Welcome**
Organization & Powers of Cities and Villages
Recognizing and Avoiding Conflicts of Interest
- 10:45 a.m. **Break**
- 11:00 a.m. **Budgeting and Financial Oversight**
- 1:00 p.m. **Procedures for Local Government Meetings**
- 2:30 p.m. **Break**
- 2:45 p.m. **Managing Public Works Activities**
- 4:00 p.m. **Adjourn**

Thank you to our Local Government 101 sponsors: Stafford Rosenbaum and League Mutual Insurance



Harrison Fire Rescue

Fire Station 60 • Fire Station 70 • EMS



Village Board/Fire Commission Activity Report - April 2022 (Updated: 4/20/2022)

1. Emergency Response

Harrison Fire Rescue has been dispatched to 43 emergency calls from March 23rd - April 19th.

- As of April 19th, the Department has responded to a total of 182 incidents
- See attached Incident Report summary

2. Community Public Relations

Members of HFR routinely donate service hours for the betterment of our community. Through pride and commitment, these volunteers make our emergency services a visible presence while showcasing the good our community has to offer.

- March 27 Boy Scout Troop 3061 Station 70 tour

3. Department Training/Meetings

In addition to regularly scheduled meetings, training plays a prominent role in our organization. Members hold learning in high regard and value opportunities from learned experiences. One of our strengths as a volunteer department resides in the diversity and expertise our members bring with them.

- March 23rd Hiring committee meeting
- March 26th Calumet County Dive Team training
 - Stockbridge quarry
- April 6th HFR staff meeting
- April 11th Rope rescue team meeting
- April 11th EMS meeting/training
 - seizures
 - syncope
- April 13th Calumet County Investigators
 - Harrison hosted

4. Chief Meetings/Item of Note

- March 23rd Hydro testing at Harrison Estates
 - March 23rd New hire interviews
 - March 29th Village Board meeting
 - March 31st Developer meeting
-



Harrison Fire Rescue

Fire Station 60 • Fire Station 70 • EMS



- April 5th Member meeting
- April 6th Hydro testing at Mirragio apartments
- April 6th Calumet County Chief's meeting
- April 12th Village Board meeting
- April 12th Vendor meeting

- Station 60 TLC
 - Holes patched
 - Painted

Respectfully Submitted,

Jarred Gerl

Jarred Gerl

Chief – Harrison Fire Rescue



Harrison Fire Rescue

Menasha, WI

This report was generated on 4/20/2022 2:30:36 PM



Incident Type and Street Name for Date Range

Incident Status: All | Start Date: 03/23/2022 | End Date: 04/19/2022

Incident Date	Address	Incident Type
03/23/2022	Blue Heron CT, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
03/23/2022	Golf Course RD, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
03/24/2022	Trailwood LN, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
03/24/2022	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
03/25/2022	Hopfensperger RD, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
03/25/2022	Noe RD, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
03/26/2022	Dundas RD, Woodville (Town of), WI 54110	EMS call, excluding vehicle accident with injury
03/26/2022	Natures Way DR, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
03/27/2022	Natures Way DR, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
03/27/2022	Ravine CT, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
03/28/2022	Robinhood DR, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
03/28/2022	Firelane 1 RD, Harrison, WI 54952	Alarm system activation, no fire - unintentional
03/29/2022	Friendship DR, Harrison, WI 54130	Alarm system activation, no fire - unintentional
03/30/2022	Colin ST, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
03/30/2022	Sweetgrass TRL, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
03/31/2022	County Trunk KK, Harrison, WI 54130	Motor vehicle accident with injuries
04/01/2022	Christopher LN, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
04/02/2022	Kernan AVE, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
04/02/2022	Kernan AVE, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
04/02/2022	Touchdown DR, Harrison, WI 54915	Good intent call, other
04/02/2022	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
04/03/2022	County Trunk KK, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
04/03/2022	Victorian DR, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
04/05/2022	Amy AVE, Harrison, WI 54130	Dispatched & cancelled en route
04/05/2022	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
04/06/2022	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
04/08/2022	Grassy CT, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
04/08/2022	Edgewater CT, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
04/09/2022	Arbor Vitae CT, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
04/11/2022	Sonny DR, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
04/11/2022	Kernan AVE, Harrison, WI 54915	Dispatched & cancelled en route
04/12/2022	Highway 114, Harrison, WI 54952	Motor vehicle accident with injuries
04/12/2022	N Marx RD, Harrison, WI 54129	EMS call, excluding vehicle accident with injury
04/12/2022	Fox LN, Sherwood, WI 54169	EMS call, excluding vehicle accident with injury
04/14/2022	Dusty DR, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
04/15/2022	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
04/15/2022	County Trunk KK, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
04/15/2022	North Shore RD, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
04/16/2022	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
04/16/2022	Anna CT, Harrison, WI 54915	EMS call, excluding vehicle accident with injury
04/16/2022	Highway 10/114, Harrison, WI 54952	EMS call, excluding vehicle accident with injury

Lists the Incident Date, Street Name (including City, State, Zip), and Incident Type of incidents occurring within the given Date Range. Only Reviewed incidents are included.



04/16/2022	Amy AVE, Harrison, WI 54130	EMS call, excluding vehicle accident with injury
04/16/2022	North Shore RD, Harrison, WI 54952	EMS call, excluding vehicle accident with injury
		Total incidents: 43

Lists the Incident Date, Street Name (including City, State, Zip), and Incident Type of incidents occurring within the given Date Range. Only Reviewed incidents are included.



VILLAGE BOARD MEETING**VILLAGE OF HARRISON****From:**

Matt Heiser, Village Manager

Meeting Date:

April 26, 2022

Title:

Village Manager Report – Amended (Update on Waverly Beach Meeting)

Issue:

None

Background and Additional Information:Connection Fee Review

Staff met this week with Martenson and Eisele this week to review a draft report. The group reviewed some changes/additions and the final should be ready for Board approval for the May 10 meeting.

Rooftop Air Handler for Utilities Building

The unit for the utilities building has been installed. The roof now needs to be repaired. This will require a separate public bid.

Notes on the Budget Report:

- The application of 2021 road expenses was corrected from the last version.
- I contacted the Village of Sherwood. Apparently they wait for an invoice from us for payment. This is in process.
- The short term rental revenues are booked to “Other License/Permit Fee” near the top of page 2. In 2022 the amount shown consists of a business license for five dollars, a direct sales permit for one hundred dollars and the Waverly Beach outdoor amplified equipment permit application.
- The report this month contains the special revenue accounts as well. Please note that a budget report for an account will only show anticipated revenues or expenses; not a running balance. If the Board would like to see that staff can create something different.

Amended Report: Waverly Beach Meeting

The meeting directed by the Board for the new owners of Waverly Beach and their neighbors took place on Wednesday, April 20. Present were 8 staff members of Waverly Beach (2 of which are Village residents), 8 residents of Fox Crossing, 2 residents of Harrison, the Village Clerk, Lt. Bries of Calumet County Sheriff’s Department and myself. Village President Blackmer joined the conversation at approximately 7:00 PM. The meeting lasted until shortly after 8:00 PM.

The owners of Waverly Beach presented their vision for the property and residents reacted to it.

One of the main goals of the meeting was to get input for a potential revision of Village ordinances. Lt. Bries expressed to the group that the existing noise ordinance was sufficient for the Village as a whole. They do not receive too many noise complaints throughout the Village each year (approximately 20) and the ordinance gives them the leeway to use their professional judgement on a case-by-case basis. This is important because the Village has such a variety of properties/land uses it is appropriate the ordinance accommodates a range of activity (e.g. farming equipment in the rural areas). Thus staff does not recommend revising the noise ordinance.

Instead staff is considering revising the ordinance for the outdoor amplified equipment permit. It would need to accommodate outdoor venues that might offer performances on an on-going basis and define some metrics that could be enforced/administered.

Budget Impacts:

None.

Recommended Action:

None.

Attachments:

- No attachments on the amended report.

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 100 - GENERAL FUND

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
100-00-40000-000-000	State Lottery Credit	0.00	0.00	0.00	0.00	0.00
REVENUES		0.00	0.00	0.00	0.00	0.00
100-00-41110-000-000	General Property Taxes	0.00	-1,914.75	2,906,793.00	-2,908,707.75	-0.07
100-00-41140-000-000	Mobile Home Fees	0.00	0.00	0.00	0.00	0.00
100-00-41150-000-000	Forest Cropland/MFL Taxes	0.00	0.00	30.00	-30.00	0.00
100-00-41220-000-000	Sales Tax - Village Share	0.00	0.00	0.00	0.00	0.00
100-00-41320-000-000	Payments In Lieu of Taxes	0.00	0.00	60,000.00	-60,000.00	0.00
100-00-41800-000-000	Interest - Personal Prop. Tax	0.00	0.00	0.00	0.00	0.00
100-00-41900-000-000	Other Taxes	0.00	-2,771.09	0.00	-2,771.09	0.00
TAXES		0.00	-4,685.84	2,966,823.00	-2,971,508.84	-0.16
100-00-42000-000-000	Special Assessments	0.00	1,260.97	0.00	1,260.97	0.00
100-00-42000-000-101	Connection Fees - Sewer	0.00	0.00	0.00	0.00	0.00
100-00-42100-000-000	S/W Agreement - Lexington Home	0.00	114,098.50	0.00	114,098.50	0.00
100-00-42300-000-001	Sp. Assmts. - Sidewalks	0.00	0.00	0.00	0.00	0.00
100-00-42300-000-002	Sp Assmts Rds - Hickory/Rustic	0.00	0.00	0.00	0.00	0.00
100-00-42600-000-001	Sp. Assmts. - Sumac Ln.	0.00	0.00	0.00	0.00	0.00
SPECIAL ASSESS CONNECTION FEES		0.00	115,359.47	0.00	115,359.47	0.00
100-00-43200-000-000	Federal Grants - CARES ACT	0.00	0.00	0.00	0.00	0.00
100-00-43400-000-000	State Shared Revenues	0.00	0.00	61,569.00	-61,569.00	0.00
100-00-43401-000-000	Personal Property Aid	0.00	0.00	0.00	0.00	0.00
100-00-43410-000-000	State Fire Dues - Harrison	0.00	0.00	49,900.00	-49,900.00	0.00
100-00-43420-000-000	State Fire Dues - Shwd/Wood	0.00	0.00	14,858.00	-14,858.00	0.00
100-00-43430-000-000	Exempt Computer Aid	0.00	0.00	42,400.00	-42,400.00	0.00
100-00-43530-000-000	State Transportation Aids	0.00	0.00	384,704.00	-384,704.00	0.00
100-00-43531-000-000	Local Road Improvement Aid	0.00	0.00	0.00	0.00	0.00
100-00-43532-000-000	Bridge Aid	0.00	0.00	0.00	0.00	0.00
100-00-43540-000-000	Recycling Grant	0.00	0.00	21,300.00	-21,300.00	0.00
100-00-43570-000-000	State Grant - Friendship Trail	0.00	0.00	0.00	0.00	0.00
100-00-43610-000-000	Payment for Municipal Services	0.00	0.00	60.00	-60.00	0.00
100-00-43620-000-000	DNR	0.00	0.00	0.00	0.00	0.00
INTERGOVERNMENTAL REVENUES		0.00	0.00	574,791.00	-574,791.00	0.00
100-00-44105-000-000	Liquor & Beverage Licenses	0.00	500.00	5,000.00	-4,500.00	10.00
100-00-44110-000-000	Operators Licenses	50.00	355.00	4,900.00	-4,545.00	7.24
100-00-44115-000-000	Cigarette Licenses	0.00	100.00	200.00	-100.00	50.00
100-00-44120-000-000	Cable Television Franchise Fee	0.00	23,310.22	111,703.00	-88,392.78	20.87
100-00-44205-000-000	Dog Licenses Fees	1,335.00	8,588.09	8,500.00	88.09	101.04
100-00-44305-000-000	Building Permit Fee	13,509.14	38,767.29	50,000.00	-11,232.71	77.53
100-00-44305-001-000	Bldg Permit Fee - Admin.	0.00	40.00	0.00	40.00	0.00
100-00-44306-000-000	HVAC Permit	11,059.14	26,916.69	6,500.00	20,416.69	414.10
100-00-44307-000-000	Plumbing Permit	7,405.20	20,730.60	9,000.00	11,730.60	230.34
100-00-44308-000-000	Electrical Permit	12,703.64	29,234.19	12,250.00	16,984.19	238.65
100-00-44309-000-000	Siding/Windows/Roof Permit	40.00	240.00	750.00	-510.00	32.00
100-00-44310-000-000	Pool Permit	0.00	120.00	1,000.00	-880.00	12.00
100-00-44311-000-000	Lot Grade Fee	3,440.00	12,900.00	47,500.00	-34,600.00	27.16
100-00-44312-000-000	Driveway Grade Fee	740.00	2,775.00	10,000.00	-7,225.00	27.75
100-00-44313-000-000	Culvert Permit	0.00	0.00	150.00	-150.00	0.00

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 100 - GENERAL FUND

Account Number		2022		2022 Budget	Budget Status	% of Budget
		April	Actual 04/21/2022			
100-00-44314-000-000	Street Opening Permit	0.00	0.00	0.00	0.00	0.00
100-00-44316-000-000	Demolition Permit	0.00	25.00	50.00	-25.00	50.00
100-00-44330-000-000	Utility Permit Fee	1,829.30	5,300.65	2,500.00	2,800.65	212.03
100-00-44336-000-000	Culvert Fee - Bldg Inspector	0.00	0.00	150.00	-150.00	0.00
100-00-44400-000-000	Zoning Permit Fee	1,675.00	8,675.00	20,000.00	-11,325.00	43.38
100-00-44401-000-000	Erosion Permit	400.00	1,500.00	6,500.00	-5,000.00	23.08
100-00-44410-000-000	Plat and CSM Review Fee	525.00	750.00	1,500.00	-750.00	50.00
100-00-44415-000-000	Site Plan Review Fee	0.00	300.00	5,500.00	-5,200.00	5.45
100-00-44900-000-000	Other License/Permit Fee	250.00	255.00	0.00	255.00	0.00
100-00-44905-000-000	Fireworks Permit	0.00	0.00	0.00	0.00	0.00
LICENSES AND PERMITS		54,961.42	181,382.73	303,653.00	-122,270.27	59.73
100-00-45105-000-000	Ordinance Violations	0.00	0.00	500.00	-500.00	0.00
100-00-45110-000-000	Parking Violations	1,565.48	6,129.35	6,000.00	129.35	102.16
FINES, FORFEITS AND PENALTIES		1,565.48	6,129.35	6,500.00	-370.65	94.30
100-00-46100-000-000	Administrative Fee	18,221.64	35,173.31	18,500.00	16,673.31	190.13
100-00-46105-000-000	Publication Fee - Liquor	0.00	0.00	0.00	0.00	0.00
100-00-46110-000-000	Real Estate Inquiry Fee	780.00	3,420.00	8,000.00	-4,580.00	42.75
100-00-46111-000-000	Photocopy Fee	0.00	0.00	0.00	0.00	0.00
100-00-46115-000-000	Merchandise Sales	0.00	0.00	0.00	0.00	0.00
100-00-46120-000-000	Credit Card Surcharge	0.00	379.96	700.00	-320.04	54.28
100-00-46210-000-000	Law Enforcement Charges	0.00	0.00	421,805.00	-421,805.00	0.00
100-00-46300-000-000	Transportation Utility Charges	0.00	0.00	546,108.00	-546,108.00	0.00
100-00-46310-000-000	Road Department Revenue	0.00	0.00	2,000.00	-2,000.00	0.00
100-00-46321-000-000	Street Lights Fee	0.00	2,480.77	1,100.00	1,380.77	225.52
100-00-46321-000-001	Lights - North Shore Woods	0.00	0.00	0.00	0.00	0.00
100-00-46321-000-002	Lights - North Shore Golf Club	0.00	0.00	0.00	0.00	0.00
100-00-46324-000-000	Harrison Stormwater Util Fee	0.00	73,721.79	0.00	73,721.79	0.00
100-00-46420-000-000	Refuse Collection Fee (67%)	540.00	3,072.00	396,052.00	-392,980.00	0.78
100-00-46435-000-000	Recycling Collection Fee (33%)	360.00	2,065.50	189,451.00	-187,385.50	1.09
100-00-46440-000-000	Weed & Nuisance Control Fee	0.00	0.00	0.00	0.00	0.00
100-00-46445-000-000	Compost Site Sticker Fee	4,380.00	10,000.00	14,000.00	-4,000.00	71.43
100-00-46722-000-000	Park Shelter Rental Fee	71.09	426.54	0.00	426.54	0.00
100-00-46740-000-000	Municipal Hall Rental Fee	284.37	1,516.64	0.00	1,516.64	0.00
PUBLIC CHARGES FOR SERVICES		24,637.10	132,256.51	1,597,716.00	-1,465,459.49	8.28
100-00-47323-000-000	Fire Contracts-Sherwood/Wood	0.00	0.00	157,712.00	-157,712.00	0.00
Forfeited Discounts		0.00	0.00	157,712.00	-157,712.00	0.00
100-00-48110-000-000	Banking - Earned Interest	0.00	0.00	20,000.00	-20,000.00	0.00
100-00-48120-000-000	Interest - Taxes	0.00	0.00	0.00	0.00	0.00
100-00-48130-000-000	Sp. Assmnt. - Earned Interest	0.00	9.79	100.00	-90.21	9.79
100-00-48302-000-000	Sales - Fire Equipment	0.00	0.00	0.00	0.00	0.00
100-00-48303-000-000	Sales - Public Works Equipment	0.00	0.00	0.00	0.00	0.00
100-00-48307-000-000	Sales - Recyclables	0.00	0.00	0.00	0.00	0.00
100-00-48400-000-000	Insurance Recoveries	0.00	0.00	5,000.00	-5,000.00	0.00
100-00-48500-000-000	Donations	0.00	0.00	0.00	0.00	0.00
100-00-48900-000-000	Misc. Revenues	0.00	1,069.16	500.00	569.16	213.83
100-00-48905-000-000	Tippage Fee - Harrison Landfil	0.00	15,890.00	81,000.00	-65,110.00	19.62

Budget Comparison - Detail
 Budget Report - Through April 21, 2022

Fund: 100 - GENERAL FUND

Account Number		2022	2022	2022	Budget	% of
		April	Actual 04/21/2022	Budget	Status	Budget
MISCELLANEOUS REVENUES		0.00	16,968.95	106,600.00	-89,631.05	15.92
100-00-49000-000-000	Transfer from Debt Srvce Fund	0.00	0.00	0.00	0.00	0.00
100-00-49110-000-000	Proceeds from G.O. Bonds	0.00	0.00	1,500,000.00	-1,500,000.00	0.00
100-00-49140-000-000	State Trust Fund Loan	0.00	0.00	0.00	0.00	0.00
100-00-49205-000-000	Transfer from Debt Serv. Fund	0.00	0.00	0.00	0.00	0.00
OTHER FINANCING SOURCES		0.00	0.00	1,500,000.00	-1,500,000.00	0.00
Total Revenues		81,164.00	447,411.17	7,213,795.00	-6,766,383.83	6.20

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 100 - GENERAL FUND

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
100-00-51100-100-000	Village Board - Wages	1,292.32	9,563.18	33,600.00	24,036.82	28.46
100-00-51100-105-000	Village Board - FICA	98.87	731.66	2,570.00	1,838.34	28.47
100-00-51100-115-000	Village Board-Training/Mileage	0.00	0.00	800.00	800.00	0.00
100-00-51100-300-000	Village Board-Per Diem	0.00	0.00	0.00	0.00	0.00
100-00-51100-310-000	Village Board-Dues	0.00	6,488.37	6,000.00	-488.37	108.14
100-00-51100-400-000	Village Board-Supplies	0.00	0.00	500.00	500.00	0.00
100-01-51101-100-001	Planning - Salary	1,170.84	15,653.34	156,000.00	140,346.66	10.03
100-01-51101-105-000	Planning - FICA	146.49	1,250.14	11,934.00	10,683.86	10.48
100-01-51101-200-000	Planning - Benefits	0.00	6,718.58	53,193.00	46,474.42	12.63
100-01-51101-205-000	Planning - Retirement	76.10	1,017.43	10,608.00	9,590.57	9.59
100-01-51101-300-000	Planning - Per Diem	810.00	1,620.00	4,000.00	2,380.00	40.50
100-01-51101-301-000	Planning - Dues	0.00	0.00	1,000.00	1,000.00	0.00
100-01-51101-304-000	Planning - Consultants	0.00	0.00	0.00	0.00	0.00
100-01-51101-305-000	Planning - Training/Mile/Exp.	0.00	1,455.00	3,500.00	2,045.00	41.57
100-01-51101-400-000	Planning - Supplies	0.00	681.91	500.00	-181.91	136.38
100-01-51101-400-005	Planning - Postage	0.00	0.00	0.00	0.00	0.00
100-01-51101-800-000	Planning - Publications	0.00	248.45	0.00	-248.45	0.00
100-01-51101-801-000	Planning - Capital	0.00	0.00	0.00	0.00	0.00
100-00-51300-000-000	Legal	11,389.00	11,389.00	10,000.00	-1,389.00	113.89
100-09-51300-000-000	Hwy Dept - Legal	0.00	0.00	15,000.00	15,000.00	0.00
100-02-51400-100-000	Gen. Admin - Wages	11,910.36	98,453.22	315,035.00	216,581.78	31.25
100-02-51400-103-000	Gen. Admin - OT Wages	0.00	0.00	0.00	0.00	0.00
100-02-51400-105-000	Gen. Admin - FICA	863.54	7,183.07	24,100.00	16,916.93	29.81
100-02-51400-200-000	Gen. Admin - Benefits	0.00	47,038.00	93,269.00	46,231.00	50.43
100-02-51400-205-000	Gen. Admin - Retirement	774.17	6,364.67	21,400.00	15,035.33	29.74
100-02-51400-305-000	Gen. Admin - Training/Conf.	0.00	708.00	2,500.00	1,792.00	28.32
100-02-51400-310-000	Gen. Admin - Dues	189.95	264.95	3,200.00	2,935.05	8.28
100-02-51400-400-000	Gen. Admin - Supplies	588.18	3,633.88	20,000.00	16,366.12	18.17
100-02-51400-400-005	Gen. Admin - Postage	0.00	0.00	3,000.00	3,000.00	0.00
100-02-51400-400-006	Gen. Admin - Service Contracts	1,596.72	28,178.49	70,000.00	41,821.51	40.25
100-02-51400-800-000	Gen. Admin - Publications	0.00	31.60	3,000.00	2,968.40	1.05
100-02-51400-800-005	Gen. Admin - Newsitr & Postage	0.00	0.00	4,000.00	4,000.00	0.00
100-00-51440-000-000	Elections - Wages	8,127.50	8,127.50	14,000.00	5,872.50	58.05
100-00-51440-100-000	Elections-FICA	13.96	13.96	1,071.00	1,057.04	1.30
100-00-51440-200-000	Elections - Expenses/Training	0.00	0.00	500.00	500.00	0.00
100-00-51440-300-000	Elections - Service Contracts	72.78	1,422.78	4,000.00	2,577.22	35.57
100-00-51440-400-000	Elections - Supplies	307.16	497.34	3,000.00	2,502.66	16.58
100-00-51440-500-000	Elections - Postage	0.00	1,000.00	0.00	-1,000.00	0.00
100-00-51440-600-000	Elections - Publications	0.00	90.99	1,000.00	909.01	9.10
100-05-51500-000-000	Assessor - Contract	0.00	0.00	34,800.00	34,800.00	0.00
100-04-51500-100-000	Treasurer - Wages	0.00	0.00	0.00	0.00	0.00
100-04-51500-105-000	Treasurer - FICA	0.00	0.00	0.00	0.00	0.00
100-04-51500-305-000	Treasurer - Mileage	0.00	0.00	0.00	0.00	0.00
100-04-51500-315-000	Treasurer - Service Contracts	0.00	844.36	0.00	-844.36	0.00
100-04-51500-315-015	Treasurer - Accounting	9,799.65	9,799.65	17,500.00	7,700.35	56.00
100-04-51500-400-000	Treasurer - Supplies	0.00	1,466.82	2,500.00	1,033.18	58.67
100-05-51500-400-000	Assessor - Supplies BOR	0.00	0.00	0.00	0.00	0.00
100-04-51500-400-005	Treasurer - Postage	0.00	4,971.68	0.00	-4,971.68	0.00
100-04-51500-800-000	Treasurer - Publications	0.00	0.00	0.00	0.00	0.00
100-00-51600-400-000	Municipal Bldg - Supplies	0.00	213.88	7,500.00	7,286.12	2.85
100-00-51600-500-020	Municipal Bldg - Electric	0.00	1,249.60	5,500.00	4,250.40	22.72
100-00-51600-500-021	Municipal Bldg - Heat	0.00	3,247.36	4,750.00	1,502.64	68.37

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 100 - GENERAL FUND

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
100-00-51600-500-022	Municipal Bldg - Telephone	120.00	360.00	1,750.00	1,390.00	20.57
100-00-51910-000-000	Uncollectable Taxes	0.00	0.00	0.00	0.00	0.00
100-00-51932-000-000	Insurance - Property and Crime	0.00	15,377.00	18,900.00	3,523.00	81.36
100-00-51933-000-000	Insurance - Workers Comp.	0.00	28,744.00	33,311.00	4,567.00	86.29
100-00-51938-000-000	Insurance - General and Auto	0.00	19,077.00	23,625.00	4,548.00	80.75
100-00-51980-000-000	Memorial Expenses	0.00	50.00	500.00	450.00	10.00
GENERAL GOVERNMENT		49,347.59	345,226.86	1,042,916.00	697,689.14	33.10
100-00-52100-000-000	Law Enforcement - Contract	0.00	0.00	629,059.00	629,059.00	0.00
100-00-52101-000-000	Law Enforcement - Dog Pickups	0.00	0.00	0.00	0.00	0.00
100-00-52102-000-000	School Crossing Guard & Lights	0.00	0.00	2,500.00	2,500.00	0.00
100-06-52200-000-000	Fire Dept - Insurance	0.00	0.00	0.00	0.00	0.00
100-06-52200-100-000	Fire Dept - Wages	-1,407.12	46,256.20	215,000.00	168,743.80	21.51
100-06-52200-105-000	Fire Dept - FICA	269.77	3,913.67	16,447.50	12,533.83	23.79
100-06-52200-210-000	Fire Dept - Retirement	424.58	3,396.64	40,575.00	37,178.36	8.37
100-06-52200-301-000	Fire Dept - Petty Cash	0.00	0.00	0.00	0.00	0.00
100-06-52200-305-000	Fire Dept - Training/Mem	0.00	1,361.83	5,500.00	4,138.17	24.76
100-06-52200-306-000	Fire Dept - Fire Inspection	0.00	0.00	0.00	0.00	0.00
100-06-52200-400-000	Fire Dept - Supplies/Services	1,922.15	7,801.44	41,000.00	33,198.56	19.03
100-06-52200-401-000	Fire Dept - Physicals	0.00	0.00	5,000.00	5,000.00	0.00
100-06-52200-500-020	Fire Station 60 - Electric	0.00	379.30	2,500.00	2,120.70	15.17
100-07-52200-500-020	Fire Station 70 - Electric	0.00	359.48	3,000.00	2,640.52	11.98
100-06-52200-500-021	Fire Station 60 - Heat	0.00	1,281.20	3,000.00	1,718.80	42.71
100-07-52200-500-021	Fire Station 70 - Heat	0.00	911.04	2,000.00	1,088.96	45.55
100-06-52200-500-022	Fire Station 60 - Telephone	30.00	120.44	950.00	829.56	12.68
100-07-52200-500-022	Fire Station 70 - Telephone	70.00	240.44	1,900.00	1,659.56	12.65
100-06-52200-500-023	Fire Station 60 - Water/Sewer	716.24	1,497.49	3,500.00	2,002.51	42.79
100-07-52200-500-023	Fire Station 70 - Water/Sewer	55.78	137.85	550.00	412.15	25.06
100-06-52200-600-000	Fire Dept - Vehicle Maint.	859.61	1,712.91	13,000.00	11,287.09	13.18
100-06-52200-700-000	Fire Dept - Equip Maintenance	0.00	466.06	4,000.00	3,533.94	11.65
100-06-52200-700-030	Fire Dept - Fuel	0.00	0.00	6,000.00	6,000.00	0.00
100-08-52300-000-000	1st Responders - Operating Exp	1,088.66	2,923.87	13,500.00	10,576.13	21.66
100-08-52300-100-000	1st Responders - Wages	0.00	9,944.50	0.00	-9,944.50	0.00
100-08-52300-105-000	1st Responders - FICA	0.00	760.80	0.00	-760.80	0.00
100-08-52300-210-000	1st Responder - Retirement	0.00	0.00	0.00	0.00	0.00
100-00-52400-000-000	Building Inspector - Contract	46,485.11	57,788.11	50,000.00	-7,788.11	115.58
100-00-52400-200-000	Inspections - Grade Checks	2,745.85	7,813.25	38,000.00	30,186.75	20.56
100-00-52410-000-000	Erosion/Stormwater Plan Review	1,099.80	-7,334.37	0.00	7,334.37	0.00
100-00-52601-000-000	911 Signs	0.00	0.00	0.00	0.00	0.00
PUBLIC SAFETY		54,360.43	141,732.15	1,096,981.50	955,249.35	12.92
100-09-53311-000-000	Hwy Dept - Engineer/Consultant	0.00	1,756.25	40,000.00	38,243.75	4.39
100-09-53311-100-000	Hwy Dept - Wages	19,138.04	137,537.65	467,010.00	329,472.35	29.45
100-09-53311-100-901	Hwy Dept - Part Time Wages	384.00	2,353.29	22,500.00	20,146.71	10.46
100-09-53311-103-000	Hwy Dept - Overtime Wages	1,534.29	7,920.42	38,000.00	30,079.58	20.84
100-09-53311-105-000	Hwy Dept - FICA	1,519.17	11,129.11	35,726.26	24,597.15	31.15
100-09-53311-105-901	Hwy Dept - Part Time FICA	29.38	176.99	1,721.25	1,544.26	10.28
100-09-53311-115-000	Hwy Dept - Unemployment Comp	0.00	0.00	1,000.00	1,000.00	0.00
100-09-53311-200-000	Hwy Dept - Benefits	0.00	46,694.47	139,033.00	92,338.53	33.59
100-09-53311-205-000	Hwy Dept - Retirement	1,343.70	9,847.35	31,756.68	21,909.33	31.01
100-09-53311-305-000	Hwy Dept - Training Expenses	0.00	0.00	2,500.00	2,500.00	0.00

Budget Comparison - Detail
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Fund: 100 - GENERAL FUND

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
100-09-53311-306-000	Hwy Dept - CDL/Testing	0.00	0.00	1,500.00	1,500.00	0.00
100-09-53311-320-000	Hwy Dept - Dues	0.00	0.00	0.00	0.00	0.00
100-09-53311-400-000	Hwy Dept - Supplies	1,023.51	7,469.25	25,000.00	17,530.75	29.88
100-09-53311-500-020	Hwy Dept - Electric	0.00	1,874.40	7,500.00	5,625.60	24.99
100-09-53311-500-021	Hwy Dept - Heat	0.00	0.00	2,000.00	2,000.00	0.00
100-09-53311-500-022	Hwy Dept - Telephone	270.00	810.00	3,000.00	2,190.00	27.00
100-09-53311-505-000	Hwy Dept - Building Maint	759.70	12,877.85	35,000.00	22,122.15	36.79
100-09-53311-600-030	Hwy Dept - Fuel	2,605.87	20,502.30	50,000.00	29,497.70	41.00
100-09-53311-600-600	Hwy Dept - Vehicle Maintenance	1,438.90	4,775.89	40,000.00	35,224.11	11.94
100-09-53311-700-000	Hwy Dept - Equip Maintenance	1,463.06	14,882.45	40,000.00	25,117.55	37.21
100-09-53311-900-000	Hwy Dept - Road Maintenance	905.79	11,235.77	327,500.00	316,264.23	3.43
100-09-53311-900-010	Hwy Dept - Contracts	0.00	0.00	0.00	0.00	0.00
100-09-53311-901-000	Hwy Dept - Ditching/Grading	100.60	345.28	50,000.00	49,654.72	0.69
100-09-53311-903-000	Hwy Dept - Salt & Sand	2,876.38	78,178.91	108,000.00	29,821.09	72.39
100-09-53312-100-000	Engineering Tech	0.00	0.00	0.00	0.00	0.00
100-09-53315-900-001	Hwy Dept - Eisenhower Dr.	0.00	0.00	0.00	0.00	0.00
100-09-53315-902-000	Hwy Dept - Signs	0.00	3,069.37	10,000.00	6,930.63	30.69
100-00-53420-000-000	Street Lighting - General	0.00	-778.18	3,000.00	3,778.18	-25.94
100-00-53420-001-000	Street Lighting - North Shore	0.00	27.66	170.00	142.34	16.27
100-00-53420-004-000	Street Lighting - HAA	0.00	1,606.47	11,000.00	9,393.53	14.60
100-00-53420-006-000	Street Lighting - NS Woods	0.00	181.89	1,100.00	918.11	16.54
100-00-53441-000-000	Storm Sewer Maint./Ponds	0.00	0.00	40,000.00	40,000.00	0.00
100-00-53441-100-000	Illicit Discharge Program	0.00	0.00	5,000.00	5,000.00	0.00
100-00-53441-200-000	Stormwater Planning	0.00	0.00	0.00	0.00	0.00
100-00-53620-000-000	Refuse and Garbage Services	0.00	93,735.00	378,000.00	284,265.00	24.80
100-00-53635-000-000	Recycling Services	0.00	62,394.00	252,000.00	189,606.00	24.76
100-00-53635-100-000	Compost Site	400.00	613.20	16,000.00	15,386.80	3.83
100-00-53640-000-000	Weed and Nuisance Control	0.00	0.00	14,000.00	14,000.00	0.00
100-00-53650-000-000	Harr Stormwater Util Drainage	0.00	2,892.10	0.00	-2,892.10	0.00
PUBLIC WORKS		35,792.39	534,109.14	2,199,017.19	1,664,908.05	24.29
100-00-54100-000-000	Humane Society - Contribution	0.00	0.00	1,500.00	1,500.00	0.00
100-00-54600-000-000	Fox Valley Transit Call a Ride	0.00	0.00	0.00	0.00	0.00
100-00-54910-000-000	Cemetery	0.00	0.00	0.00	0.00	0.00
100-00-54980-000-000	Other Health - HOVPP	0.00	0.00	700.00	700.00	0.00
HEALTH AND HUMAN SERVICES		0.00	0.00	2,200.00	2,200.00	0.00
100-00-55200-000-000	Parks - Maint. and Utilities	596.18	8,387.60	35,000.00	26,612.40	23.96
100-00-55200-105-000	Parks - Committee FICA	0.00	0.00	0.00	0.00	0.00
100-00-55200-120-000	Parks - Recreation Programs	0.00	0.00	10,000.00	10,000.00	0.00
100-00-55200-300-000	Parks - Committee Per Diem	0.00	0.00	0.00	0.00	0.00
CULTURE, RECREATION AND EDU.		596.18	8,387.60	45,000.00	36,612.40	18.64
100-00-56600-000-000	Subdivision - Erosion Control	0.00	0.00	0.00	0.00	0.00
100-00-56700-000-000	Economic Development	0.00	0.00	0.00	0.00	0.00
100-00-56900-000-110	Development	0.00	3,000.00	4,000.00	1,000.00	75.00
100-00-56900-000-200	Incorporation	0.00	0.00	0.00	0.00	0.00
CONSERVATION AND DEVELOPMENT		0.00	3,000.00	4,000.00	1,000.00	75.00
100-00-57190-000-000	Capital Outlay - General Gvmnt	0.00	0.00	0.00	0.00	0.00

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Budget Report - Through April 21, 2022

Fund: 100 - GENERAL FUND

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
100-00-57220-000-000	Capital Outlay - Parks	2,540.35	2,540.35	132,500.00	129,959.65	1.92
100-06-57220-000-000	Fire Dept - Capital Outlay	1,798.48	1,798.48	132,248.00	130,449.52	1.36
100-07-57220-000-001	Fire Dept - Equipment Escrow	0.00	0.00	150,000.00	150,000.00	0.00
100-00-57230-000-000	Capital Outlay - Trails	0.00	0.00	328,206.00	328,206.00	0.00
100-09-57324-000-000	Capital Outlay - Hwy. Equip	29,355.00	64,354.99	395,966.00	331,611.01	16.25
100-09-57330-000-000	Capital Outlay - Road Projects	26,324.72	177,655.92	1,400,000.00	1,222,344.08	12.69
CAPITAL OUTLAY		60,018.55	246,349.74	2,538,920.00	2,292,570.26	9.70
Total Expenses		200,115.14	1,278,805.49	6,929,034.69	5,650,229.20	18.46
Net Totals		-118,951.14	-831,394.32	284,760.31	1,116,154.63	-291.96

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 610 - WATER UTILITY

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
610-00-46101-000-000	Residential Metered Sales	0.00	164,302.37	865,281.00	-700,978.63	18.99
610-00-46102-000-000	Commercial Metered Sales	0.00	17,219.51	84,250.00	-67,030.49	20.44
610-00-46103-000-000	Industrial Metered Sales	0.00	0.00	1,505.00	-1,505.00	0.00
610-00-46104-000-000	Public Authority Metered Sales	0.00	5,379.18	18,563.00	-13,183.82	28.98
610-00-46105-000-000	Multifamily Metered Sales	0.00	14,347.79	28,626.00	-14,278.21	50.12
610-00-46106-000-000	Irrigation Metered Sales	0.00	2,664.83	395.00	2,269.83	674.64
610-00-46300-000-000	Public Fire Protection Service	0.00	33,209.34	214,655.00	-181,445.66	15.47
PUBLIC CHARGES FOR SERVICES		0.00	237,123.02	1,213,275.00	-976,151.98	19.54
610-00-47000-000-000	Forfeited Discounts	0.00	450.81	4,200.00	-3,749.19	10.73
610-00-47400-000-000	Other Water Revenue	85.00	1,577.96	12,225.00	-10,647.04	12.91
Forfeited Discounts		85.00	2,028.77	16,425.00	-14,396.23	12.35
Total Revenues		85.00	239,151.79	1,229,700.00	-990,548.21	19.45

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 610 - WATER UTILITY

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
610-00-57601-000-000	Purchased Water - COA	660.00	54,732.75	649,848.00	595,115.25	8.42
610-00-57602-000-000	Fire Protection - COA	0.00	3,170.67	38,048.00	34,877.33	8.33
610-00-57622-000-000	Fuel/Power Purchase - Pumping	0.00	0.00	0.00	0.00	0.00
610-00-57640-000-000	Operation Labor	3,412.70	23,076.15	93,050.00	69,973.85	24.80
610-00-57641-000-000	Operation Supplies & Expenses	625.30	4,922.40	16,780.00	11,857.60	29.33
610-00-57651-000-000	Maintenance of Mains	0.00	0.00	15,000.00	15,000.00	0.00
610-00-57652-000-000	Maintenance of Services	0.00	0.00	15,000.00	15,000.00	0.00
610-00-57653-000-000	Maintenance of Meters	0.00	0.00	5,000.00	5,000.00	0.00
610-00-57901-000-000	Meter Reading Labor	0.00	0.00	0.00	0.00	0.00
610-00-57902-000-000	Accounting & Collecting Labor	1,041.20	11,542.24	47,900.00	36,357.76	24.10
610-00-57920-000-000	Admin & General Salaries	962.38	6,244.32	41,657.00	35,412.68	14.99
610-00-57921-000-000	Office Supplies & Expenses	113.81	5,909.05	17,345.00	11,435.95	34.07
610-00-57923-000-000	Outside Services Employed	1,834.62	7,668.15	19,895.00	12,226.85	38.54
610-00-57924-000-000	Insurance Expense	0.00	0.00	7,084.00	7,084.00	0.00
610-00-57925-000-000	Payroll Tax - FICA	385.38	2,889.04	13,969.00	11,079.96	20.68
610-00-57926-000-000	Employee Pensions & Benefits	343.46	8,092.37	81,654.00	73,561.63	9.91
610-00-57928-000-000	Regulatory Commission Expenses	435.12	11,097.98	1,225.00	-9,872.98	905.96
610-00-57930-000-000	Miscellaneous General Expense	45.00	45.00	22,500.00	22,455.00	0.20
610-00-57933-000-000	Transportation Expense	78.13	919.15	4,185.00	3,265.85	21.96
610-00-57935-000-000	Maintenance of General Plant	94.50	378.00	2,500.00	2,122.00	15.12
CAPITAL OUTLAY		10,031.60	140,687.27	1,092,640.00	951,952.73	12.88
Total Expenses		10,031.60	140,687.27	1,092,640.00	951,952.73	12.88
Net Totals		-9,946.60	98,464.52	137,060.00	38,595.48	71.84

Budget Comparison - Detail
 Budget Report - Through April 21, 2022

Fund: 620 - SEWER UTILITY

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
620-00-46221-000-000	Residential Measured Service	0.00	148,072.59	834,464.00	-686,391.41	17.74
620-00-46222-000-000	Commercial Measured Service	0.00	16,866.70	89,519.00	-72,652.30	18.84
620-00-46223-000-000	Industrial Measured Service	0.00	0.00	3,514.00	-3,514.00	0.00
620-00-46224-000-000	Public Authority Measured Srvc	0.00	9,771.09	36,537.00	-26,765.91	26.74
620-00-46225-000-000	Multifamily Measured Service	0.00	16,133.68	61,700.00	-45,566.32	26.15
PUBLIC CHARGES FOR SERVICES		0.00	190,844.06	1,025,734.00	-834,889.94	18.61
620-00-47631-000-000	Forfeited Discounts	0.00	361.66	3,385.00	-3,023.34	10.68
620-00-47635-000-000	Other Sewer Revenue	30,485.00	161,475.49	5,205.00	156,270.49	3,102.31
Forfeited Discounts		30,485.00	161,837.15	8,590.00	153,247.15	1,884.02
Total Revenues		30,485.00	352,681.21	1,034,324.00	-681,642.79	34.10

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 620 - SEWER UTILITY

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
620-00-57820-000-000	Supervision & Labor	4,079.30	28,234.81	140,950.00	112,715.19	20.03
620-00-57821-000-000	Fuel/Power Purchase - Pumping	903.46	4,593.12	17,000.00	12,406.88	27.02
620-00-57827-000-000	Operation Supplies & Expenses	178.96	3,063.52	10,125.00	7,061.48	30.26
620-00-57828-000-000	Transportation Expense	78.15	919.16	4,185.00	3,265.84	21.96
620-00-57829-000-000	Sewerage Treatment Charges	0.00	49,006.96	217,210.00	168,203.04	22.56
620-00-57831-000-000	Maintenance Sewage Collect Sys	5,460.31	5,829.31	30,000.00	24,170.69	19.43
620-00-57832-000-000	Maint Collection Syst Pumping	2,529.88	14,480.84	16,050.00	1,569.16	90.22
620-00-57833-000-000	Maint Trmt & Disp Plant Equip	0.00	0.00	0.00	0.00	0.00
620-00-57834-000-000	Maintenance of General Plant	94.50	378.00	2,500.00	2,122.00	15.12
620-00-57840-000-000	Accounting & Collecting Labor	1,041.40	11,543.47	47,900.00	36,356.53	24.10
620-00-57842-000-000	Meter Reading Labor	0.00	0.00	0.00	0.00	0.00
620-00-57843-000-000	Uncollectible Accounts	0.00	0.00	0.00	0.00	0.00
620-00-57850-000-000	Admin & General Salaries	962.38	6,244.32	70,565.00	64,320.68	8.85
620-00-57851-000-000	Office Supplies & Expenses	113.82	5,916.71	19,510.00	13,593.29	30.33
620-00-57852-000-000	Outside Services Employed	75.13	-31,958.19	19,895.00	51,853.19	-160.63
620-00-57853-000-000	Insurance Expense	0.00	0.00	6,878.00	6,878.00	0.00
620-00-57854-000-000	Employee Pensions & Benefits	386.79	8,427.71	53,975.00	45,547.29	15.61
620-00-57855-000-000	Payroll Tax - FICA	432.36	3,244.13	16,181.00	12,936.87	20.05
620-00-57856-000-000	Miscellaneous General Expense	0.00	0.00	650.00	650.00	0.00
620-00-57870-000-000	Interest Expense - CWF Loan	0.00	4,784.00	16,250.00	11,466.00	29.44
620-00-57875-000-000	Amortization Expense-CWF Loan	0.00	14,610.00	41,215.00	26,605.00	35.45
CAPITAL OUTLAY		16,336.44	129,317.87	731,039.00	601,721.13	17.69
Total Expenses		16,336.44	129,317.87	731,039.00	601,721.13	17.69
Net Totals		14,148.56	223,363.34	303,285.00	79,921.66	73.65

Budget Comparison - Detail
 Budget Report - Through April 21, 2022

Fund: 220 - FIRE DEPARTMENT IMPACT FEES

Account Number		2022		2022 Budget	Budget Status	% of Budget
		2022 April	Actual 04/21/2022			
220-00-41110-000-000	Fire Impact Fees	56,408.00	119,880.00	70,200.00	49,680.00	170.77
TAXES		56,408.00	119,880.00	70,200.00	49,680.00	170.77
Total Revenues		56,408.00	119,880.00	70,200.00	49,680.00	170.77
Net Totals		56,408.00	119,880.00	70,200.00	-49,680.00	170.77

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 201 - PARK IMPACT FEES

Account Number		2022	2022	2022	Budget	% of
		April	Actual 04/21/2022	Budget	Status	Budget
201-00-44315-000-000	Park Impact Fee	4,312.00	108,078.00	117,250.00	-9,172.00	92.18
LICENSES AND PERMITS		4,312.00	108,078.00	117,250.00	-9,172.00	92.18
Total Revenues		4,312.00	108,078.00	117,250.00	-9,172.00	92.18

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 210 - POLICE IMPACT FEES

Account Number		2022	2022	2022	Budget Status	% of Budget
		April	Actual 04/21/2022	Budget		
210-00-41110-000-000	Police Impact Fees	6,648.00	14,130.00	9,126.00	5,004.00	154.83
TAXES		6,648.00	14,130.00	9,126.00	5,004.00	154.83
Total Revenues		6,648.00	14,130.00	9,126.00	5,004.00	154.83
Net Totals		6,648.00	14,130.00	9,126.00	-5,004.00	154.83

Budget Comparison - Detail
Budget Report - Through April 21, 2022

Fund: 230 - STORM WATER UTILITY FEES

Account Number		2022	2022	2022	Budget	% of
		April	Actual 04/21/2022	Budget	Status	Budget
230-00-57220-000-000	Capital Outlay - Storm Water	0.00	0.00	250,000.00	250,000.00	0.00
CAPITAL OUTLAY		0.00	0.00	250,000.00	250,000.00	0.00
Total Expenses		0.00	0.00	250,000.00	250,000.00	0.00
Net Totals		0.00	0.00	-250,000.00	-250,000.00	

VILLAGE BOARD MEETING**VILLAGE OF HARRISON****From:**

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

Planning & Zoning Monthly Report

Report:

1. Trish Nau has accepted the position of Assistant Planner. Trish started April 18th. Trish will be reviewing and issuing zoning permits, assisting with Plan Commission action items (rezonings, CUPs, plats, etc.), assisting with site plan reviews, and answering resident questions regarding zoning issues in order to free up time for the Assistant Village Manager.
2. Staff has been working with the developer of the former Darboy Club to submit a Wisconsin Economic Development Corporation (WEDC) Community Development grant to assist with the redevelopment of the former Darboy Club site. The grant was submitted and accepted by WEDC underwriting. Staff was informed that the developer can start occurring costs for the project. Although the grant has not been officially granted since a contract has not yet been signed, the fact that costs can be occurred is a good sign. Staff expects to see a grant contract soon.
3. Staff has been working on various Plan Commission agenda applications related to conditional use permits, certified survey maps, rezonings, comprehensive plan/village center plan updates, and private development proposals of the KCC property on Old Highway Road, a property on Lake Park Rd/Midway Road, and a property on Old Highway Rd/North Shore Rd. Many hours working with various developers/engineers occurred throughout the month.
4. Staff, including the Fire Chief, worked on finding a suitable location for a future public safety building. Staff presented this to the Plan Commission who directed staff to explore possible acquisition options. Staff will present information to the Board as the Village Center update project progresses.
5. Staff continuously meets with residents and property owners to address questions, concerns, issues related to planning and zoning requirements.

Attachments:

- Zoning Permit Report

Village of Harrison
March-22 Zoning Permit Report

	Current Year				Previous Year			
	Permits	YTD Permits	Estimated Value	YTD Estimate Value	Permits	YTD Permits	Estimated Value	YTD Estimate Value
Residential								
Single Family	7	18	\$ 2,527,700	\$ 6,536,700	7	17	\$ 3,380,000	\$ 7,628,000
Two Family (units)	0 (0)	0	\$ 0	\$ 0	1 (2)	1	\$ 600,000	\$ 600,000
Multi Family (units)	0 (0)	0	\$ 0	\$ 0	1 (144)	1	\$ 14,000,000	\$ 14,000,000
Additions	1	3	\$ 15,000	\$ 85,000	1	4	\$ 45,000	\$ 157,115
Acc. Structures	1	1	\$ 2,900	\$ 2,900	2	3	\$ 18,135	\$ 21,135
Miscellaneous	9	15	\$ 2,900	\$ 80,900	9	16	\$ 76,498	\$ 138,948
Total Residential	18	37	\$ 2,548,500	\$ 6,705,500	21	42	\$ 18,119,633	\$ 22,545,198
Com./Ind.								
New	0	0	\$ 0	\$ 0	0	1	\$ 0	\$ 550,000
Additions	0	0	\$ 0	\$ 0	1	1	\$ 1,825,000	\$ 1,825,000
Acc. Structures	0	0	\$ 0	\$ 0	0	0	\$ 0	\$ 0
Miscellaneous	1	2	\$ 300,000	\$ 303,500	2	2	\$ 20,000	\$ 20,000
Total Com./Ind.	1	2	\$ 300,000	\$ 303,500	3	4	\$ 1,845,000	\$ 2,395,000
Combined Total	19	39	\$ 2,848,500	\$ 7,009,000	24	46	\$ 19,964,633	\$ 24,940,198

Number of Vacant Lots Remaining 155

VILLAGE BOARD MEETING**VILLAGE OF HARRISON****From:**

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

Parks & Trails Monthly Report

Report:

1. Pickleball and tennis court bid documents will be advertised March 30 & April 6th with bid opening on April 19th. Bid documents to include surface treatments, nets, and fencing. Bid documents to have a July 31st completion (asphalt must sit for 1 year prior to surfacing) and also an alternate bid completion date by July 1st to compare pricing. Unfortunately no bids were received. The Village will have to rebid the project. The engineer is reaching out to contractors to determine why bids were not proposed and the bid documents may have to be amended to address any concerns.
2. Staff is working with the Village security company to install auto-locks at the bathrooms at Darboy Community Park. This will allow the bathrooms to be locked on a timer. It is expected that the project will be wrapped up the week of April 18th.
3. Staff is working with the Village security company to install an exterior camera at Darboy Community Park to help address vandalism issues. It is expected that the project will be wrapped up the week of April 18th.
4. Staff has been working with East Central Wisconsin Regional Planning Commission (East Central) and their consultant HKGI on a Master Plan for the Friendship Trail connecting the Fox Cities to High Cliff State Park. The consultant is analyzing community input and developing a set of recommendations for routes. Much of the master plan area runs through the Village of Harrison. Implementation will be through the local communities (Harrison, Menasha, Sherwood, etc.). It is expected that the Master Plan will help the local communities obtain state and federal grants to construct the trails. The final document is expected early summer. An in person open house was held April 20th and virtual open house will be held April 27th.

Attachments:

- None

VILLAGE BOARD MEETING**From:**

Mark J. Mommaerts, AICP, Assistant Village Manager
Jeff Funk, Operations Manager

VILLAGE OF HARRISON**Meeting Date:**

April 26, 2022

Title:

Public Works Monthly Report

Report:

1. Midway Road trail program was advertised for bids on April 13th & 20th with bid open on April 27th and possible award on May 10th. Although it is not a Village project, the Calumet County Road N trail & sidewalk project will be starting mid-May. The Village engineer is coordinating schedule between the projects. The Village will have to purchase additional ROW for the Midway Road trail project.
2. Staff has been meeting with the engineer (McMahon Associates) preparing for the 2022 Street Paving Program. The street resurfacing program was advertised for bids on March 23rd & 30th with bid open on April 13th and possible award on April 26th. The Darboy Park (Pickleball/Tennis Court) program was advertised for bids on April 1st & 8th with bid open on April 19th and possible award on April 26th. Unfortunately, no bids were received for the pickleball/tennis courts. Staff and engineer will be reaching out to contractor to gain more insight.
3. Staff has been continuously maintaining and prepping equipment and started removing plows/salters from the trucks.
4. Staff has been inspecting ditches and culverts where necessary. Staff will be inspecting the culverts in the Hoelzel Haven subdivision starting the week of April 25th, as part of the resurfacing program.
5. Road weight limits were lifted on April 11th.
6. Compost site opened on April 4th. No major issues have been reported yet.

Attachments:

- None

VILLAGE BOARD MEETING**VILLAGE OF HARRISON****From:**

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

Harrison Utilities Monthly Report

Report:

1. Staff has been busy with performing locates of water and sanitary laterals for a TDS fiber replacement project. This is consuming a lot of staff time due to the number of properties involved.
2. Staff has been working with Harrison Utilities engineer (Martenson & Eisele) on a review/rewrite of the Utilities ordinances. This project will review the current ordinance and update as necessary to reflect current policies and procedures.
3. Lift Station #3 Repairs – the Board approved a quote for repairs to the Lift Station #3. Staff continues to work with the contractor to get the materials ordered and work scheduled.
4. Staff continues to implement the water meter replacement program. New meters were delivered so staff has scheduled times with property owners. Approximately 50-60 of the 120-130 water meters that need to be replaced have done.
5. Staff is working on converting paper maps into a digital PDF form so that they can be viewed in the field. Staff is also exploring ways to digitize older paper drawings into the CAD system map. This is an on-going process and the first set of maps has been digitized in a PDF format. Staff is happy with the results thus far.
6. Utilities and Municipal financial merger – Accountant and Financial Assistant have been working diligently to merger the Utilities with Municipal accounting. All 2021 and 2022 data to date has been merged. All 2021 receipting and journal entries are complete. Final couple of months of bank reconciliation are being completed. Final cleanup of outstanding issues are being review and taken care of.
7. PSC Water Rate Case – there was a public hearing on Tuesday, April 19th regarding the PCS Water Rate Case. Staff was sworn in to testify to the completion of certain documents. No other testimony occurred at the public hearing, however, the PSC was still open to written comments until April 21/22. We expect a decision within the next

30-days and Utilities will have 90 days thereafter to implement. The proposal from the PCS was for a slight reduction in the water rates.

8. Connection Fee update – See Village Manager report

Attachments:

- Harrison Utilities Permit Tracker (March 2022)

Harrison Utilities
Total Permit Tracker

Category	2020												2021												2022		
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	FEB
Village of Harrison - Residential (Single Family & Duplexes)	3	3	0	0	2	11	8	7	1	2	2	2	1	3	4	6	8	23	1	4	3	4	3	1	0	2	10
Village of Harrison - Multi-Family Residential (Units)	0	0	0	0	0	0	0	0	0	0	0	180	144	0	0	0	0	0	0	134	0	0	0	0	92	0	0
Village of Harrison - Commercial	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Harrison Total (Month)	3	3	0	0	2	11	8	7	1	2	2	182	145	3	4	6	8	23	1	138	3	4	3	1	92	2	10
Harrison Total (YTD)	3	3	3	3	3	3	3	3	3	3	3	3	145	148	152	158	166	189	190	328	331	335	338	339	92	94	104
City of Menasha - Residential (Single Family & Duplexes)	4	1	0	0	2	0	2	1	2	0	1	0	0	5	2	1	0	3	4	1	0	2	1	0	0	3	8
City of Menasha - Multi-Family Residential (Units)	0	0	0	0	0	0	0	0	0	0	64	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
City of Menasha - Commercial	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	
Menasha Total (Month)	4	1	0	0	2	0	2	1	2	0	65	0	0	5	2	1	0	3	4	1	1	2	1	0	0	3	8
Menasha Total (YTD)	4	4	4	4	4	4	4	4	4	4	4	4	0	5	7	8	8	11	15	16	17	19	20	20	0	3	11
Total Residential (Month)	7	4	0	0	4	11	10	8	3	2	3	2	1	8	6	7	8	26	5	5	3	6	4	1	0	5	18
Total Multi-Family Residential (Month)	0	0	0	0	0	0	0	0	0	0	64	180	144	0	0	0	0	0	0	134	0	0	0	0	92	0	0
Total Commercial (Month)	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	
Grand Total (Month)	7	4	0	0	4	11	10	8	3	2	67	182	145	8	6	7	8	26	5	139	4	6	4	1	92	5	18
Grand Total (YTD)	7	11	11	11	15	26	36	44	47	49	116	298	145	153	159	166	174	200	205	344	348	354	358	359	92	97	115
Versus Prior Year (YTD)	6	8	4	2	5	16	20	25	28	27	93	274	138	142	148	155	159	174	169	300	301	305	242	61	(53)	(56)	(44)
Total Residential (YTD)	7	11	11	11	15	26	36	44	47	49	52	54	1	9	15	22	30	56	61	66	69	75	79	80	0	5	23
Total Residential Versus Prior Year (YTD)	6	8	4	2	5	16	21	26	29	28	30	31	(6)	(2)	4	11	15	30	25	22	22	26	27	26	(1)	(4)	8
Total Multi-Family (YTD)	0	0	0	0	0	0	0	0	0	0	64	244	144	144	144	144	144	144	144	278	278	278	278	278	92	92	92
Total Multi-Family Versus Prior Year (YTD)	0	0	0	0	0	0	0	0	0	0	64	244	144	144	144	144	144	144	144	278	278	278	214	34	(52)	(52)	(52)
Total Commercial (YTD)	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1	1	1	0	0	0
Total Commercial Versus Prior Year (YTD)	0	0	0	0	0	0	(1)	(1)	(1)	(1)	(1)	(3)	0	0	0	0	0	0	0	0	1	1	1	1	0	0	0

Note:
Residential = Single Family or Duplexes (Counted as Two Permits)
Multi-Family = Residential Building of Three or More Units (Counted in Total Units)

2022 VILLAGE Statement of Accounts by month

4/21/2022

2022	January	February	March
Nicolet Checking General 0300 0.0%			
Beginning Balance	\$ 460,613.55	\$ 446,323.02	\$ 353,032.52
Credits	\$ 498,733.94	\$ 997,375.20	\$ 2,644,727.79
Debits	\$ 513,024.47	\$ 1,090,665.70	\$ 1,692,509.21
Ending Balance	\$ 446,323.02	\$ 353,032.52	\$ 1,305,251.10

Nicolet Checking Taxes 1753 APY 0.05%			
Beginning Balance	\$ 9,341,563.47	\$ 14,194,515.80	\$ 9,865,022.01
Credits	\$ 9,515,251.50	\$ 2,149,599.74	\$ 3,281.82
Interest	\$ 502.62	\$ 552.60	\$ 327.13
Debits	\$ 4,662,801.79	\$ 6,479,646.13	\$ 2,692,390.51
Ending Balance	\$ 14,194,515.80	\$ 9,865,022.01	\$ 7,175,913.32

Nicolet Checking TOWN ACCOUNT 8500 APY .0% (stagnant account)			
Beginning Balance	\$ 11,064.35	\$ 11,064.35	\$ 11,064.35
Credits		\$ -	
Debits		\$ -	
Ending Balance	\$ 11,064.35	\$ 11,064.35	\$ 11,064.35

TOTAL OF VOH CHECKING ACCTS	\$ 14,651,903.17	\$ 10,229,118.88	\$ 8,492,228.77
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Comm First Vlg Mmbrship 7000 APY .20% Min bal \$5 (10/29/2021 deposited Chilton CD's)

Beginning Balance	\$ 392,575.53	\$ 392,575.53	\$ 392,575.53
Credits	\$ -		
Interest			\$ 145.20
Debits	\$ -		
Ending Balance	\$ 392,575.53	\$ 392,575.53	\$ 392,720.73

Nicolet Money Mrkt General 0310 APY 0.05% (was 0.15%)			
Beginning Balance	\$ 5,869,313.99	\$ 5,869,563.23	\$ 5,029,775.65
Credits	\$ -	\$ -	
Debits	\$ -	\$ 840,000.00	
Interest	\$ 249.24	\$ 212.42	\$ 213.59
Ending Balance	\$ 5,869,563.23	\$ 5,029,775.65	\$ 5,029,989.24

Nicolet Money Mrkt Tax 1110 APY 0.05%			
Beginning Balance	\$ 471,081.80	\$ 471,101.80	\$ 471,119.87
Credits	\$ -	\$ -	
Debits		\$ -	
Interest	\$ 20.00	\$ 18.07	\$ 20.01
Ending Balance	\$ 471,101.80	\$ 471,119.87	\$ 471,139.88

East WI Money Mrkt 4895 APY .30%			
Beginning Balance	\$ 290,103.17	\$ 290,177.09	\$ 290,243.87
Credits	\$ -	\$ -	
Debits	\$ -	\$ -	
Interest	\$ 73.92	\$ 66.78	\$ 73.95
Ending Balance	\$ 290,177.09	\$ 290,243.87	\$ 290,317.82

2022 VILLAGE Statement of Accounts by month

4/21/2022

2022	January	February	March
MARKETS	\$ 6,630,842.12	\$ 5,791,139.39	\$ 5,791,446.94

Local Gov't Investment Pool APY 0.05%			
Beginning Balance	\$ 248,996.03	\$ 249,010.33	\$ 249,026.99
Credits	\$ -		
Debits			
Interest	\$ 12.68	\$ 16.66	\$ 34.42
Ending Balance	\$ 249,008.71	\$ 249,026.99	\$ 249,061.41

Comm First VLG 1 year certificate 70008 Matures 2/6/2023 .75%			
Beginning Balance	\$ 327,204.39	\$ 327,426.71	\$ 327,617.35
Interest	\$ 222.32	\$ 190.64	\$ 208.69
Ending Balance	\$ 327,426.71	\$ 327,617.35	\$ 327,826.04

State Bank of Chilton CD 1028 .4% Interest is semiannual (4/20/22)			
Beginning Balance	\$ 314,174.09	\$ 314,174.09	\$ 314,174.09
Interest	\$ -	\$ -	\$ 626.62
Ending Balance	\$ 314,174.09	\$ 314,174.09	\$ 314,800.71

East Savings CD 7150 1.06% matures 04/01/2023			
Beginning Balance	\$ 259,555.37	\$ 259,555.37	\$ 259,555.37
Interest	\$ -		\$ 678.39
Ending Balance	\$ 259,555.37	\$ 259,555.37	\$ 260,233.76

Com First Jewel Box Escrow CD acct 6791 APY 1.0% (5/19/23)			
Beginning Balance	\$ 417,834.20	\$ 418,189.07	\$ 418,509.87
Interest	\$ 354.87	\$ 320.80	\$ 355.45
Ending Balance	\$ 418,189.07	\$ 418,509.87	\$ 418,865.32

ICB Stargazer Escrow MM acct 9998 APY 0.15%			
Beginning Balance	\$ 368,732.13	\$ 368,747.79	\$ 368,747.79
Credits	\$ -	\$ -	
Debits	\$ -	\$ -	
Interest	\$ 15.66	\$ 14.14	\$ 15.66
Ending Balance	\$ 368,747.79	\$ 368,747.79	\$ 368,747.79

Nicolet Checking FIRE DEPT 1189 CLOSED ACCOUNT January 31, 2022 - moved to Fire Dept Fund Balance at Nicolet

Beginning Balance	\$ 7.55	\$ 7.55
Credits	\$ -	
Debits		\$ 7.55
Ending Balance	\$ 7.55	\$ -

2022 UTILITY Statement of Accounts by month

2022	January	February	March
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Nicolet Money Mrkt Utility 0380 was ICB acct# 6956 before the merge. 0.05% was 0.15%

Beginning Balance	\$ 304,054.65	\$ 304,067.56	\$ 304,079.22
Credits		\$ -	
Debits		\$ -	\$ 250,000.00
Interest	\$ 12.91	\$ 11.66	\$ 3.98
Ending Balance	\$ 304,067.56	\$ 304,079.22	\$ 54,083.20

Nicolet Checking Utilities 1937 APY 0.05%

	\$ 111,382.54	\$ 32,179.64	\$ 69,525.72
Credits	\$ 4,270.00	\$ 67,712.44	\$ 353,788.91
Debits	\$ 83,475.78	\$ 30,367.43	\$ 287,053.22
interest	\$ 2.88	\$ 1.07	\$ 7.27
Ending Balance	\$ 32,179.64	\$ 69,525.72	\$ 136,261.41

***Associated Bank Utility Checking 0567 (customer payments) 0%**

Beginning Balance	\$3,062,556.64	\$3,257,106.16	\$ 454,681.80
Credits	\$ 195,221.01	\$ 198,105.39	\$ 224,423.19
Debits	\$ 671.49	\$3,000,529.75	\$ 512.39
Interest	\$ -	\$ -	
Ending Balance	\$3,257,106.16	\$ 454,681.80	\$ 678,592.60

Comm First CU Utility MM 6435 (customer paymnt) APY .648% Min 150K Open 2/4/22

Beginning Balance	\$ -	\$3,000,000.00	\$ 2,996,525.86
Credits	\$ -		
Debits	\$ -	\$ 4,500.00	\$ 117.34
Interest	\$ -	\$ 1,025.86	\$ 1,406.11
Ending Balance	\$ -	\$2,996,525.86	\$2,997,814.63

CFCU - HU Expense account 6443 (.05 APY)

	\$ -	\$ -	\$ -
Credits	\$ -	\$ -	
Debits	\$ -	\$ -	
interest	\$ -	\$ -	
Ending Balance	\$ -	\$ -	\$ -

***Assoc Bank Utility Checking 540 - (Public funds - W/S Constr Permit Fees) 0.0%**

Beginning Balance	\$ 121,030.70	\$ 121,030.70	\$ 121,030.70
Credits	\$ -		
Debits	\$ -	\$ -	
Interest	\$ -	\$ -	
Ending Balance	\$ 121,030.70	\$ 121,030.70	\$ 121,030.70

***Associated Bank Utility Checking 5311 - (General funds) 0.0%**

Beginning Balance	\$ 444,593.00	\$ 444,593.00	\$ 444,593.00
Credits	\$ -	\$ -	\$ -
Debits	\$ -	\$ -	\$ -
Interest	\$ -	\$ -	
Ending Balance	\$ 444,593.00	\$ 444,593.00	\$ 444,593.00

2022 UTILITY Statement of Accounts by month

2022	January	February	March
Assoc. Bank Money Mrkt Utility 3417 (DNR & Rev Bonds) APY .01%			
Beginning Balance	\$ 122,245.45	\$ 122,246.49	\$ 122,247.43
Credits	\$ 1.04	\$ 0.94	
Debits		\$ -	
Interest		\$ -	
Ending Balance	\$ 122,246.49	\$ 122,247.43	\$ 122,247.43

Nicolet National Bank Savings 4978 - Utility EBC Forfeitures .03%

Beginning Balance	\$ 1,276.17	\$ 1,276.17	\$ 1,276.17
Credits	\$ -	\$ -	\$ -
Debits	\$ -	\$ -	\$ -
Interest	\$ -	\$ -	
Ending Balance	\$ 1,276.17	\$ 1,276.17	\$ 1,276.17

Comm First CD 200925403008 Utility - Matured 6/22/21 APY 1.701%

Beginning Balance	\$ 59,630.98	\$ 59,630.98	\$ 59,630.98
Interest		\$ -	
Ending Balance	\$ 59,630.98	\$ 59,630.98	\$ 59,630.98

Comm First CD 200925403009 Utility - Matured 9/08/21 APY 1.701%

Beginning Balance	\$ 27,303.72	\$ 27,303.72	\$ 27,303.72
Interest	\$ -	\$ -	
Ending Balance	\$ 27,303.72	\$ 27,303.72	\$ 27,303.72

Comm First HU Savings Master 6427 -- no funds

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INVESTORS COMMUNITY BANK

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
12187 2202309	3/04/2022	ACCURATE FULL SERVICE VEHICLE CENTER	
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	796.53
		FROM 2/23/22 2009 FORD F550 ALIGNMENT 2202309	
		Total	796.53
12188 9122980971, 9122980972	3/04/2022	AIRGAS USA LLC	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	290.92
		FROM 2/23/22 WIRE, GAS 9122980971	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	231.00
		FROM 2/23/22 WELDING SUPPLIES 9122980972	
		Total	521.92
12189 P48054299, P48237864, P48460988	3/04/2022	BATTERIES PLUS BULBS #508	
100-06-52200-400-000		Fire Dept - Supplies/Services	184.80
		BATTERIES FROM 1/18/22 P48054299	
100-06-52200-400-000		Fire Dept - Supplies/Services	13.80
		FROM 1/24/22 BATTERIES P48237864	
100-08-52300-000-000		1st Responders - Operating Exp	16.65
		FROM 1/31/22 BATTERIES P48460988	
		Total	215.25
12190 9908595	3/04/2022	CALUMET COUNTY TREASURER	
100-04-51500-400-005		Treasurer - Postage	2,485.84
		2021 TAX BILL POSTAGE DUE-REBILLS	
100-04-51500-400-000		Treasurer - Supplies	574.02
		2021 TAX BILL SUPPLIES-REBILLS	
100-04-51500-315-000		Treasurer - Service Contracts	844.36
		2021 TAX BILLS LABOR & SOFTWARE-REBILLS	
		Total	3,904.22
12191 15410022322	3/04/2022	CHARTER COMMUNICATIONS- 15410	
100-02-51400-400-006		Gen. Admin - Service Contracts	145.03
		SERVICE PERIOD 2/23/22-3/22/22	
		Total	145.03

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ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
12192	3/04/2022	CHARTER COMMUNICATIONS- 33313 33313022422	
100-02-51400-400-006		Gen. Admin - Service Contracts SERVICE PERIOD 2/24-3/23	213.90
			Total 213.90
12193	3/04/2022	CORY WUNDERLICH ESCROW RETURN N9019 SOUTHTOWNE DR	
100-00-21060-000-000		Building Escrows Payable ESCROW RETURN N9019 SOUTHTOWNE DR	1,500.00
			Total 1,500.00
12194	3/04/2022	DOG WASTE DEPOT 468352	
100-00-55200-000-000		Parks - Maint. and Utilities 5 CASES DOG WASTE BAGS 468352	709.95
			Total 709.95
12195	3/04/2022	EDWARD OR KATHRYN KLECKNER REIMBURSE STORMWATER FEE PARCEL 41612	
100-00-46324-000-000		Harrison Stormwater Util Fee REIMBURSE STORMWATER FEE PARCEL 41612	50.00
			Total 50.00
12196	3/04/2022	GFL ENVIRONMENTAL U30000054858	
100-00-53620-000-000		Refuse and Garbage Services RES TRASH FOR FEB U30000054858	31,110.00
100-00-53635-000-000		Recycling Services RES RECYCLING FOR FEB U30000054858	20,740.00
100-00-53620-000-000		Refuse and Garbage Services COMMERCIAL TRASH DUMPSTER FOR FEB U30000054858	85.00
100-00-53635-000-000		Recycling Services COMMERCIAL RECYCLING DUMPSTER FOR FEB U30000054858	58.00
			Total 51,993.00
12197	3/04/2022	HARRISON UTILITIES ACCOUNT 000-2781-00	
100-07-52200-500-023		Fire Station 70 - Water/Sewer ACCOUNT 000-2781-00	42.25

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ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
Total			42.25
12198	3/04/2022	JARRED GERL REIMBURSE EMERGENCY BACKPACK	
100-08-52300-000-000		1st Responders - Operating Exp REIMBURSE EMERGENCY BACKPACK	131.00
Total			131.00
12199	3/04/2022	JFTCO INC JOHN FABICK TRACTOR CO PIGB0124145, PIGB0124146	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 2/18/22 FREIGHT ON BATTERIES PIGB0124145	61.67
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 2/18/22 BATTERIES VOLVO LOADER PIGB0124146	362.10
Total			423.77
12200	3/04/2022	JOSEPH SCHOUTEN JR OR NANCY HOFFMAN REVOC TR REIMBURSE STORMWATER FEE PARCEL 41288	
100-00-46324-000-000		Harrison Stormwater Util Fee REIMBURSE STORMWATER FEE PARCEL 41288	50.00
Total			50.00
12201	3/04/2022	KAATS WATER CONDITIONING INC. ACCT 1130062	
100-09-53311-400-000		Hwy Dept - Supplies CHARGES THROUGH 2/14/22	33.45
Total			33.45
12202	3/04/2022	LISOWE OIL DIV OF ADVANCED FUEL SERV 75485, 75522	
100-09-53311-600-030		Hwy Dept - Fuel FROM 2/17/2022 75485	1,889.83
100-09-53311-600-030		Hwy Dept - Fuel FROM 2/23/2022 75522	1,683.50
Total			3,573.33
12203	3/04/2022	MENARDS-APPLETON EAST 15877	
100-09-53311-900-000		Hwy Dept - Road Maintenance FROM 2/22/22 MAILBOX, SUPPLIES 15877	29.42

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ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
Total			29.42
12204	3/04/2022	MORTON SALT	
5402531599			
100-09-53311-903-000		Hwy Dept - Salt & Sand	10,976.78
		FROM 2/25/22 BULK SAFE-T-SALT	
		5402531599	
Total			10,976.78
12205	3/04/2022	MTAW	
PRE CONF & TREAS CONF 4/27-29			
100-02-51400-305-000		Gen. Admin - Training/Conf.	80.00
		PRE CONF TREASURER WORKSHOP 4-27-22	
		NA	
100-02-51400-305-000		Gen. Admin - Training/Conf.	135.00
		TREASURERS CONFERENCE 4/28-29	
		3512	
Total			215.00
12206	3/04/2022	MUNICIPAL CODE CORPORATION	
369854			
100-02-51400-400-006		Gen. Admin - Service Contracts	6,364.00
		REVERSING STANDARDS UPGRADE SPS TO MUNI	
Total			6,364.00
12207	3/04/2022	PATRICK & LISA ARENT	
ESCROW RETURN N9366 DUSTY DR			
100-00-21060-000-000		Building Escrows Payable	1,500.00
		ESCROW RETURN N9366 DUSTY DR	
Total			1,500.00
12208	3/04/2022	PATRICK KLEIN	
REIMBURSE TWO TRUCK WASH SPRAYERS			
100-06-52200-400-000		Fire Dept - Supplies/Services	68.96
		REIMBURSE TWO TRUCK WASH SPRAYERS	
Total			68.96
12209	3/04/2022	POMP'S TIRE SERVICE INC.	
320123482			
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	300.23
		FROM 2/18/22 TRUCK #15 TIRE	
		320123482	
Total			300.23

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INVESTORS COMMUNITY BANK

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
12210 2152548	3/04/2022	RIESTERER & SCHNELL INC NEENAH	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	108.02
		FROM 3/2/22 GREASE, GREY SPRAY PAINT 2152548	
		Total	108.02
12211 39265	3/04/2022	SERVICEMASTER BUILDING MAINTENANCE	
100-02-51400-400-006		Gen. Admin - Service Contracts	955.00
		FROM 3/1/22 JANITORIAL MAR 39265	
		Total	955.00
12212 S1092622031	3/04/2022	STAMPS.COM	
100-02-51400-400-006		Gen. Admin - Service Contracts	39.99
		METER 7434038 SERVICE FEE 3/1-3/31 S1092622031	
		Total	39.99
12213 8631	3/04/2022	STUMPF EXCAVATING & TRUCKING	
100-09-53311-505-000		Hwy Dept - Building Maint	240.00
		PUMP HOLDING TANKS 3/1/22 8631	
		Total	240.00
12214 5019035183	3/04/2022	WELLS FARGO FINANCIAL LEASING INC	
100-02-51400-400-006		Gen. Admin - Service Contracts	575.69
		COVERAGE PERIOD 2/17-3/16/22 5019035183	
		Total	575.69
12215 ACCOUNT # G2028 1/1-1/31	3/04/2022	WI DEPT OF JUSTICE	
100-06-52200-400-000		Fire Dept - Supplies/Services	14.00
		ACCOUNT # G2028 1/1-1/31	
		Total	14.00
12216 4344206, 4345220	3/04/2022	WIL-KIL PEST CONTROL	
100-02-51400-400-006		Gen. Admin - Service Contracts	50.00
		FIRE STATION 60 4345220	

INVESTORS COMMUNITY BANK

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		FIRE STATION 70 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION #60 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION 70 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		POWER SPRAY - VILLAGE HALL NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	86.75
		VILLAGE HALL 4344206	
Total			136.75
<hr/>			
12217	3/11/2022	ASTERION LLC	
		DEVELOPMENT AGREEMENT ASTERION LLC	
401-00-56700-702-000		Grant-Asterion LLC	90,889.75
		DEVELOPMENT AGREEMENT ASTERION LLC	
Total			90,889.75
<hr/>			
12218	3/11/2022	AUTOMOTIVE SUPPLY CO - KAUKAUNA	
		60929362	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	6.49
		FROM 3/9/22 BATTERY & WIRE TERMINALS 60929362	
Total			6.49
<hr/>			
12219	3/11/2022	BIRSCHBACH INSPECTION SERVICE INC	
		BUILDING INSPECTIONS FOR FEBRUARY 2022	
100-00-52400-000-000		Building Inspector - Contract	4,648.00
		BUILDING INSPECTIONS FOR FEBRUARY 2022	
Total			4,648.00
<hr/>			
12220	3/11/2022	BOBCAT PLUS	
		IA16281	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	145.90
		FROM 3/8/22 FILTERS IA16281	
Total			145.90
<hr/>			
12221	3/11/2022	CALUMET COUNTY TREASURER-HIGHWAY DEPARTMENT	
		19005	
100-09-53311-903-000		Hwy Dept - Salt & Sand	1,696.83
		INVOICE 1/1 - 1/31/22 SNOW & ICE CONTROL	

INVESTORS COMMUNITY BANK

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
Total			1,696.83
12222	3/11/2022	DRISCOLL PROPERTIES LLC	
DEVELOPMENT AGREEMENT DRISCOLL PROP			
403-00-56700-700-000		Grant-Driscoll Properties LLC	10,973.60
DEVELOPMENT AGREEMENT DRISCOLL PROP			
Total			10,973.60
12223	3/11/2022	EMERGENCY MEDICAL PRODUCTS, INC.	
2322311, 2322312, 2322322, 2323203			
100-08-52300-000-000		1st Responders - Operating Exp	188.86
FROM 2/28/22 SUPPLIES-GLOVES,TEST STRIPS 2322311			
100-08-52300-000-000		1st Responders - Operating Exp	51.18
FROM 2/28/22 SANI CLOTH 2322312			
100-08-52300-000-000		1st Responders - Operating Exp	11.72
FROM 2/28/22 GLOVES, NYLON WRENCH 2322322			
100-08-52300-000-000		1st Responders - Operating Exp	7.00
FROM 3/3/22 STERILE DRESSING 2323203			
Total			258.76
12224	3/11/2022	GREGORSKI 22 LLC	
DEVELOPMENT AGREEMENT GREGORSKI 22			
401-00-56700-701-000		Grant-Gregorski 22 LLC	11,847.07
DEVELOPMENT AGREEMENT GREGORSKI 22			
Total			11,847.07
12225	3/11/2022	GRUETT'S	
75648P			
100-09-53311-700-000		Hwy Dept - Equip Maintenance	130.50
FROM 2/26/22 STEEL 75648P			
Total			130.50
12226	3/11/2022	HEARTLAND BUSINESS SYSTEMS	
461780-H Previous Year Expense			
100-02-51400-400-006		Gen. Admin - Service Contracts	270.00
FROM 8/16/21 WEB & DNS HOSTING			
Total			270.00
12227	3/11/2022	KIMBALL MIDWEST	
9679370			

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100-09-53311-400-000		Hwy Dept - Supplies	359.40
	FROM 3/4/22 PAINT	9679370	
		Total	359.40
12228	3/11/2022	KITZ & PFEIL HARDWARE - OSHKOSH	
28201/2			
100-09-53311-700-000		Hwy Dept - Equip Maintenance	65.55
	CUST 812330 - 3/4/22 TOOLS	28201/2	
		Total	65.55
12229	3/11/2022	LINDE GAS & EQUIPMENT INC	
69272964			
100-09-53311-700-000		Hwy Dept - Equip Maintenance	207.66
	FROM 2/28/22 WELDING SUPPLIES	69272964	
		Total	207.66
12230	3/11/2022	LISOWE OIL DIV OF ADVANCED FUEL SERV	
75567			
100-09-53311-600-030		Hwy Dept - Fuel	1,367.60
	FROM 3/1/2022	75567	
		Total	1,367.60
12231	3/11/2022	MENARDS-APPLETON EAST	
16280			
100-09-53311-400-000		Hwy Dept - Supplies	50.44
	FROM 3/3/22 SHOP SUPPLIES	16280	
		Total	50.44
12232	3/11/2022	MGD INDUSTRIAL CORPORATION	
202249			
100-09-53311-400-000		Hwy Dept - Supplies	259.07
	FROM 3/3/22 SUPPLIES	202249	
		Total	259.07
12233	3/11/2022	MID-AMERICAN RESEARCH CHEMICAL	
755652-IN			
100-09-53311-400-000		Hwy Dept - Supplies	257.08
	FROM 2/25/22 GLOVES	0755652-IN	
		Total	257.08

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12234 401043	3/11/2022	MIDWEST WORKWEAR	
100-09-53311-400-000		Hwy Dept - Supplies	47.43
		FROM 3/7/22 2022 LOGO WEAR R KOEPKE 401043	
		Total	47.43
12235	3/11/2022	MILLER-BRADFORD & RISBERG 2019 CASE DV26D ROLLER	
100-09-57324-000-000		Capital Outlay - Hwy. Equip	33,000.00
		2019 CASE DV26D ROLLER Stock 006519	
		Total	33,000.00
12236	3/11/2022	NORTHEAST ASPHALT INC CERTIFICATE OF PAYMENT #4, PROJ #708921	
100-09-57330-000-000		Capital Outlay - Road Projects	857,108.17
		CERTIFICATE OF PAYMENT #4, PROJ #708921 2021-2500.00	
		Total	857,108.17
12237	3/11/2022	NSAH, INC DEVELOPMENT AGREEMENT TOONEN	
401-00-56700-700-000		Grant-Toonen Development TID 1	191,713.70
		DEVELOPMENT AGREEMENT TOONEN	
		Total	191,713.70
12238	3/11/2022	PREMIER HARRISON LLC DEVELOPMENT AGREEMENT PREMIER HARRISON	
402-00-56700-700-000		Grant-Premier Harrison LLC	3,095.59
		DEVELOPMENT AGREEMENT PREMIER HARRISON	
		Total	3,095.59
12239	3/11/2022	SOMMERVILLE FLAG 3/3/22 20 FLAGS 3 SIZES	
100-09-53311-505-000		Hwy Dept - Building Maint	780.00
		3/3/22 20 FLAGS 3 SIZES 3/3/22	
		Total	780.00
12240	3/11/2022	STUMPF EXCAVATING & TRUCKING 8637	
100-09-53311-505-000		Hwy Dept - Building Maint	130.00
		PUMP HOLDING TANK SHOP 3/7/22 8637	

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Total			130.00
12241 392779	3/11/2022	THE ELITE GROUP	
100-09-53311-400-000		Hwy Dept - Supplies	55.62
		FROM 2/10/22 ORDER#390620 22 K GREZINSKI 392779	
Total			55.62
12242 4171-8	3/11/2022	THE SHERWIN WILLIAMS CO	
100-06-52200-400-000		Fire Dept - Supplies/Services	38.39
		FROM 2/28/22 PAINT 4171-8	
Total			38.39
12243 H0006-09-18-00777	3/11/2022	VINTON CONSTRUCTION COMPANY CERT FOR FINAL PAY #2	
100-00-53650-000-000		Harr Stormwater Util Drainage	111,615.92
		H0006-09-18-00777 CERT FOR FINAL PAY #2	
Total			111,615.92
12244 4360760	3/11/2022	WIL-KIL PEST CONTROL	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		FIRE STATION 60 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	50.00
		FIRE STATION 70 4360760	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION #60 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION 70 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		POWER SPRAY - VILLAGE HALL NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		VILLAGE HALL NA	
Total			50.00
12246 4442189151	3/15/2022	CAPITAL ONE TRADE CREDIT	
100-09-57324-000-000		Capital Outlay - Hwy. Equip	1,999.99
		FROM 3/14/22 55 GAL PEST CONTROL SPRAYER 4442189151	

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Total			1,999.99
12247 2002200222	3/15/2022	CESA 10	
100-02-51400-400-006		Gen. Admin - Service Contracts	1,500.00
		MSDS ONLINE HEALTH & SAFETY 2021-22 2002200222	
Total			1,500.00
12248 0031663030822	3/15/2022	CHARTER COMMUNICATIONS- 31663	
100-02-51400-400-006		Gen. Admin - Service Contracts	429.91
		ACC 8348104270031663 SERVICE 3/8-4/7 0031663030822	
Total			429.91
12249 ESCROW RTN N9052,54: N9062,64 SOUTHTOWNE	3/15/2022	EVERS CONSTRUCTION & REALTY	
100-00-21060-000-000		Building Escrows Payable	1,500.00
		ESCROW RETURN N9052,54 SOUTHTOWNE DR	
100-00-21060-000-000		Building Escrows Payable	1,500.00
		ESCROW RETURN N9062,64 SOUTHTOWNE DR	
Total			3,000.00
12250 119749 - 119753, 119758	3/15/2022	GRAEF	
100-09-57330-000-000		Capital Outlay - Road Projects	577.50
		NOE RD MIDWAY TO MANITOWOC CONSTR SERV 119749	
100-09-57330-000-000		Capital Outlay - Road Projects	577.50
		KIMBERLY HEIGHTS PH 1-3 CONSTRUCTION SRV 119750	
100-09-57330-000-000		Capital Outlay - Road Projects	686.25
		HIDDEN PINES CONSTRUCTION SERVICES 119751	
100-09-57330-000-000		Capital Outlay - Road Projects	867.50
		KAMBURA ACRES PH 3&4 CONSTRUCTION SERV 119752	
100-00-53650-000-000		Harr Stormwater Util Drainage	290.00
		N COOP RD BOX CULVERT BASIC SERVICES 119753	
100-09-53311-000-000		Hwy Dept - Engineer/Consultant	1,756.25
		5-YR RD MAINTENANCE PLAN REVISIONS 119758	
Total			4,755.00
12251 27359P	3/15/2022	GRUETT'S	

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100-00-55200-000-000		Parks - Maint. and Utilities	500.00
		FROM 3/15/22 POL RANGER TURN SIGNAL KIT 27359P	
		Total	500.00
12252	3/15/2022	LISOWE OIL DIV OF ADVANCED FUEL SERV 75611	
100-09-53311-600-030		Hwy Dept - Fuel	1,953.47
		FROM 3/8/2022 75611	
		Total	1,953.47
12253	3/15/2022	MCPAHON 0925899 - 0925902	
100-09-57330-000-000		Capital Outlay - Road Projects	14,535.90
		HOELZEL HAVEN SUBDIVISION URBANIZATION 0925899	
100-00-53650-000-000		Harr Stormwater Util Drainage	1,132.10
		2022 STREET, STORM, SWMP LUNIAK MEADOWS 0925901	
100-00-52400-200-000		Inspections - Grade Checks	3,292.50
		LOT GRADE REVIEW & CHECK 0925902	
100-09-57330-000-000		Capital Outlay - Road Projects	4,923.80
		2022 ASPHALT RESURFACING PROGRAM 0925900	
100-00-53650-000-000		Harr Stormwater Util Drainage	153.00
		2022 STREET, STORM, SWMP WAVERLY BEACH 0925901	
		Total	24,037.30
12254	3/15/2022	MID-AMERICAN RESEARCH CHEMICAL 0755920-IN	
100-00-55200-000-000		Parks - Maint. and Utilities	640.00
		FROM 3/3/22 ODOR NEU, LINERS 0755920-IN	
		Total	640.00
12255	3/15/2022	N.E.W. PRINTING 151446	
100-02-51400-400-000		Gen. Admin - Supplies	59.48
		BUSINESS CARDS FROM 02/18/22 151446	
		Total	59.48
12256	3/15/2022	SILVERTREE HOMES LLC ESCROW RETURN N8718 & N8726 CONNER CIR	
100-00-21060-000-000		Building Escrows Payable	1,500.00
		ESCROW RETURN N8718 CONNER CIRCLE	

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100-00-21060-000-000		Building Escrows Payable	1,500.00
		ESCROW RETURN N8726 CONNER CIRCLE	
Total			3,000.00
12257	3/15/2022	TECC SECURITY SYSTEMS INC	
55228			
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100-02-51400-400-006		Gen. Admin - Service Contracts	160.00
		SERVICE 11/10/21 PROGRAM FOBS TRAIN MATT	
Total			160.00
12258	3/15/2022	THEDACARE AT WORK	
319580			
100-02-51400-400-006		Gen. Admin - Service Contracts	2,100.00
		EAP CONTRACT 2022	
		319580	
Total			2,100.00
12259	3/23/2022	CARDMEMBER SERVICE	
4798510057423846			
100-06-52200-400-000		Fire Dept - Supplies/Services	4.99
		FROM 2/11 MENARDS WIRE BRUSH SET	
100-06-52200-400-000		Fire Dept - Supplies/Services	45.98
		FROM 2/11 STAPLES LABEL MAKER TAPES	
100-06-52200-305-000		Fire Dept - Training/Mem	132.45
		FROM 3/3 NFPA 2021 FIRE CODE	
100-06-52200-305-000		Fire Dept - Training/Mem	132.45
		FROM 3/4 NFPA 2021 GUIDE FIRE/EXPL INVES	
100-08-52300-000-000		1st Responders - Operating Exp	98.54
		FROM 3/7 CIA MED STRAP NYLON LOOP-LOK	
100-06-52200-400-000		Fire Dept - Supplies/Services	-28.16
		FROM 3/5 ZIPRECRUITER SALES TAX REFUND	
100-00-51440-400-000		Elections - Supplies	51.43
		FROM 2/9 DOLLAR TREE ELECTION SUPPLIES	
100-00-51440-400-000		Elections - Supplies	138.75
		FROM 2/13 WALMART ELECTION SUPPLIES	
100-02-51400-400-000		Gen. Admin - Supplies	540.16
		FROM 2/15 ZIPRECRUITER DEPUTY TREA/CLERK	
100-02-51400-400-000		Gen. Admin - Supplies	15.74
		FROM 2/24 ADOBE ACROBAT PRO	

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100-02-51400-305-000		Gen. Admin - Training/Conf. FROM 3/2 LEAG OF WI MUN HR WEBINARS	50.00
100-02-51400-400-000		Gen. Admin - Supplies FROM 3/5 ZIPRECRUITER SALES TAX REFUND	-3.52
100-01-51101-400-000		Planning - Supplies FROM 2/9 INDEED ASSISTANT PLANNER POST	503.72
100-02-51400-400-000		Gen. Admin - Supplies FROM 2/16 INDEED DEPUTY TREAS/CLERK POST	500.24
100-02-51400-400-000		Gen. Admin - Supplies FROM 3/2 ZIPRECRUITER DEPUTY TREAS/CLERK	67.52
100-02-51400-305-000		Gen. Admin - Training/Conf. FROM 3/4 RED LION HOTEL CONFERENCE	198.00
Total			2,448.29
12260	3/23/2022	DRISCOLL PROPERTIES LLC DEVELOPMENT AGREEMENT DRISCOLL PROP	
403-00-56700-700-000		Grant-Driscoll Properties LLC DEVELOPMENT AGREEMENT DRISCOLL PROP	6,584.16
Total			6,584.16
12261	3/23/2022	GRUETT'S 76016P	
100-00-55200-000-000		Parks - Maint. and Utilities FROM 3/15/22 ADAPTER, SWITCHES, GLOVES 76016P	100.85
Total			100.85
12262	3/23/2022	INTERSTATE BATTERY OF GREEN BAY 90146453	
100-09-53311-400-000		Hwy Dept - Supplies FROM 3/16/22 BATTERIES 90146453	44.47
Total			44.47
12263	3/23/2022	J.D. OGDEN PLUMBING & HEATING INC 94649	
100-06-52200-400-000		Fire Dept - Supplies/Services FROM 3/4/22 ANNUAL TESTING 94649	224.75
Total			224.75
12264	3/23/2022	L & S TRUCK CENTER 278015	

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100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	550.02
	FROM 3/21/22	2013 F350 EXHAUST EMISSION 278015	
Total			550.02
12265	3/23/2022	LANGE ENTERPRISES, INC	
79431			
100-09-53315-902-000		Hwy Dept - Signs	660.75
	FROM 3/15/22	REFLECTORS, FLAGS & HOLDERS 79431	
Total			660.75
12266	3/23/2022	LISOWE OIL DIV OF ADVANCED FUEL SERV	
75674			
100-09-53311-600-030		Hwy Dept - Fuel	3,719.52
	FROM 3/15/2022	75674	
Total			3,719.52
12267	3/23/2022	MATT LANCASTER	
		REIMBURSE DRINK, FOOD SKID & PALLET FIRE	
100-06-52200-400-000		Fire Dept - Supplies/Services	269.24
		REIMBURSE DRINK, FOOD SKID & PALLET FIRE	
Total			269.24
12268	3/23/2022	MBM MODERN BUSINESS MACHINES	
IN3439042			
100-02-51400-400-006		Gen. Admin - Service Contracts	2,206.45
		CONTRACT METER CHARGE 3/17/21-3/16/22 IN3439042	
Total			2,206.45
12269	3/23/2022	MGD INDUSTRIAL CORPORATION	
202739			
100-09-53311-400-000		Hwy Dept - Supplies	417.40
	FROM 3/17/22	SUPPLIES 202739	
Total			417.40
12270	3/23/2022	MIKE STANONIK	
		REIMBURSE FOR AIR NOZZLE	
100-06-52200-400-000		Fire Dept - Supplies/Services	10.53
		REIMBURSE FOR AIR NOZZLE	
Total			10.53

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12271	3/23/2022	POMP'S TIRE SERVICE INC. 320124006	
100-06-52200-600-000		Fire Dept - Vehicle Maint. FROM 3/11/22 FIRE 64 MAINT 320124006	76.00
Total			76.00
12272	3/23/2022	RIESTERER & SCHNELL, INC Chilton 2160097	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 3/21/22 OIL, FILTERS, AIR CLEANERS 2160097	595.38
Total			595.38
12273	3/23/2022	STUMPF EXCAVATING & TRUCKING 8642, 8649	
100-09-53311-505-000		Hwy Dept - Building Maint PUMP HOLDING TANKS 3/14/22 8642	260.00
100-09-53311-505-000		Hwy Dept - Building Maint PUMP HOLDING TANK SHOP 3/21/22 8649	130.00
Total			390.00
12274	3/23/2022	SUPERIOR VISION INSURANCE 615003	
100-02-51400-200-000		Gen. Admin - Benefits OFFICE VISION INSURANCE FOR APR 22 615003	86.39
100-09-53311-200-000		Hwy Dept - Benefits SHOP VISION INSURANCE FOR APR 22 615003	98.58
100-01-51101-200-000		Planning - Benefits PLANNER VISION INSURANCE FOR APR 22 615003	0.00
100-00-14500-000-000		Due from Special Purpose Dist. UTILITIES VISION INSURANCE APR 22 615003	88.03
Total			273.00
12275	3/23/2022	WISCONSIN MEDIA NOV 2021 BILLING, INV#4321464	
100-02-51400-800-000		Gen. Admin - Publications BILL PERIOD NOV 1 - NOV 30 HVAC BIDS	54.05
100-01-51101-800-000		Planning - Publications BILL PERIOD NOV 1 - NOV 30 ZONING BOARD	74.60
100-02-51400-800-000		Gen. Admin - Publications BILL PERIOD NOV 1 - NOV 30 RESOLUTION	107.14

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100-01-51101-800-000		Planning - Publications	64.33
		BILL PERIOD DEC 1 - DEC 31 PLAN COMM	
100-02-51400-800-000		Gen. Admin - Publications	37.34
		BILL PERIOD DEC 1 - DEC 31 DPW EMPLOYEE	
100-00-51440-600-000		Elections - Publications	67.55
		BILL PERIOD DEC 1 - DEC 31 ELECTION	
Total			405.01

12276 3/23/2022 WISCONSIN MEDIA
4385678, 4453501

100-02-51400-800-000		Gen. Admin - Publications	31.60
		BILL PERIOD JAN 1 - JAN 31 RESOLUTION	4385678
100-01-51101-800-000		Planning - Publications	89.98
		BILL PERIOD FEB 1 - FEB 28 PLAN COMM	4453501
100-00-51440-600-000		Elections - Publications	90.99
		BILL PERIOD FEB 1 - FEB 28 ELECTION	4453501
100-01-51101-800-000		Planning - Publications	158.47
		BILL PERIOD FEB 1 - FEB 28 PLAN COMM	4453501
Total			371.04

12277 3/29/2022 AUTOMOTIVE SUPPLY CO - KAUKAUNA
060930683,060930827,060930789,060930829

100-06-52200-600-000		Fire Dept - Vehicle Maint.	14.70
		FROM 3/24/22 FIRE DEPT ENGINE #71	060930683
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	73.50
		FROM 03/25/22 WF BLU/DISC BRAKE PAD SET	060930827
100-09-53311-600-600		Hwy Dept - Vehicle Maintenance	44.46
		FROM 03/25/22 FLOW LUBE SPIN/PSF GAL	060930789
100-09-53311-900-000		Hwy Dept - Road Maintenance	167.23
		FROM 03/25/22 CONSPICUITY TAP	060930829
Total			299.89

12278 3/29/2022 BRENDON HARTJES
REIMBRSEMEN FOR SODA

100-06-52200-400-000		Fire Dept - Supplies/Services	101.66
		REIMBURSE FOR SODA	
Total			101.66

12279 3/29/2022 BROOKS TRACTOR INC - SUN PRAIRIE
C62383

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100-09-53311-900-000		Hwy Dept - Road Maintenance	2,533.33
		FROM 3/18/22 RENTAL JD LOADER 3/18-3/31 C62383	
		Total	2,533.33
12280 229003	3/29/2022	CARSTENS ACE HARDWARE	
100-09-53311-400-000		Hwy Dept - Supplies	33.30
		FROM 3/24/22 SUPPLIES 229003	
		Total	33.30
12281 45508	3/29/2022	FIREPENNY	
100-06-52200-400-000		Fire Dept - Supplies/Services	80.00
		FROM 03/17/22 STRUCTURAL FF GLOVES 45508	
		Total	80.00
12282 TPB0000706030	3/29/2022	FOX VALLEY TECHNICAL COLLEGE	
100-06-52200-305-000		Fire Dept - Training/Mem	240.00
		MEYER,SCHUHART,VOGELS,WELLS STATE EXM	
		Total	240.00
12283 393420-1, 393453-1	3/29/2022	GAT SUPPLY, INC	
100-09-53311-901-000		Hwy Dept - Ditching/Grading	110.19
		FROM 3/25/22 STND LUTE/RAKE 393420-1	
100-09-53311-901-000		Hwy Dept - Ditching/Grading	134.49
		FROM 03/28/22 SHOVEL, BLADE ASPHALT SAW 393453-1	
		Total	244.68
12284 U30000058234	3/29/2022	GFL ENVIRONMENTAL	
100-00-53620-000-000		Refuse and Garbage Services	31,110.00
		RES TRASH FOR MARCH U30000058234	
100-00-53635-000-000		Recycling Services	20,740.00
		RES RECYCLING FOR MARCH U30000058234	
100-00-53620-000-000		Refuse and Garbage Services	85.00
		COMMERCIAL TRASH DUMPSTER FOR MARCH U30000058234	
100-00-53635-000-000		Recycling Services	58.00
		COMMERCIAL RECYCLING DUMPSTER FOR MARCH U30000058234	

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Total			51,993.00
12285	3/29/2022	HALRON LUBRICANTS INC 1308184-00	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 3/25/22 OIL FILTER DISPOSAL 1308184-00	55.00
Total			55.00
12286	3/29/2022	JASON LONE GRADING ESCROW RETURN N8723 CONNOR CIR	
100-00-21060-000-000		Building Escrows Payable GRADING ESCROW RETURN N8723 CONNOR CIR	1,500.00
Total			1,500.00
12287	3/29/2022	JOE'S POWER CENTER 112373, 112504	
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 3/23/22 AIR FILTER ELEM CASE ROLLER 112373	86.38
100-09-53311-700-000		Hwy Dept - Equip Maintenance FROM 3/25/22 OIL & FUEL FILTERS 112504	175.60
Total			261.98
12288	3/29/2022	LANGE ENTERPRISES, INC 79479	
100-09-53315-902-000		Hwy Dept - Signs FROM 3/21/22 10' GREEN CHANNEL POSTS 79479	973.50
Total			973.50
12289	3/29/2022	MENARDS-APPLETON EAST 17166	
100-09-53311-400-000		Hwy Dept - Supplies FROM 3/23/22 SHOP SUPPLIES 17166	79.22
Total			79.22
12290	3/29/2022	MID-AMERICAN RESEARCH CHEMICAL 0757172-IN	
100-09-53311-505-000		Hwy Dept - Building Maint FROM 3/17/22 SUPPLIES 0757172-IN	1,208.50
Total			1,208.50

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INVESTORS COMMUNITY BANK

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
12291 840885	3/29/2022	MONROE TRUCK EQUIPMENT, INC	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	168.88
		FROM 3/24/22 VALVE & BEARING 840885	
		Total	168.88
12292 5402551408, 5402551409	3/29/2022	MORTON SALT	
100-09-53311-903-000		Hwy Dept - Salt & Sand	11,028.37
		FROM 3/23/22 BULK SAFE-T-SALT 5402551408	
100-09-53311-903-000		Hwy Dept - Salt & Sand	7,943.83
		FROM 03/23/22 BULK SAFE -T SALT 5402551409	
		Total	18,972.20
12293 THROUGH 3/10/22 OFFICE SUPPLIES	3/29/2022	OFFICE DEPOT BUSINESS CREDIT - VOH	
100-02-51400-400-000		Gen. Admin - Supplies	581.14
		THROUGH 3/10/22 OFFICE SUPPLIES	
		Total	581.14
12294 261382	3/29/2022	PIONEER RESEARCH CORPORATION	
100-09-53311-505-000		Hwy Dept - Building Maint	222.84
		FROM 03/22/22 ENVIRO PRO 261382	
		Total	222.84
12295 44821	3/29/2022	RENNERTS	
100-06-52200-600-000		Fire Dept - Vehicle Maint.	677.94
		FROM 03/14 2018 CUSTOM SPARTAN 44821	
		Total	677.94
12296 2160125	3/29/2022	RIESTERER & SCHNELL, INC Chilton	
100-09-53311-700-000		Hwy Dept - Equip Maintenance	13.67
		FROM 3/21/22 SCREW, KNOB 2160125	
		Total	13.67
12297 IN00349157, IN00349624	3/29/2022	ROCKET INDUSTRIAL	

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INVESTORS COMMUNITY BANK

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-09-53311-400-000		Hwy Dept - Supplies	354.56
		FROM 3/18 ROLL & HAND TOWELS, TP	
		IN00349157	
100-09-53311-400-000		Hwy Dept - Supplies	32.93
		FROM 3/23/22 KITCHEN ROLL TOWELS	
		IN00349624	
		Total	387.49
12298	3/29/2022	SERWE IMPLEMENT MUNICIPAL SALES CO, LLC	
8930			
100-09-53311-700-000		Hwy Dept - Equip Maintenance	1,033.00
		FROM 3/25/22 FLAILS, BOLTS, NYLOCKS, OIL	
		8930	
		Total	1,033.00
12299	3/29/2022	STUMPF EXCAVATING & TRUCKING	
8655			
100-09-53311-505-000		Hwy Dept - Building Maint	260.00
		PUMP HOLDING TANK 3/28/22	
		8655	
		Total	260.00
12300	3/29/2022	TECC SECURITY SYSTEMS INC	
56122, 56123			
100-00-55200-000-000		Parks - Maint. and Utilities	2,872.81
		FROM 3/23 INSTALL ACCESS SYSTEM-DOWNPAY	
		56122	
100-00-55200-000-000		Parks - Maint. and Utilities	1,718.26
		FROM 3/23 INSTALL CAMERA SYSTEM-DOWNPAY	
		56123	
		Total	4,591.07
12301	3/29/2022	TRI CITY GLASS INC	
I03083467 JJ			
100-00-55200-000-000		Parks - Maint. and Utilities	383.93
		FROM 03/23/22 KEY LOCK	
		I03083467 JJ	
		Total	383.93
12302	3/29/2022	ULINE	
146521188			
100-00-53635-100-000		Compost Site	213.20
		FROM 3/18/22 6' RUBBER SPEED BUMP	
		146521188	
		Total	213.20
12303	3/29/2022	WELLS FARGO FINANCIAL LEASING INC	
5019460168			

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INVESTORS COMMUNITY BANK

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-02-51400-400-006		Gen. Admin - Service Contracts	575.69
		COVERAGE PERIOD 3/17-4/16/22 5019460168	
Total			575.69
12304	3/29/2022	WEYERS EQUIPMENT	
01-177369			
100-09-53311-700-000		Hwy Dept - Equip Maintenance	55.00
		FROM 3/23/22 PAINT CASE ROLLER 01-177369	
Total			55.00
12305	3/29/2022	WIL-KIL PEST CONTROL	
4359704, 4360759			
100-02-51400-400-006		Gen. Admin - Service Contracts	50.00
		FIRE STATION 60 4360759	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		FIRE STATION 70 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION #60 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		EXTERIOR INSECT FIRE STATION 70 NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	0.00
		POWER SPRAY - VILLAGE HALL NA	
100-02-51400-400-006		Gen. Admin - Service Contracts	86.75
		VILLAGE HALL 4359704	
Total			136.75
Grand Total			1,558,254.83

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ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND	1,243,150.96
Total Expenditure from Fund # 401 - TAX INCREMENTAL DISTRICT #1	294,450.52
Total Expenditure from Fund # 402 - TAX INCREMENTAL DISTRICT #2	3,095.59
Total Expenditure from Fund # 403 - TAX INCREMENTAL DISTRICT #3	17,557.76
Total Expenditure from all Funds	1,558,254.83

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TAX CHECKING

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
2634	3/04/2022	TIMOTHY MADER	
		REPLACE-2021 TAX REFUND MULTIPLE PARCELS	
100-00-21070-000-000		Overpayments Payable	23.06
		REPLACE-2021 TAX REFUND MULTIPLE PARCELS	
		Total	23.06
2635	3/11/2022	LINDA DIRKES	
		2021 TAX REFUND PARCEL 43702-REISSUED	
100-00-21070-000-000		Overpayments Payable	27.37
		2021 TAX REFUND PARCEL 43702-REISSUED	
		Total	27.37
		Grand Total	50.43

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TAX CHECKING

ALL Checks

Posted From: 3/01/2022

From Account:

Thru: 3/31/2022

Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND

50.43

Total Expenditure from all Funds

50.43

UTILITIES

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
22322	3/08/2022	ADVANCE AUTO PARTS	
Invs 6951204861156 & 6504204829490			
610-00-18394-000-000		Tools, Shop & Garage Equipment	4.27
		Socket Kit for Shop	6951204861156
620-00-18395-000-000		Tools, Shop & Garage Equipment	4.28
		Socket Kit for Shop	6951204861156
610-00-18394-000-000		Tools, Shop & Garage Equipment	14.99
		Various Tools for Shop	6504204829490
620-00-18395-000-000		Tools, Shop & Garage Equipment	14.99
		Various Tools for Shop	6504204829490
			Total
			38.53
22323	3/08/2022	AIRGAS USA LLC	
Invs 9123066893 & 9123066894			
610-00-57641-000-000		Operation Supplies & Expenses	144.15
		Welding Gas Tank for Shop Welder	9123066894
620-00-57827-000-000		Operation Supplies & Expenses	144.15
		Welding Gas Tank for Shop Welder	9123066894
610-00-18394-000-000		Tools, Shop & Garage Equipment	909.24
		Welder for Shop	9123066893
620-00-18395-000-000		Tools, Shop & Garage Equipment	909.24
		Welder for Shop	9123066893
			Total
			2,106.78
22324	3/08/2022	CITY OF APPLETON FINANCE DEPARTMENT	
11/1/21-2/1/22 300-936-500 & 300-937-500 Previous Year Expense			
610-00-57601-000-000		Purchased Water - COA	54,752.99
		11/1/21-2/1/22 300-936-500 (COA#1)	
610-00-57602-000-000		Fire Protection - COA	6,154.83
		11/1/21-2/1/22 300-936-500 (COA#1)	
610-00-57601-000-000		Purchased Water - COA	50,211.75
		11/1/21-2/1/22 300-937-500 (COA#2)	
			Total
			111,119.57
22325	3/08/2022	CITY OF APPLETON FINANCE DEPARTMENT	
11/1/21-2/1/22 300-936-500 (COA#1)			
610-00-57601-000-000		Purchased Water - COA	28,206.09
		11/1/21-2/1/22 300-936-500 (COA#1)	

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UTILITIES

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
610-00-57602-000-000	11/1/21-2/1/22	Fire Protection - COA 300-936-500 (COA#1)	3,170.67
610-00-57601-000-000	11/1/21-2/1/22	Purchased Water - COA 300-937-500 (COA#2)	25,866.66
Total			57,243.42
<hr/>			
22326	3/08/2022	CLEAN WATER TESTING LLC FROM 2/16/22 MONTHLY WATER SAMPLE TESTS	
610-00-57641-000-000		Operation Supplies & Expenses FROM 2/16/22 MONTHLY WATER SAMPLE TESTS 9005747102	96.00
Total			96.00
<hr/>			
22327	3/08/2022	CRANE ENGINEERING SALES INC Invs 416767-00 & 416767-01	
620-00-57832-000-000		Maint Collection Syst Pumping Valve for LS #4 Pump 416767-00	201.45
620-00-57832-000-000		Maint Collection Syst Pumping Valve for LS #4 Pump 416767-01	226.67
Total			428.12
<hr/>			
22328	3/08/2022	DONALD HIETPAS & SONS INC Work Done 2/10/22 & 2/21/22	
610-00-57654-000-000		Maintenance of Hydrants 2/10/22 Hydrant and Operating Nut Replac	2,669.35
620-00-57832-000-000		Maint Collection Syst Pumping 2/21/22 Repair of 4" Force Main LS #3	1,615.28
Total			4,284.63
<hr/>			
22329	3/08/2022	FERGUSON WATERWORKS #1476 Multiple Invoices - Details in RA	
610-00-18348-000-000		Hydrants 2/16/22 Hydrant & Parts for Repair 0352866	3,008.76
610-00-18346-000-000		Meters 2/3/22 Meter Couplers (100 Ct) 0351800	1,460.78
610-00-18346-000-000		Meters 2/14/22 Meter Couplers (40 Ct) 0352071	333.51
610-00-18346-000-000		Meters 2/18/22 Meters (Base & Trans) 140 Ct 0349411	33,460.00
Total			38,263.05

UTILITIES

ALL Checks

Posted From: 3/01/2022 From Account:
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Check Nbr	Check Date	Payee	Amount
22330	3/08/2022	MENARDS-APPLETON EAST	
Inv 31110431			
610-00-57641-000-000		Operation Supplies & Expenses	17.89
		Various Shop Supplies	31110431
620-00-57827-000-000		Operation Supplies & Expenses	17.90
		Various Shop Supplies	31110431
Total			35.79
<hr/>			
22331	3/08/2022	NEENAH-MENASHA SEWERAGE COMMISSION	
March Charges Based on January Measures			
620-00-57829-000-000		Sewerage Treatment Charges	17,072.58
		Inv Date 2/2/22 WASTEWATER TREATMENT	2022-033
620-00-57870-000-000		Interest Expense - CWF Loan	1,540.00
		Inv 2/2/22 CLEAN WATER LOAN INTEREST	2022-038
620-00-57875-000-000		Amortization Expense-CWF Loan	4,971.00
		Inv 2/2/22 CLEAN WATER LOAN DEBT	2022-038
Total			23,583.58
<hr/>			
22332	3/08/2022	OFFICE DEPOT BUSINESS CREDIT - HU	
OFFICE SUPPLIES THROUGH 2/15/22			
610-00-57921-000-000		Office Supplies & Expenses	28.68
		OFFICE SUPPLIES THROUGH 2/15/22	
620-00-57851-000-000		Office Supplies & Expenses	28.69
		OFFICE SUPPLIES THROUGH 2/15/22	
Total			57.37
<hr/>			
22333	3/08/2022	PUBLIC SERVICE COMMISSION OF WISCONSIN	
PSC DIRECT ASSESS JAN 2022			
610-00-57928-000-000		Regulatory Commission Expenses	1,419.98
		PSC DIRECT ASSESS JAN 2022	2201-I-06335
Total			1,419.98
<hr/>			
22334	3/08/2022	SPEEDY CLEAN	
Work for Repair at LS #3			
620-00-57832-000-000		Maint Collection Syst Pumping	3,150.00
		Work for Repair at LS #3	75411
Total			3,150.00
<hr/>			
22335	3/08/2022	SUPERIOR CHEMICAL CORPORATION	
2/9/22 Fire Ball Degreaser			

UTILITIES

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
610-00-57641-000-000		Operation Supplies & Expenses	72.19
	2/9/22	Fire Ball Degreaser 325709	
620-00-57827-000-000		Operation Supplies & Expenses	72.20
	2/9/22	Fire Ball Degreaser 325709	
Total			144.39

22336 3/21/2022 AIRGAS USA LLC
Shop Supplies Assc. with Welder

610-00-57641-000-000		Operation Supplies & Expenses	32.10
		Shop Supplies Assc. with Welder 9123292503	
620-00-57827-000-000		Operation Supplies & Expenses	32.10
		Shop Supplies Assc. with Welder 9123292503	
Total			64.20

22337 3/21/2022 CLEAN WATER TESTING LLC
03/09/22 MONTHLY WATER SAMPLE TESTS

610-00-57641-000-000		Operation Supplies & Expenses	96.00
	03/09/22	MONTHLY WATER SAMPLE TESTS 9005831697	
Total			96.00

22338 3/21/2022 FERGUSON WATERWORKS #1476
Invs 0349030, 0351581, & 0353871

610-00-18346-000-000		Meters	1,469.52
	2/28/22	Meter Couplers (100 Ct) 0349030	
610-00-18346-000-000		Meters	1,966.00
	3/7/22	Meter Transmitters (17 Ct) 0351581	
620-00-57832-000-000		Maint Collection Syst Pumping	934.44
	3/10/22	LS#3 Parts for Repair 0353871	
Total			4,369.96

22339 3/21/2022 GRAEF
For Services Rendered Through 12/31/21

Previous Year Expense

610-00-57923-000-000		Outside Services Employed	2,648.93
		Woodland Hills Heights Through 12/31/21	
620-00-57852-000-000		Outside Services Employed	2,648.94
		Woodland Hills Heights Through 12/31/21	
610-00-57923-000-000		Outside Services Employed	5,348.44
		Driscoll Phase II Through 12/31/21	
620-00-57852-000-000		Outside Services Employed	5,348.45
		Driscoll Phase II Through 12/31/21	

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ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
610-00-57923-000-000		Outside Services Employed	1,543.75
		System Map Updates Through 12/31/21	
620-00-57852-000-000		Outside Services Employed	1,543.75
		System Map Updates Through 12/31/21	
Total			19,082.26

22340 3/21/2022 GRAEF
Services Through 1/29/22

610-00-57923-000-000		Outside Services Employed	39.62
		System Map Updates Through 1/29/22	0119755
620-00-57852-000-000		Outside Services Employed	39.63
		System Map Updates Through 1/29/22	0119755
610-00-57923-000-000		Outside Services Employed	1,893.25
		Woodland Hills Heights Through 1/29/22	0119756
620-00-57852-000-000		Outside Services Employed	1,893.25
		Woodland Hills Heights Through 1/29/22	0119756
610-00-57923-000-000		Outside Services Employed	911.00
		Driscoll Phase II Through 1/29/22	0119757
620-00-57852-000-000		Outside Services Employed	911.00
		Driscoll Phase II Through 1/29/22	0119757
610-00-57923-000-000		Outside Services Employed	108.75
		1st Addition LP Heights Through 1/29/22	0119754
620-00-57852-000-000		Outside Services Employed	108.75
		1st Addition LP Heights Through 1/29/22	0119754
Total			5,905.25

22341 3/21/2022 MARTENSON & EISELE INC
For Services Rendered Through 1/31/2022

610-00-57923-000-000		Outside Services Employed	1,155.00
		Ordinance Recoding - Through 1/31/22	61464a
620-00-57852-000-000		Outside Services Employed	1,155.00
		Ordinance Recoding - Through 1/31/22	61464a
620-00-57852-000-000		Outside Services Employed	1,160.00
		SSA Amendment Plan & Review	61447
Total			3,470.00

22342 3/21/2022 MENARDS-APPLETON EAST
Invs 16188 & 16643

UTILITIES

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
610-00-57641-000-000		Operation Supplies & Expenses	18.98
		Various Shop Supplies 16643	
620-00-57827-000-000		Operation Supplies & Expenses	18.98
		Various Shop Supplies 16643	
610-00-57641-000-000		Operation Supplies & Expenses	31.80
		Various Shop Supplies 16188	
620-00-57827-000-000		Operation Supplies & Expenses	31.80
		Various Shop Supplies 16188	
Total			101.56
<hr/>			
22343	3/21/2022	PCI DATA SYSTEMS INC	
February 2022 Remote Services/Maint.			
610-00-57921-000-000		Office Supplies & Expenses	70.00
		February 2022 Remote Services/Maint. 23014	
620-00-57851-000-000		Office Supplies & Expenses	70.00
		February 2022 Remote Services/Maint. 23014	
Total			140.00
<hr/>			
22344	3/21/2022	PJ KORTENS & COMPANY INC	
Invs 10023517 & 10023516			
620-00-57832-000-000		Maint Collection Syst Pumping	372.00
		Reset Radar System at LS#6 10023517	
620-00-57831-000-000		Maintenance Sewage Collect Sys	189.00
		Reset Totalizer at Menasha Flow Meter 10023516	
Total			561.00
<hr/>			
22345	3/21/2022	POMP'S TIRE SERVICE INC.	
Repairs to F-150			
610-00-57933-000-000		Transportation Expense	210.76
		Repairs to F-150 320123910	
620-00-57828-000-000		Transportation Expense	210.76
		Repairs to F-150 320123910	
Total			421.52
<hr/>			
22346	3/21/2022	SPEEDY CLEAN	
Work for Repair at LS #3			
620-00-57832-000-000		Maint Collection Syst Pumping	2,745.00
		Work for Repair at LS #3 75544	
Total			2,745.00

UTILITIES

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
22347	3/21/2022	ULTIMATE CLEANING LIMITED APR 2022 CLEANING SERVICE	
610-00-57935-000-000		Maintenance of General Plant APR 2022 CLEANING SERVICE 2103	94.50
620-00-57834-000-000		Maintenance of General Plant APR 2022 CLEANING SERVICE 2103	94.50
Total			189.00
22348	3/25/2022	ERICKSON & ASSOCIATES SC PSC Rate Case Review Jan & Feb	
610-00-57928-000-000		Regulatory Commission Expenses PSC Rate Case Review Jan & Feb 56339	7,970.00
Total			7,970.00
22349	3/25/2022	ERICKSON & ASSOCIATES SC Final Billing - Audit of 2020 Financials	
610-00-57923-000-000		Outside Services Employed Final Billing - Audit of 2020 Financials	10,985.00
620-00-57852-000-000		Outside Services Employed Final Billing - Audit of 2020 Financials	10,985.00
Total			21,970.00
22350	3/25/2022	JP GRAPHICS INC 3/18/22 - Bill Cards	
610-00-57921-000-000		Office Supplies & Expenses 3/18/22 - Bill Cards 1065400011	849.97
620-00-57851-000-000		Office Supplies & Expenses 3/18/22 - Bill Cards 1065400011	849.98
Total			1,699.95
22351	3/25/2022	NEENAH-MENASHA SEWERAGE COMMISSION April Bill Based on Feb Measures	
620-00-57829-000-000		Sewerage Treatment Charges April Bill Based on Feb Measures 2022-046	15,133.51
620-00-57870-000-000		Interest Expense - CWF Loan CWF Interest Net of Credit 2022-051	1,067.00
620-00-57875-000-000		Amortization Expense-CWF Loan CWF Debt Net of Credit 2022-051	4,759.00
Total			20,959.51

UTILITIES

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Check Nbr	Check Date	Payee	Amount
22352	3/25/2022	OFFICE DEPOT BUSINESS CREDIT - HU OFFICE SUPPLIES THROUGH 3/18/22	
610-00-57921-000-000		Office Supplies & Expenses OFFICE SUPPLIES THROUGH 3/18/22	45.37
620-00-57851-000-000		Office Supplies & Expenses OFFICE SUPPLIES THROUGH 3/18/22	45.38
Total			90.75
22353	3/25/2022	PCI DATA SYSTEMS INC March 2022 Remote Services/Maint.	
610-00-57921-000-000		Office Supplies & Expenses March 2022 Remote Services/Maint. 23053	42.00
620-00-57851-000-000		Office Supplies & Expenses March 2022 Remote Services/Maint. 23053	42.00
Total			84.00
22354	3/25/2022	PJ KORTENS & COMPANY INC Check Totalizer at Menasha Flow Meter	
620-00-57831-000-000		Maintenance Sewage Collect Sys Check Totalizer at Menasha Flow Meter 10023529	180.00
Total			180.00
22355	3/25/2022	PUBLIC SERVICE COMMISSION OF WISCONSIN PSC DIRECT ASSESS FEB 2022	
610-00-57928-000-000		Regulatory Commission Expenses PSC DIRECT ASSESS FEB 2022 2202-I-06335	1,272.88
Total			1,272.88
22356	3/25/2022	SUPERIOR CHEMICAL CORPORATION Weed Killer and Spray Grease for Shop	
610-00-57641-000-000		Operation Supplies & Expenses Weed Killer and Spray Grease for Shop 329392	203.81
620-00-57827-000-000		Operation Supplies & Expenses Weed Killer and Spray Grease for Shop 329392	203.82
Total			407.63
Grand Total			333,751.68

4/22/2022

6:16 PM

Reprint Check Register - Full Report - Regular

Page: 9
ACCT

UTILITIES

ALL Checks

Posted From: 3/01/2022 From Account:
Thru: 3/31/2022 Thru Account:

Amount

Total Expenditure from Fund # 610 - WATER UTILITY	251,010.21
Total Expenditure from Fund # 620 - SEWER UTILITY	82,741.47
Total Expenditure from all Funds	333,751.68

VILLAGE BOARD MEETING**VILLAGE OF HARRISON****From:**

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

Comprehensive Outdoor Recreation Plan (CORP) Draft

Issue:

The Village Board should provide comments to staff regarding the Comprehensive Outdoor Recreation Plan draft?

Background and Additional Information:

The consultant, Graef, has prepared a draft for the Comprehensive Outdoor Recreation Plan (CORP) update. A representative from Graef was invited to the Board meeting to present the draft and hear comments regarding the plan. The draft plan includes current demographics and attributes of Harrison, the planning process, community engagement summary, needs assessment, a vision/recommendation section, and an implementation section.

Based on the revised project schedule, the Village Board will be given a couple of opportunities to comment on the plan.

Budget Impacts:

None.

Recommended Action:

Staff recommends the Village Board review and comment on the proposed draft. Comments can be addressed for the final version of the plan.

Attachments:

- Revised project schedule
- Draft CORP

REVISED PROJECT SCHEDULE APRIL 2022 TO COMPLETION

Village of Harrison Comprehensive Outdoor Recreation Plan Update

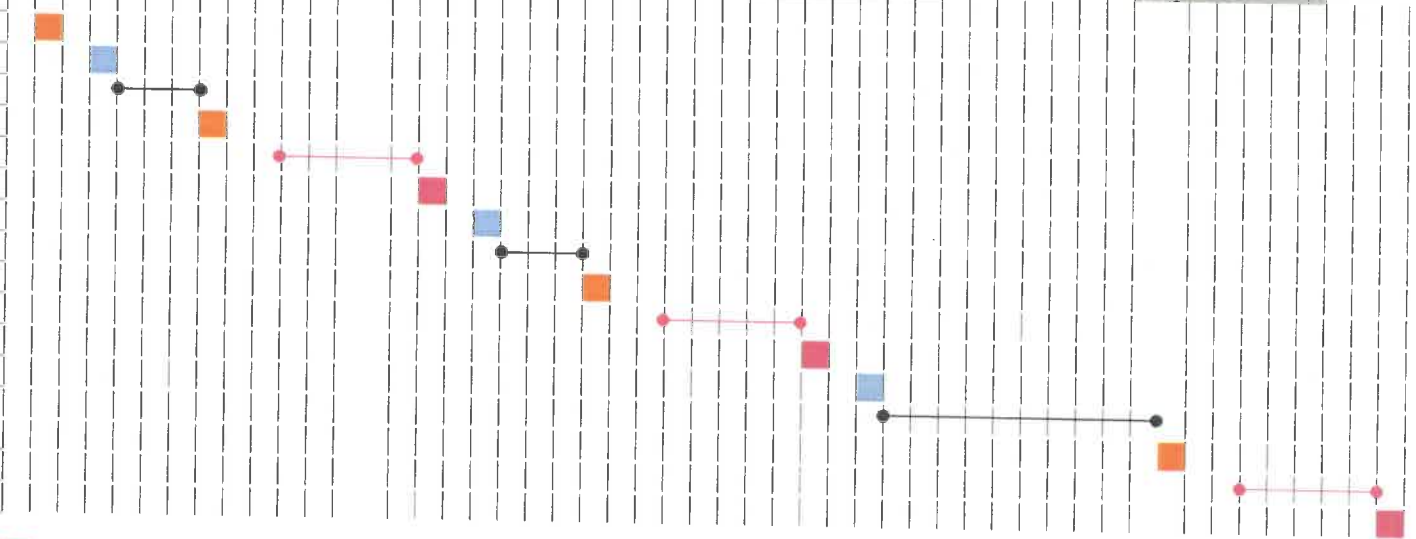


Village Board meeting dates

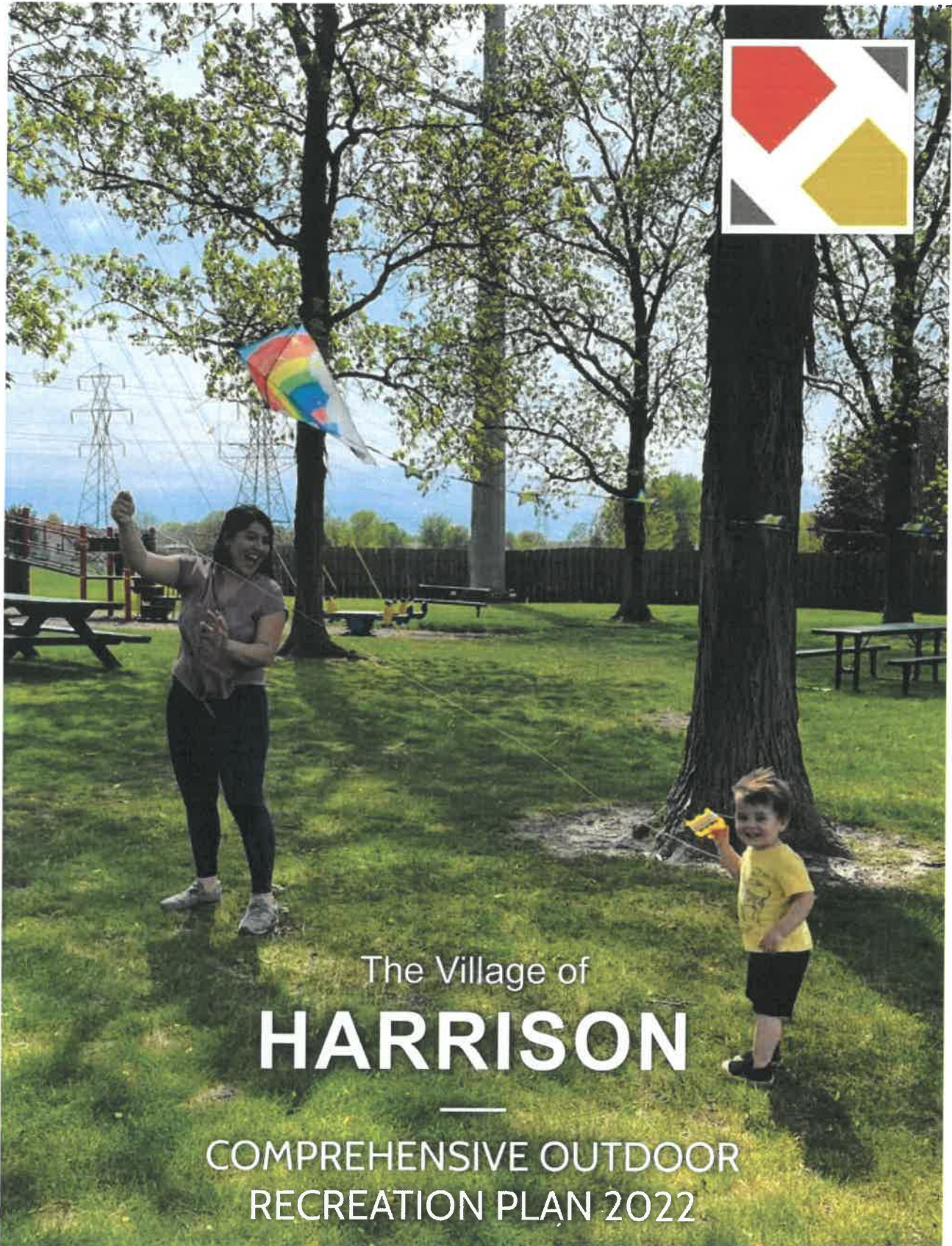


Draft and Final Plans

GRAEF to send draft for staff review
Comments back from the Village to GRAEF
GRAEF work time for revisions
GRAEF to send revised draft, due for packet
Village Board: review of draft
Village Board meeting: review of draft
Comments back from the Village to GRAEF
GRAEF work time for revisions
GRAEF to send new draft, due for packet
Village Board: review of draft
Village Board meeting: review of draft
Comments back from the Village to GRAEF
GRAEF work time for revisions
GRAEF to send final draft, due for packet
Village Board: review of final
Village Board meeting: adoption



- Village Board meeting
- GRAEF deadline
- Village responses due to GRAEF



The Village of
HARRISON

—
COMPREHENSIVE OUTDOOR
RECREATION PLAN 2022

Acknowledgments

Village Board Trustees

Allison Blackmer, Village President
Julene Baldwin
Darlene Bartlein
Mike Brantmeier
Scott Handschke
Matt Lancaster
Mark Van Hefty

Plan Commission

Allison Blackmer, Chairperson
Dennis Reed
Pat Hennessey
Darlene Bartlein
Mark Van Hefty
Kent Gross
Jim Lincoln

Village Staff

Mark Mommaerts, AICP, Assistant Village Manager
Trish Nau, Assistant Planner

GRAEF Consultant Team

Kristan Sanchez, AICP
Dominic Marlow
Monica Richart
Sarah Walwema

**All photo and image credit GRAEF unless noted otherwise*



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Chapter 1

Harrison Today

A Comprehensive Outdoor Recreation Plan (CORP) is a tool for communities to create a vision for their parks, recreation, and public open spaces. The planning process uses community engagement to establish the vision desired by the community, and then combines it with a review of similar communities to provide comparisons and benchmarks. The plan is intended to guide park development and recreation program decisions for a period of five years.

The adopted plan enables the Village to apply for grant funding from the WI Department of Natural Resources' (WDNR) Stewardship Program for park development projects, the preservation of land and water-based natural assets, and recreational boating and access projects on Lake Winnebago.

Related Plans



Kimberly Area School District
Safe Routes to School
Action Plan 2018



Town and Village of Harrison
CORP 2015-2019



Wisconsin Statewide CORP
(SCORP) 2019-2023

DOCUMENT PURPOSE

Inventory

List and evaluate Harrison's existing outdoor recreation and park facilities and recent improvements.

Benchmark

Compare the extent, quality, and level of service of Harrison's outdoor recreation facilities against similar communities.

Needs Assessment

Identify the needs of community members through engagement, survey, and analysis of current conditions and opportunities.

Long Range Planning

Provide a framework and guide for the long-term development and operation of Harrison's parks and outdoor recreation facilities and programs.

Recommendations

Provide a list of recommended actions to the Village for the next five years for Capital Improvement Planning (CIP) of parks and recreational facilities.

"CORP" stands for "Comprehensive Outdoor Recreation Plan" and is used throughout the document. CORP plans are used across the State of Wisconsin to guide park and recreation planning and apply for grant funding.

PLANNING CONTEXT

Development of the 2022-2026 Harrison Comprehensive Outdoor Recreation Plan involved a combination of public outreach, engagement with Village Staff and elected officials, and the application of updated national recommendations for parks and recreation planning. A review of local, regional, and state plans was also conducted to ensure consistency with the parks and recreation goals of all relevant jurisdictions. This plan was prepared with assistance from GRAEF, a planning consultant, and adopted by the Village Board. The former Town and Village of Harrison last updated its Comprehensive Outdoor Recreation Plan in 2015 with assistance from the East Central Wisconsin Regional Planning Commission (ECWRPC). This process should be completed every five years.

Effective local planning relies on the active participation of residents to ensure relevancy and sensitivity to community priorities. The COVID-19 pandemic presented an ongoing challenge and opportunity during the planning process of this CORP. In person engagement was supplemented with online engagement as well as promotion through postal mailings to all Village residents.

This plan draws upon past goals, objectives, and recommendations combined with new considerations and updated standards for parks and recreation planning. Many past goals have been reaffirmed while new ones are identified. The adopted plan will serve as a guide for park development over the next five years. This is the first plan to guide the Village of Harrison's outdoor recreation following incorporation and the annexation of significant town land.



▲ Map by GRAEF | Data: ESRI, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

HARRISON HISTORY, LOCATION, & POPULATION

The Village of Harrison encompasses over 32 square miles of land area, or approximately 20,400 acres. A portion of the Village of Harrison was incorporated from the former Town of Harrison on March 8, 2013 because of its substantial growth. After the incorporation, both the Village of Harrison and the Town of Harrison entered into a boundary agreement that reunified both the Town of Harrison and the Village of Harrison into one community known as the Village of Harrison.

The terrain is flat to gently rolling, with some hillier areas. Elevations range from 700 feet above sea level in the north to over 1,000 feet above sea level in areas adjacent to the Niagara Escarpment in the south near High Cliff State Park. The community borders approximately 8.25 miles of the northeast Lake Winnebago shoreline.

VILLAGE PROFILE

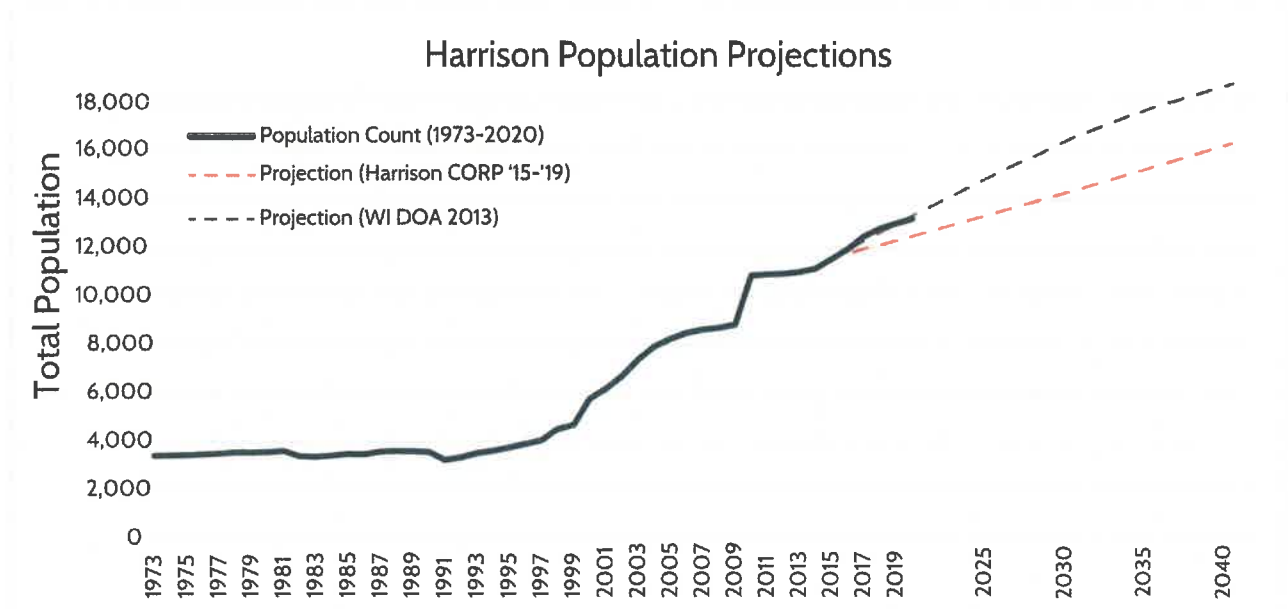
Smaller communities like Harrison are growing and continuing to attract families and businesses from larger communities, resulting in gradual changes in expectations from the community towards higher levels of park and recreation services.

SOCIAL CHARACTERISTICS

Harrison's population is increasing. Since 1990, Harrison's population nearly doubled every ten years, increasing from 3,185 in 1990 to 10,839 in 2010. By 2020, Harrison's population had reached 13,185, outpacing projections from the Wisconsin Dept. of Administration calculated in 2013 by nearly 1,000 residents. Harrison is expected to exceed 18,000 residents by 2040 at its current rate of growth, approaching 15,000 residents by 2025. Calumet County is expected to grow modestly over the same period.

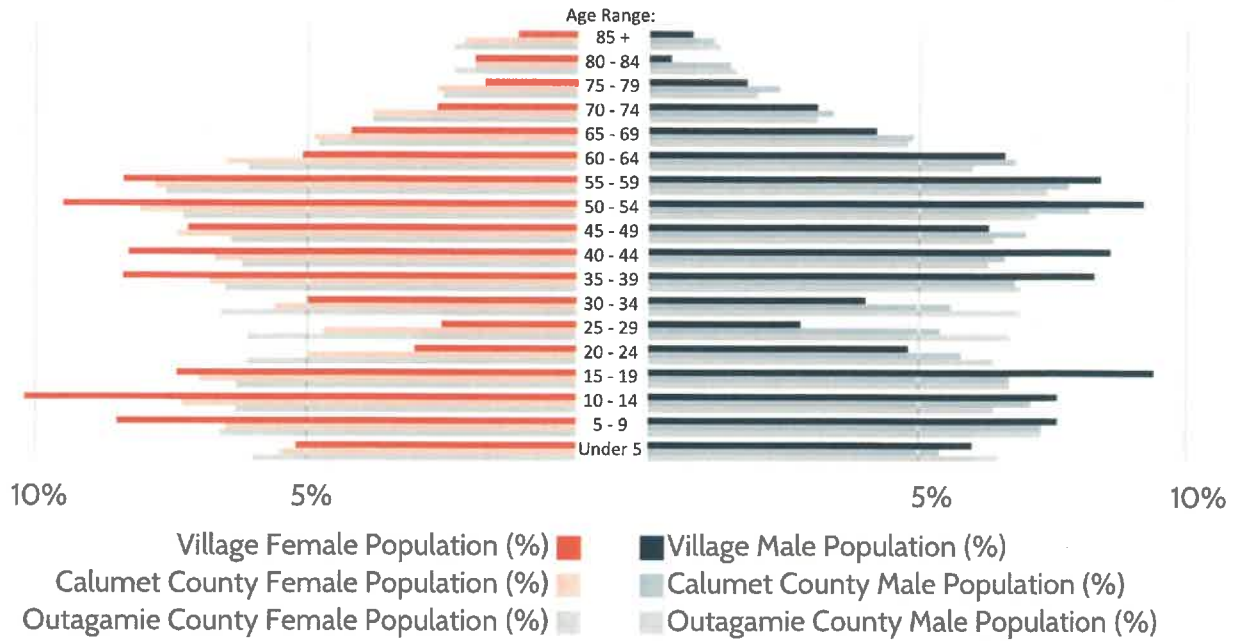
The Village of Harrison is one of the fastest growing communities in Calumet County.

Harrison grew nearly 15% from 2015-2020.



▲ Source: Wisconsin Department of Administration, Harrison CORP 2015

Village of Harrison Age and Sex Pyramid



▲ Source: American Community Survey

AGE & SEX PYRAMID

Compared to Calumet County and Outagamie County (a neighboring county), Harrison’s age distribution is significantly different. Harrison has an over-representative amount of children aged 5-19, especially females 10-14 and males 15-19. It is important to consider teenage population when planning for the increased demand for parks and recreation facilities to give older children appropriate activities.

Residents age 35-44 and 50-59 are some of the largest age groups in the Village. It is likely that many of these age groups are parents of children of all ages or “empty nesters” with children of adult age living in other communities.

While Harrison has a smaller population currently in retirement age (65+), this population will likely increase as residents currently 50-59 retire over the next decade. This will lead to a steadily increasing overrepresented retiree population, requiring appropriate recreational facilities for older age groups.



17%

of the residents of Harrison are between 50 and 59 years old



25%

of the residents of Harrison are between 5 and 19 years old

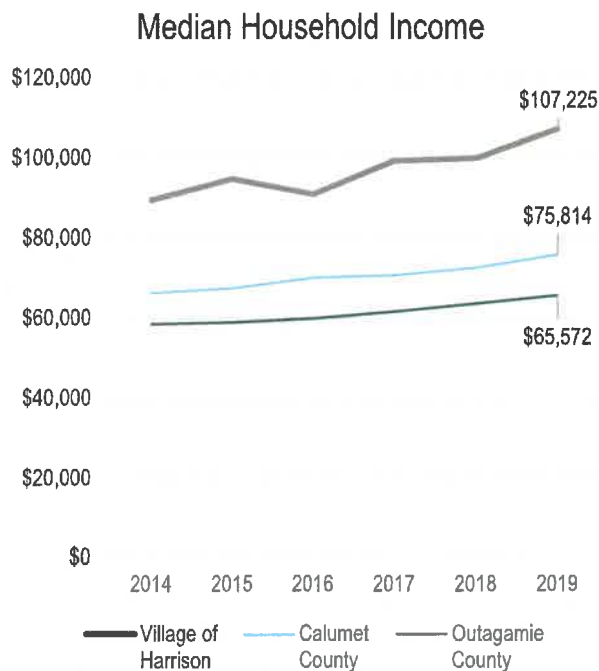
MEDIAN HOUSEHOLD INCOME

The income of Harrison’s residents is steadily increasing, and it is steadily outpacing the income gains of Calumet and Outagamie Counties. Harrison’s 2019 median household income was \$107,225. Higher incomes represent strong consumer spending power and potentially greater expectations for recreational amenities in the community. Higher income communities tend to have greater amounts of parks and facilities per resident. Community engagement to gauge interest in paid recreational opportunities such as facility rentals, ice skating, and special events may be appropriate.

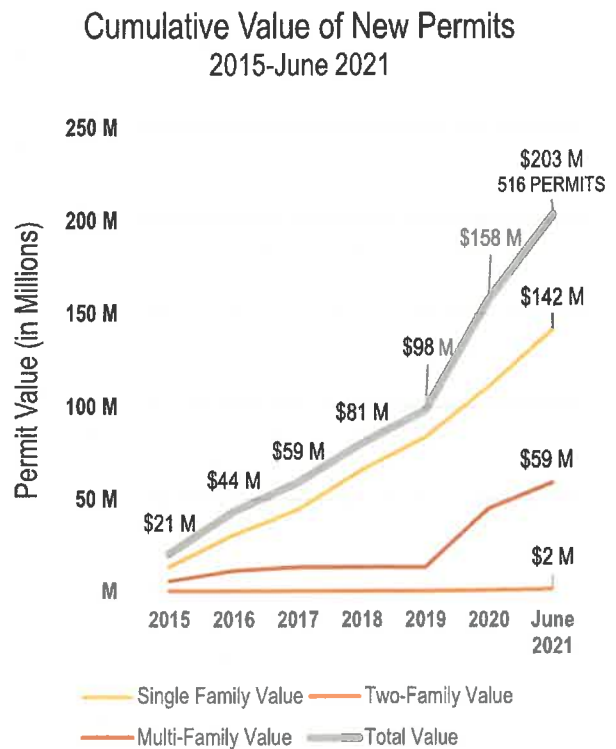
RESIDENTIAL DEVELOPMENT

Harrison’s capacity to grow also depends on available land and the permitting of new residential development. Since 2015, 516 permits for new residential structures have been filed in the Village. Of these permits, most are single-family structures; however, multi-family permits represent a large amount of total residential value added. Based on median home value of new homes, it is estimated that 673 new housing units have been added since 2015 at the time of this document’s writing (June 2021), or 96 per year.

Harrison’s Future Land Use Plan recognizes approximately 3,827 acres of land for future residential development. An analysis of this land and its capacity/need for new parks (Park Buffer Analysis) is included in Chapter 4 of this document: Community Needs Assessment.



▲ Source: American Community Survey
5-Year Estimates 2014-2019



RESIDENTIAL GROWTH

Statistic	Estimate
Median value of homes built after 2014 (ACS 5-Yr '19)	\$373,700
Total value added (Village of Harrison)	\$203,152,387
Estimated new multi-family units (Multi-family value divided by median value)	159
Total estimated new units (New single family and 2F units + multi-family value added divided by median value, Village of Harrison, ACS 5-Yr '19)	673
Average household size (ACS 5-Yr '19)	2.86
Capacity for new residents in new housing units (Estimated new units x avg household size)	1,923
New residents 2015-2020 (WI DOA)	2862
Average new units per year (Estimate)	96
Capacity for new residents per year in new units (New units per year x average household size)	275
Actual growth rate (Residents per year 2015-2020)	572

▲ Source: As noted above. GRAEF calculations unless otherwise specified



673

New homes built in Harrison since 2015

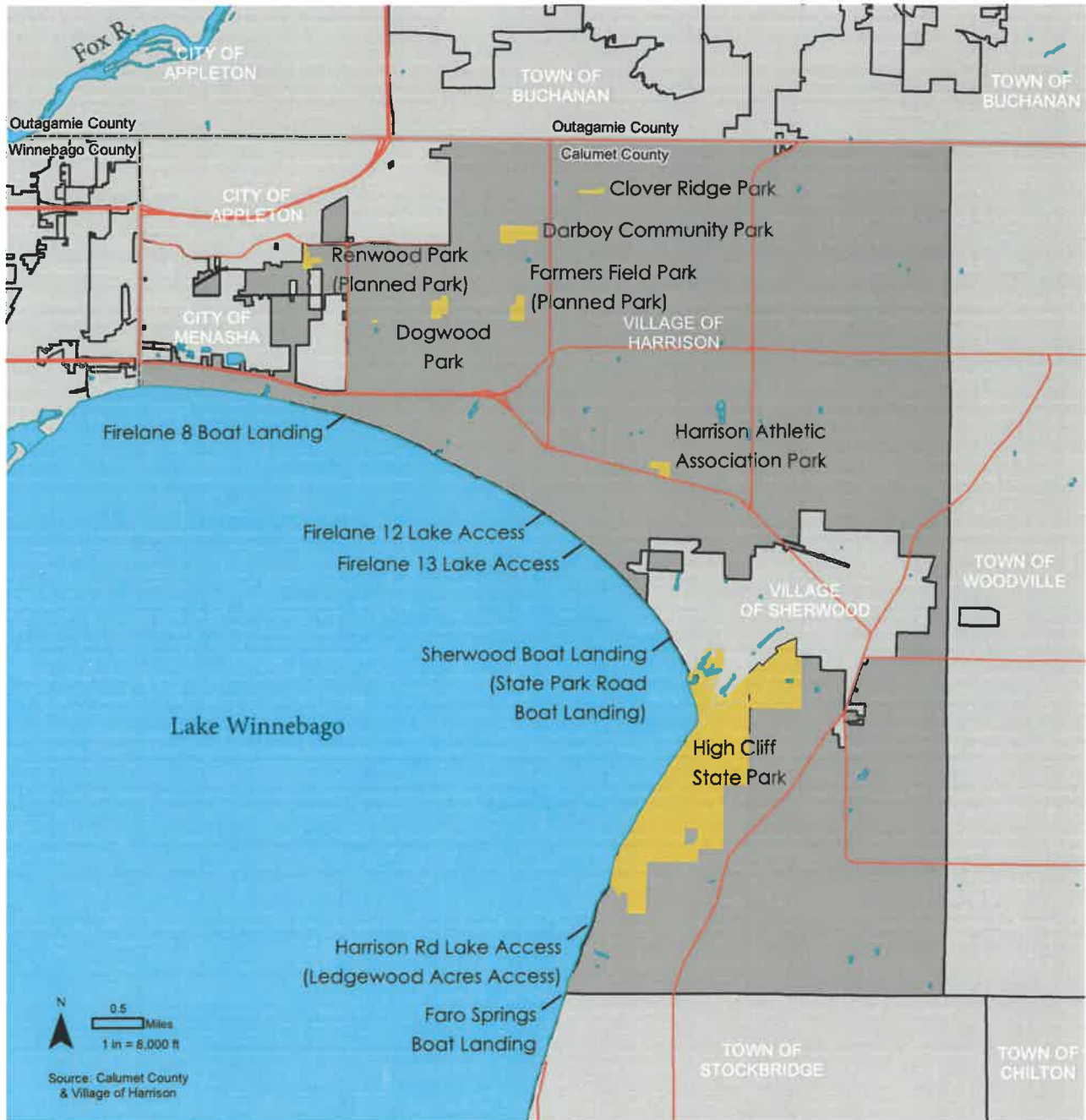


▲ An example of new subdivision construction in central Harrison, north of Lake Winnebago.



▲ An example of new multi-phase single-family subdivision development plans in central Harrison, north of Lake Winnebago.

Village of Harrison Parks



▲ Map of the Village of Harrison parks by GRAEF. Source: Calumet County GIS and Village of Harrison

EXISTING DEVELOPED PARKS	
Mini	Neighborhood
Dogwood	Darboy Community
	Clover Ridge
	PLANNED PARKS (LAND SET ASIDE FOR PARK DEVELOPMENT)
	Neighborhood
	Farmers Field
	Rennwood

EXISTING DEVELOPED PARKS			
Special Use	State	Trails	School Parks
Harrison Athletic Association	High Cliff	Highline Trail	Sunrise Elementary School
Firelane 8 Boat Landing		Noe Trail	Woodland Elementary School
Firelane 12 Lake Access		Darboy Park	
Firelane 13 Lake Access		Other local trails	
Sherwood Boat Landing (State Park Road Boat Landing)		Friendship State Trail	
Harrison Road Lake Access (Ledgewood Acres Access)		Lake Park Road Trail	
Faro Springs Boat Landing			

EXISTING PARKS & PLANNED PARKS

The Village of Harrison has a growing park facility inventory and a strong natural resource base. The Village also has public school facilities and indoor recreation facilities available. CORPs should keep an up to date inventory of all park facilities, amenities, and assets for effective planning.

Since the last planning period (2015-2019) the Village has identified locations for 3 additional park sites, doubling the number of Village-owned parks. One of these sites, Dogwood Park, has had a playground installed and is open to the public. The Village also encompasses High Cliff State Park managed by the State of Wisconsin and six special use boat launches and access areas for access to Lake Winnebago. Most parks in Harrison are distributed in the Northwest portion of the Village where the bulk of residential development exists.

Many private facilities for recreation existing in Harrison including a 163+ acre golf course, one private park, one sports complex, and church facilities with playing fields.

NATURAL RESOURCES

Harrison's natural resources are some of its strongest assets. The natural environment, Lake Winnebago, proximity to High Cliff State Park, and several environmental corridors make it easy to access and appreciate the natural environment.

Harrison has two significant waterways, the Killsnake River in the southeast and the Kankapot Creek in the northeast. The Kankapot Creek flows into the Fox River and ultimately into Green Bay and Lake Michigan. The Killsnake River flows into the Manitowoc River and ultimately into Lake Michigan. Other minor waterways in Harrison flow into Lake Winnebago. More information on Harrison's physical characteristics may be found in Chapter 5 of this plan.

2.81 miles of trails traverse the Village of Harrison in addition to 6.7+ miles of trail provided by the Friendship State Trail.

INDOOR RECREATION FACILITIES

There are no public or Village-owned indoor facilities; however, Harrison includes the Lake Park Sportzone and the Lake Park Swim and Fitness Center. These private indoor facilities offer basketball courts, baseball diamonds, soccer, volleyball, swimming pool, and a fitness center.

PUBLIC SCHOOL FACILITIES

Harrison has two parks combined with schools sites. Sunrise Elementary School and Woodland Elementary School have park facilities including baseball diamonds, basketball courts, football, playgrounds, and soccer.



▲ Grading for a new sledding hill at Farmers Field Park

3 New Planned Park Sites Since 2019

1. Farmers Field Park
2. Rennwood Park
3. Dogwood Park (now open)

PARK SITE INVENTORY AND ANALYSIS

FACILITIES

Harrison has several recreational facilities throughout the Village. While compared to larger communities, Harrison has fewer types of facilities overall, more facilities are being added over time as new parks are developed. Tennis courts, a sledding hill, and pickleball courts are some examples of new facilities anticipated to come to Harrison over the coming years.

PROGRAMMING

The Village of Harrison does not currently offer any recreational programming. However, park facilities are used by various recreational groups.

STAFFING

Harrison currently does not have a separate parks and recreation department. The Village utilizes crew from the Highway Department to help mow and maintain park facilities.



▲ Youth baseball game at Harrison Athletic Association Park

HARRISON'S PARKS

By the numbers

4.7 Acres of park per 1,000 residents

4,162 Harrison residents per park

7 Playgrounds in Parks and schoolgrounds

8 Soccer fields in Parks and schoolgrounds

3 Baseball fields and softball fields in Parks and on schoolgrounds

DARBOY COMMUNITY PARK



WHAT'S IN THE PARK?

- 2 Basketball Courts
- 4 Developmental Soccer Fields
- 3 Mini Soccer Fields
- 3 Beach Volleyball Courts
- Multi-Use Trail
- 2 Baseball Backstops
- 1 Tennis Court
- 6 Pickleball Courts
- Playground
- Pavilion
- Nature Trail
- Fire Pit

DOGWOOD PARK



▲ Source: Bob B on Google Images 2021

WHAT'S IN THE PARK?

- Playground

CLOVER RIDGE PARK



WHAT'S IN THE PARK?

- Playground Equipment
- Multi-Use Trails
- Picnic Area

HARRISON ATHLETIC ASSOCIATION PARK



WHAT'S IN THE PARK?

- 2 Ball Diamonds
- Volleyball
- Playground Equipment
- Picnic Area
- Pavilion

EXISTING PARK FACILITIES & AMENITIES

Harrison Parks and Recreation Facilities Inventory																								
	Acreege	Ball Diamonds	Basketball	Boat Ramp	Camping	Concessions	Fishing	Football	Golf	Ice Skating	Landscaping	Parking	Playground	Pickleball	Picnic Area	Restrooms	Shelter	Sledding Hill	Soccer	Swimming	Tennis	Trails	Volleyball	
Mini Park																								
Dogwood	0.85											X												
Neighborhood Parks																								
Clover Ridge	6.5											X		X									X	
Darboy Community	17.6		X									X	X	X	X	X	X		X		X	X	X	X
Farmers Field (Planned)	18.5											X						X						
Rennwood (Planned)	15																							
School Parks																								
Sunrise Elementary	10		X									X	X		X				X				X	
Woodland Elementary	10.86	X	X					X				X	X		X				X				X	
Special Use Parks																								
Harrison Athletic Association	16.5	X				X						X	X		X	X	X							X
Firelane 8 Boat Landing	0.21			X								X												
Firelane 12 Lake Access	0.29			X																				
Firelane 13 Lake Access	0.27																							
Sherwood Boat Landing	0.26			X																				
Harrison Rd Lake Access	0.72			X																				
Faro Springs Boat Landing	0.15			X																				

EXISTING PARK FACILITIES & AMENITIES

Harrison Parks and Recreation Facilities Inventory																								
	Acreage	Ball Diamonds	Basketball	Boat Ramp	Camping	Concessions	Fishing	Football	Golf	Ice Skating	Landscaping	Parking	Playground	Pickleball	Picnic Area	Restrooms	Shelter	Sledding Hill	Soccer	Swimming	Tennis	Trails	Volleyball	
Privately Owned Parks																								
North Shore Golf Club									X															
North Shore Woods Nature Conservancy																								
Shady Rest Driving Range								X																
Christ the Rock Church		X										X	X							X				
Mt. Calvary Baptist Church		X										X	X							X				
The Barn		X	X																	X				X
Stormwater Management Facilities																								
State Park Road Pond																								
Van's Road Pond																								
Noe Road Pond																								
Lakeview Pond																								
Amy Ave. Pond																								
Trails (in miles)																								
Highline Trail	1.12																							X
Noe Trail	1.07																							X
Darboy Park	0.41																							X
Other Local	0.21																							X
Friendship State Trail	6.7+																							X

Chapter 2

The Process

PLANNING PROCESS

The planning process began with a Discovery phase where the project team gathered data and visited each of Harrison’s existing parks and park sites slated for future park development. This included an inventory and assessment of park facilities and amenities. As Harrison’s park system is still developing, each park site varies —from a fully-developed park such as Darboy Community Park, to undeveloped land set aside in a new residential subdivision such as Rennwood Park on the Village’s far northwest side.

In this study, parks that are planned but not used by the public yet are referred to as “Planned Parks.” Residents and park users may not be familiar with the Planned Parks in the village. In later sections of this study those Planned Parks will be discussed in more detail as a vision and recommendations are made to help guide budgeting and implementation decisions over the coming years.

Following the inventory and assessment, the project team embarked on two tasks: public engagement and a peer community review. Both of these tasks taken together help create the needs analysis that will guide the vision and recommendations later in this plan. The public engagement identifies the direction the community sees for itself. The peer community review provides important data about the types and number of park amenities found in similar communities around the county. When reviewing peer community data, municipalities are selected that are similar in size and rural/urban character. This gives the planning team benchmarks to aid in planning.

The public engagement was an important part of the process because it provides a vision taken



- ▲ The process started with collecting background information on the existing and planned parks. Community engagement helped provide insight into what the community would like to see developed in their parks and open space. The needs analysis used peer communities from around Wisconsin and national benchmarks to better understand Harrison’s current parks. This information was analyzed to formulate the vision categories, which developed into the recommendations. A draft report with community input, and final report completed the project.

directly from the residents and park users. Online engagement was conducted through a project website with several features including a community survey and comment map. A pop-up event was held during a summer event with flyers to promote the project website and opportunities to provide feedback. Because community feedback was so important to forming the vision for Harrison's future parks, a project postcard was mailed to every household in the Village to promote the community survey and ask for participation.

The results of the visioning engagement is in the next section of this report and is a critical piece to forming the vision in this plan.



Add comments to the map!

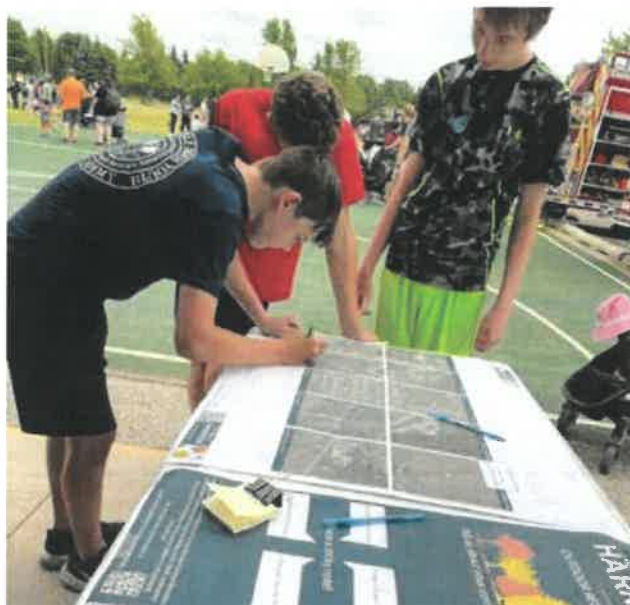


Take the survey!



Want to learn more?

- ▲ ABOVE: The public engagement website offered multiple options for respondents to participate and offer their vision for the future parks system, including a map for comments and a community survey. TOP RIGHT: At the pop-up event in Darboy Community Park participants were offered a "I ♥ Harrison's Parks!" sticker.



- ▲ Postcard mailed to all residents to promote participation in the community survey and online engagement.
- ◀ Pop-up event held in Darboy Community Park on June 23, 2021 during Summer Fun in the Park.

Chapter 3

Community Engagement

Where should Harrison's parks head in the next five years? This is a question asked through multiple engagement opportunities during the course of the project, to village leaders, park users, and residents.

POP-UP EVENT IN THE PARK

The first phase was an event at Darboy Community Park held Wednesday, June 23, 2021 from 5:30-7:30 pm during Summer Fun in the Park. The event was geared towards all ages, bringing dozens of residents to interact and learn about the comprehensive outdoor recreation planning process. Large poster boards were printed and mounted for public comment with space to write. Village officials were present to meet and greet the community along with the planning staff who were able to answer any questions about the status of park planning and listen to input from residents.

MAP COMMENTS

The team received comments on maps at both the in-person event writing on printed maps, and on the project website in the map comment button. The interactive map allowed residents to place comments on a virtual map to relate comments to specific locations. The map included the locations of all Harrison park lands and shows comments in clusters around certain places, such as Darboy community Park which received 16 unique comments online of the total 34 comments.

DARBOY COMMUNITY PARK. Residents wrote comments in support of a splash pad, skate park, tennis, and pickleball. Some asked if new facilities like pickleball courts would include equipment for public use. Other comments asked for improvements to existing basketball court surfaces or opposed expansion of the number of soccer fields.

Interactive Map: Comment heat map



Interactive Map: Darboy Park



▲ The images above show maps of where comments were placed during online public engagement on the project website.

CLOVER RIDGE PARK. Residents wrote comments in support of disc golf and soccer.

FARMERS FIELD PARK. Residents requested a dog park, means of access and sidewalks, and transparent communication about the timeline and plans for its development. Residents were excited to see the park completed. Other comments suggested adding tennis or pickle ball courts or an archery range. Winter recreation activities were also popular among commenters hoping for a sledding hill.

FIRELANE 13. Residents wrote in support of softball and boat oriented recreation.

RENNWOOD PARK. Residents requested playground equipment and a skate park be added to the new park development.

OTHER FACILITIES. Residents mentioned the desire for more baseball facilities and bike repair stations. Residents also expressed interest in educational tree identification cards to be updated and expanded.

PATHS AND TRAILS. Several comments mentioned paths and trails. Many noted the difficulty crossing County Route N. Another noted feeling unsafe walking along roads with no sidewalks while accompanying children. Another suggested additional paved paths to connect parks and neighborhoods.

NEW FACILITY IDEAS. Many mentioned or supported the addition of gaga ball.

FARMERS FIELD PARK AND OTHER NEW PARKS. Several comments requested the completion of planned facilities and amenities in Farmers Field so that it may become operational.

VILLAGE LEADERS & STAFF MEETINGS

Throughout the course of the project, the planning team met with Village staff, and periodic reviews of materials were distributed to the Village Board for review and comment. This feedback was incorporated into the plan document.



▲ Public engagement at the pop-up event at Darboy Community Park



COMMUNITY SURVEY

The community survey received 521 total participants. A snapshot of who responded to the survey is below. A majority of respondents:

- have lived in Harrison for over 10 years (58%)
- live north of highways 10/114 in the urbanized areas of Harrison (78%)
- live close to a Harrison park (71%)
- have visited a Harrison park more than 10 times in the past year (51%)
- have not participated in recreational programs in Harrison in the past year (63%).

While most of the respondents live north of highways 10/114, the responses are distributed from across the Village: from the area south of highways 10/114 (11%), in the rural area north of Sherwood (9%), and other areas (2%).

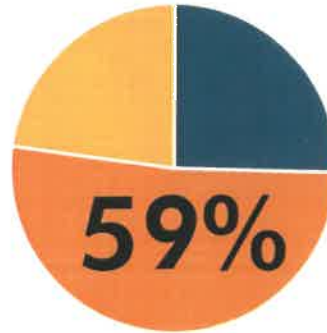
Overall, the respondents have a level of satisfaction with the quality of the parks in Harrison. The survey results do indicate a strong desire by the community for the Village increase the amount of park land for outdoor recreation, sports facilities, walking and biking trails, and small neighborhood parks. In fact, trail development and connectivity was an area of high interest from the engagement activities. Some comments focused on safety and connections across the Village, others indicated a desire for more trails overall. Trails was the top vote getter when asked what activities/amenities that you'd like more of, and when asked about if the Village should budget monies annually for the development of a comprehensive trail system, a whopping 77% of respondents said yes.

INSIGHTS

Most of the online survey responses were received following a postcard mailing to all residents promoting the online survey. Higher numbers of rural respondents were engaged following this

Does Harrison have enough public land?

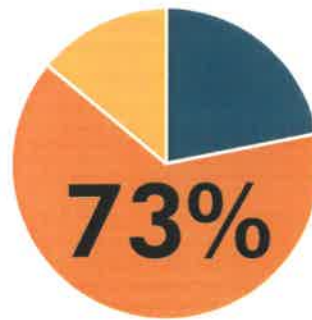
Sports Facilities



Responded No: not enough land for sports facilities

■ Yes ■ No ■ I don't know

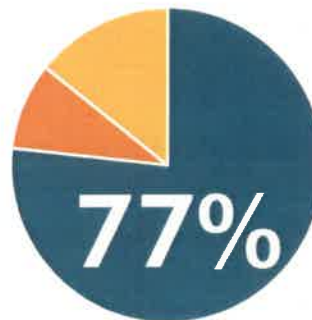
Outdoor Recreation



Responded No: not enough land for outdoor recreation

■ Yes ■ No ■ I don't know

Should the Village budget annually to begin development of a comprehensive trail system:



Responded Yes: budget for a trail system

■ Yes ■ No ■ Unsure

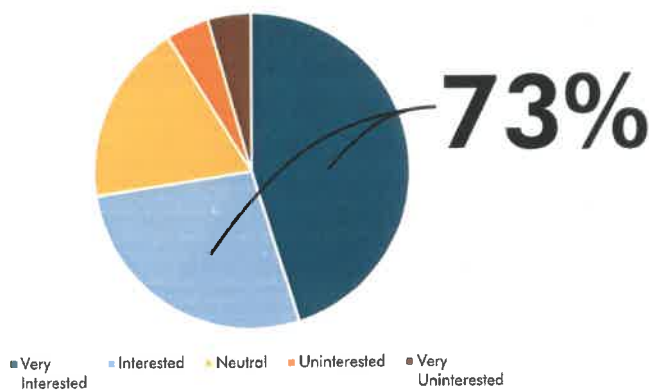
Results show overwhelming support for land acquisition for more parks:

73% support more land for small parks

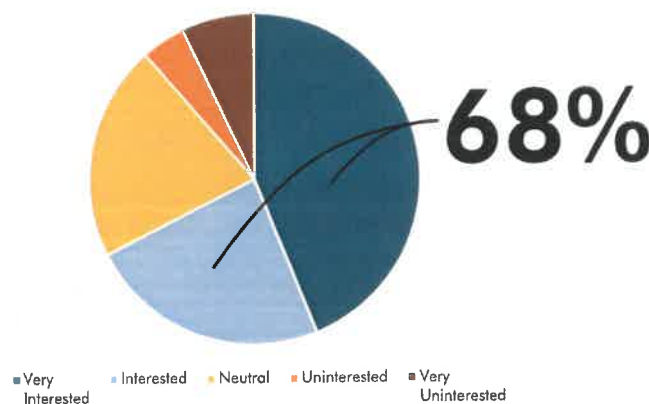
68% support more land for large parks

Survey question asked if Harrison should acquire more land for:

Small Neighborhood Parks



Large Community Parks



mailing in comparison to the in-person engagement in the summer at Darboy Community Park.

In addition, many of the online survey responses were received during or directly after the in-person community engagement at the Summer Fun in the Park event at Darboy Community Park and the subsequent public hearing about facilities in the park. This suggests that there is a high level of interest in the park planning process, and that in-person events can help to drive awareness and participation in the planning process, even if the participation happens online after the fact.

Major themes of comments, likes, and dislikes about Harrison's Parks included:

LIKES: Green space and nature, cleanliness and maintenance, and living nearby parks, trails, and facilities.

DISLIKES: Inadequate space, inadequate activities for teens and older children, outdated facilities and bathrooms, and the lack of pools, ice skating, bike paths across busy roads, and facilities designed for children and people with disabilities and mobility impairments.

Safer road crossings were also a major concern regarding the connectivity of the trail network and access to parks from different neighborhoods.

MAJOR THEMES: Harrison residents overwhelmingly support the development of new trail facilities within the community. Other popular responses include some basic amenities like bathrooms, shade trees, and shelters as well as new types of winter recreation such as sledding hills and ice skating.

Community priorities and preferences in this summary may be used to provide local context and insight in the Peer Communities Comparison analysis in the following section.

I Travel Outside of Harrison to...

Residents were asked to identify park and recreation facilities which they must travel outside of Harrison to access. These answers demonstrate ways Harrison could meet the existing needs of residents. Responses included the following:

- Splash pads and Swimming (4x)
- Dog Park (2x)
- Baseball/Softball (2x)
- Zipline (2x)
- Disc Golf
- Ice Skating
- Skate Parks
- Archery



65% interested in acquiring land for small neighborhood parks



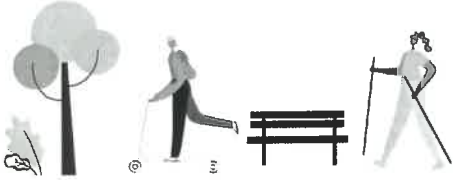
71% of respondents live close to a park



#1 trails for hiking and biking ranked highest on the list of park needs



75% support developing a trails system



TOP 10 desired amenities

- Walk/bike trails
- Nature trails
- Restrooms
- Sledding hills
- Shelters
- Shade trees
- Playgrounds
- Ice skating
- Disc golf
- Native landscaping

64% support more winter recreation



Chapter 4

Needs Assessment

NEEDS STANDARDS

The methods for assessing community parks and recreation needs have changed over the past few years with the National Recreation and Parks Association (NRPA) moving away from a standards-based calculation. The previous Comprehensive Outdoor Recreation Plan for Harrison evaluated parks and facilities using benchmarks based on a set of standards developed by the East Central Wisconsin Regional Planning Commission (ECWRPC) in 1995. These standards were used to determine “need” for parks and facilities in the Village measured in terms of “10 acres per 1,000 residents,” from which a “deficit” or “surplus” would be derived. These standards came from the NRPA, and the NRPA has since moved away from using a one-size-fits-all approach to evaluating communities’ parks and facilities. Instead, the NRPA publishes an annual report with metrics that allows communities to benchmark their parks and facilities against their peers. Metrics from the 2021 NRPA Agency Performance Review are used in this needs assessment as a comparison point for the Village of Harrison’s parks and facilities.

Priorities and conclusions drawn about park and facilities needs in this analysis are derived from community engagement and peer community comparison as recommended by the NRPA. In comparing this plan and the 2015 Harrison CORP, the recommendations will not necessarily increase based on population growth, but rather how Harrison compares to nearby communities.

COMPARABLE COMMUNITIES ASSESSMENT

The NRPA defines peer communities based on data disaggregated by population size and region. The Village of Harrison is categorized by the smallest population category: Under 20,000 residents. With a current population approaching 13,000 and a future population to surpass 18,000 by 2040, Harrison is projected to remain within this category for the foreseeable future. The NRPA also produces reports for peer communities disaggregated by state. These reports are created by voluntary participation in the **NRPA Agency Performance Survey**, which collects data from 1,000 municipalities for 25 of the most critical park and recreation metrics (though not every municipality answers every question). In addition to nearby, similar sized municipalities, the following composite categories are included in some of the following peer community comparisons:

NATIONAL PEER COMMUNITIES

This category includes over 100 communities participating in the 2021 NRPA Agency Performance Survey whose population is under 20,000 residents. The data is not disaggregated further. Data is represented in median value unless otherwise specified.

WISCONSIN PEER COMMUNITIES

This category includes 7 communities in Wisconsin participating in the NRPA Survey whose population is under 20,000 residents. Data is not disaggregated further, and is represented in median value unless

otherwise specified. Although this is a small survey sample, it does provide additional insight when included with the specific peer communities from Calumet, Outagamie, and Winnebago Counties included in this analysis. Broader participation in the NRPA Agency Performance Survey by communities in Wisconsin would strengthen the available data for such analysis.

In addition to the composite metrics above, 5 peer communities have been selected for the peer community comparison in this analysis. It is unknown whether the individual communities below are included in the WI Peer Communities composite data from the NRPA:

Grand Chute, Town of

County: Outagamie
2020 Population: 23,227

Greenville, Town of

County: Outagamie
2020 Population: 12,267

Fox Crossing, Village of

County: Winnebago
2020 Population: 19,090

Kaukauna, City of

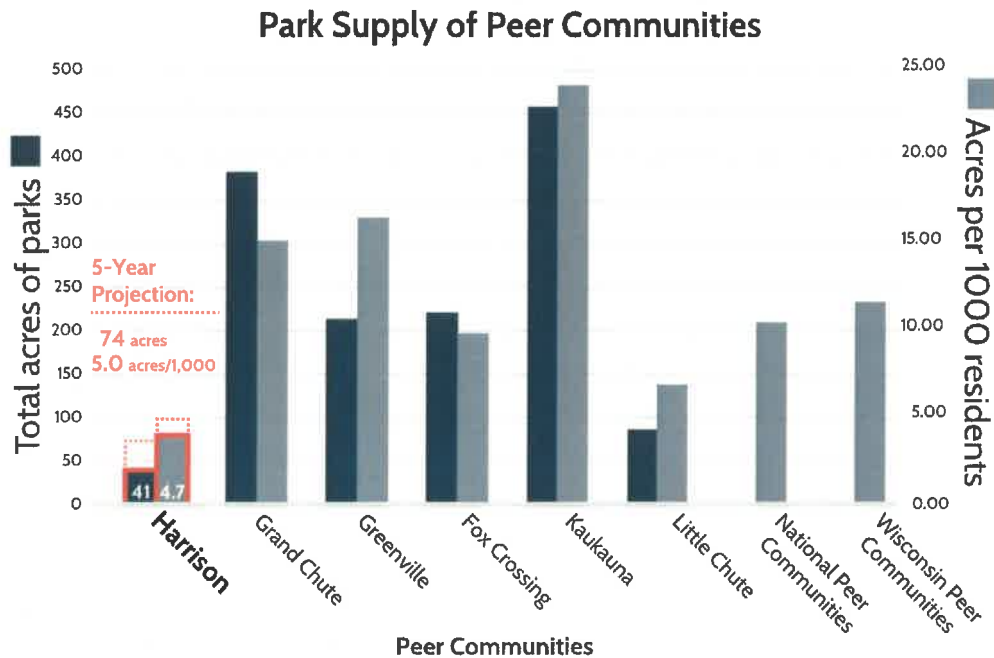
County: Outagamie
2020 Population: 16,363

Little Chute, Village of

County: Outagamie
2020 Population: 11,947

Harrison, Village of

County: Calumet
2020 Population: 13,185



▲ Source: American Community Survey, Fox Crossing CORP 2017, Grand Chute CORP 2018, Greenville CORP 2015, Kaukauna CORP 2019, Little Chute CORP 2016, NRPA

SUMMARY OF NRPA METRICS

The NRPA collects 25 key metrics benchmarking parks, open space, and recreation facilities across communities. Based on availability of data and richness of conclusions, the following metrics have been included in this analysis.

OPEN SPACE METRICS

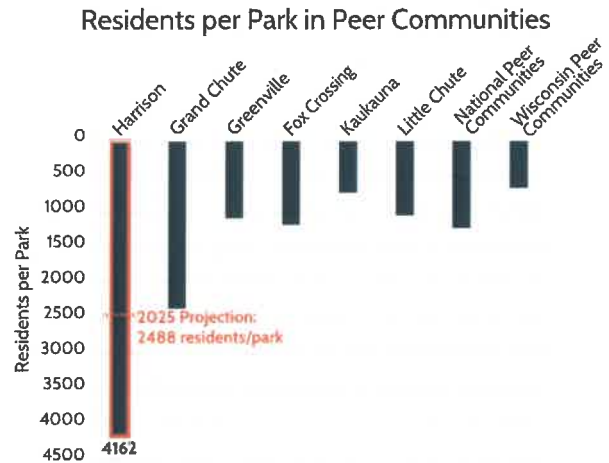
ACRES OF PARKLAND PER 1,000 RESIDENTS. Although the NRPA has updated this standard which was included in previous recommended CORP standards, it is still a useful starting point. However, instead of producing a rigid “deficit” or “surplus,” the numbers are shown in comparison to peer communities.

RESULTS. Harrison has fewer acres of parkland per 1,000 residents than all peer communities. Once the planned expansion of park facilities for Dogwood, Farmers Field, and Rennwood Parks is added, Harrison will have an additional 33.6 acres of parkland, an 83% increase. However, without additional park acquisition, this only increases the # of acres/1,000 residents from 4.7 to 5.0 based on 2025 population projections.

RESIDENTS PER PARK. Residents per park is a metric which helps offset the effect which exceptionally large or small parks may have on measuring Acres of Parkland per 1,000 residents. People often walk or drive between 0.25 and 2.0 miles to access their local parks. One or two large parks may satisfy the needs of parts of a community, but a distribution of parks is necessary for coverage by proximity. The Harrison Parks and Recreation Community Survey received multiple comments recognizing the difficulty of accessing parks for residents who lived further away.

RESULTS. Using Harrison’s Mini and Neighborhood parks in the comparison (Darboy Community Park, Clover Ridge Park, and Dogwood Park), Harrison

performed the worst among its peers. While adding 3 additional parks from the future facilities planned would double the number of parks, the projected population increase by 2025 will offset much of this improvement, leaving Harrison underserved compared to peer communities.



▲ Source: American Community Survey, Fox Crossing CORP 2017, Grand Chute CORP 2018, Greenville CORP 2015, Kaukauna CORP 2019, Little Chute CORP 2016, NRPA

ACRES OF PARKS IN PEER COMMUNITIES. When considering the acquisition of new land for parks and open space, the distribution of park size is a useful comparison to determine whether large, medium, or small tracts of land are appropriate. Having different sized parks helps distinguish the purpose, programming, and population which the facilities attract. Smaller and pocket parks tend to have low intensity uses and attract residents from only a quarter mile radius, while larger parks may host large community, recreation, and sporting events and attract people from 2 or more miles away. Regional and State Parks such as High Cliff State Park attract people from even further.

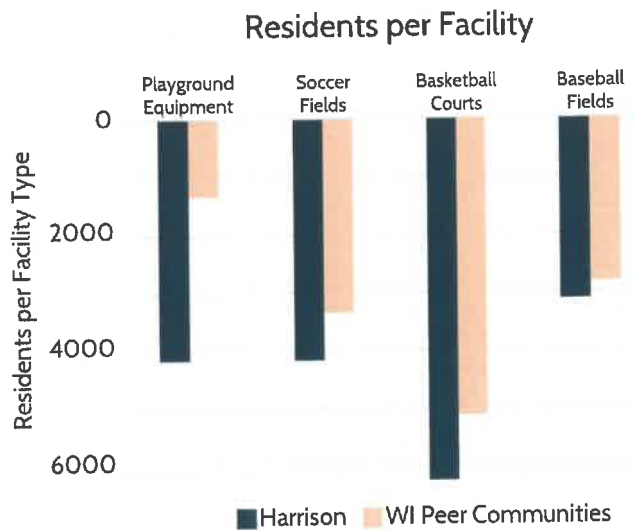
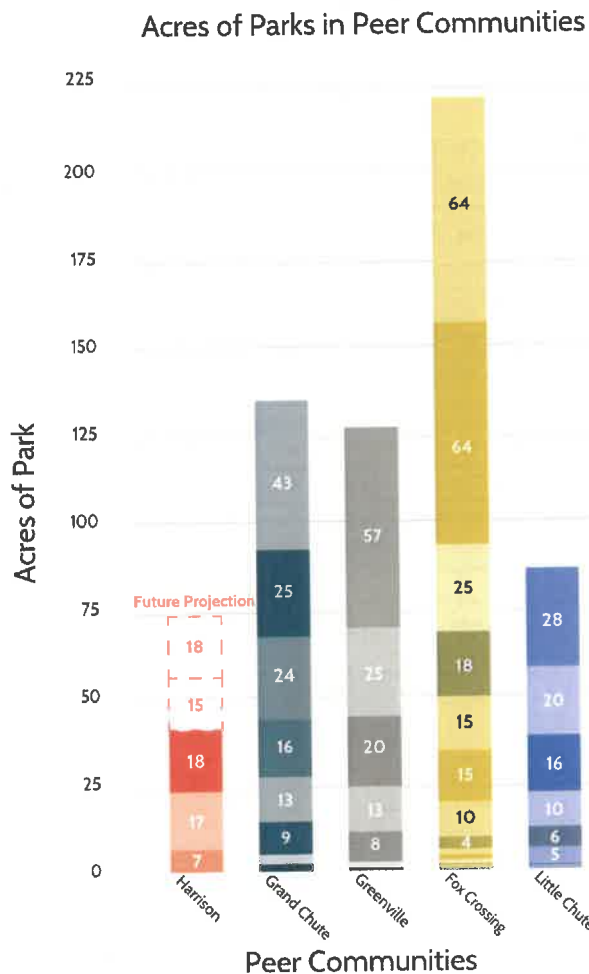
RESULTS. Harrison has multiple medium sized parks, each around 17 acres. The planned expansion to new park facilities includes two new parks of this size, and one pocket park with Dogwood Park at 1 acre in size.

The Village may focus on acquiring smaller tracts of land for small and pocket sized parks to serve better park distribution and improve proximity to parks for underserved areas. A park buffer analysis is included in this section to recognize areas of opportunity for the acquisition of lands for smaller parks. The boat launches and smaller waterfront properties owned by the Village may be an opportunity to expand the current parks inventory.

PROGRAMMING AND FACILITIES METRICS

POPULATION PER FACILITY. The Harrison Parks and Recreation Community Survey asked residents which facilities and amenities they think Harrison needs more of. Within the top 10 responses to this question were trails, playgrounds, soccer fields, basketball courts, and baseball fields. These facilities are included in the NRPA Agency Performance Survey for benchmarking the number of residents per each facility type.

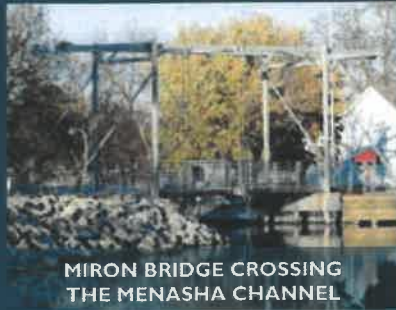
RESULTS. Harrison underperformed the median benchmark for Wisconsin Peer Communities under 20,000 residents. The largest disparity was in playgrounds, with nearly 3x the number of residents per playground compared to peers. Sports facilities also underperformed compared to the median, but only by a small amount.



▲ Source: Fox Crossing CORP 2017, Grand Chute CORP 2018, Greenville CORP 2015, Kaukauna CORP 2019, Little Chute CORP 2016, NRPA

▲ Source: American Community Survey, Fox Crossing CORP 2017, Grand Chute CORP 2018, Greenville CORP 2015, Kaukauna CORP 2019, Little Chute CORP 2016, NRPA

Peer Community Highlight: Loop the Lake and the Friendship Trail



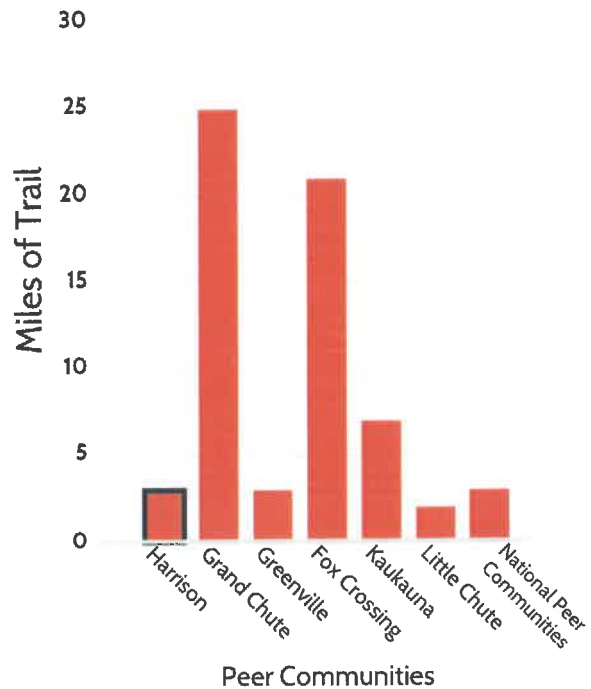
Lake Winnebago is home to the Loop the Lake initiative to connect communities to each other and to nature through the development of a continuous trail system. The trail is part of the larger Friendship Trail plan between Manitowoc and Steven's Point, which passes through Little Lake Butte des Mortes and on towards the Village of Harrison through Menasha, Fox Crossing, and Neenah. The trail is also complete between Forest Junction and Brillion.

Highlights of the trail system include the Trestle Trail Bridge, an adapted abandoned railroad bridge which is the longest recreational trail crossing a body of water in the state of Wisconsin, a new bridge spanning the Neenah channel, and another bridge spanning the Menasha channel. The projects have successfully transformed once blighted areas into popular community recreational assets, celebrating local history. The system celebrates the natural environment and the enduring history of the people who call the communities it connects home.

MILES OF TRAIL. Trails were the most popular response to expand and improve in the Harrison Parks and Recreation Community Survey. Both recreational (walking, biking, paved) and nature (hiking, bird watching, paved or unpaved) trails are popular amenities in many Wisconsin communities where residents can enjoy the unique natural environment and recreational activities during fair weather.

RESULTS. Trail distribution is highly varied among Harrison's peer communities. While it matches or outpaces a few, it vastly underperforms compared to others. Since trails are recognized as one of the top community priorities for improvement, expansion, and connection, it is appropriate for Harrison to recognize opportunities to build new trails.

Miles of Trail in Peer Communities



▲ Source: Fox Crossing CORP 2017, Grand Chute CORP 2018, Greenville CORP 2015, Kaukauna CORP 2019, Little Chute CORP 2016, NRPA

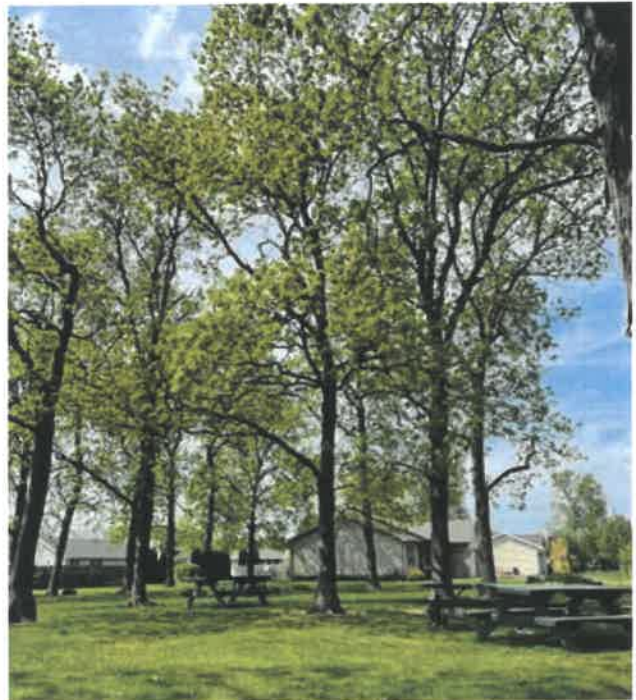
PER CAPITA SPENDING. Benchmarking spending per capita is an important metric which reveals the general expectations residents have in their region for Outdoor Recreation amenities and facilities, in this case, the East Central Wisconsin region. It also helps inform what level of tax burden or impact fees are appropriate for budgeting the operating expenses for a parks system.

RESULTS. Harrison currently spends about 1/4 of the median peer community in Wisconsin on operating expenditures for parks. This is due to the relatively lean facilities provision and lack of a Parks Department, dedicated parks staff, or programming provided by the Village. Local amenities and open space, especially the provision of green space and trees, has been shown to be important for attracting new residents to communities competing for population, leading to higher property values and stronger tax base. Increased investment in parks and open space amenities is likely to lead to spillover effects to the local economy.

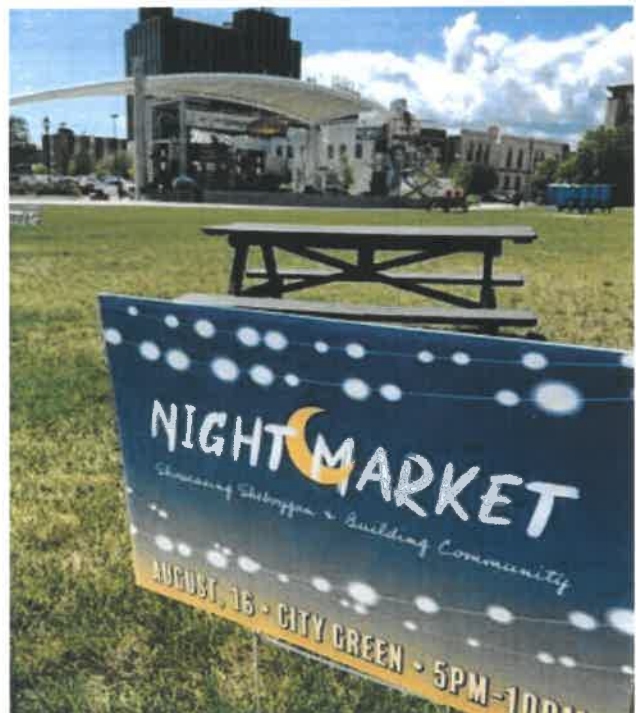
Median Per Capita Operating Expenditures on Parks



▲ Source: Village of Harrison, NRPA



▲ Clover Ridge Park contains mature trees, playground equipment, and picnic tables.



▲ Park agencies of similar-sized communities are often responsible for programming social recreation events and performing arts. Image shows a sign for an evening event at City Green in Sheboygan, Wisconsin.

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Present in...	Top 10 Park Amenities & Programming Types from Harrison Community Survey Results									
	Active Trails	Nature Trails	Playground Equipment	Soccer Fields	Sledding Hills	Disc Golf	Basketball Courts	Ice Skating	Baseball Fields	Tennis Courts
Harrison	✓	✓	✓	✓	✓		✓		✓	✓
Grand Chute	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Greenville	✓	✓	✓	✓	✓		✓	✓	✓	✓
Fox Crossing	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Kaukauna	✓	✓	✓	✓	✓	✓	✓		✓	
Little Chute	✓		✓	✓	✓		✓	✓	✓	✓

▲ The top 10 amenities heard from the community survey results, and which are present in Harrison and the other comparison communities in Northeast Wisconsin. Source: Fox Crossing CORP 2017, Grand Chute CORP 2018, Greenville CORP 2015, Kaukauna CORP 2019, Little Chute CORP 2016

PROGRAMMING. Dozens of facility types and recreational programming are possible for Outdoor Recreation Plans, and determining in which to invest requires intentional community engagement to recognize which facilities will have the most demand and serve the greatest population. The Harrison Parks and Recreation Community Survey asked residents which facilities and amenities they would like more of in the Village. Residents may be traveling outside of Harrison to access facilities which they can't enjoy within the Village.

RESULTS. Of the 10 most requested facility types which residents indicated they want more, 6 are present within Harrison's parks. Amenities such as bathrooms, shelters, and shade trees were omitted from this analysis to focus on recreation facilities, although they were combined into the same question in the community survey. Of these desired amenities, many peer communities have most if not all of the facilities most desired by

Harrison residents. The above table illustrates which communities have at least one of the amenities. Also of note is that the survey question as respondents which amenities they would like more of, which the above table indicates if there is at least one. Residents have expressed interest for an increase in the number of amenities overall. Harrison may consider expanding its provision of recreational facilities to retain and attract residents who see them as a valuable local amenity. Specifically, Harrison may invest in disc golf and an ice skating rink. Current expansion plans include the final completion of sledding hills and tennis courts in Farmers Field and Darboy Community Park respectively.

PARKS AND RECREATION STAFFING. Harrison currently has no dedicated Parks and Recreation staff, but provides maintenance through other Village departments. Staffing was a recommendation of the previous 2015-19 CORP and remains a recommendation of this Plan. Parks and Recreation staff are responsible for the coordination of park operation, maintenance, activities, and programming.

RESULTS. Wisconsin peer communities under 20,000 have a median of 8.9 Full Time Employees (FTE) equivalent per 10,000 population. Nationally, the median community under 20,000 population has 10.9 FTE's per (total), while the 25th percentile (i.e. the bottom quarter of communities or "lower quartile") has 5.4 FTE's. Harrison may use these benchmarks when planning the staffing for a new Parks Department.

PARK SERVICE AREA ANALYSIS

The Village of Harrison is growing substantially, and has been since the mid 1990s. Because of this growth, it is important to recognize the need to acquire and develop new park space as residential areas are built. A park buffer analysis may be used to recognize the level by parks a given neighborhood or location has. Areas not fitting within at least one park buffer are considered "underserved," meaning they cannot easily walk to a park in their community.

Since many Harrison residents drive, a park buffer of 0.50 miles has been used as opposed to the typical 0.25 mile buffer recommended for urban areas. The dotted line within each buffer indicates a 0.75 mile buffer, indicating a somewhat adequate level of service for the area.

The Future Land Use Plan for Harrison recognizes an area of land (outlined in purple) outside the existing developed parcels (in yellow) which are planned to be developed or developable as population increases. Undeveloped parcels (in

green) are those which have no property assessed improvements as of 2021, but are classified as residential or agricultural (the primary land use converted to residential). This analysis is used to begin determining the total amount of park land necessary for acquisition in the future for the long range growth of Harrison.

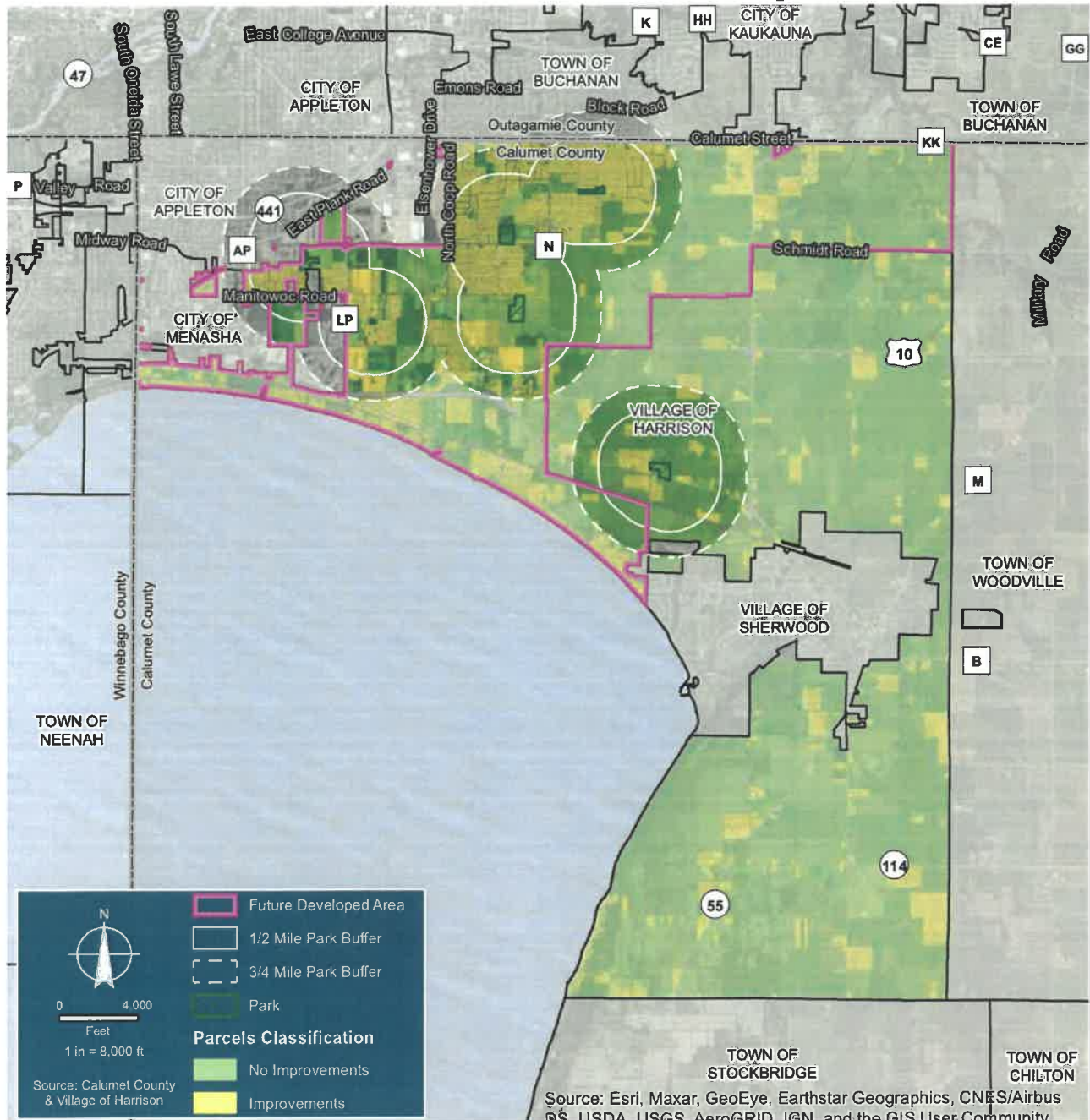
FUTURE GROWTH NEARBY PARKS (0.50 mi). Within the 1/2 mile park buffer, there is 1.069 square miles of undeveloped land (684 acres). Using the average dwelling units per acre (DUA) of a fully developed census tract in Harrison, an approximate number of future dwelling units may be projected:

$$\begin{aligned} 684 \text{ acres} \times 1.55 \text{ gross DUA} \times 2.86 \text{ per household} \\ = \\ 3,032 \text{ residents} \end{aligned}$$

The average household size for Harrison is 2.86 (ACS 5 Year '19). Therefore, approximately 3,032 more residents may live within 0.50 miles of Harrison's current parks. Harrison is projected to grow by approximately 1,600 residents by 2026 and by 5,000 residents by 2040 from 2021.

FUTURE GROWTH UNDERSERVED BY PARKS. At least 1,968 new residents will live outside the existing park service areas by 2040. Harrison is projected to achieve 5.0 acres of park land for every 1,000 residents, and peer communities have closer to 12.0 acres of parks per 1,000. In order to serve approximately 2,000 new residents with parks in the growth area, between 10-24 additional acres of parks should be acquired. **New park acquisition does not need to occur within the 5-year planning period of this Plan so long as currently undeveloped park land is developed over the planning period, and residential development occurs at the pace and in the geographic areas as anticipated in this analysis.**

Planned Park Service Area Analysis



- ▲ The diagram above illustrates existing and planned park locations in Harrison and each park's service area in concentric rings around the park sites. The green shaded area illustrates undeveloped land, and the yellow shade represents residential development. The service area of the existing and planned parks geographically covers a majority of residential development, with the exception of residential in the far north and far south areas of the Village. It is anticipated—based on the analysis of pace of residential construction and the areas identified as future residential land use in the Village—that the current and planned park site's service areas will accommodate this future growth in the coming 5 years. Source: Map by GRAEF | Data: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

SUMMARY OF ASSESSMENT

While overall park acreage and locations are suited to Harrison today and in the next several years, the Village lags behind its peers in several categories: facilities, programming, and staffing.

The charts at right illustrate how Harrison’s facilities compare to other communities in Wisconsin of a similar size. In the coming years, planning for additional facilities will help the Village offer amenities similar to its peers.

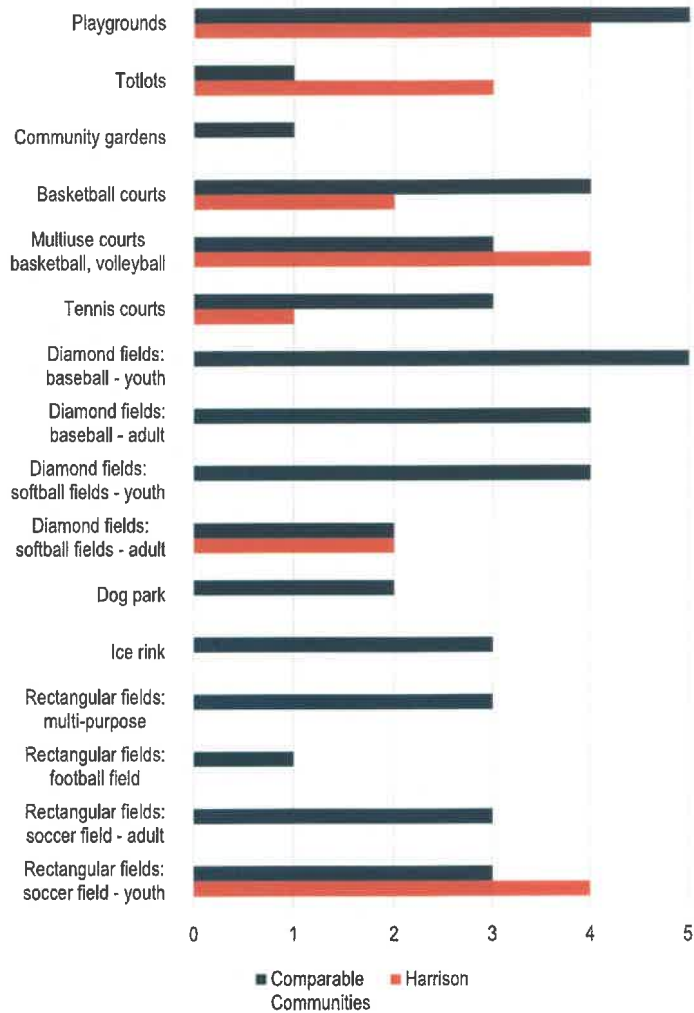
Below is a summary table of the types and number of facilities that are considered in the recommendations.

Recommendations for New Harrison Facilities

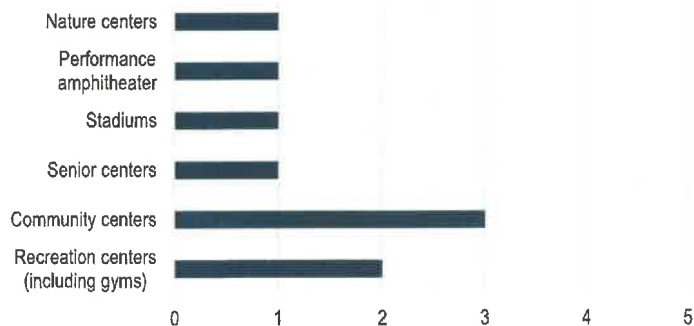
NUMBER	FACILITY TYPE
1	Playground
1	Community garden
2-3	Diamond fields
2	Basketball courts
2	Tennis courts
1-2	Dog parks
1-2	Ice rinks
1-3	Multi-purpose field
2-3	Adult soccer fields

- ▶ Charts at right illustrate the types and number of facilities and activity areas offered by other Wisconsin communities similar in size to Harrison. Source (Comparable Communities data): NRPA.

Outdoor Park Facilities Comparison Between Harrison and NRPA Comparable Communities



Activity Areas Offered by Comparable Communities



Chapter 5

Vision

The community profile, demographic trends, and community growth patterns, combined with the public engagement and what we heard from leaders, staff and the residents, work together to create the vision for the plan for the next five years of the park system in Harrison.

The following sections are meant to inspire and provide direction for the future of Harrison's parks. Each section—Build, Stewardship, Design, Community, Service, and Connect—contain information that takes the concepts uncovered during the first phase of the project, and creates a framework for development into a series of action items. These action items are found in the next chapter, Chapter 6 Implementation.

BUILD

The Build section focuses on what the community needs, what the community said it wants, and identifies locations and considerations for existing and future parks.

STEWARDSHIP

The Stewardship section focuses on the natural environment and physical characteristics of the Village, and how biodiversity, conservation, sustainability, and green infrastructure can be brought into the park system—providing a way for residents to connect with the natural beauty of the Village.

DESIGN

The Design section uses the information from the Stewardship section and expands that into a brand of park system to develop a palette of materials for plants, paving, buildings, and signage.

COMMUNITY

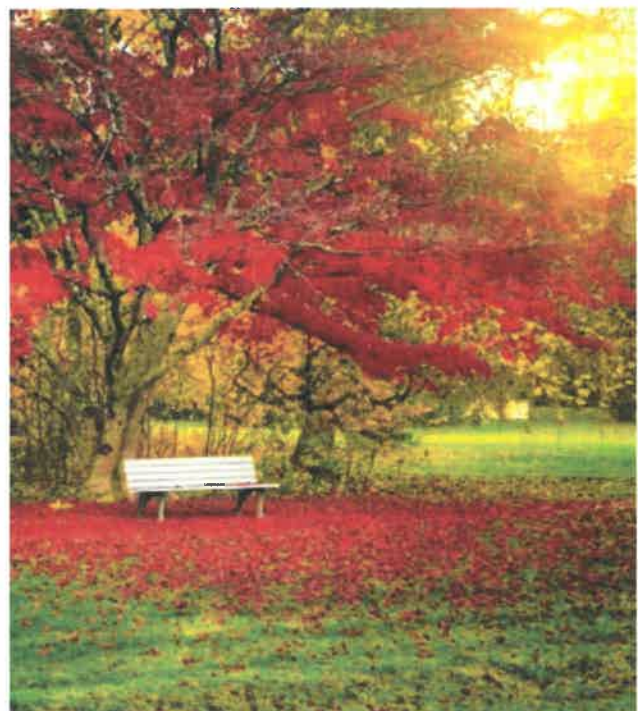
The Community section focuses on the changing demographics of the community and what it means to create park spaces that have both social spaces and physical amenities for all ages and abilities.

SERVICE

The Service section focuses on amenities, programming, responsibilities and staffing for a growing park system to consider. It also discusses valued partnerships for programming, volunteers, and philanthropy.

CONNECT

The Connect section focuses on connectivity and mobility within the Village. As one of the top amenities desired by residents, and feedback showed proactive acquisition was desired also, this section helps provide direction for future steps in this important mobility and connectivity issue.



GOALS & OBJECTIVES

1 Project park, trail, and recreation facility needs based on periodic review of community growth and community needs.

- 1.1 Ensure that environmental and aesthetic qualities of the community are considered when planning for park and recreation development, including preservation of natural resource areas.
- 1.2 Assess park and facility needs as new subdivisions are developed to ensure that new residents are adequately served.
- 1.3 Promote cooperative efforts with surrounding communities to provide recreational facilities and programs as well as adding new facilities and programs.
- 1.4 Engage the Harrison community in all park and recreation facility planning efforts, including public meetings, community surveys, and pilot or demonstration projects within the parks.

2 Ensure that Harrison's parks and natural beauty are accessible to all residents.

- 2.1 Ensure that all Harrison residents have access to park facilities close to their home.
- 2.2 Develop a system of multi-modal trails, paths, and safe on-street facilities that are clearly marked with wayfinding and connect Harrison residents to park and public facilities.
- 2.3 Enhance the safety of multi-modal trail connections, especially to park facilities, through the development of safe road crossings.
- 2.4 Design active and passive recreational areas and facilities which can be used by citizens with mobility impairments.
- 2.5 Plan for amenities and recreation programming for residents of all ages, providing for varied interests.
- 2.6 Enhance communication of available park and recreation facilities and improvements to Harrison residents.
- 2.7 Develop new "Village of Harrison" branding in place of existing "Town" branding.

3 Encourage and promote water-oriented recreation such as fishing, boating and swimming.

3.1 Promote and endorse efforts to improve water quality, access, and navigability to Lake Winnebago.

3.2 Take advantage of the opportunity to promote and maintain the boat launches that are in the Village.

4 Continue to provide exceptional quality of facilities and maintenance of all existing parks and public spaces.

4.1 Provide adequate resources and personnel to maintain current recreational facilities and ensure that maintenance of existing facilities is balanced with the development of new parks and facilities.

4.2 Develop Master Site Plans for each park site to help guide future development.

5 Identify, preserve, cultivate, and protect areas which are environmentally significant, and which hold historic value.

5.1 Identify and incorporate historic areas or structures in the development of new parks.

5.2 Encourage the use of natural features, such as floodplains, wetlands, and woodlands, as passive recreational areas.

5.3 Protect significant wildlife areas, including the escarpment areas.

5.4 Encourage biodiversity and habitat for wildlife in Harrison by planting native plant landscaping and trees in Harrison parks that can be used for education and passive enjoyment.

BUILD

The park system in Harrison is in a growth mode. The Village has set aside over 30 acres of land for future parks, under development now. This land, combined with the existing parks, provides the framework for the recommendations for new facilities, amenities, and activity areas. The review of comparable national and Wisconsin communities in the NRPA database, combined with what was heard during the community engagement, leads to a series of recommendations to guide development of the current and planned parks in the Village.



▲ Example of lighting along trails for safety and aesthetics.



▲ Example of exercise stations, to be located along trails. Source: Outdoor Workout Supply

▼ Design idea of a gazebo structure to add shade for seating.



WATERFRONT POCKET PARK

Select a location for enhancements, potential water views or other amenities. Consider Firelane 12 Lake Access or Firelane 13 Lake Access, as screening acquisition may be reasonably achieved.

- Overlook
- Benches
- Natural area informational signage
- Fishing dock
- Public viewing pier or on-shore deck
- Landscaping and habitat
- Native riparian plantings
- Constructed fish/amphibian habitat
- Native aquatic and upper banks plantings
- Birdhouses

CREATE A WINTER DESTINATION

Winter amenities at various parks is great to consider overall. Specifically, build on the sledding hill at Farmers Field Park and create a winter destination with amenities:

- Park sign - entrance sign and directional signage
- Shelter, warming hut in winter
- Trail around the park for snowshoeing and skiing
- Lighting:
 - Festive lighting for sledding hill (festoon lights)
 - Accent lighting to promote a sense of place during the months when the sun sets earlier
 - Trail lighting (bollards or similar pedestrian scale)
 - Parking lot
- Electrical:
 - Allow electrical hookup for future festival of lights type activities
 - Food trucks and food vendors
- Landscaping/wildlife
- Focus on planting for winter interest such as evergreen, berries, and textured tree bark
- Reindeer, or other visiting animals



Images on this page illustrate a winter destination feel that could be brought to Harrison's parks. Source: GRAEF and Canva.

ACTIVITIES & FUN

Sports facilities are a large part of any park district. Equally important is to plan for all ages and abilities to get outside and enjoy nature. The following suggestions can be included in existing and future parks. Including options like obstacle course equipment, disc golf, and community gardens are alternates to organized sports leagues.

Particularly in the past two years, the value of parks and open space in our community has continued to rise. While it's still important to provide active recreation and sports facilities for youth and adults, communities are increasingly looking to have spaces for all ages and all abilities.

Spending time outside can reduce stress. Even 20 minutes a day can be helpful. A recent Park Pulse Survey by the NRPA (October 2021) indicates that over half of U.S. adults spend at least 30 minutes outside every day.

With a growing teen population in Harrison today, it's more important than ever to think about activity areas and facilities that provide productive, safe, fun places for teens to socialize with their friends and get outside.

ALL ABOUT DOGS

The pet industry has been on the rise, and in the past two years families added dogs to their household in record numbers. With the population growing, adding community facilities for dog families to get outside and exercise is even more important for communities to consider.



▲ Ideas for dog park development in the Village



▲ Disc golf idea for a Village park



▲ Obstacle course playground equipment.
Source: Minnesota Wisconsin Playground



▲ Skate parks provide space for all ages and families.

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PARK	BUILD IDEAS		
Darboy Community Park	Complete the pickleball and tennis court facilities (painting, nets, etc)	Flora and fauna identifier signage	
Clover Ridge Park	Disc golf Parking lot	Flora and fauna identifier signage Community garden	Pollinator and native plantings
Dogwood Park	Lighting	Gazebo or similar shelter	
Harrison Athletic Association Park	New playground equipment	Exercise stations Multi-use trail	Specialty LED color-changing lighting
Lake Access	Picnic gazebo or pavilion	Lighting Benches	Indigenous habitat Birdhouses Upper bank planting
Farmers Field Park (Planned Park)	Create park master plan with public input. Consider utility extension timing	Winter destination amenities: ski/snowshoe trails, warming shelter, fire ring, festoon lights, ice rink, sledding hill	Playground equipment Soccer fields Diamond fields Sidewalks to connect into the park
Rennwood Park (Planned Park)	Create park master plan with public input	Playground equipment	Basketball court
Future Parks	Exercise stations Obstacle course equipment Basketball courts	Playground equipment Dog park Skate park	Performance amphitheater Community center Community garden

STEWARDSHIP

There is an opportunity in Harrison's parks to focus on biodiversity, habitat, and connection with nature in parks. While many may have a single-family home with a grassy back yard perfect for play, the park system has the ability to bring the wonderment of the greater community's natural beauty to an accessible site nearby. The parks can contain indigenous plants and animal habitat, or provide access to the expansive waters and vista of Lake Winnebago.

PHYSICAL CHARACTERISTICS

The Village of Harrison is located within a rich ecological community, allowing the Village to promote preservation and conservation efforts vital to the health of the environment. In this chapter, we will explore the natural resources relevant to the Village and show how a healthy environment benefits peoples' everyday lives.

The Village sits on an interbasin divide between the Lake Winnebago watershed and Garner Creek sub-watershed which ultimately drains into the Fox River and Lake Michigan. This means that the Village influences Lake Michigan and the 30 million people that rely on its water.

The Village of Harrison is primarily located in the Southeast Glacial Plains Ecological Landscape with some of the northern portion located within the Central Lake Michigan Coastal Ecological Landscape. As defined by the WDNR, there are 16 Ecological Landscapes within Wisconsin based on ecological or environmental attributes. WDNR states that Ecological Landscapes can be used to "identify the best areas of the state to manage

for different natural communities, key habitats, aquatic features and native plants and animals from an ecosystem management perspective." The Southeast Glacial Plains Ecological Landscape has the highest aquatic productivity for flora and fauna of any other Ecological Landscape in the state. By supporting these aquatic features, Harrison can continue to attract those interested in fishing and ecotourism at large.

GARNERS CREEK SUB-WATERSHED

The dominant fish species remaining in the creek system are those tolerant of the environmental degradation Garner Creek has experienced. As the habitat quality decreased, more fragile fish are dying. According to a 2020 Draft Garners Creek Watershed Assessment, the Garner Creek sub-watershed is determined as being low quality. Garner Creek is listed on the State's 2020 303(d) list of impaired waterways as required by the Sections 303(d) and 305(b) of the Clean Water Act. WDNR defines impaired waterways as having no cleanup plan in place. Specific impairments of Garner Creek include chronic aquatic toxicity from chloride pollution and degraded biological habitat from phosphorus and sediment and total suspended solids pollution. Hydrological modification, stormwater impacts, and stream-bank erosion and failure are common throughout



▲ View from Fire Lane 8 Boat Landing in Harrison looking out over Lake Winnebago

the watershed. Watershed degradation has direct effects on communities. According to the U.S. Department of Agriculture, a healthy watershed can combat the damages that come from extreme weather events. Infrastructure, potable water supplies, and vegetation all benefit from healthy watersheds. Nationally in 2017, watersheds had a total average annual monetary benefit of \$2.3 Billion.

LAKE WINNEBAGO

Lake Winnebago is directly southwest of the Village and located in Fond du Lac, Calumet, and Winnebago Counties. It is 137,700 acres and the largest lake entirely located within Wisconsin. Lake Winnebago is listed as one of the best places to fish, year-round. Notably, the lake has a self-sustaining Sturgeon population and is home to one of two systems in North America where Sturgeon can be harvested with a spear. The Lake Winnebago watershed-and thus the popular fishing destination-is threatened by runoff pollution as well as waste.

Sturgeon populations are also likely to continue to decline as temperatures rise due to climate change and the quality and quantity of spawning and nursery habitats decreases. WDNR conducts annual fish surveys that outline significant findings for prominent water systems in the state.

HIGH CLIFF STATE PARK

The High Cliff Escarpment State Natural Area is located within the Village boundaries of Harrison and the Village of Sherwood.

According to the WDNR, cliffs are crucial to the life cycle of mammals, birds, herptiles, and specialized invertebrates. WDNR also lists the Southeast Glacial Plains as having the best opportunities to manage dry cliff opportunities. Sustaining cliff communities like High Cliff State Park is important, because cliffs create an important habitat for plants and animals. These plants and animals contribute to the stability of the environment. Increase in pests like rodents and insects as well as disease-carrying animals are common results of habitat loss.



▲ Rocky Cliffs at High Cliff State Park Source: WI Dept of Natural Resources

TOPOGRAPHY AND WETLANDS

Wetlands are a part of a community's green infrastructure and can play a crucial role in maintaining a community's resiliency against rising temperatures, flooding, and air and water quality. Per the United States Environmental Section 502 of the Clean Water Act defines green infrastructure as strategies that use plant or soil systems, permeable surfaces, or landscaping to manage stormwater. Specifically, wetlands can be vital for water quality improvement and flood protection as well as adding natural beauty. Wetlands located within the Village of Harrison on agricultural or undeveloped lands are particularly important to conservation.

There is a small wetland south of CTH-KK, bordered by State Park Road, Friendship Drive, and Schmidt Road. A large swath of land in mid-Harrison features prominent wetlands. The wetlands stretch West to Lake Winnebago and meet the Harrison-Sherwood border. They are bordered by Woodland Road to the North and residential development to the South. The last prominent wetland area is located on the southeast portion of Harrison. It follows a tributary of Kankapot Creek and Killsnake River.

The relationship between agriculture and wetlands is interdependent. Historically, wetlands have created land well suited for agricultural purposes, because they support fertile soils, reduce erosion, retain and cultivate nutrients, as well as mitigate the effects of droughts. However, converting wetlands for agricultural purposes can lead to decreased water quality through nutrient or pesticide pollution and habitat degradation for fragile plants and animals. Converting wetlands for residential development also increases flood risks by replacing permeable soil with impermeable pavement concrete, or bare soil. Not only are wetlands important for drainage issues within village limits, but their health also has implications for water quality on a much larger scale outside of Village boundaries.



Largemouth Bass | Source: UW Madison



Smooth Cliff Brake | Source: Missouri Dept. of Conservation



Rusty Woodsia | Source: Maryland Biodiversity Project



▲ Working together to care for the land can bring a deeper connection to a place.

CONNECT WITH THE NATURAL BEAUTY OF HARRISON

System-wide suggestions for the parks in Harrison:

- Work with a naturalist, arborist, and/or citizen science group to conduct a tree and wildlife survey of Harrison's parks and public lands.
- Develop a Harrison-specific guide to native plants, habitat, and pollinators, using WDNR resources as a base.
- Identify areas in existing and future Harrison Parks that can be "naturalized" with native plants and trees.
- Fund-raise for these planting areas or find wildlife "sponsors" (local businesses, advocacy groups, neighborhood organizations) and install them in highly visible and accessible areas.
- Work with the public works staff, and possibly community volunteers, to determine a maintenance plan for the naturalized planting areas so that sensitive plants are not damaged or neglected.
- Consider installing rain gardens with native vegetation in park areas that are consistently wet or flooded.
- Consider establishing community gardens alongside pollinator gardens to increase awareness of pollinator benefits and increase resident interaction with the Harrison environment.
- Develop and install informational signage about the new planted areas, native trees, community gardens, and/or pollinator gardens.
- Create recreational/educational programming centered around Harrison plants and wildlife, using "naturalized" areas in parks as outdoor classrooms.

DESIGN

Many park systems develop a brand identity that is used in the development of park amenities, facilities, signage, and programming materials.

Currently, the landscape in the parks in Harrison is a pleasant blend of mowed grass and shade trees, but it could include so much more. As described in the previous Stewardship section, natural beauty abounds in the Village. Public parks are one way for community members to connect with nature, and thereby understand, value, and protect these resources.

The current Village park signage could be up for a refresh. Most of the system includes reference to the former “Town” of Harrison. Starting with a new brand and logo for the parks, a new system



▲ The Village’s park signage—installed prior to incorporation into a village—still references the Town of Harrison.

of signage can be implemented throughout the parks and trails. The logo and signage can celebrate local history, educate the public about indigenous species and the environment, and create an identity for the newly incorporated Village.



▲ Decorative bicycle rack reflecting the identity of a waterfront town.



- ▲ Examples of a style of branding and logo from a park system.
- ◀ The City of Waukesha, Wisconsin, captured its identity of a community on the Fox River through public art sculptures of foxes situated at various locations around downtown. Photo source: Pinterest.

PARK BRANDING AND LOGO DEVELOPMENT

A system-wide parks branding development includes more than a logo. A brand is how individuals perceive an experience. When someone thinks of Harrison's parks, what do they think of? What kind of experience does the Village envision for park goers? Creating a place-based brand starts with the community. Steps the Village can take include:

- Conduct a community survey focused on community identity and connection with the Harrison landscape.
- Work with a designer to select three potential symbols for Harrison's parks (plant or animal).
- Ask community members to vote on the symbol that they like best.
- Work with a designer to develop logo and branding options based on the selected symbol.
- Incorporate the symbol/logo into overall park system signage, trail signage, and potentially other sculptural or decorative park elements.
- Fabricate and install new park signage.



- ▲ Examples of developing an icon or logo and using it on signage and markers in the parks.

MATERIALS PALETTE

Material choices in Harrison's parks help to define community identity and character. Consistency in material and planting palette also help to mark park property and provide orientation for users. Materials can reference Harrison's natural heritage and rural character.

WOOD

Heavy timber construction provides a natural feel while steel joinery alludes to the recent agricultural legacy. Black Locust decking is a sustainable, durable and lightweight choice that blends with the natural setting. Black Locust trees (*Robinia pseudoacacia*) are a durable, rot-resistant hardwood species. Black Locust starts a light golden tan, but the wood is known for its changing color and ages to a fine gray patina.



▲ Black Locust decking is a durable, sustainable wood for outdoor uses. Source: New York Botanical Garden



▲ Heavy timber with steel joinery. Source: vermonttimberworks.com



▲ Heavy timber construction can be combined with limestone foundations and post bases in pavilions and other park structures. Above a heavy timber theatre with stone post bases. Citizen's Park in Barrington, Illinois. Source: vermonttimberworks.com

LIMESTONE

Limestone when used in landscaping and signs references the Niagara Escarpment landform present in Harrison and High Cliff State Park. This beautiful and unique feature of Harrison’s natural landscape can be celebrated in park design and serve as a unifying theme in the parks system branding. Limestone, especially with a rough, unpolished surface, can be used in retaining walls, steps, and accents, as well as incorporated into building design as facade, foundations or post bases.

As a beautiful reference to Harrison’s natural history, limestone helps maintain a community identity and sense of place grounded in Harrison’s unique location.

PLANT PALETTE

Plant selection is another way for Harrison to distinguish itself and develop a consistent park identity. Using a recommended list of plant choices and plant pairings will add character, emphasize the natural amenities present in High Cliff State Park’s distinctive ecosystem, and reflect the richness of Harrison’s waterfront landscapes.

The Stewardship section of this document discusses the benefits of incorporating “naturalized” planted areas into park landscapes. By selecting plants that provide year round color and interest, these areas can be incorporated into the design plan for the parks and maintain an aesthetic motif alongside the hardscape materials discussed above.

As outlined in the Stewardship section of this document, Harrison is fortunate to be situated in a landscape with the highest aquatic productivity in Wisconsin. Diversifying the array of plants in the parks will support the maintenance of clean water systems by reducing runoff pollution. Additionally, beautiful and hardy indigenous plants can be chosen to compliment the ferns, brakes and woodland plants of High Cliff State Park.



▲ Stacked limestone retaining wall



▲ Limestone paired with timber and Corten steel in signage.



▲ Limestone boulders used as accents in a lawn seating area.

PRAIRIE GARDEN

Pair a prairie garden with entrance signs and south facing building facades, around field edges and in open areas that are underutilized or difficult for growing turf grass. In addition to being drought tolerant, these plants will attract butterflies and other pollinators.



▲ Source: prairienursury.com

Butterfly Weed

Bergamot

Joe Pye Weed

Cone Flower

Columbine

Phlox

Prairie Blazingstar

Prairie Dropseed

Smooth Aster

Ironweed

Goldenrod

Black-Eyed Susan

FOREST GARDEN

Forest gardens can be designed around limestone accents and walls to evoke the atmosphere of shady fern forests at High Cliff State Park. Use these under trees instead of turf and on the north side of buildings.



▲ Source: prairienursury.com



Woodland Aster

Virginia Bluebells

Smooth Cliff Brake

Maidenhair Fern

Columbine

Trillium

Black Snakeroot

Rusty Woodsia

Wild Geranium

Lady Fern

Cinnamon Fern

Tall Bellflower

In sunny areas, such as around signs, near south facing building and in open fields, a garden palette modeled after a prairie ecosystem can be used. The plants have the added benefit of attracting pollinators such as butterflies. Shady areas near woods or north sides of buildings can be identified for gardens reflecting the woodland plants of the area. When paired with limestone accents, these shady gardens specifically suggest the ecosystem of High Cliff State Park and celebrate its unique habitat.

As Harrison continues to build support for winter recreation activities, special consideration can be given to providing plants with winter interest that can be enjoyed all year round. Evergreen plants provide a backdrop of color while indigenous hollies, such as Winterberry (*Ilex verticillata*), hold bright red fruits late into the season.

Many indigenous deciduous trees and shrubs provide winter beauty through distinctive bark texture and color. Dogwood varieties such as Red-osier dogwood (*Cornus sericea*, synonym *stolonifera*) have vibrant red bark that stands out beautifully against a winter snow. Birch tree such as White Birch (*Betula papyrifera*) have an appealing clumping structure and textured bark that accents a winter landscape. Its peeling bark is also a favorite for kids to play with.

Many indigenous Wisconsin plants have sturdy stems and seed heads that can stand up to harsh winters and snowfall, providing cover and food to birds and other animals throughout the winter. Purple Coneflower, with its large, spiny seed heads, really stands out against the white backdrop of snow.

Sturdy grasses such as Little Bluestem (*Schizachyrium scoparium*), Prairie Dropseed (*Sporobolus heterolepis*) and Switchgrasses (*Panicum virgatum*) can stand up through long winters and add texture and movement. The upright stalks offer an eye-catching vertical element.



▲ Sweet Black-Eyed Susan (*Rudbeckia subtomentosa* sp.) after a fresh snow. Source: lakewingra.org



▲ Winterberry Holly. Source: provenwinners.com



▲ White Birch. Source: EEK Wisconsin



ESTABLISH A PARK BRAND IDENTITY AND MATERIAL PALETTE

System-wide suggestions for the parks in Harrison:

- Work with a designer to develop a park logo for use in signage and materials.
- Incorporate consistent wood decking materials for boardwalks and platforms such as sustainable Black Locust.
- Utilize heavy timber and steel joinery in pavilions and other park structures as a nod to the natural and agricultural surroundings.
- Use limestone in architecture as needed for post bases, signage and facades.
- Use limestone in landscaping for steps, retaining walls and accents, similar to local limestone in Harrison's natural areas.
- Develop a palette of planting materials for common conditions such as sunny, shady and wet areas.
- Utilize indigenous trees, shrubs, forbs and grasses that provide structure, texture and color during winter months.

- ◀ Material palette from top: unpolished limestone, heavy timber with steel joinery, forest plant palette reflecting the High Cliff ecosystem, Black Locust decking.

COMMUNITY

Parks are a valuable resource in a community to provide social and recreational spaces. Many communities strive to provide social spaces for gathering, enjoying the arts, or playing games. Small pocket plazas, larger community gathering spaces, and community centers are development ideas that would bring more of this type of space to the Village. According to the comparable communities assessment using NRPA data, similar-sized communities have amenities such as an amphitheater for outdoor concerts; a nature center; and a community center for recreation, meetings, and senior and teen programming.

While certain facilities may be specific to certain age groups—such as youth soccer, for example—the social spaces suggested (this page and following page) are flexible and can appeal to a wide range of ages, abilities, and interests. This can provide great value to residents, and can be incorporated into current and future parks.



▲ From teen study groups to book clubs, community centers provide social spaces for a diverse range of residents in the community. These types of facilities can provide valuable meeting space, and rental space for parties and functions.



▲ Michael J. Walsh Plaza in De Pere, Wisconsin uses movable tables and chairs for greater flexibility for families and persons with disabilities.



▲ A splash pad was among the most desired amenities. Water nozzles can be integrated into plaza spaces, as shown above, or water play can be offered in a traditional child splash pad amenity.



▲ Bayshore in Glendale, Wisconsin, uses flexible outdoor space designed to be used for a variety of programming and events, including concerts or movie night.



- ▲ Strength training and yoga classes are examples of the types of programming for all ages that could be offered.
- ▼ Art in public spaces has the power to bring the community together. Art can help define the community's identity and bring out its unique character and sense of place.



- ▲ Getting outside to play can be more than playing sports. Communities are embracing games and providing spaces for socialization, such as an outdoor ping pong, and thinking about accessibility for all residents.
- ▼ Horseshoe pits are a great way for friends and family to spend time together outside.



- ▲ Community gardens are places for neighbors to come together and share experiences of growing their own food, connecting with nature, and teaching others. These types of community spaces can be particularly valuable in areas of higher densities and multi-family residences where outdoor space is limited.

SERVICE

The Village is in a period of growth, following a relatively recent incorporation from a town into a village. While certain park amenities and programming were not present in Harrison during its years as a town, now with incorporation and growth comes opportunities to provide residents with additional opportunities.

Throughout this plan, there have been references to other park agencies throughout Wisconsin and across the country. This has been provided to offer a benchmark for future planning. It is meant to be aspirational and provide guidance to craft the future park system that matches the specific desires of the Harrison community.

This plan document provides recommendations for a five-year planning window. Budgetary limits and decisions are real consideration by the elected officials, and suggestions contained in this plan respect that only so much can be added any given year. On the other hand, during public engagement, constituents clearly stated a desire for more park offerings. These factors together set the stage for recommendations for the incremental growth of the village's park system: park staff and providing programming.

PROGRAMMING & STAFFING

When looking across the country, the NRPA data can provide options for consideration for the Village. In the table on the following page, the darkest orange cells illustrate which are the most common programming offerings in similar sized communities and communities within the Great Lakes region. This, combined with community and stakeholder input, can guide decisions to add programming in the coming five years.

AGENCY RESPONSIBILITIES

Harrison	Other WI Communities	Responsibilities of Agencies (Majority of Comparable Wisconsin Communities are tasked with the following)
✓	✓	Operate and maintain park sites
	✓	Operate and maintain indoor facilities
	✓	Provide recreation programming and services
✓	✓	Operate, maintain, or manage trails, greenways, and/or blueways (TGB)
✓	✓	Operate, maintain, or manage special purpose parks and open spaces
	✓	Conduct major jurisdiction wide special events
	✓	Have budgetary responsibility for its administrative staff

▲ A comparison of the agency responsibilities from a majority of Wisconsin comparable communities compared to Harrison's parks today. Source: NRPA.

Staffing at similar agencies is almost 9 FTE (full time equivalent) employees. This is likely based on the comparison agencies offering more amenities and programming. As the Village determines a growth strategy for programming, so will the need for staff grow. A recommendation would be to begin with a full-time staff person and two seasonal staff persons to assist with programming during the summer months.

USE AGREEMENTS

In Harrison's parks today several organizations provide organized activities in two parks: Darboy Community Park and Harrison Athletic Association Park. This programming has been well-attended and functions as a key way for the community to come

Programming Offered by Park and Recreation Agencies	Population (across U.S.)		Region
	Less than 20,000	20,000 to 40,000	Great Lakes
	Themed special events	84%	89%
Social recreation events	81%	89%	84%
Team sports	82%	94%	81%
Fitness enhancement classes	69%	88%	77%
Health and wellness education	71%	83%	79%
Individual sports	64%	79%	74%
Safety training	63%	67%	67%
Aquatics	59%	70%	68%
Racquet sports	59%	70%	65%
Performing arts	48%	66%	67%
Cultural crafts	41%	62%	57%
Martial arts	44%	67%	56%
Visual arts	43%	58%	59%
Natural and cultural history activities	39%	53%	61%
Trips and tours	47%	61%	57%
Golf	28%	45%	50%
Running/cycling races	39%	45%	50%

together and recreate outside in the Village. The challenge with shared facilities can be coordination of scheduling and fully utilizing each park space. As discussed in previous sections of this plan, the Village has less park space per resident compared to other similar-sized communities. How the Village manages the use of current park space available is important to park equity considerations for community members. Working with user groups to adequately plan for the full use of the parks is one step the Village can take in the coming year to better plan for future park facility needs.

As Harrison looks to grow parks programming, similar communities can provide a guide for future offerings:

- Themed special events
- Social recreation events
- Team sports
- Fitness enhancement classes
- Health and wellness education
- Individual sports
- Aquatics
- Racquet sports

RECOMMENDED STEPS:

A few key steps are recommended for the Village to take steps into providing more amenities and programming:

- Meet with user groups and establish user agreements to fully utilize current parks and provide equitable access to residents.
- Develop a list of three preferred programming offerings.
- Hire a full-time staff person dedicated to parks and programming. Follow with seasonal staff to assist with programming and activities.

▲ The darkest orange cells of the table above illustrate programming options most offered by communities of a similar size to Harrison, and communities within the Great Lakes region. Source: NRPA Agency Performance Review, 2021. Findings use data from Park Metrics, NRPA's park and recreation agency performance benchmarking tool, from 2018-2020.

CONNECT

TRAIL DEVELOPMENT

The miles of trails among local northeast Wisconsin comparable communities varies, but Harrison is similar when compared nationally against other communities with a population less than 20,000. When considering that trail development and connectivity ranked very high during the community engagement, compared to other aspirational communities locally, Harrison is considerably lower. The Village of Harrison has 2.81 miles of dedicated trails within its boundaries for walking and cycling. As the rapidly growing community develops, creating and maintaining a trail system to connect residential areas to recreation facilities, schools, and businesses becomes increasingly important.

Trail development is considered a high priority for recommendations in this plan. Opportunities to grow the trail system are included in this section.

REGIONAL TRAIL PLANNING

Harrison's position on Lake Winnebago connects the community to precious natural resources



▲ Trail in wooded area of Darboy Community Park

and park facilities across the region. One way the region is looking to increase connections between communities and improve access to the waterfront is through the Loop The Lake initiative. Part of the larger Friendship Trail plan to connect Manitowoc and Steven's Point, passing through Little Lake Butte des Mortes and on towards the Village of Harrison through Menasha, Fox Crossing, and Neenah, the Loop the Lake trail is a great example of how the region is improving connectivity.

The Village has three main multi-use trail connections: Highline (1.12 miles), Noe Road (1.07 miles), and Friendship State Trail (6.7 miles). Additionally, there are snowmobile trails following an east-west direction mostly south of USH 10, then to High Cliff State Park and Lake Winnebago.

There is current planning taking place to connect the Friendship Trail to High Cliff State Park, through Harrison. This work is being coordinated through the East Central Wisconsin Regional Planning Commission (ECWRPC) with participation from Harrison and surrounding communities.

LOCAL PRIORITIES

The East Central Wisconsin Regional Planning Commission published the 2018 Kimberly Area School District Safe Routes to School (SRTS) Action Plan for use by the Village of Harrison and surrounding communities to identify and walking, bicycling, and driving barriers. This plan is a useful guide to local trail and pedestrian planning relevant to this CORP. The Kimberly Area SRTS Action Plan identifies several locations within the Village of Harrison for trail and sidewalk improvements. While not the direct focus of this CORP, the pedestrian and bicycle connections identified in the SRTS plan contribute to the goal of this CORP to ensure that Harrison's parks are accessible to all residents.

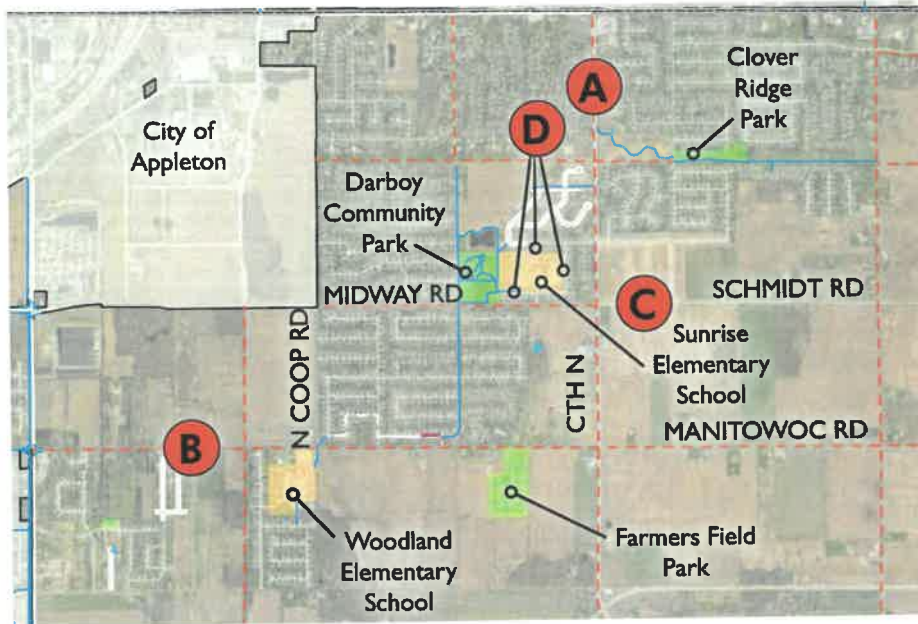
Improvements recommended for these routes are illustrated in the following enlarged map, and include a 10-foot wide off-road multi-use path on the eastern side of County Highway N which

would connect to the Friendship State Trail to the south. More 10-foot wide off-road multi-use paths are recommended along the southern side of Manitowoc Road and the northern side of Midway & Schmidt Roads eastward towards the future Farmers Field Park. Sidewalk installation is recommended for the streets serving Sunrise Elementary where there are currently none along with safe crossing points. More information on the recommended improvements and individual school action plans can be found in the East Central Wisconsin Regional Planning Commission's Kimberly Area School District Safe Routes to School Action Plan.



▲ Child's bike parked at the side of the road at Clover Ridge Park

CONNECTIONS ENLARGED MAP #1 SAFE ROUTES TO SCHOOLS RECOMMENDATIONS



Existing Trails	Proposed Trails
Unspecified	Unspecified
Sidewalk	Bike Lane
Hike	Pond Access Trail
Hike and Bike	Sidewalk
Bike	
Horse and Bike	
Multi-Use	

◀ Existing and proposed bicycle and pedestrian facilities. Source: Calumet County and Village of Harrison

The Kimberly Area SRTS Action Plan makes sidewalk and trail improvement recommendations for seven key streets and roads in the Village of Harrison, four of which are high priority. These four routes are:

- A** County Highway N from County Highway KK to State Highway 10
- B** Manitowoc Road from County Highway LP to N Coop Road
- C** Midway & Schmidt Roads from N Coop Road going east past County Highway N
- D** Skippers Lane, Exploration Ave, and Hoelzel Way around Sunrise Elementary

CONNECTIONS ENLARGED MAP #2 FARMERS FIELD PARK AND PARK SERVICE AREA

LEGEND FOR ENLARGED MAPS



Existing Trails		Proposed Trails	
Unspecified	Unspecified	Unspecified	Unspecified
Sidewalk	Bike Lane	Bike Lane	Bike Lane
Hike	Pond Access Trail	Pond Access Trail	Pond Access Trail
Hike and Bike	Sidewalk	Sidewalk	Sidewalk
Bike			
Horse and Bike			
Multi-Use			

Recommended priority trail connections:

- A** Safe crossings at Noe and N Coop Roads
- B** Trails on the north and south sides of Manitowoc Road between N Coop Road and Farmers Field Park entry
- C** Trails on the east and west sides of the future Noe Road
- D** Trail on the south side of Manitowoc Road between N Coop Road and Pepimaker Pass

▲ Existing and proposed bicycle and pedestrian facilities.
Source: Calumet County and Village of Harrison

CONNECTIONS ENLARGED MAP #3 HARRISON ATHLETIC ASSOCIATION AND PARK SERVICE AREA

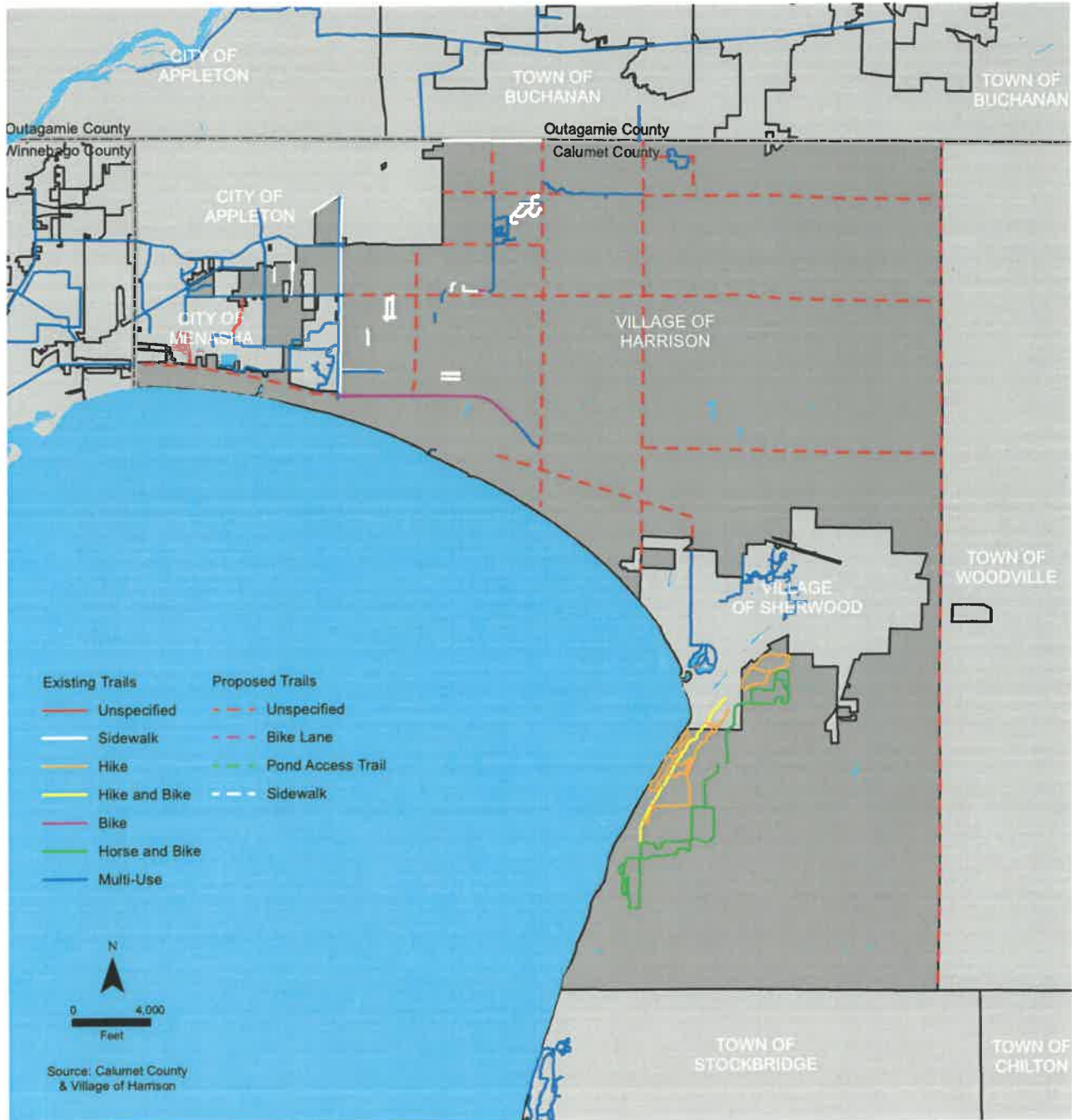


Very minimal residential uses are in the nearby vicinity of Harrison Athletic Association Park. The priority recommendations focus on regional connections:

- A** Connect STH 114 to Lake Winnebago and the planned Friendship State Trail
- B** Trail on State Park Road between the park entrance and the planned Friendship State Trail
- C** Friendship State Trail from N Shore Road to Pigeon Road

▲ Existing and proposed bicycle and pedestrian facilities.
Source: Calumet County and Village of Harrison

Bicycle & Pedestrian Connections



▲ Existing and proposed bicycle and pedestrian facilities. Source: Calumet County and Village of Harrison

Catalog of Trail Types

The following trail types can be used during the design phase of the trail implementation projects and is meant to illustrate the types of trails that the Village can consider.



Shared Use Path

A shared use path can accommodate many different types of users - bikers, walkers, runners, rollerbladers, etc - and can be found in urban, suburban, and rural areas alike.



Sidepath

A sidepath is a shared use path that follows closely alongside of an existing roadway. It may be next to the street or separated by landscaping.



River Trail

A river trail is simply a shared use path, accommodating pedestrians, cyclists, rollerbladers, and runners, that follows alongside a riverway and through the park/conservation land that surrounds these riparian areas.



Catalog of Trail Types

The following trail types can be used during the design phase of the trail implementation projects and is meant to illustrate the types of trails that the Village can consider.



Bike Lane

A bike lane is a defined and marked area on the roadway for cyclists to travel. Bike lanes can be striped only (as shown above), or painted green for greater visibility.



Paved Shoulder

Ensuring that rural and suburban roadways are designed with paved shoulders allows cyclists and walkers to safely navigate streets with light traffic.



Minor Enhancements

Minor enhancements to roadways, such as signage, ensuring drive lanes are marked, and pavement is smooth enough for bike travel, helps keep Harrison's roads safe for all.



Traffic Calming

Bumpouts, raised intersections, and small traffic circles are examples of tools that can be used to flow vehicular traffic, making streets safer for cyclists and pedestrians.

Chapter 6

Implementation

1 Project park, trail, and recreation facility needs based on periodic review of community growth and community needs.

- 1.1 Ensure that environmental and aesthetic qualities of the community are considered when planning for park and recreation development, including preservation of natural resource areas.
- 1.2 Assess park and facility needs as new subdivisions are developed to ensure that new residents are adequately served.
- 1.3 Promote cooperative efforts with surrounding communities to provide recreational facilities and programs as well as adding new facilities and programs.
- 1.4 Engage the Harrison community in all park and recreation facility planning efforts, including public meetings, community surveys, and pilot or demonstration projects within the parks.

A ADMINISTRATION	P PROGRAMMING	S SYSTEM-WIDE	F FUTURE PARKS	L LAKE ACCESS
Update the park service area map annually and assess the geographic location of residents to park locations and programming opportunities.	Consider hiring seasonal staff on an as-needed basis to support new Parks and Recreation staff members.		Acquire land for new parks to serve residents outside of existing park service areas, as new subdivisions are developed outside of the current park service areas, or if density patterns change.	
Initiate outreach to neighboring communities to see if they would be interested in participating in an annual meeting to collaborate around recreational options such as trail planning, programming, etc.	Make a plan and budget money to add recreation programming within the next five years.			
Meet with park user groups to discuss current facility use and needs as well as planning for future facilities.	Consider opportunities for games and play at existing and future parks (i.e. horseshoes, cornhole, ping pong).			
Plan for a community center for senior, teen, and all-ages community programming.				

2 Ensure that Harrison’s parks and natural beauty are accessible to all residents.

- 2.1 Ensure that all Harrison residents have access to park facilities close to their home.
- 2.2 Develop a system of multi-modal trails, paths, and safe on-street facilities that are clearly marked with wayfinding and connect Harrison residents to park and public facilities.
- 2.3 Enhance the safety of multi-modal trail connections, especially to park facilities, through the development of safe road crossings.
- 2.4 Design active and passive recreational areas and facilities which can be used by people with mobility limitations.
- 2.5 Plan for amenities and recreation programming for residents of all ages, providing for varied interests.
- 2.6 Enhance communication of available park and recreation facilities and improvements to Harrison residents.
- 2.7 Develop new “Village of Harrison” park branding and a materials palette that highlights the natural beauty of the Village.

A ADMINISTRATION	P PROGRAMMING	S SYSTEM-WIDE	F FUTURE PARKS	L LAKE ACCESS
Evaluate the primary routes between the neighborhoods to each park to ensure that there are adequate pedestrian and bicycle facilities to accommodate families with children and residents with mobility issues.	Create at least one recreational program designed for teenagers.	Conduct a wayfinding plan for the park system that includes the parks, multi-use trail system, and directional signage. Create a trail implementation plan based on priority trail locations.	As new subdivisions develop and land is reserved for park development, proactively acquire easements or land for multi-use trail development to connect the park to the neighborhood and to other community recreation amenities.	Provide accessible paths for non-motorized lake access at two key locations on Lake Winnebago.
Budget for park signage on a yearly basis to implement the recommendations of the wayfinding study.	Implement a summer movie night program.	Create new safe walking routes and crossing points to promote safe access, especially based on community feedback.		
Work with user groups to develop park use and rental agreements, for the fields and courts that are used by recreational leagues and associations.	Organize a food truck rally at Village Hall on a summer night when ballgames are scheduled.	Engage residents around community identity and Harrison’s natural environment and work with a designer to develop branding and a materials palette.		
Create a park map for the Village and add new park facilities as they are developed and become publicly accessible to increase community awareness of existing parks and facilities.		Develop new park and trail signage with new Village of Harrison Parks branding.		

3 Encourage water-oriented recreation such as fishing and boating, promote access to lake vistas, and protect water resources.

3.1 Promote and endorse efforts to improve water quality, access, and navigability to Lake Winnebago.

3.2 Take advantage of the opportunity to promote and maintain the boat launches that are in the Village.

A ADMINISTRATION	P PROGRAMMING	S SYSTEM-WIDE	F FUTURE PARKS	L LAKE ACCESS
Participate in water quality improvement efforts for the Lake Winnebago watershed.	Sponsor and/or lead a resident group for the Fox-Wolf Watershed Alliance Annual Watershed Cleanup.			Include green infrastructure in park site improvement plans where runoff impacts Lake Winnebago.
Review and adopt a protective area buffer for waterway and wetland areas to be applied to new development and encouraged for redevelopment.				Create a plan to develop a small pocket park at one of the boat launches for passive recreation such as picnicking, fishing, and sight-seeing.

4 Continue to provide exceptional quality of facilities and maintenance of all existing parks and public spaces.

4.1 Provide adequate resources and personnel to maintain current recreational facilities and ensure that maintenance of existing facilities is balanced with the development of new parks and facilities.

4.2 Develop Master Site Plans for each park site to help guide future development.

A ADMINISTRATION	P PROGRAMMING	S SYSTEM-WIDE	F FUTURE PARKS	L LAKE ACCESS
Hire two new staff members through the formation of a new Parks Department focused on park planning, development, maintenance, and programming and evaluate the need for additional hires on a yearly basis.		Develop a list of maintenance items and schedule for inspections.		

5 Identify, preserve, cultivate, and protect areas which are environmentally significant, and which hold historic value.

5.1 Identify and incorporate historic areas or structures in the development of new parks.

5.2 Encourage the use of natural features, such as floodplains, wetlands, and woodlands, as passive recreational areas.

5.3 Protect significant wildlife areas, including the escarpment areas.

5.4 Encourage biodiversity and habitat for wildlife in Harrison by planting indigenous plant landscaping and trees in Harrison parks that can be used for education and passive enjoyment.

A ADMINISTRATION	P PROGRAMMING	S SYSTEM-WIDE	F FUTURE PARKS	L LAKE ACCESS
Develop a Harrison-specific guide to indigenous plants, habitat, and pollinators, using Wisconsin Dept. of Natural Resources (DNR) resources as a base. Provide the guide as a resource for local nature trails and sight-seeing.	Create at least one recreational program focused on education about local ecology, indigenous species, and natural resources.	Consider installing rain gardens with indigenous vegetation in park areas that are consistently wet or flooded or to prevent contaminated runoff from entering Lake Winnebago.	As part of the Harrison-specific guide, develop a list of approved native plant and tree species for recommended use in new parks and public open spaces.	
Consider working with a naturalist, arborist, and/or citizen science group to conduct a tree and wildlife survey of Harrison's parks and public lands.	Consider establishing community gardens alongside pollinator gardens to increase awareness of pollinator benefits and increase resident interaction with the Harrison environment.	Consider the need for hiring a naturalist and/or arborist on a part time or contract basis to assist the Village in identification and care of existing plants and trees within the parks and planning for additional park plantings, including trees and native landscaping.		
Work with the public works staff, and possibly community volunteers, to determine a maintenance plan for the naturalized planting areas so that sensitive plants are not damaged or neglected.	Create recreational/ educational programming centered around Harrison plants and wildlife, using "naturalized" areas in parks as outdoor classrooms.	Raise funds for planting areas or find wildlife "sponsors" (local businesses, advocacy groups, neighborhood organizations) and install them in highly visible and accessible areas.		
Identify areas in existing and future Harrison Parks that can be "naturalized" with indigenous plants and trees.		Develop and install informational signage about the new planted areas, indigenous trees, community gardens, and/or pollinator gardens.		

DARBOY COMMUNITY PARK



Darboy Community Park is the most developed and utilized park in Harrison, featuring annual community events like Summer Fun in the Park and recreational facilities for use by community organizations. Darboy Community Park is considered fully developed with several facilities included on its grounds, and it is served by electric and water utilities. The park also connects to the Village trail network and features a nature trail within it.

Voices **from the community**

What does this park need?

- Splash pad
- 3 Soccer Fields
- Basketball Court Resurfacing
- Pickleball and Tennis
- Skate Park

WHAT'S IN THE PARK?

- 2 Basketball Courts
- 4 Developmental Soccer Fields
- 3 Mini Soccer Fields
- 3 Beach Volleyball Courts
- Multi-Use Trail
- 2 Baseball Backstops
- 1 Tennis Court
- 6 Pickleball Courts
- Playground
- Pavilion
- Nature Trail
- Fire Pit

ACTION ITEMS:

- Provide adequate budgeting for maintenance of existing trees and vegetation.
- Analyze usage numbers and times; survey user characteristics; evaluate needs for expanded facilities and parking.
- Meet with Sunrise Elementary School for feedback on cooperative efforts and shared improvements.
- Provide improved, clearly identified trails with signage extending into wooded northern portion of park.
- Improve signage for street crossings at Midway Road from all directions. Consider new marked crossings of Noe Road at Strawflower and Moonflower Drives, similar to Blazing Star Drive.
- Existing trail is accessible; consider accommodating accessibility with wooded area paths.
- Implement user agreements for sport fields with organizations. Install motion-activated lighting or video-monitoring for security of facilities.
- Promote recent and future park improvements at Summer Fun in the Park events.
- Add Village logo to existing monument signs.
- Incorporate rain gardens adjacent to parking lot areas as stormwater management demonstration.
- Post locations and regulations for nearest boat launch.
- Incorporate signage or monumentation for adjacent cemetery.
- Improve north wooded area trail surfaces and signage; consider improvements for community gathering in scouting open space.
- Incorporate identification of protected species into signage.

CAPITAL IMPROVEMENT RECOMMENDATIONS				
2022	2023	2024	2025	2026
Complete pickleball and tennis court facilities (painting, nets, etc.)	New trail and identifier signage	Install lighting	Improved fire pit area and upgraded benches	
	Resurface basketball courts	Improve street crossings		



▲ Nature identifiers can be simple or as part of a designed signage system. Materials should be durable to withstand weather conditions.



▲ The scouting fire pit area could receive upgraded seating with a rustic theme. Pictured bench is from Mount Zion Park in Ironwood, Michigan.

DOGWOOD PARK



Dogwood Park is a mini park in the southwest region of the Harrison suburban area near the intersection of Manitowoc Road and Lake Park Road. Recently developed, the park includes sanitary and water utility hookups and electricity. The park includes a playground and plans for a gazebo. The park will be operational during daytime hours.

WHAT'S IN THE PARK?

- Playground

ACTION ITEMS:

- Install light poles.
- Consider the installation of a gazebo or similar shelter.
- Create a master plan for future park improvements.

CAPITAL IMPROVEMENT RECOMMENDATIONS				
2022	2023	2024	2025	2026
	Lighting	Gazebo		
	Picnic tables	Baseball backstop		



▲ A gazebo can provide a shaded area for picnicing or relaxing on a bench.



▲ Bringing in landscape furniture with materials that mimic the park brand—such as this rustic wood table with Corten frame—reinforces the connection to Harrison as a special place. Many manufacturers offer accessible options. Pictured is the Drifter picnicset by Streetlife. Source: Streetlife

CLOVER RIDGE PARK



5487 Hidden Trail Ln.

6.5 acres

Neighborhood Park

Clover Ridge Park is a small park that sits adjacent to a 0.70 mile long section of trail running between Handel Drive and State Park Road. The formal park area that connects to Hidden Trail Lane includes benches and playground equipment. Behind it is a several acre park with overhead utility cables spanning the length along the multi-use trail. There is a bridge crossing a drainage ditch and culvert in the west/central part of the park running northeast to southwest.

WHAT'S IN THE PARK?

- Playground Equipment
- Multi-Use Trails
- Picnic Area

Voices

from the community

What does this park need?

**Frisbee Golf
Soccer**



▲ Disc golf was requested in Clover Ridge during community engagement.

ACTION ITEMS:

- Collaborate with schools and other area organizations to plan a kick-off event for planting indigenous landscape for habitat and pollinators.
- Consider installing disc golf nets in the open areas of the park available during daytime hours.
- Provide limited off-street parking lot extending from Hickory Dr.
- Extend trail west through Van’s Road Pond property to future CTH N trail.
- Establish a trail connection at the entrance of the park. Improve connection(s) and crossings at Handel Rd., Cumberland Dr., and State Park Rd.
- Identify available open space for community garden.
- Add Village logo to existing monument sign.
- Create a master plan for future park improvements.
- Incorporate rain gardens with off-street parking improvements.
- Consider working with a local organization and/or community volunteers to implement community gardens.
- Consider locations for game play such as bocce and horseshoes.

CAPITAL IMPROVEMENT RECOMMENDATIONS				
2022	2023	2024	2025	2026
	Disc golf	Parking along Handel Drive	Install game pits for horseshoes and bocce	
	Community gardens	Rain gardens incorporated into parking		
	Fall pollinator garden planting	Indigenous plantings with identifier signage		



▲ Holding a pollinator planting event at the park is a way to get the community involved in the parks.



▲ A community garden is a great way for neighbors to share experiences and knowledge.

HARRISON ATHLETIC ASSOCIATION PARK



The Harrison Athletic Association Park is a mid-size park used for youth baseball and adult softball recreation. Concessions are run during games by the Harrison Athletic Association in the pavilion. The park also includes a small playground, and a picnic area.

WHAT'S IN THE PARK?

- 2 Ball Diamonds
- Volleyball
- Playground Equipment
- Picnic Area
- Pavilion



- ◀ Many communities embrace small urban spaces to host community events. Harrison could incorporate an area appropriate for a small musical group to set up for an outdoor concert. Paving and electrical are important infrastructure considerations. Inviting food vendors or food trucks creates a fun event. Pictured is James Street in De Pere, Wisconsin.

ACTION ITEMS:

- Meet with the athletic association to discuss selection criteria for the addition of all-ages obstacle course equipment alongside updating the existing playground equipment.
- Include free wi-fi within the park.
- Reach out to local restaurants and food trucks to find a day per month to have a food vendor or food truck at the park/village hall.
- Install outdoor ping pong tables or other outdoor games.
- Consider an interactive art wall installation.
- Install lighting to increase visibility. Consider the addition of LED color-changing programmable lights in one area of the park to create a festive, artistic feeling in the park that can change with the day and season.
- Create a master plan for future park improvements
- Consider working with a local organization and/or community volunteer to implement community gardens.
- Consider a small hardscape area with electrical suitable for small musical acts to perform.

CAPITAL IMPROVEMENT RECOMMENDATIONS				
2022	2023	2024	2025	2026
	Community garden	Specialty LED lighting	New playground equipment	
	Multi-use trail	Public wi-fi	Consider game installation such as ping pong, horseshoes, or bocce	
	Exercise stations	Paved area for music		



▲ While getting outside often means a chance to disconnect from our devices, communities are considering public wi-fi in parks. This can aid keeping parents and families connected during practices and after-school activities. Parks are also social spaces, and how we define friends and family spans the globe. Sharing experiences with friends and family while out enjoying our community is one way to stay connected.



▲ Integrating specialty lighting in the park near Village Hall provides seasonal interest and provides placemaking opportunities during the time of year when the sun sets early. Image shows Fountain Park at the library in Sheboygan. During the summer it is a fountain and plaza, and in the winter it maintains its identity as a place with a seasonal color-changing LED light display.

FARMERS FIELD PARK (Planned Park)



Farmers Field is a planned neighborhood park approximately 0.5 miles south of Darboy Park. Noe Road will be extended from the north, connecting streets to access the park at a new western entrance. Preliminary grading has been completed for two championship sized soccer fields.

WHAT'S IN THE PARK?

- Sledding Hill
- Graded for Soccer Fields
- Parking

Voices

from the
community

What does this park need?

Dog Park

More sidewalks to access the park

- ▶ Dog amenities were requested for this park during the community engagement.



ACTION ITEMS:

- Host a planning charrette for the master planning of the park, to elevate the design and budgeting process. Consider using an online voting and budgeting tool to get public feedback on priorities.
- Ensure that there are safe walking routes to Farmers Field Park, including crossing points.
- Complete construction of major development items and open to the public by the end of the planning time frame for this CORP (5 years).
- Consider proactively extending utilities to facilitate the expedient completion of the park development and address the current deficit of park land in the community.
- Consider working with a local organization and/or community volunteer to implement community gardens.
- Develop a Winter destination design for structures, hardscape, plantings and amenities: fire ring, warming hut, festoon lights, winter interest landscape (such as evergreen, berries, bark texture)

CAPITAL IMPROVEMENT RECOMMENDATIONS				
2022	2023	2024	2025	2026
Complete soccer fields	Sidewalks and crossings to park and at entry	Diamond fields	Indigenous landscape installation at key locations with informational markers	
	Accessible route from parking to seating area. Provide flexible and accessible seating options.	Perimeter accessible multi-use trail	Dog-friendly dog run area	
	Winter destination elements	Install obstacle course style equipment and playground		
	Utility extensions	Install new plantings with emphasis on winter interest		
	Complete parking lot paving and install sidewalks to amenities			



▲ A winter destination considers activities for all ages.



▲ Create a winter destination during skating and sledding season. Source: Roberto Nickson on Unsplash.com

RENNWOOD PARK (Planned Park)



Midway Rd.
15 acres
Neighborhood Park

Rennwood Park is a planned neighborhood park south of Midway Road between East Plank Road and Lake Park Road, on the west side of the suburban area of Harrison. There is currently no road/driveway access to the planned site. The site will become accessible after the areas adjacent are developed as neighborhoods.

WHAT'S IN THE PARK?

- Rennwood Park is a future planned park without current facilities.

Voices

from the community

What does this park need?

Playground equipment

Skate Park

ACTION ITEMS:

- Develop and open the park by 2026.
- Create a master plan for future park improvements.
- Consider incorporating trails within the park.
- Ensure connectivity into the park from surrounding residential neighborhoods and adjacent apartments.
- Plan for safe crossings across Midway Road.

CAPITAL IMPROVEMENT RECOMMENDATIONS				
2022	2023	2024	2025	2026
		Playground	Community garden	
		Multi-use trail	Gazebo	
		Benches	Picnic shelter	
		Basketball court		



▲ Picnic shelters provide a place out of the elements and adds shade to the park. Additional outdoor spaces can be an added benefit near multi-family communities with limited indoor gathering spaces.



▲ Community garden plots can provide added outdoor space in neighborhoods with multi-family residential.



▲ Trails for hiking and biking topped the list during the community engagement. Rennwood Park provides an opportunity to incorporate trails into a wooded area.



▲ Incorporate playgrounds into parks near neighborhoods with young children.



I ❤️
HARRISON'S
Parks!



VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

2022 Darboy Park Improvements (Pickleball/Tennis Courts) Program

Issue:

Which bidder should the Village Board award the 2022 Asphalt Street Resurfacing Program to?

Background and Additional Information:

On April 19th, the Village held a bid opening for the Darboy Park Improvements (Pickleball/Tennis Courts) Program. Unfortunately, no bids were received. The engineer will be reaching out to various contractors to discuss why bids were not submitted for the project.

The Village will have to rebid the project to address any concerns about why contractors did not/could not submit bids. Staff is speculating that there could be supply chain issues related to the bid timeline requested. Original bid documents included a base bid completion of July 31st and alternate bid completion of July 1st.

Budget Impacts:

Unknown at this time.

Recommended Action:

Staff recommends consulting with contractors and rebidding the project.

Attachments:

- None

VILLAGE BOARD MEETING

From:
Matt Heiser, Village Manager

VILLAGE OF HARRISON

Meeting Date:
April 26, 2022

Title:
Proclamation for Outgoing Trustees

Issue:
Should the Village Board recognize outgoing Trustees?

Background and Additional Information:

This is the first elections cycle in my role as Village Manager. Something we used to do in my previous community was recognize anyone who finished serving the Village. The Village Board would issue a proclamation for anyone who served on the Village Board or the various subcommittees/commissions as well.

The intent is to appreciate the time commitment and the fact that the job can occasionally be difficult. It is not an endorsement of the political philosophies of the individuals but rather a recognition of the office. The wording, admittedly a bit flowery at times, would be the same for every Village Board member whose service was over.

In my previous community the Board would issue one of these regardless of the reason for the completion of the service. The thought was this person had put in the time and effort whether they were defeated or had declared non-candidacy.

If approved by the Harrison Village Board staff would print out a copy, put it in a frame, and present it to the recipient.

Budget Impacts:

None.

Recommended Action:

To approve the proclamation. Furthermore, staff would recommend every person who serves on the Village Board would receive one of these proclamations when their service was finished.

Attachments:

- A proclamation for former Trustee Pete Stier.

~Proclamation~

WHEREAS

The Village of Harrison is governed by a Village Board composed of six Trustees and a Village President; and

WHEREAS

These elected offices have the highest responsibility in the tradition of American democracy: they represent the will of the people; and

WHEREAS

These elected offices set the policy for the Village, lend direction to Village staff and confront all major issues facing the community; and

WHEREAS

The duties and responsibilities of these elected offices require dedication by the individuals who hold them, substantial commitments of time, a love of public service, a desire for justice and a passion for the Village, and;

WHEREAS

The flourishing state of the community and its high quality of life are dependent upon residents who take the time to hold these offices and execute their duties; and

WHEREAS

Pete Stier held the office of Trustee in the Village of Harrison from 2012 to 2016 and from 2020-2022. He also served on the Joint Finance Committee from 2014 – 2016.

THEREFORE

We, On behalf of the Village Board of the Village of Harrison, issue this PROCLAMATION OF COMMENDATION in recognition of the public service provided by

Pete Stier

by serving on the Village Board for the Village of Harrison.

The Village Board of the Village of Harrison encourages all citizens of this great community to show recognition and support to Pete in appreciation for his service to the people.

By order of the Village Board
of the Village of Harrison
this 26th day of April, 2022

Allison Blackmer
Village President

ATTEST:

Vicki Tessen
Village Clerk

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

2022 Street Resurfacing Program

Issue:

Which bidder should the Village Board award the 2022 Asphalt Street Resurfacing Program to?

Background and Additional Information:

On April 13th, bids were received for the 2022 Asphalt Street Resurfacing Program. Two bids were received, containing a base bid for the asphalt street resurfacing, supplemental bid #1 for paving of the Harrison Utilities driveway apron, supplemental bid #2 for repaving the west basketball court at Darboy Community Park, and supplemental bid #2 for repaving the east basketball court at Darboy Community Park. The bid tabulation indicating all bidders and bid amounts is attached. The low bidder for the base bid was Northeast Asphalt, Inc. in the amount of \$2,119,603.50.

Staff is recommending award of the base bid and supplemental bid #1. Staff suggests waiting for the contractor to be chosen for the pickleball/tennis courts to discuss resurfacing of the basketball courts. A change order can be approved later to add the basketball court work into the resurfacing program.

Budget Impacts:

Contract Award is \$2,125,951.00.

Recommended Action:

Staff recommends approval of 2022 Asphalt Street Resurfacing Program to Northeast Asphalt, Inc. including the base bid and supplemental bid #1 in the amount of \$2,125,951.00.

Attachments:

- Bid Tabulation
- Letter from McMahon Associates
- Notice of Award

BID TABULATION

VILLAGE OF HARRISON
 2022 Asphalt Street Resurfacing Program
 Contract No. H0006-09-22-00223
 Bid Date/Time: April 13, 2022 @ 10:00 AM
 Project Manager: Lee Reibold, PE

Engineer: McMAHON ASSOCIATES, INC.
 1445 McMahon Drive
 PO Box 1025
 Neenah, WI 54956 / 54957-1025

NORTHEAST ASPHALT, INC.
 W6380 Design Drive
 PO Box 1667
 Greenville, WI 54942

MCC, INC.
 2600 N. Roemer Road
 PO Box 1137
 Appleton, WI 54912-1137

FIRELANE 8

Item	Qty	Unit	Description	Unit Price	Total	Unit Price	Total
D-1	4,400	S.Y.	Pulverize Existing Asphalt Pavement	\$2.40	\$10,560.00	\$1.55	\$6,820.00
D-2	250	C.Y.	Excavation Below Subgrade (EBS)	\$15.00	\$3,750.00	\$22.00	\$5,500.00
D-3	500	TON	Base Aggregate Dense, 3 Inch for EBS Areas	\$15.50	\$7,750.00	\$17.75	\$8,875.00
D-4	500	S.Y.	Type 1 Geogrid for EBS Areas	\$3.00	\$1,500.00	\$2.48	\$1,240.00
D-5	7	Ea.	Sanitary Manhole Reconstruction	\$615.00	\$4,305.00	\$760.00	\$5,320.00
D-6	5,320	S.Y.	Fine Grading and Compaction of Aggregate Base	\$1.85	\$9,842.00	\$3.55	\$18,886.00
D-7	600	TON	2-1/4 Inch HMA Pavement 3LT 58-285	\$70.85	\$42,510.00	\$83.00	\$49,800.00
D-8	465	TON	1-3/4 Inch HMA Pavement 4LT 58-285	\$78.00	\$36,270.00	\$94.00	\$43,710.00
D-9	550	L.F.	Sawing Asphalt (WisDOT Item No. 690.0150)	\$1.50	\$825.00	\$1.55	\$852.50
D-10	2,200	S.F.	3 Inch HMA Driveway Pavement	\$3.10	\$6,820.00	\$4.15	\$9,130.00
D-11	1	L.S.	Contractor Quality Control Testing	\$2,825.00	\$2,825.00	\$3,300.00	\$3,300.00
TOTAL (Items D-1 through D-11, Inclusive)				\$126,957.00		\$153,433.50	

RAVINE COURT

Item	Qty	Unit	Description	Unit Price	Total	Unit Price	Total
E-1	3,400	S.Y.	Pulverize Existing Asphalt Pavement	\$2.40	\$8,160.00	\$1.40	\$4,760.00
E-2	100	C.Y.	Excavation Below Subgrade (EBS)	\$15.00	\$1,500.00	\$28.75	\$2,875.00
E-3	200	TON	Base Aggregate Dense, 3 Inch for EBS Areas	\$15.50	\$3,100.00	\$17.75	\$3,550.00
E-4	200	S.Y.	Type 1 Geogrid for EBS Areas	\$3.00	\$600.00	\$2.48	\$496.00
E-5	5	Ea.	Sanitary Manhole Reconstruction	\$615.00	\$3,075.00	\$760.00	\$3,800.00
E-6	3,900	S.Y.	Fine Grading and Compaction of Aggregate Base	\$1.80	\$7,020.00	\$3.65	\$14,235.00
E-7	460	TON	2-1/4 Inch HMA Pavement 3LT 58-285	\$70.85	\$32,591.00	\$84.15	\$38,709.00
E-8	360	TON	1-3/4 Inch HMA Pavement 4LT 58-285	\$78.00	\$28,080.00	\$91.00	\$32,760.00
E-9	380	L.F.	Sawing Asphalt (WisDOT Item No. 690.0150)	\$1.50	\$570.00	\$1.55	\$589.00
E-10	2,800	S.F.	3 Inch HMA Driveway Pavement	\$3.10	\$8,680.00	\$4.00	\$11,200.00
E-11	1	L.S.	Contractor Quality Control Testing	\$2,825.00	\$2,825.00	\$2,300.00	\$2,200.00
TOTAL (Items E-1 through E-11, Inclusive)				\$96,201.00		\$115,174.00	
TOTAL (Bids A through E, Inclusive)				\$2,119,603.50		\$2,825,358.60	

SUPPLEMENTAL BID #1 - HARRISON UTILITY DISTRICT DRIVEWAY APRON PAVING

Item	Qty	Unit	Description	Unit Price	Total	Unit Price	Total
1-1	1,400	S.F.	Fine Grading and Compaction of Aggregate Base	\$0.75	\$1,050.00	\$1.05	\$1,470.00
1-2	25	TON	2-1/4 Inch HMA Pavement 3LT 58-285	\$114.50	\$2,862.50	\$175.00	\$4,375.00
1-3	20	TON	1-3/4 Inch HMA Pavement 4LT 58-285	\$121.75	\$2,435.00	\$150.00	\$3,000.00
SUPPLEMENTAL BID #1 TOTAL (Items 1-1 through 1-3, Inclusive)				\$6,347.50		\$8,845.00	

SUPPLEMENTAL BID #2 - DARBOY COMMUNITY PARK WEST BASKETBALL COURT PAVING

Item	Qty	Unit	Description	Unit Price	Total	Unit Price	Total
2-1	460	S.Y.	Remove Existing Asphalt Pavement	\$2.65	\$1,219.00	\$5.20	\$2,392.00
2-2	460	S.Y.	Fine Grading and Compaction of Aggregate Base	\$2.90	\$1,334.00	\$10.55	\$4,853.00
2-3	50	TON	1-3/4 Inch HMA Pavement 3LT 58-285	\$114.50	\$5,725.00	\$177.00	\$8,850.00
2-4	50	TON	1-3/4 Inch HMA Pavement 4LT 58-285	\$121.75	\$6,087.50	\$185.00	\$9,250.00
SUPPLEMENTAL BID #2 TOTAL (Items 2-1 through 2-4, Inclusive)				\$14,365.50		\$25,345.00	

SUPPLEMENTAL BID #3 - DARBOY COMMUNITY PARK EAST BASKETBALL COURT PAVING

Item	Qty	Unit	Description	Unit Price	Total	Unit Price	Total
3-1	460	S.Y.	Remove Existing Asphalt Pavement	\$2.65	\$1,219.00	\$5.20	\$2,392.00
3-2	460	S.Y.	Fine Grading and Compaction of Aggregate Base	\$2.90	\$1,334.00	\$10.55	\$4,853.00
3-3	50	TON	1-3/4 Inch HMA Pavement 3LT 58-285	\$114.50	\$5,725.00	\$177.00	\$8,850.00
3-4	50	TON	1-3/4 Inch HMA Pavement 4LT 58-285	\$121.75	\$6,087.50	\$185.00	\$9,250.00
SUPPLEMENTAL BID #3 TOTAL (Items 3-1 through 3-4, Inclusive)				\$14,365.50		\$25,345.00	

Bid Security	5% Bid Bond	5% Bid Bond
Addendum Acknowledgment	Yes - #1	Yes - #1

Subcontractor	Subcontractor
Storm Sewer: De Groot	Storm Sewer: De Groot
Concrete Curb & Gutter	Concrete Curb & Gutter
/Driveways: Sommers	/Driveways: Al Dix Concrete
Lawn Restoration: Highway	Lawn Restoration: Highway
Landscapers	Landscapers
Excavating: Hilltop Excavating	Traffic Control: Warning Lites
	Sawcutting: Hard Rock Sawing & Drilling



April 19, 2022

Village of Harrison
W5298 State Road '114'
Harrison, WI 54952

Re: Village of Harrison
2022 Asphalt Street Resurfacing Program
Letter of Recommendation
McM. No. H0006-09-22-00223

On April 13, 2022, bids were received at the Village Hall for the above referenced project. Two bids were received, ranging in price from \$2,119,603.50 to \$2,825,358.60 (bid tabulation enclosed).

Based upon the bids received, we recommend awarding Contract H0006-09-22-00223 to the low bidder, Northeast Asphalt, Inc., in the amount of \$2,125,951.00.

Base Bid	\$2,119,603.50
<u>Supplemental Bid #1.....</u>	<u>\$6,347.50</u>
Contract Award.....	\$2,125,951.00

If you agree with our recommendation, please date and sign the enclosed Notices of Award, and return all copies to our office for incorporation into the contract documents.

If you have any questions, please feel free to contact me.

Respectfully,

McMahon Associates, Inc.

Lee R. Reibold, P.E.
Associate / Municipal & Civil Engineer

LRR:car

Enclosures: Notice of Awards (3 copies each)
Bid Tabulation

SECTION 00 51 00.00

NOTICE OF AWARD

Dated: _____

To: NORTHEAST ASPHALT, INC.
W6380 Design Drive
PO Box 1667
Greenville, WI 54942

Contract No. H0006-09-22-00223

Project: 2022 ASPHALT STREET RESURFACING PROGRAM
For the VILLAGE OF HARRISON | Calumet County, Wisconsin

You are notified that your Bid, dated April 6, 2022, for the above Contract has been considered. You are the apparent successful Bidder and have been awarded a Contract for the 2022 Asphalt Street Resurfacing Program for the Village of Harrison, Calumet County, Wisconsin.

The Contract Price of your Contract is Two Million One Hundred Twenty-Five Thousand Nine Hundred Fifty-One & no/100 Dollars (\$2,125,951.00).

Base Bid	\$2,119,603.50
<u>Supplemental Bid #1 Harrison Utility District Driveway Apron Paving</u>	<u>\$6,347.50</u>
Contract Price.....	\$2,125,951.00

You must comply with the following conditions precedent within **15-days** of the date of this Notice of Award, that is by _____.

1. You must deliver to the OWNER three (3) fully executed counterparts of the Agreement including all the Contract Documents.
2. You must deliver with the executed Agreement the Contract Security (bonds), as specified in the Instructions to Bidders, General Conditions (Paragraph 5.01) and Supplementary Conditions.
3. You must deliver Insurance Certification complying with the General Conditions and Supplemental Conditions of the Contract Documents.

Failure to comply with these conditions within the time specified will entitle OWNER to consider your Bid abandoned, to annul this Notice of Award and to declare your Bid Security forfeited.

One (1) fully signed counterpart of the Agreement, with the Contract Documents attached, will be returned to you within 15-days after you comply with the above noted conditions.

VILLAGE OF HARRISON | Calumet County, Wisconsin

(authorized signature)

(title)

Witness: _____

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

Development Agreement for Luniak Meadows Subdivision

Issue:

Should the Village Board approve the development agreement for the Luniak Meadows subdivision?

Background and Additional Information:

As a part of the subdivision plat approval process, the Village requires a Development Agreement in order to assure all the public improvements are installed in the subdivision if the final plat is to be approved prior to all the improvements being completed. The agreement is the similar as the ones approved for previous subdivisions. The Development Agreement provides standards for utility and roadway construction in a temporary state and final state.

Budget/Financial Impact:

None.

Recommended Action:

Staff recommends that the development agreement be approved for the Luniak Meadows subdivision.

Action Options:

1. Approve the Development Agreement.
2. Approve the Development Agreement with amended language.
3. Postpone action.
4. Do not approve the Development Agreement.

Attachments:

- Draft Development Agreement

**SUBDIVISION DEVELOPMENT AGREEMENT
LUNIAK MEADOWS**

THIS AGREEMENT, made this ____ day of _____, 20____, between Dercks DeWitt, LLC, hereinafter called "Subdivider", and the Village of Harrison, a municipal corporation of the State of Wisconsin, located in Calumet and Outagamie counties, hereinafter called "Village".

WHEREAS, Subdivider is the owner of approximately 38.5-acres of land in the Village, said land being referred to as "Luniak Meadows" described as:

All of Lot 2, Certified Survey Map 3940, Recorded as Document Number 564107, being located in part of the Northwest ¼ of the Northwest ¼ and part of the Northeast ¼ of the Northwest ¼, Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County.

WHEREAS, Subdivider desires to subdivide and develop said lands;

WHEREAS, said lands are presently zoned or planned to be zoned as **RS-1 | Single-Family Residential (Suburban)** which permits the above development; and

WHEREAS, the Plan Commission has recommended to the Village Board that the proposed subdivision of the above described lands be given final approval when the final plat thereof has been presented to the Village Board on the condition that the Subdivider enter into an agreement with the Village relative to the manner and method by which said lands are to be developed; and

WHEREAS, the Subdivider agrees to develop said land as herein described in accordance with this Agreement and in accordance with all of the ordinances and regulations of the Village of Harrison; and

WHEREAS, the developer/subdivider assures the Village and shall on the plat acknowledge: "The owner/subdivider has no notice or knowledge of any environmental problems (the existence of hazardous or toxic substances) of any sort on the property being transferred. The owner/subdivider understands that it will pay for any costs to remediate any environmental problems encountered during construction of any of the public improvements required by the Village on the plat in the Developer's Agreement. The owner/subdivider understand that they shall be individually responsible for any environmental problems found on the land, transferred to the Village on the Plat of Survey or Certified Survey Map during the construction of roads or other dedications and agree to hold the Village harmless until construction, installation or grading is complete."; and

WHEREAS, the Village and Subdivider agree that the required dedications for surface water drainage and detention shall be dedicated with the plat acceptance, but shall be constructed by the developer as specified. Security for performance of the construction shall be secured by letter of credit or escrow. Security for performance shall not be released in full or in part, at the discretion of the Village, until performance is complete and sufficient development of the subdivision has occurred to satisfy the Village that further development related impairment or damage of surface water structures will not occur.

NOW, THEREFORE, in consideration of the granting of approval of a final plat for **Luniak Meadows** and the development thereof by the Village Board, the Subdivider does hereby agree to subdivide and develop said lands as follows:

SECTION 1 – IMPROVEMENTS

All public improvements shall be in accordance with the Village of Harrison Standards and Specifications as established in the *Standard Specifications Manual*, the Land Division Ordinance, and all other ordinances for the Village of Harrison. All plans and specifications for the public improvements shall require approval from the Village Engineer and Public Works Department prior to proceeding with construction.

A. ROADS AND STREETS The Subdivider and Village hereby agrees:

To furnish, construct, grade and surface all roads and streets in the subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village.

The Village has given consideration to the installation required and completion dates shall hereinafter be established and specified below. The completion dates are based upon the developer's installation in accordance with the land division ordinance and the **FINAL** plan specifications and drawings approved by the Village.

All street construction, including but not limited to, sanitary sewer, watermain, storm sewer and associated laterals, subgrade, gravel base, and 1½" temporary asphalt binder shall be inspected by the Village, or their designee, in accordance with Section I, below.

Once the Village of Harrison standards have been met, the Village Board will take action respectively, to accept the listed roads. Acceptance of a gravel road may only occur after the subgrade, gravel, and 1½" temporary asphalt binder has been installed and inspected by the Village, all utilities (sanitary sewer, water, storm sewer, gas, electric, cable/phone, etc.) have been installed, and all terraces and primary drainage swales and ditches have been graded, seeded, and mulched and inspected by the Village. Once approved, the roads will sit for a period not less than two (2) freeze/thaw cycles but no more than three (3) years after acceptance by the Village Board.

During the specified time period, the mountable curb and gutter shall be installed, the 4-inch asphalt paving completed, and sidewalks and/or trails installed. The Subdivider shall be responsible for the construction of the mountable curb and gutter, asphalt paving, and sidewalk and/or trail construction. All sidewalks to be installed as part of a single project and shall not be installed on a per lot basis unless approved by the Public Works Department.

All costs for construction of the curb and gutter, the asphalt paving, and sidewalks and/or trails shall be held in escrow, in the form of a Performance Bond, Letter of Credit, or Cash Escrow, payable to the Village of Harrison.

Any variation to the proposed schedule of the improvements as set forth in the contract below may be extended where requests are made by the Subdivider for construction during periods within the determination of the Public Works Department and the Village's Engineer, require extension of time periods to assure the Village that the improvements will not suffer from premature degeneration as a result of said construction.

For new utility or street construction between November 15th and May 1st, there will be an additional warranty period of three years beginning from the acceptance of the "gravel road". Such warranty shall apply to all improvements in case of failure. Such warranty shall be in the form of a Performance Bond, Letter of Credit or Cash Escrow in an amount sufficient, as

approved by the Public Works Department and/or Village Engineer, to repair defects in the roadway. Repair of such defects shall be determined by the Public Works Department.

The schedule for construction shall be as follows:

Timeframe Record	
Subdivision	Luniak Meadows
Final Subdivision Approval	Winter 2021/22
Sanitary, Water, and Storm Sewers	Winter 2021/22
Utilities (Gas, Electric, Phone, Cable, etc.)	Spring 2022
Grade & Gravel	Spring 2022
Terraces	Spring/Summer 2022
1½" Temporary Asphalt Binder	Spring/Summer 2022
Landscape Berm with Plantings	NA
Concrete Mountable Curb & Gutter	Summer/Fall 2024
4" Asphalt Pavement	Summer/Fall 2024
Sidewalks/Trails	Summer/Fall 2024

If 80% of the property owners of the subdivision request an earlier timeframe for curb & gutter, asphalt pavement, and sidewalks/trails to be installed, the Village Board may review such request.

B. CURB AND GUTTER The Subdivider hereby agrees:

1. To furnish, construct and install curb and gutter in accordance with the plat, plans, specifications and drawings attached hereto as Exhibit "A" and to complete said installation as set forth in the schedule above.

C. SIDEWALKS The Subdivider hereby agrees:

1. To furnish, construct and install concrete sidewalks in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above. Sidewalks are to be constructed on both sides of the street. Sidewalks are to be installed along all lots at the same time.

D. TRAILS The Subdivider hereby agrees:

1. To furnish, construct and install 2-1/2-inch asphalt 10-foot trail within Outlot 1 in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above. Location of such trail to be approved by the Village.

E. SANITARY SEWER The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete sewerage system throughout the entire subdivision, all in accordance with the plat plans, specifications and drawings *as per the requirements of Darboy Sanitary District and the Standard Specifications Manual for the Village of Harrison.*

2. To install separate sanitary sewer laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
3. The sanitary sewer system will not be accepted until the sanitary sewers have been installed and tested in accordance with *Darboy Sanitary District* specifications on file with the Department of Natural Resources and the Subdivider's plan specifications as approved by *Darboy Sanitary District* and the Village's Engineer.

F. WATER The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete water distribution system throughout the entire subdivision, all in accordance with the plat, plans, specifications and drawings *as per the requirements of Darboy Sanitary District* and the *Standard Specifications Manual* for the Village of Harrison.
2. To install separate water laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
3. The water distribution system will not be accepted until the water distribution system has been installed and tested in accordance with *Darboy Sanitary District* specifications on file with the Department of Natural Resources and Public Service Commission and the Subdivider's plans and specifications approved by the *Darboy Sanitary District* and the Village's Engineer.

G. SURFACE WATER DRAINAGE The Subdivider hereby agrees:

1. To furnish, construct, install and provide adequate facilities for storm and surface water drainage throughout the entire subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village and the Wisconsin Department of Natural Resources (WDNR) Post-Construction Performance Standards.
2. All stormwater management facility construction, including but not limited to, retention/detention ponds, primary drainage swales, and associated piping systems shall be inspected by an on-site inspector designated by the Village, before acceptance by the Village.
3. To install separate storm sewer laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
4. The Village Board will not accept the storm and surface water drainage improvements until the same have been installed and tested in accordance with the Village's specifications and the Subdivider's plans and specifications approved by the Village. The storm water and surface water drainage improvements shall be completed before a release of the performance guarantee specified by this contract.

H. EROSION CONTROL The Subdivider hereby agrees:

1. To install silt fence at the right-of-way line or install erosion matting within the right-of-way along all streets in the **FINAL** plat prior to acceptance of the street(s) in a graveled state. Silt fence or erosion matting to be installed in accordance with the WDNR Technical Standards.

2. Maintain silt fence along the right-of-way line until all land disturbances have been stabilized in accordance with WDNR Technical Standards.
3. Maintain all other erosion control practices for stormwater management facilities, environmental protections, etc., in accordance with WDNR Technical Standards.

I. GRADING The **Subdivider** hereby agrees:

1. To complete rough and fine grading along all primary drainage swales and ditches in the subdivision all in accordance with **FINAL** plat, plans specifications and drawings approved by the Village.
2. To complete rough grading along all property lines to the design grade.
3. To seed and establish a vegetative cover over all disturbed areas.

J. LANDSCAPING RESTORATION The **Subdivider** hereby agrees:

1. To preserve to the maximum extent possible existing trees, shrubbery, vines and grasses not actually lying within public roadways, easements, drainageways, building foundations sites, private driveways, solid absorption waste disposal areas, paths and trails by use of sound conservation practices.
2. To remove and lawfully dispose of all destroyed trees, brush, tree trunks, shrubs and other natural growth and all rubbish.
3. To provide topsoil, seed, fertilizer and mulch for primary drainage swales and ditches and seed fertilizer and mulch for terrace areas in order to provide permanent growth of grass prior to acceptance of the street(s) in a graveled state.
4. To provide a growth of grass and warranty for washouts or other destruction of the drainage plan structures.

K. LANDSCAPE BERMS The **Subdivider** hereby agrees:

1. None are proposed.

L. INSPECTIONS The **Subdivider** hereby agrees:

1. To allow for the Village, or a third party selected by the Village, to inspect all improvements for the purpose of ensuring compliance with the *Standard Specifications Manual* for the Village of Harrison.
2. To pay for all costs associated with the inspection of improvements within the subdivision development. Cost of Village inspections to be billed at the following rates: \$52 per hour for Engineering Technician (Field Inspector), \$59 per hour for Public Works Lead Foreman, and \$69 per hour for Operator, plus actual costs for incidental items, such as equipment, mileage, etc. Costs of third party inspectors to be billed at actual costs to the Village.

M. PAYMENT IN LIEU OF PARKLAND The Subdivider hereby agrees:

1. To pay the Village a fee in lieu of parkland dedication in an amount equal to **\$32,079.60**. Fee in lieu of parkland is based on the following assumptions in the park impact fee and public needs assessment document: \$25,000 per acre of parkland, 6.65-acres of parkland per 1,000 residents, and 2.88 persons per household ($\$25,000 * 6.65 / 1,000 * 2.88 =$ per lot fee). There are 67-lots in Kimberly Heights.

N. STREET LIGHTS The Subdivider hereby agrees:

1. None are proposed.

SECTION II – MISCELLANEOUS REQUIREMENTS

- A. Survey Monuments. The Subdivider hereby agrees to properly place and install all survey or other monuments required by statute and ordinance.
- B. Grade. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner, the final signed plan set showing the finished grade at each lot corner.
- C. Plans. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner all plans and specifications identified in the Land Division Ordinance of the Village of Harrison.
- D. Compliance with Ordinances and Statutes. The Subdivider hereby agrees to comply with the requirements and provisions of all Village ordinances and state statutes.
- E. Record Drawings. The Subdivider agrees to provide the Village with grade sheets, asphalt mix records, and record drawings of the sanitary sewer, water main, storm sewer improvements, and streets showing location of all the appurtenances and features of the systems as required by the Village of Harrison Standard Specifications.
- F. Locations for Laterals or Other Improvements. If locates are necessary for any reason prior to final acceptance, the developer shall either provide adequate record drawings to the Village or the developer shall provide the field locates of utilities (such as laterals).

SECTION III – PUBLIC IMPROVEMENT GUARANTEE

- A. The Village will not sign the final plat until such improvement is guaranteed as listed in A(1).
 1. The Subdivider shall provide an irrevocable letter of credit, or cash escrow, together referred to as Financial Guarantee, of which the Village can draw from, for an amount equal to one hundred twenty percent (120%) of the cost of furnishing, constructing, installing, staking, inspecting and testing the improvement as required by this contract. The amount shall include construction engineering costs, inspection, and shall be subject to final approval by the Village. (Improvements are described in this contract in Section 1 – Part, A, B,

C, D, E, F, G, H, I, J, K, L, M & N hereof) The improvements shall be guaranteed prior to the Village approving the final plat.

The Subdivider shall notify the Village a minimum of ninety (90) days prior to the expiration of the Financial Guarantee. The Subdivider shall cause the Financial Guarantee to automatically renew year after year until released fully by the Village. Failure to notify the Village in writing that the Financial Guarantee will expire will be deemed a violation of this Agreement and the Village Board shall have the authority to draw upon the Financial Guarantee at any time.

That amount of the public improvements, **as provided by the developer's engineer**, and verified by the Village engineer is \$_____.

A detail of the estimated cost shall be attached as Exhibit "B".

- B. The Subdivider shall furnish, construct, install, stake, inspect and test the improvement. The improvement shall be dedicated to and accepted by the Village prior to the Village approving any release of a public improvement guarantee.
- C. The Subdivider hereby agrees to guarantee the improvements described in Section I hereof against defects due to faulty materials or workmanship which appear within a period of two (2) years [or three (3) years if winter construction is utilized] from the date the final course of asphalt has been laid and shall pay for any damages resulting therefrom to Village property. The warranty shall be in the form of a letter of credit, or cash escrow in an amount sufficient, as approved by the Public Works Department and/or Village Engineer, to repair such defect. Repair of such defect shall be determined by the Public Works Department.
- D. As improvements required by this Agreement are completed, approved and accepted by the Village, the Subdivider may request a reduction of the public improvement guarantee based upon a demonstration that there exists no necessity for a guarantee in the full amount as originally required. Reductions in the amount of the public improvement guarantee shall be solely within the discretion of the Village Board and shall be made only upon recommendation by the Public Works Department and Village Engineer.
- E. That the public improvement guarantee provided hereunder shall in all respects require compliance with the land division ordinance and particularly the performance guarantee as required by Article IV entitled "Development Agreements".

SECTION IV – BUILDING PERMITS

- A. The Village will not allow building permits to be issued to any person in the said subdivision until all improvements required herein have been dedicated to and accepted by the Village. The Village will perform no repair, maintenance or snow plowing upon said improvements until full acceptance of the roadways by the Village.
- B. Building permits may be issued by the Village upon all outstanding inspection and plan review fees or charges being paid and dedication acceptance and verification by the Village that the provisions of this Agreement have been complied with.

- C. The Village shall also require verification that all public improvements have been paid for in the form of Lien Waivers from all persons providing materials or performing work on the Public Improvements for which certification is sought, and upon recording of the final plat, provided that the Subdivider has filed a sufficient Financial Guarantee with the Village to cover the cost of remaining items. Should the Subdivider fail to complete any items pursuant to the terms of the contract by the date set forth herein, the Village shall have the right through the Financial Guarantee provided by the Subdivider to complete the said improvement and the Village shall have unrestricted access to the Subdivider's land for said purpose.

- D. Further, in the event that during the construction of the improvements specified herein, it is determined by the Public Works Department, or Village's Engineer, that the Subdivider and/or its subcontractors installing said improvements have created a situation that is hazardous to the public and requires guarding improvement or repair, the Village may access the Subdivider's property for the purpose of making said repairs and any costs associated with the maintenance of roadways, filling of holes, removal of obstructions or other necessary work may be charged against the cash escrow or irrevocable letter of credit. The Public Works Department shall make an effort to notify the Subdivider of the situation. The Public Works Department and the Engineer in their judgment may determine the necessity of the repairs are urgent in nature and complete those repairs without notice to the Subdivider.

SECTION V – AMENDMENTS

The Village Board and Subdivider by mutual consent may amend this Agreement at any regularly scheduled meeting of the Village Board of the Village of Harrison. The Village Board shall not, however, consent to an amendment until after having first received a recommendation from the Public Works Department and/or the Village's Engineer.

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EXHIBIT A

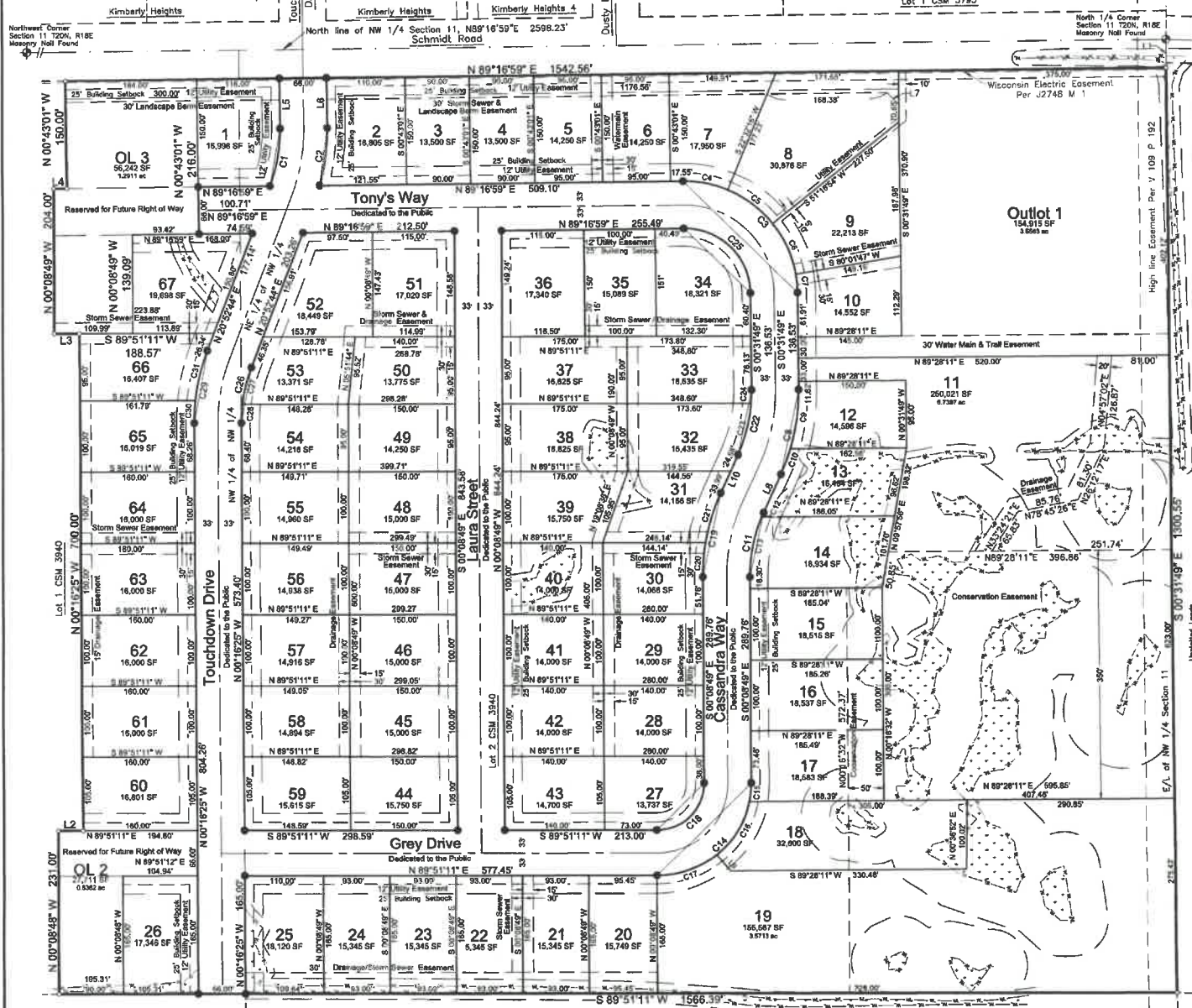
Final Plat, Plans, and Drawings as approved by the Village.

Luniak Meadows

Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin



Bearings are referenced to the North line of the Northwest 1/4, Section 11, T20N, R18E, assumed to bear N89°20'18"E, base on the Calumet County Coordinate System.



LOCATION MAP
NW 1/4 SEC 11, T 20 N, R 18 E,
Village of Harrison, Calumet County, WI

LEGEND
 ○ Rebar Found
 ● 1" x 18" Steel Rebar @ 4.30lbs/LF SET
 * All Other Corners
 * 1" x 18" Steel Rebar @ 1.50lbs/LF SET
 SF Lot Area in Square Feet

LINE TABLE

Line	Bearing	Length
L.1	N 89°21'40"E	49.00'
L.2	N 89°31'11"E	34.80'
L.3	N 89°31'11"E	35.31'
L.4	N 89°31'11"E	18.70'
L.5	N 89°43'51"W	69.80'
L.6	N 89°43'51"W	69.80'
L.7	R 45°00'00"E	22.84'
L.8	N 24°20'42"E	58.87'
L.9	S 39°23'18"E	26.84'
L.10	S 24°20'42"E	58.87'

CURVE TABLE

Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in	Tangent Bearing-out
C1	217.00'	N 10°50'00"E	81.49'	81.54'	31°38'11"	N 20°58'10"E	N 80°43'01"W
C2	293.00'	N 07°50'00"E	80.84'	81.12'	16°29'22"	N 18°42'31"E	N 80°43'01"W
C3	158.00'	S 45°37'25"E	223.81'	248.70'	90°11'12"	S 08°18'00"E	S 00°31'14"E
C4	158.00'	N 79°02'23"E	83.89'	84.13'	23°18'17"	S 08°18'00"E	N 87°27'44"W
C5	158.00'	N 53°08'29"E	78.44'	79.20'	28°44'38"	S 08°18'00"E	N 38°42'00"W
C6	158.00'	N 24°20'42"E	78.49'	78.29'	28°44'53"	N 36°43'00"W	N 00°58'12"W
C7	158.00'	N 09°19'01"W	28.00'	28.02'	8°28'24"	N 09°18'13"W	N 00°58'12"W
C8	283.00'	S 11°42'21"E	121.89'	122.65'	24°22'24"	S 00°31'14"E	S 24°20'42"E
C9	283.00'	N 08°02'14"E	84.32'	84.83'	17°08'06"	N 00°31'14"E	N 18°28'18"E
C10	283.00'	N 20°28'21"E	38.19'	38.22'	7°44'19"	N 18°38'18"E	N 18°28'18"E
C11	217.00'	N 12°05'51"E	82.05'	82.90'	24°29'24"	S 00°00'00"E	S 24°20'42"E
C12	217.00'	S 29°27'39"E	6.89'	6.89'	1°46'00"	S 24°20'42"E	S 22°18'30"E
C13	217.00'	N 11°12'53"E	65.50'	66.00'	22°43'24"	N 02°34'37"E	N 08°18'00"E
C14	133.00'	N 44°51'11"E	188.09'	208.32'	90°00'00"	N 89°51'11"E	N 00°00'00"E
C15	133.00'	N 05°30'34"E	28.09'	28.74'	11°31'08"	N 11°32'17"E	N 00°00'00"E
C16	133.00'	N 30°59'30"E	89.32'	91.00'	30°44'22"	N 50°30'44"E	N 11°32'17"E
C17	133.00'	N 11°12'53"E	89.32'	91.00'	30°44'22"	N 89°51'11"E	N 08°18'00"E
C18	87.00'	N 44°51'11"E	94.75'	106.24'	89°59'37"	N 89°51'11"E	N 00°00'00"E
C19	283.00'	S 12°05'53"E	120.04'	126.99'	24°29'24"	S 24°20'42"E	S 00°00'00"E
C20	283.00'	S 04°47'38"E	48.42'	48.48'	8°48'53"	S 09°40'04"E	S 00°00'00"E
C21	283.00'	S 17°02'02"E	72.29'	73.49'	14°49'31"	S 24°20'42"E	S 09°40'04"E
C22	217.00'	S 11°42'21"E	82.47'	84.20'	24°20'24"	S 00°31'14"E	S 24°20'42"E
C23	217.00'	S 14°24'51"W	74.84'	75.31'	19°33'03"	S 06°27'28"E	S 24°20'42"E
C24	217.00'	S 01°57'48"W	18.89'	18.89'	4°26'11"	S 00°31'14"E	S 04°27'30"E
C25	82.00'	S 48°27'35"E	130.32'	144.51'	90°11'12"	N 09°18'00"E	S 00°31'14"E
C26	217.00'	N 10°18'15"E	75.66'	80.11'	21°09'00"	N 00°18'20"E	N 20°58'10"E
C27	217.00'	N 13°49'22"E	33.31'	33.45'	14°08'02"	N 00°18'20"E	N 20°58'10"E
C28	217.00'	N 03°14'48"E	26.85'	26.87'	7°02'20"	N 00°18'20"E	N 00°00'00"E
C29	283.00'	N 19°18'18"E	103.89'	108.48'	21°09'00"	N 00°18'20"E	N 20°58'10"E
C30	283.00'	N 02°58'48"E	31.80'	31.81'	6°26'27"	N 00°18'20"E	N 00°18'20"E
C31	283.00'	N 13°31'27"E	72.47'	72.87'	14°42'43"	N 06°10'02"E	N 20°58'10"E

WISCONSIN
 JAMES R. SCHLOFF
 S 2852
 JAMES R. SCHLOFF PLS. SURVEYOR
 28 MAR 2022
 Date

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
 Certified _____ 20____
 Department of Administration

File: 6614Final.dwg
 Date: 03/29/2022
 Drafted By: Jim
 Sheet: 1 of 2
 Revision Date: Mar 26, 2022

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1184 Province Terrace, Menasha, WI 54952
 Tel: 920-991-1988 Fax: 920-441-0064
 www.davelpro.com

Luniak Meadows

Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

Surveyor's Certificate

I, James R. Sehoff, professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Harrison, and under the direction of Dercks Dewitt II, LLC, owner of said land, I have surveyed divided and mapped Luniak Meadows; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 1,995,811 Square Feet (45.7670 Acres) of land, subject to all easements and restrictions of record.

Given under my hand this 28 day of March, 2022.



James R. Sehoff, Wisconsin Professional Land Surveyor No. S-2682

Owner's Certificate

Dercks Dewitt II, LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Dercks Dewitt II, LLC, does further certify this plat is required by s.238.10 or s.238.12 to be submitted to the following for approval or objection:

Village of Harrison Planning and Zoning Committee
Calumet County Resource Department
Department of Administration

IN WITNESS WHEREOF, the said Dercks Dewitt II, LLC, has caused these presents to

be signed by its authorized representatives, located at _____, Wisconsin

this _____ day of _____, 20____.

In the Presence of: Dercks Dewitt II, LLC

Tom Dercks, President

State of Wisconsin) ss
_____ County)

Personally came before me this _____ day of _____, 20____, the above named to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin My commission expires: _____

Village Board Approval Certificate

Resolved, that the plat of Luniak Meadows in the Village of Harrison, Calumet County, Dercks Dewitt II, LLC, is hereby approved by the Village Board of the Village of Harrison.

Chairman Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Harrison

Clerk Date

Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurer of the Village of Harrison and Calumet County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

Village Treasurer Date

County Treasurer Date

Utility Easement Provisions

An easement for electric, natural gas, public utilities and communications services is hereby granted by

Dercks Dewitt II, LLC, grantor

to:

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee,
SIC, Grantee,
Darby Sanitary District, Grantee
Village of Harrison, Grantee
and
Time Warner Cable, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantee agrees to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantee or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantee's facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantee.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Dercks Dewitt II, LLC

Dercks Dewitt II, LLC Date
Tom Dercks, Managing Member

Mortgagee's Certificate

Bank of Kaukauna, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and does hereby consent to the above certificate of Dercks Dewitt II, LLC, owner.

IN WITNESS WHEREOF, the said Bank of Kaukauna has caused these presents to be signed by

_____, its President, and countersigned by _____

_____, its Secretary or Cashier, at _____, Wisconsin, and its corporate seal

to be hereto affixed this _____ day of _____, 20____.

President Date

Secretary or Cashier Date

State of Wisconsin)

_____ County) ss

Personally came before me this _____ day of _____, 20____, President,

and _____ Secretary (cashier) of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such President and Secretary (cashier) of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public, Wisconsin My Commission Expires _____

Village Notes:

- There are Ordinance regulations that have been passed by the Village of Harrison requiring the maintenance of lot drainage plans on a permanent basis. Said regulations have been recorded as Document Number 331466, Calumet County Register of Deeds and shall apply to all subdivisions approved after the 1st day of May, 2001. Said recording shall have the effect of deed restrictions requiring that permanent easements be established in conformance with the lot drainage plan elevations within one year after initial occupancy of any house. Failure to maintain grades in accordance with storm water or drainage plans shall entitle the Village or representative thereof to direct compliance or upon failure of compliance to make said lands come into compliance. The costs and expenses shall be entered on the tax roll as a special charge against the property and collected with other taxes levied thereon.
- Building permits and occupancy permits may be withheld for non-compliance with the plat or Village Ordinances relating to drainage and storm water management.
- In the event that the surface drainage facilities required by the plat which are applicable to the lot for which a building permit has been applied, have not been completed with, the building inspector may withhold building permits required by the building code.
- In the event that, after construction there is a failure to establish surface grades in accordance with the subdivision surface water plan, the building inspector may withhold the occupancy permit required by the building code.
- Maintenance of all drainageways and associated structures within the plat or serving the plat is the sole responsibility of the Owner/Subdivider until acceptance by or dedication to the Village of Harrison. After said acceptance please refer to Note 9 for responsibility of owner for maintenance, restrictions and related cost of all Drainage Easements.
- Where the final drainage plan requires a storm inlet to adequately drain the rear portion of lots within blocks of the plat, the subdivider shall incorporate restrictive covenants in the deeds for the aforementioned lots that, "The respective lot owners shall be responsible for maintaining a clean grate on any storm drainage inlets on their lot."
- Upon failure of the Owner/Subdivider to perform maintenance of the drainageways and associated structures, the Village of Harrison retains the right to perform maintenance and/or repairs. The payments of said maintenance and/or repairs shall be equally assessed among the property owners of the plat.
- Pursuant to the Village of Harrison Subdivision Improvements Policy, the developer and/or owner shall comply with the approved Drainage and Grading Plan as submitted to the Village of Harrison.

Drainage Easement Notes:

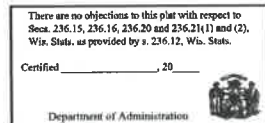
- All lands within areas labeled "Drainage Easement" are reserved for stormwater collection, conveyance, treatment, or infiltration. No buildings, fences, parking areas and landscaping or other structures are allowed in these areas. No grading or filling is allowed in these areas that may interrupt stormwater flows in any way.
- Any improvement shall be allowed only by special exemption of the Village of Harrison Planner.
- Landscaping/plantings shall be restricted to ground cover.
- If Drainage Easements are not adequately maintained, the Village of Harrison may levy the cost and expenses of such inspections, maintenance, and/or repair related actions as a special charge against the property and collected as such in accordance with the procedures under Wis. Stats. 65.0527.
- There shall be no lower exposed openings on lots containing a drainage easement. Any egress windows will require a window well with a top elevation consistent with the top of the house foundation elevation.
- The right of way along Schmidt Road adjacent to Lot 1 through Lot 8 is access restricted. No ingress or egress will be allowed between for said lot and Schmidt Road.
- The right of way along Touchdown Drive adjacent to Lot 1 and Lot 2 is access restricted. No ingress or egress will be allowed between for said lot and Touchdown Drive.

Conservation Easement Note

A conservation easement is located on Lots 11, 15-18. The easement is for the preservation of existing woods located within the boundary of the easement. Any filling, grading, planting, or construction of any structure is strictly prohibited within the easement. Only removal of dead and/or diseased trees are allowed.

This Final Plat is contained wholly within the property described in the following recorded instruments:

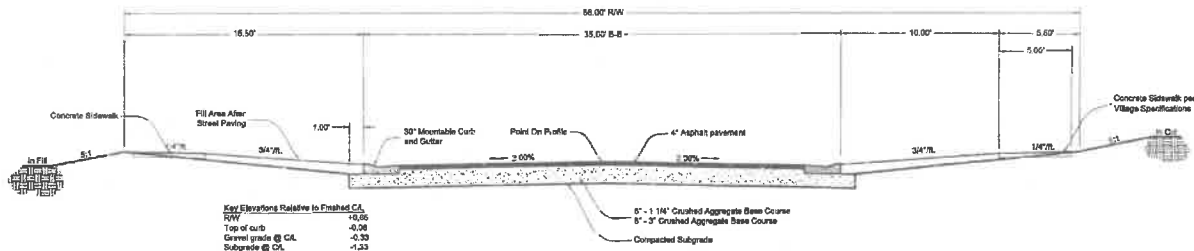
the property owner of record: Dercks Dewitt II, LLC
Recording Information: Doc No. 584601
Parcel Number(s): 33138



Revision Date: Feb 04, 2022
File: 6614Final.dwg
Date: 02/04/2022
Drawn By: Jim
Sheet: 2 of 2



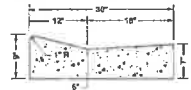
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-901-1850 Fax: 920-441-0804
www.davel.pro



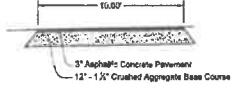
Key Elevations Relative to Finished C.A.

100'	+6.00
Top of curb	+0.00
Gravel grade @ C/L	-0.30
Subgrade @ C/L	-1.33

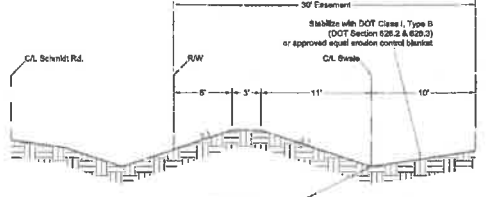
TYPICAL STREET SECTION



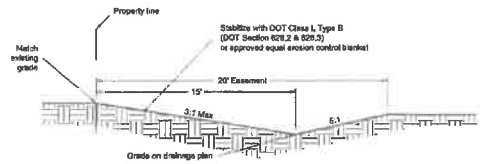
30" MOUNTABLE CURB



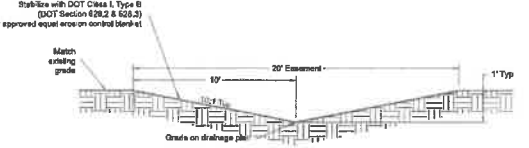
WALKING TRAIL



TYPICAL DRAINAGE SWALE SECTION
Lots 1-8



TYPICAL DRAINAGE SWALE SECTION
Lots 20, 41-44, 59-60



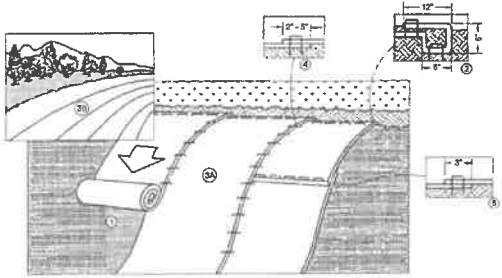
TYPICAL DRAINAGE SWALE SECTION

2/7/2022, 3:08 PM A:\Projects\1811\1811\1811.dwg
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1184 Province Terrace, Menasha, WI 54952
 PH: 920.939.1000 FAX: 920.939.1001
 www.davel.com

CONSTRUCTION DETAILS

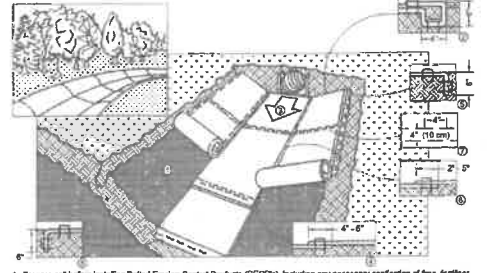
Luniak Meadows
 Village of Harrison, Calumet County, WI
 For: Dericks DeWitt, LLC

02/2/2022
 Project: 6614Engr.dwg
 Author: JRD
 User: eric
 Plot: 2.1

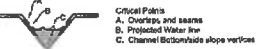


- Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
- When using cell-seed do not seed prepared area. Cell-seed must be installed with paper side down.
- Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 8" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the upslope portion of the trench. Anchor the RECP's with a row of staples/staples approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/staples spaced approximately 12" (30 cm) apart across the width of the RECP's.
- Final the RECP's (A.) down or (B.) horizontally across the slope. RECP's will anchor with appropriate side staples to the soil surface. All RECP's must be securely fastened to soil surface by placing staples/staples in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/staples should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
- The edges of parallel RECP's must be stapled with approximately 2" - 6" (5 cm - 12.5 cm) overlap depending on RECP's type.
- Continuous RECP's applied down the slope must be placed end over end (staple side) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.
- Note: In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly secure the RECP's.
- Detail provided by North American Green (www.nagreen.com)
- Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring sites and pattern is to be installed per manufacturer specifications for days having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B mulch mat in accordance with all manufacturer specifications.

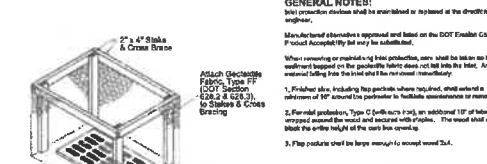
EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION
DNR TECHNICAL STANDARD 1052



- Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
- When using cell-seed do not seed prepared area. Cell-seed must be installed with paper side down.
- Begin at the top of the channel by anchoring the RECP's in a 6" (15 cm) deep x 8" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the upslope portion of the trench. Anchor the RECP's with a row of staples/staples approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/staples spaced approximately 12" (30 cm) across the width of the RECP's.
- Final center RECP's in direction of water flow in bottom of channel. RECP's will anchor with appropriate side staples to the soil surface. All RECP's must be securely fastened to soil surface by placing staples/staples in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/staples should be placed through each of the colored dots corresponding to the appropriate staple pattern.
- Place continuous RECP's and overlap (single style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECP's.
- Full length edge of RECP's at top of slope must be anchored with a row of staples/staples approximately 12" (30 cm) apart in a 6" (15 cm) deep x 8" (15 cm) wide trench. Backfill and compact the trench after stapling.
- Adjust RECP's must be overlapped approximately 2" - 6" (5 cm - 12.5 cm) (depending on RECP's type) and stapled.
- In high flow channel applications a single check slot is recommended at 30 to 60 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.
- The terminal end of the RECP's must be anchored with a row of staples/staples, approximately 12" (30 cm) apart in a 6" (15 cm) deep x 8" (15 cm) wide trench. Backfill and compact the trench after stapling.
- Note: In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.
- Detail provided by North American Green (www.nagreen.com)



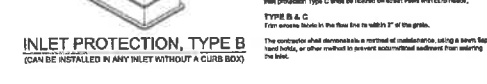
EROSION MAT CHANNEL INSTALLATION
DNR TECHNICAL STANDARD 1053



- GENERAL NOTES:**
Inlet protection devices shall be maintained or replaced at the discretion of the engineer.
Manufacturer's drawings approved and listed on the DOT Erosion Control Product Acceptability list may be substituted.
When removing or installing inlet protection, care shall be taken to keep the roadway surface on the geotextile fabric clean and free from debris. Any material falling into the inlet shall be removed immediately.
1. Preheader slots, including two geotextile strips per slot, shall be installed in a minimum of 18" around the perimeter to facilitate maintenance or removal.
2. For inlet protection, Type C (with back flow), an additional 18" of fabric is required around the inlet and secured with staples. The material shall not block the entire height of the curb face opening.
3. Flag poles shall be large enough to accept wind load.



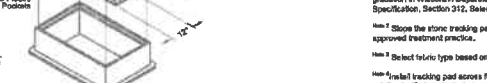
- INSTALLATION NOTES:**
Inlet protection, Type A shall be offset around field slope parallel to the bottom of the curb face to a minimum of 12" from the curb face.
Inlet protection, Type B shall be offset on steep slopes without curb leads, using manufacturer's instructions to place.
Inlet protection, Type C shall be offset on steep slopes with curb leads.
TYPE B & C
For access holes in the flow line to within 7" of the grate.
The contractor shall demonstrate a method of maintenance, using a lawn mower, hand tool, or other method to prevent sediment buildup from blocking the inlet.



- INSTALLATION NOTES:**
Do not install inlet protection with a back-slope greater than 30°, measured from the bottom of the inlet to the top of the curb.
Top access fabric in the flow line to within 7" of the grate.
The inletted log shall have a minimum side clearance between the inlet walls and the top member of the bottom of the inlet flow line of 2". Where necessary, the contractor shall install the inletting plastic toe box to achieve the 2" clearance. The toe shall be placed at a minimum of 6" from the bottom of the base.



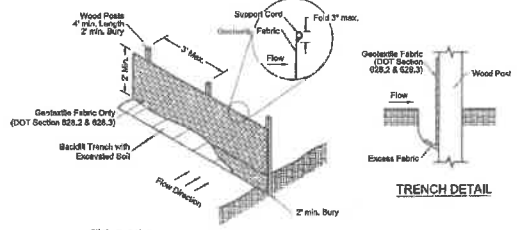
- INSTALLATION NOTES:**
Use hand, durable, angular stone or recycled concrete meeting the gradation in Table 1. Where this gradation is not available, meet the gradation in Wisconsin Department of Transportation (DOT) 2018 Standard Specification, Section 312, Select Crushed Material.
Stone tracking pad in a manner to direct runoff to an approved treatment practice.
Select fabric type based on soil conditions and vehicle loading.
Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated access lane at least 12 inch wide across the top of the pad.
If a 60" pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.



- INSTALLATION NOTES:**
Do not install inlet protection with a back-slope greater than 30°, measured from the bottom of the inlet to the top of the curb.
Top access fabric in the flow line to within 7" of the grate.
The contractor shall demonstrate a method of maintenance, using a lawn mower, hand tool, or other method to prevent sediment buildup from blocking the inlet.

TABLE 1: GRADATION FOR STONE TRACKING PADS

Stone Size	Percent by weight passing
100	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-30
30"	0-6

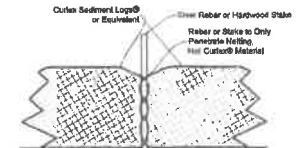


- BILL OF MATERIALS:**
- Detail of construction not shown on this drawing shall conform to criteria set by authorities having jurisdiction and by DOT Technical Standard 1055.
 - When possible, the fabric should be constructed in an arc or horseshoe shape with the ends pointing up slope to maximize both strength and effectiveness.
 - Attach the fabric to the poles with wire staples or wooden iron and nails.
 - 6" O.D. post spacing above the woven geotextile fabric is used.
 - Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold remains to fit trench and backfill and compact trench with excavated soil.
 - Geotextile fabric shall be reinforced with an individual polypropylene netting with a maximum mesh spacing of 32" or equal. A heavy-duty nylon top support chord or equivalent is required.
 - Steel poles shall be standard "tee" or "I" type with a minimum weight of 150 lb/linear foot (without anchor). Pin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood poles for geotextile fabric netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

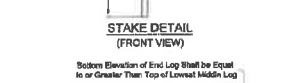
SILT FENCE INSTALLATION
DNR TECHNICAL STANDARD 1056



STAKE DETAILS (NO TRENCH)



- NOTE:**
Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and length.



- NOTE:**
Sediment log shall have a minimum side clearance between the inlet walls and the top member of the bottom of the inlet flow line of 2". Where necessary, the contractor shall install the inletting plastic toe box to achieve the 2" clearance. The toe shall be placed at a minimum of 6" from the bottom of the base.



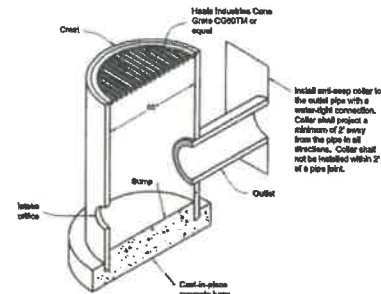
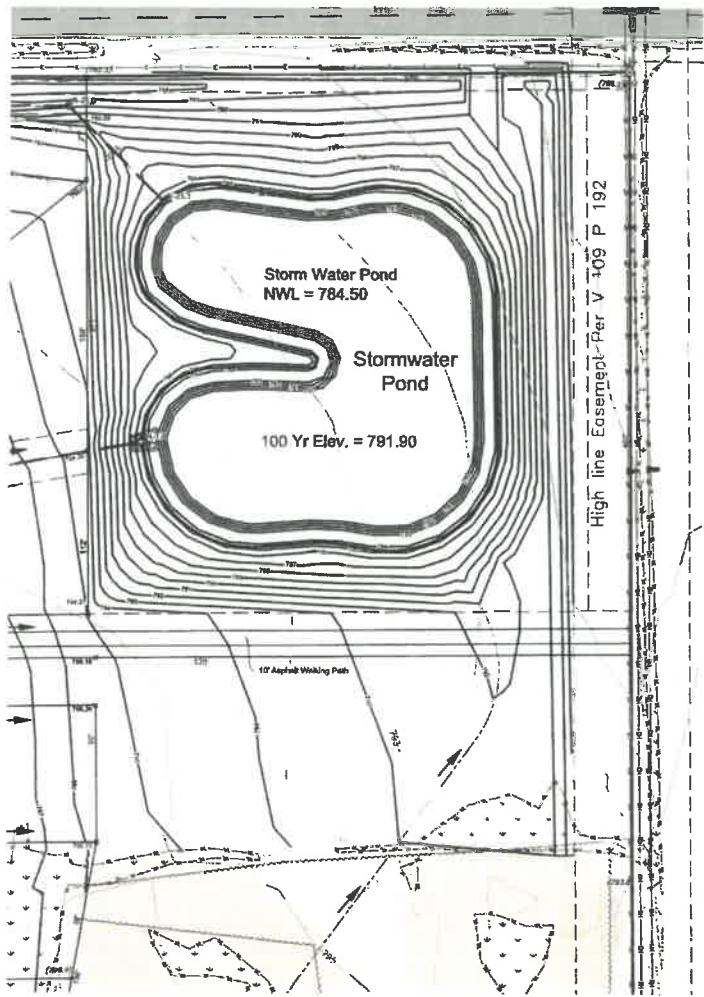
- NOTE:**
Sediment log shall have a minimum side clearance between the inlet walls and the top member of the bottom of the inlet flow line of 2". Where necessary, the contractor shall install the inletting plastic toe box to achieve the 2" clearance. The toe shall be placed at a minimum of 6" from the bottom of the base.

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Phoenix Terrace, Menasha, WI 54952
PH: 920.931.1887 Fax: 920.941.5861
www.davel.com

EROSION & SEDIMENT CONTROL DETAILS

Luniak Meadows
Village of Harrison, Calumet County, WI
For: Derckis DeWitt, LLC

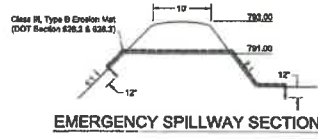
12/8/2021
Filename: 6614Engr.dwg
Author: JRD
Last Modified: ky/le
Page: 2-3



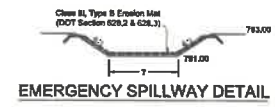
STAND PIPE DETAIL

Outlet	30
Stand, In	784.00
Stand, Top	0.54
Inlet Office	8
Stand, In	784.5
Stand, Top	785.0
Stand, Invert	791.5
Stand, Invert	790.5

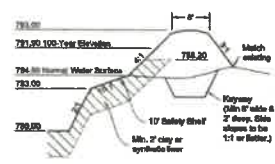
(Reduce to 3 1/2" for Sediment Control during construction)



EMERGENCY SPILLWAY SECTION



EMERGENCY SPILLWAY DETAIL



TYPICAL EMBANKMENT SECTION

Pond Notes:

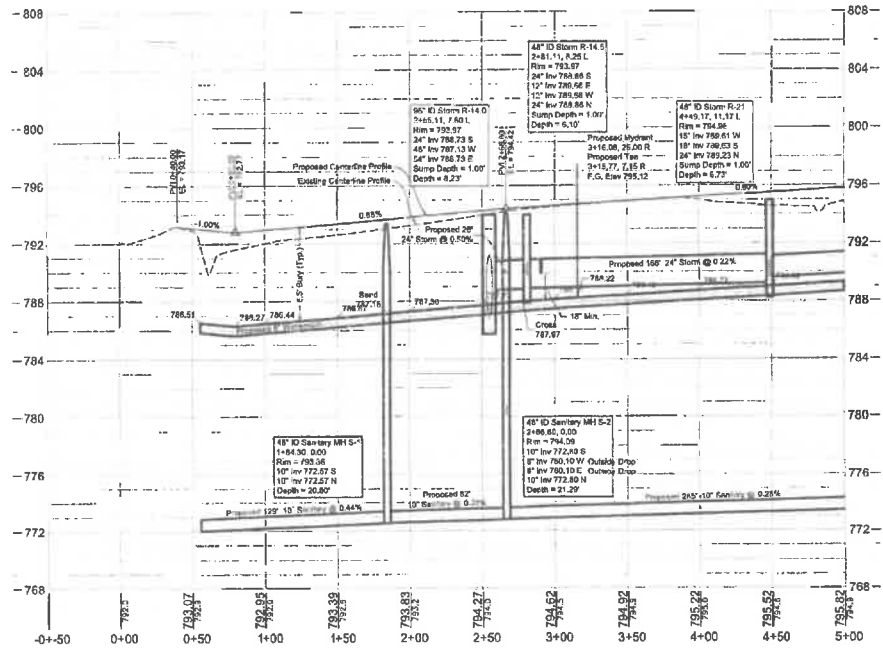
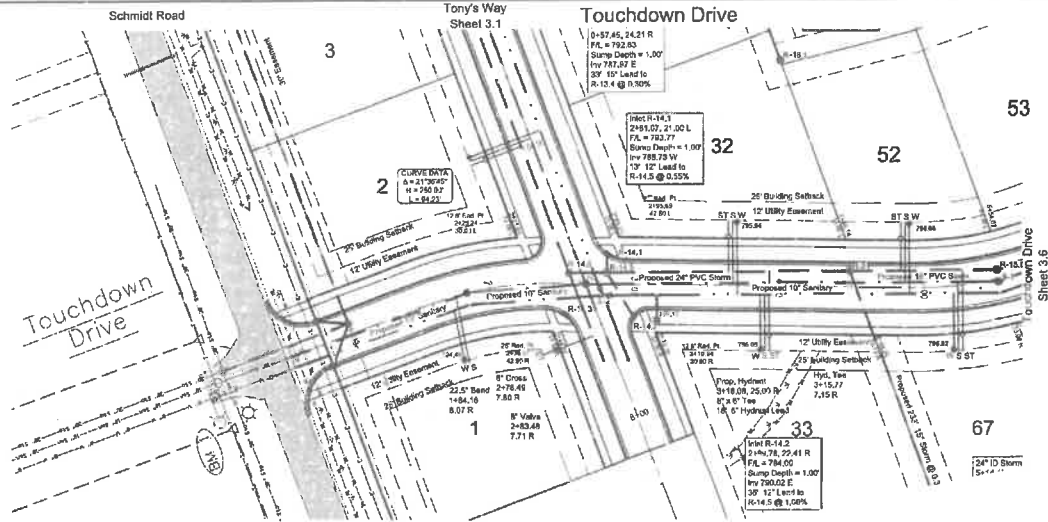
- The base of the embankment shall be stripped of all vegetation, stumps, roots and other matter. Striping shall be to a minimum of 8 inches.
 - Embankments shall be constructed with non-organic soils and compacted to 90% standard proctor according to the procedures outlined in ASTM D-1586. No tree stumps, or other organic material shall be buried in the embankment. The constructed embankment height shall be increased a minimum of 2% to account for settling.
 - All dips extending through the embankment shall be bedded and backfilled with embankment or equivalent soils. The bedding and backfill shall be compacted in lifts and to the same standard as the original embankment. Excavation through a completed embankment shall have a side slope of 1:1 or better.
 - Topsoil shall be spread on all disturbed areas, except for elevations below the safety shelf, as work is completed. The minimum depth of topsoil shall be 4 inches.
 - All areas disturbed by pond construction shall be seeded as work is completed. Final side slopes above permanent pool shall be temporarily seeded with annual ryegrass or oats immediately after pond is "roughed in." This will require frequent applications. Slopes steeper than 10:1 but less than 4:1 will require properly anchored mulch in accordance with Section 627.1 of the DOT Standard Specifications for Highway and Structure Construction, DOT Class I, Type B erosion mat will be required on slopes steeper than 4:1 (Section 628.2 & 628.3).
 - Stumps at all blow points shall extend a minimum of 11 vertical inches below the permanent pool. (Section 600.2 & 600.3).
 - Any rock encountered shall be excavated to a depth two feet deeper than the proposed pond grade.
 - The sand shall be constructed with a Type B Liner with the following WDRR specifications (Min. Detention Pond Technical Standard 1001). Liner: Induric, Clay, High Density Polyethylene (HDPE), Polyethylene Pond Liner (PEL) or any liner satisfying Type A Liner criteria.
- Clay liner specifications are as follows:
- 80% fines (200 sieve) or more;
 - Hydraulic conductivity of 1×10^{-6} cm/sec or less;
 - Average liquid limit of 18 or greater, with no value less than 14;
 - Average PI of 7 or more, with no value less than 6;
 - Clay distribution and documentation as specified in NRCS Wisconsin Construction Specification 204, Earth for Waste Storage Facilities;
 - Minimum thickness of 2 feet;
 - 12-inch soils must be above requirements of the specification for a Type B Clay Liner, including a minimum saturated hydraulic conductivity of 1×10^{-6} cm/sec to a depth of 4 feet below the pond bottom. The 12-inch soils then satisfy the pond liner requirements.
- HDPE liner specifications are as follows:
- Minimum thickness of 60 mils;
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard;
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geosynthetic Liner;
- PPL liner specifications are as follows:
- Minimum thickness of 30 mils;
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard;
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geosynthetic Liner;
- All lines must extend above the permanent pool up to the elevation of the 2-year, 24-hour rainfall event.
 - Any pond fountain oreration device shall comply with conditions of DNR Technical Standard 1001 Section V.8.2.2.



STORMWATER POND
DETAIL

Luniat Meadows
Village of Harrison, Calumet County, WI
For: Darci DeWitt, LLC

Date:	02/22/2022
Filename:	6614Engr.dwg
Author:	JRD
Plot Date:	eric
Page:	2.4



NOTES:
 SCALE STATIONING BY TO BACK OF CURB.
 1.5' ± - PROPOSED GRADE
 DIMENSIONS ARE INCLUDED IN CURVE LENGTH

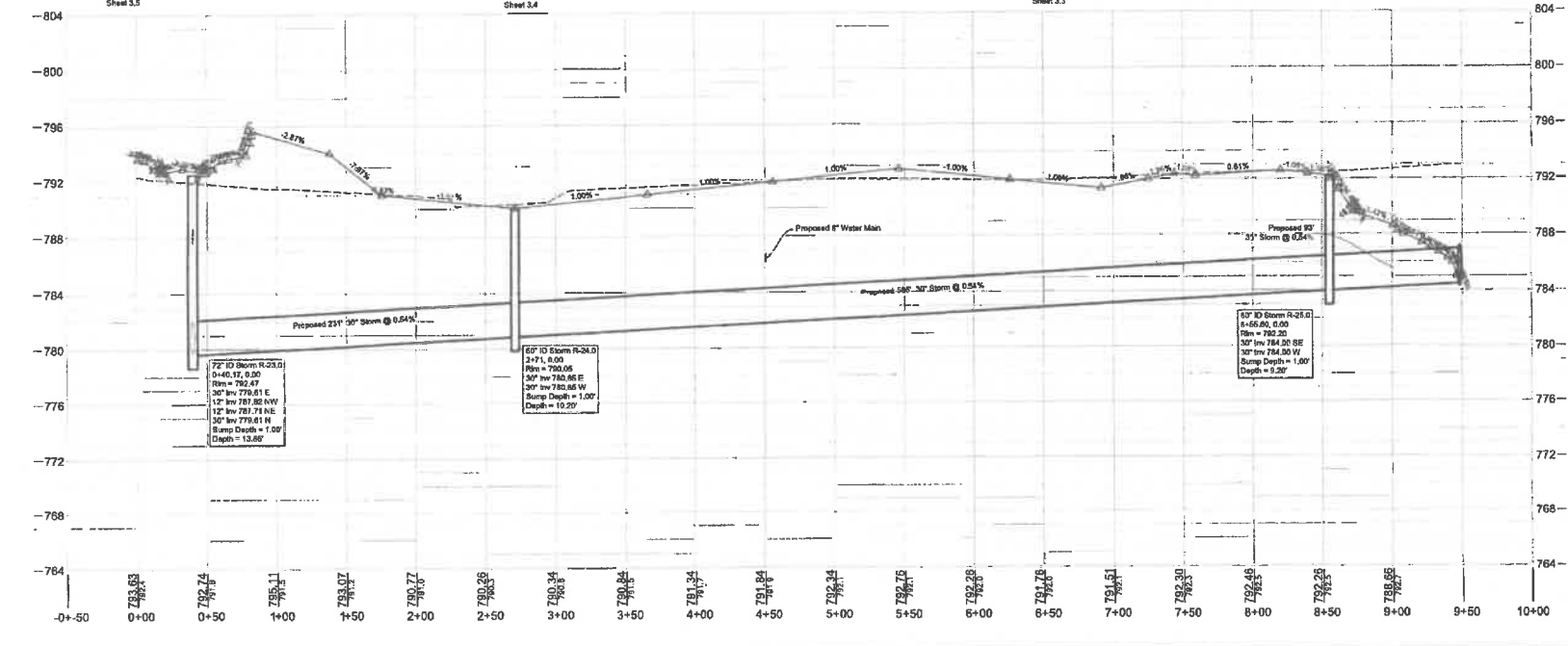
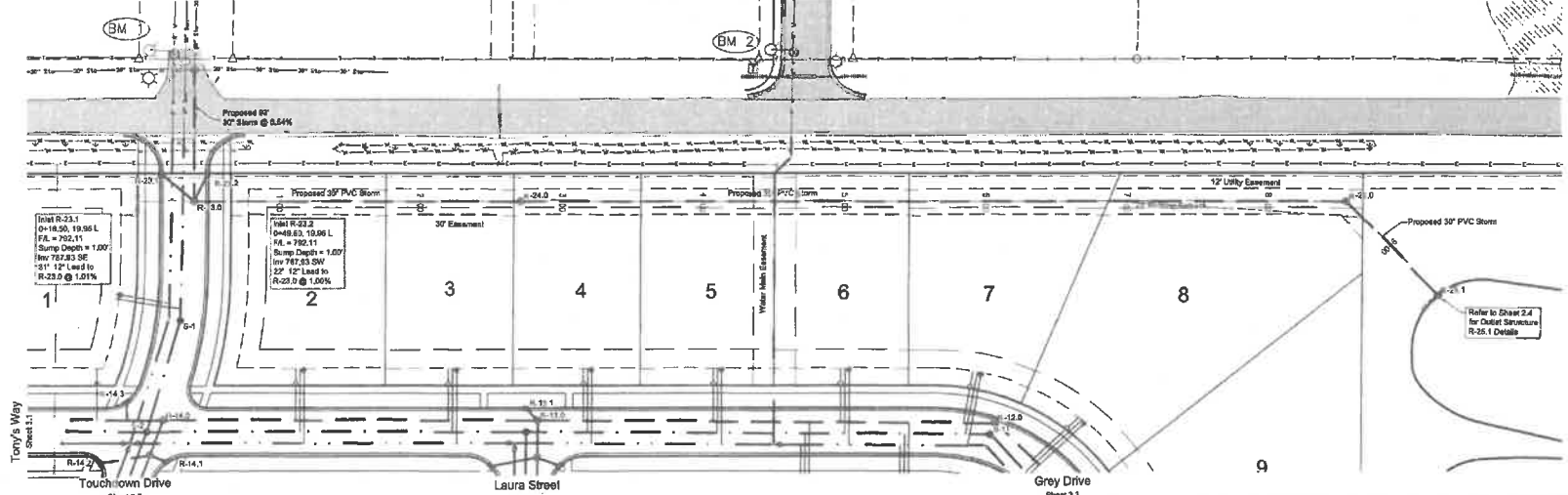
- LEGEND**
- Proposed Storm Sewer
 - Proposed Sanitary Sewer
 - Proposed Water Main
 - Proposed Culvert
 - Proposed Sewer Catch
 - Proposed Sanitary Manhole
 - Proposed Storm Manhole
 - Proposed Catchment
 - Proposed Easement
 - Proposed Hydrant
 - Proposed Valve
 - Proposed Yaw
 - Proposed Crest
 - Proposed Bend
 - Proposed Siphon
 - Proposed Plug



Luniak Meadows
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC
IMPROVEMENT PLANS
 Touchdown Drive
 Sta 0+00 to 5+00

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1106 Providence Terrace, Wausau, WI 54982
 P: 715.833.1111
 F: 715.833.1111
 www.davel.com

Storm Sewer Easement



NOTES:
 1. RADAR STATIONING IS TO BACK OF CURB
 2. ±4.18 = PROPOSED GRADE
 3. FIREWALLS ARE INCLUDED IN CULVERT LENGTH

- LEGEND**
- Proposed Storm Sewer
 - Proposed Sanitary Sewer
 - Proposed Water Main
 - Proposed Culvert
 - Proposed Sewer Drop
 - Proposed Sanitary Manhole
 - Proposed Storm Manhole
 - Proposed Catch Basin
 - Proposed Catch Basin/Manhole
 - Proposed Valve
 - Proposed Tee
 - Proposed Clean
 - Proposed Bend
 - Proposed Sucker
 - Proposed Plug



Luniki Meadows
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC
IMPROVEMENT PLANS
 Storm Sewer Easement
 Sta 0+00 to 9+43.80

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1111 W. Wisconsin Ave., Suite 100
 Waukegan, IL 60087
 Tel: 847.933.1100 Fax: 847.933.1101
 www.daveleng.com

EXHIBIT B

Engineer's Cost Estimate for Improvements.

EXHIBIT C

Financial Guarantee.

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Meeting Date:

April 26, 2022

Title:

Final Plat – Luniak Meadows

Issue:

Should the Village Board approve the Final Plat of the Luniak Meadows subdivision?

Background and Additional Information:

The applicant is proposing a 67-lot and 3-outlot final plat for a new subdivision called Luniak Meadows. The subdivision is located south of Schmidt Road, east of County Road N. The property is currently zoned Single-Family Residential (Suburban) [RS-1].

The subdivision is proposed to have roadway access to Schmidt Road via extension of Touchdown Drive from the north. All roadways are proposed to be dedicated to the public at a width of 66-feet for the right-of-way. Lots are generally 15,000 square feet in area, the corner lots are generally 17,000 square feet. A few proposed lots, along the curves and adjacent to the wooded area in the southeast part of the property, are larger.

Sewer and water will be extended through the subdivision. Stormwater management will be accommodated in a stormwater pond located on Outlot 1. Outlot 2 & 3 are reserved for future development.

The final plat is consistent with the preliminary plat.

Recommended Action:

The Plan Commission recommends approval of the Final Plat for Luniak Meadows with the following conditions:

1. All review comments from the Village staff shall be included in the Plan Commission discussion and decision.
2. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
3. All lots shall have a storm sewer lateral provided for sump pump discharge.
4. All drainageways, drainage easement, and associated infrastructure shall be installed, graded and seeded prior to roadway acceptance.
5. All utilities, including but not limited to, sanitary sewer, water, storm sewer, gas, electric, cable, phone, shall be installed prior to roadway acceptance.
6. The Village Board shall accept the roadway in a “graveled state”, with a temporary asphalt binder, prior to issuance of building permits and zoning permits.
7. All final improvements, including but not limited to, curb & gutter, asphalt paving, sidewalks, and trails shall be installed prior to issuance of building permits or zoning

permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.

8. If applicable, wetland determinations and/or studies shall be provided to the Village.
9. Benchmarks shall be established on all hydrant tag bolts.
10. Grading/Drainage Plan shall identify elevations of ground at the foundation.

Attachments:

- Aerial Map
- Final Plat

Aerial Map

Village of Harrison

Calumet & Outagamie Counties, WI



Legend

RoadCenterline

- Local Roads
- County Highway
- State Highway
- US Highway
- RailRoads
- Streams
- ▭ Town of Harrison
- ▭ Parcels

* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

This map was created by:
Village of Harrison
WS298 Hwy 114
Harrison, WI 54952
920-989-1082

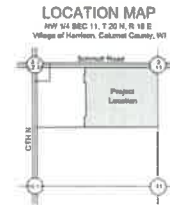
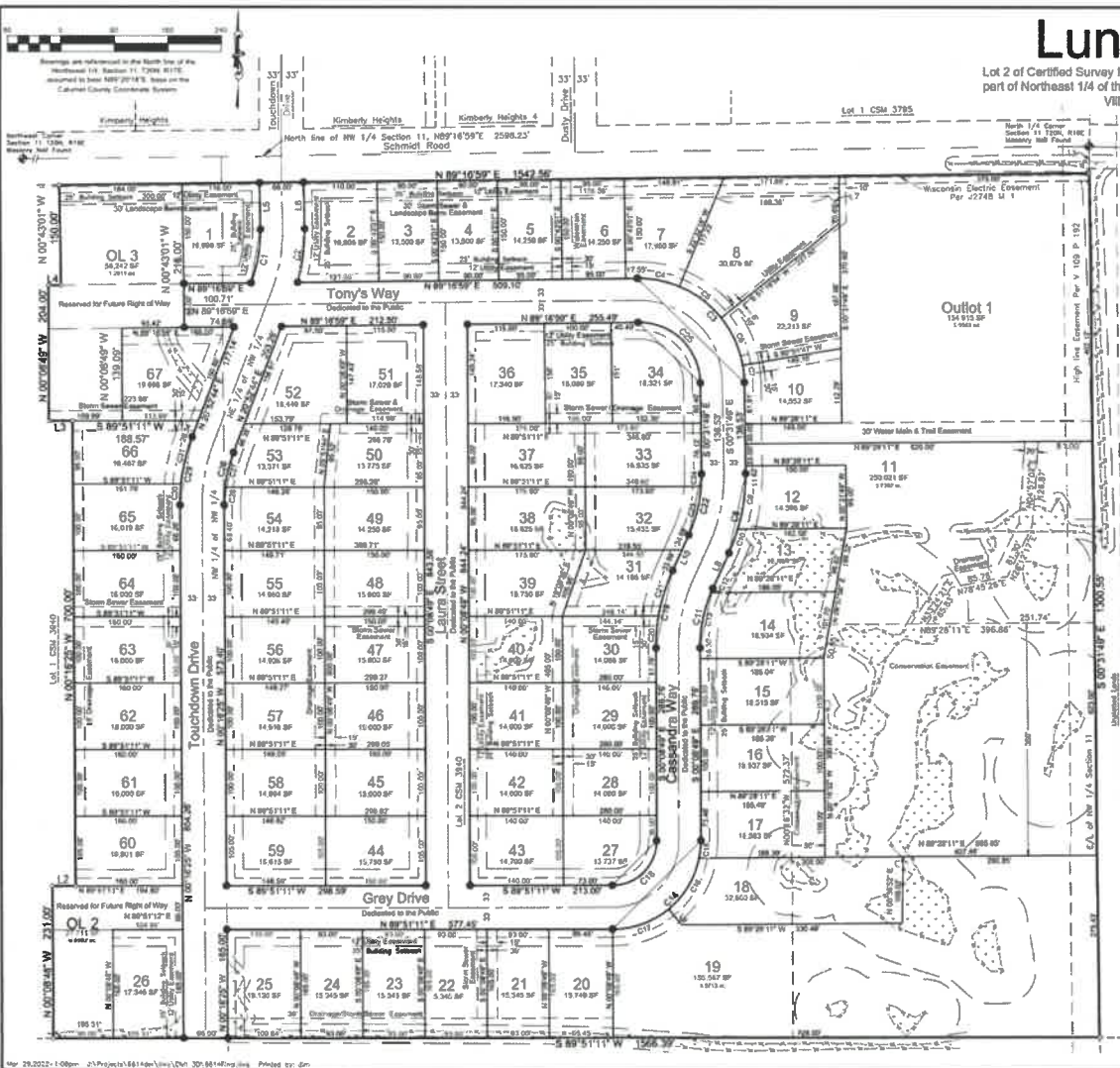


Adopted: July 27, 2010
Effective: November 1, 2010
Current as of: August 31, 2021

Disclaimer:
This map was created using data obtained from Calumet County.
This map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not guarantee the accuracy, current status, or completeness of the material contained herein and is not responsible for any misuse or misrepresentation of this information or its derivatives. In no event shall Calumet County or the Town of Harrison become liable to users of this data for any loss arising from the use or reliance of these maps and data.
The far parcel data is compiled from official records, including survey plats and deeds, but only contains the information required for Calumet County business. Original recorded source documents located in the county courthouse should be used for legal or survey purposes.
Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.

Luniak Meadows

Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin



LEGEND

- Right of Way
- 1" = 10' Steel Rebar @ 4.00m x 1.625
- 1" = 10' Steel Rebar @ 1.00m x 1.625
- SF Lot Area in Square Feet

LINE TABLE

Line	Beamp	Length
L1	1" x 10' x 1.625	48.00
L2	1" x 10' x 1.625	34.00
L3	1" x 10' x 1.625	30.31
L4	1" x 10' x 1.625	14.74
L5	1" x 10' x 1.625	60.00
L6	1" x 10' x 1.625	60.00
L7	1" x 10' x 1.625	22.00
L8	1" x 10' x 1.625	16.00
L9	1" x 10' x 1.625	60.00
L10	1" x 10' x 1.625	60.00

CURVE TABLE

Curve	Radius	Chord Distance	Chord Length	Area of Sector	Chord Angle	Subtense	Subtense Distance	Tangent Distance
C1	217.00	14.0000	14.0000	14.0000	3.6030	14.0000	14.0000	14.0000
C2	200.00	14.0000	14.0000	14.0000	3.9479	14.0000	14.0000	14.0000
C3	140.00	14.0000	14.0000	14.0000	5.7296	14.0000	14.0000	14.0000
C4	100.00	14.0000	14.0000	14.0000	7.9902	14.0000	14.0000	14.0000
C5	80.00	14.0000	14.0000	14.0000	9.9348	14.0000	14.0000	14.0000
C6	60.00	14.0000	14.0000	14.0000	11.6619	14.0000	14.0000	14.0000
C7	40.00	14.0000	14.0000	14.0000	15.7080	14.0000	14.0000	14.0000
C8	30.00	14.0000	14.0000	14.0000	19.1062	14.0000	14.0000	14.0000
C9	20.00	14.0000	14.0000	14.0000	21.9911	14.0000	14.0000	14.0000
C10	15.00	14.0000	14.0000	14.0000	24.8690	14.0000	14.0000	14.0000
C11	10.00	14.0000	14.0000	14.0000	27.7347	14.0000	14.0000	14.0000
C12	7.50	14.0000	14.0000	14.0000	30.5922	14.0000	14.0000	14.0000
C13	5.00	14.0000	14.0000	14.0000	33.4445	14.0000	14.0000	14.0000
C14	3.00	14.0000	14.0000	14.0000	36.2947	14.0000	14.0000	14.0000
C15	2.00	14.0000	14.0000	14.0000	39.1448	14.0000	14.0000	14.0000
C16	1.50	14.0000	14.0000	14.0000	41.9950	14.0000	14.0000	14.0000
C17	1.00	14.0000	14.0000	14.0000	44.8463	14.0000	14.0000	14.0000
C18	0.75	14.0000	14.0000	14.0000	47.6987	14.0000	14.0000	14.0000
C19	0.50	14.0000	14.0000	14.0000	50.5532	14.0000	14.0000	14.0000
C20	0.30	14.0000	14.0000	14.0000	53.4097	14.0000	14.0000	14.0000
C21	0.20	14.0000	14.0000	14.0000	56.2682	14.0000	14.0000	14.0000
C22	0.15	14.0000	14.0000	14.0000	59.1287	14.0000	14.0000	14.0000
C23	0.10	14.0000	14.0000	14.0000	61.9912	14.0000	14.0000	14.0000
C24	0.075	14.0000	14.0000	14.0000	64.8557	14.0000	14.0000	14.0000
C25	0.05	14.0000	14.0000	14.0000	67.7222	14.0000	14.0000	14.0000
C26	0.03	14.0000	14.0000	14.0000	70.5907	14.0000	14.0000	14.0000
C27	0.02	14.0000	14.0000	14.0000	73.4612	14.0000	14.0000	14.0000
C28	0.01	14.0000	14.0000	14.0000	76.3337	14.0000	14.0000	14.0000
C29	0.005	14.0000	14.0000	14.0000	79.2082	14.0000	14.0000	14.0000
C30	0.002	14.0000	14.0000	14.0000	82.0847	14.0000	14.0000	14.0000



There is no objection to this plat with respect to
 Secs. 23a, 25, 25b, in 23a-20 and 23a-21(1) and 25,
 Wis. Stats. as provided by s. 23A.12, Wis. Stats.

Certified _____ 20
 Department of Administration

File: 08147 final.dwg
 Date: 06/20/2022
 Drawn by: Jim
 Sheet: 1 of 2
 Revision Date: Mar 28, 2022

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Prewitt Terrace, Maunula, WI 53023
 Ph: 920-991-1800 Fax: 920-411-0894
 www.davel.com

Map 20-2022-1-08p - 21 Project: 18144p\luniak\DWG\30-614\luniak.dwg Printed: 6/20/22

Luniak Meadows

Lot 2 of Certified Survey Map 3540, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

Surveyor's Certificate

I, James R. Schmitt, professional land surveyor, hereby certify that in full compliance with the provisions of Chapter 736 of the Wisconsin Statutes and the subdivision regulations of the Village of Harrison and under the direction of Derek DeWitt R. LLC, owner of said land, I have surveyed, divided and mapped Luniak Meadows, that such plot correctly represents all exterior boundaries and the subdivision of the land surveyed, and that this land is all of Lot 2 of Certified Survey Map 3540, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, measuring 1,903.817 Square Feet (43,7670 square) of land, subject to all easements and restrictions of record.

Given under my hand this 20th day of April, 2020.

James R. Schmitt, Wisconsin License No. 81892



Owner's Certificate

Derek DeWitt R. LLC, a corporation duly organized and existing under and by virtue of the laws of Wisconsin, the owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, platted, mapped and established as represented on this plat.

Derek DeWitt R. LLC, does further certify that this plat is required by a Z 230 or a Z 30 17 to be submitted to the following for approval or objection:

Village of Harrison Planning and Zoning Committee
Calumet County Resource Department
Department of Administration

IN WITNESS WHEREOF, the said Derek DeWitt R. LLC, has caused these presents to be signed by an authorized representative, located at _____, Wisconsin.

On this _____ day of _____, 20____.

In the Presence of: Derek DeWitt R. LLC

Tom DeWitt, President

State of Wisconsin

County

Personally came before me this _____ day of _____, 20____, the above named to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin My commission expires _____

Village Board Approval Certificate

Resolved, that the plat of Luniak Meadows in the Village of Harrison, Calumet County, Derek DeWitt R. LLC, is hereby approved by the Village Board of the Village of Harrison.

Chairman Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Harrison

Clerk Date

Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurer(s) of the Village of Harrison and Calumet County, do hereby certify that in accordance with the records in our office, there are no unrecorded tax sales and unpaid taxes, or unpaid assessments on and of the land indicated on this plat.

Village Treasurer Date

County Treasurer Date

Utility Easement Provisions

An easement for electric, natural gas, public utilities and communications service is hereby granted by

Derek DeWitt R. LLC, grantor

to

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Dames, SBC, Gradye, Dunbar Sanitary District, Gradye Village of Harrison, Gradye and Time Warner Cable, Gradye

for respective easements and easements to construct, install, operate, repair, maintain and replace lines from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same in time or may hereafter be used, etc., over, under, across, along and upon the premises shown on this plat designated as "Utility Easement Areas" and the property depicted on the plat for streets and alleys, whether public or private, together with the right to install service appurtenances, poles, wires and beneath the surface of said lot to be for service appurtenances, power, or an easement, also the right to run or cut down trees, brush and weeds so they be necessary to protect said lines from fire, and the right to enter upon the subdivided property for all such purposes. The Grantee agrees it restores to its original condition the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantee or their agents. This easement, however, does not apply to the area contained in said easement and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or weeds which may be removed at any time pursuant to the right herein granted. Structures shall not be placed over "Easement" facilities or it, open or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantor.

The grant of easement shall be binding upon and more to the benefit of the heirs, successors and assigns of all parties hereto.

Derek DeWitt R. LLC

Derek DeWitt R. LLC

Tom DeWitt, Managing Member

Notarization Certificate

Bank of Kalumet, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Manager of the above described land, does hereby consent to the surveying, dividing, mapping and subdivision of the land described on this plat, and does hereby consent to the mapy certificate of Derek DeWitt R. LLC, owner.

IN WITNESS WHEREOF, the said Bank of Kalumet has caused these presents to be signed by _____

its President, and countersigned by _____

its Secretary or Cashier, at _____, Wisconsin, and its corporate seal.

to be hereunto affixed this _____ day of _____, 20____.

President Date

Secretary or Cashier Date

State of Wisconsin

County is

Personally came before me this _____ day of _____, 20____.

and _____ Secretary (member of the above named corporation, in my presence to be the persons who executed the foregoing instrument, and to me known to be such President and Secretary (cashier) of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed and contents, by its authority.

My Commission Expires _____

Notary Public, Wisconsin

Village Notes

1. There are Ordinance regulations that have been passed by the Village of Harrison regarding the maintenance of all drainage plans on a permanent basis. Said regulations have been recorded as Document Number 231489, Calumet County Register of Deeds and shall apply to all subdivisions approved after the 1st day of May, 2003. Said regulations shall have the effect of most restrictive requiring that permanent drains be established in accordance with the lot drainage plan elevations within one year after initial occupancy of any house. Failure to maintain drains in accordance with storm water in drainage plans shall create the Village of Harrison a maintenance demand to direct compliance or upon failure of compliance to make said drains into compliance. The seals and signatures shall be entered on the fee roll as a special charge against the property and collected with other taxes thereon.
2. Building permits and occupancy permits may be withheld for non-compliance with the plat or Village Ordinance relating to drainage and storm water management.
3. In the event that the surface drainage facilities required by the plat do not comply with the lot which a building permit has been applied, have not been completed with the building inspector may withhold building permits required by the building code.
4. In the event that after construction there is a failure to establish surface grades in accordance with the subdivision surface water plan, the building inspector may withhold the occupancy permit required by the building code.
5. Maintenance of all drainageways and associated structures within the plat or serving the plat is the sole responsibility of the Owner/Developer and occupancy by a subdivision to the Village of Harrison. After said occupancy please refer to Item 9 for responsibility of maintenance, maintenance and related cost of all Drainage Easements.
6. Where the final drainage plan requires a storm drain to adequately drain the rear portion of lots within blocks of the plat, the subdivision shall maintain easements in the shape for the aforementioned lot that "The respective lot owners shall be responsible for maintaining a clear grade on any storm drainage paths on their lot."
7. Upon failure of the Owner/Developer to perform maintenance of all drainageways and associated structures, the Village of Harrison retains the right to perform maintenance and/or repairs. The payments of said maintenance and/or repairs shall be equally assessed among the property owners at the cost.
8. Pursuant to the Village of Harrison Subdivision Improvements Policy, the developer or/owner shall comply with the approved Drainage and Grading Plan as submitted to the Village of Harrison.
9. Drainage Easement Notes
 - 1) All lands within areas labeled "Drainage Easement" are reserved for stormwater collection, conveyance, treatment, or retention. No buildings, fences, parking areas and landscaping or other structures are allowed in these areas. No grading or filling is allowed in these areas that may interrupt stormwater flows in any way.
 - 2) Any improvement shall be allowed only by special exemption of the Village of Harrison Planning.
 - 3) Landscaping/grading shall be restricted to ground cover.
 - 4) If Drainage Easements are not adequately maintained the Village of Harrison may levy the cost and expenses of such maintenance, maintenance, and/or repair related actions as a special charge against the property and collected as such in accordance with the procedures under Wis. Stat. 66.02(7).
 - 5) There shall be no lower exposed drainage on lots containing a drainage easement. Any exposed drainage will require a structure and with a top elevation consistent with the top of the house foundation elevation.
 - 6) The right of way along Barnhart Road adjacent to Lot 1 through Lot 8 is access road. No ingress or egress will be allowed between the lot and Barnhart Road.
 - 7) The right of way along Touchdown Drive adjacent to Lot 1 and Lot 2 is access road. No ingress or egress will be allowed between the lot and Touchdown Drive.

The property owner of record: Derek DeWitt R. LLC

Recording Information: Doc No. 202001

Parcel Number(s): 31136

There are no objections to this plat with respect to: Sec. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stat., as provided by s. 236.12, Wis. Stat.

Certified: _____, 20____

Department of Administration

Notarization Certificate

There are no objections to this plat with respect to: Sec. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stat., as provided by s. 236.12, Wis. Stat.

Certified: _____, 20____

Department of Administration

Notary Public, Wisconsin

Notary Public, Wisconsin



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineering and Land Surveying
1144 Prairie Terrace, Harrison, WI 53129
Ph: 531-951-1266 Fax: 531-941-0251
www.davel.com

FILED 04/23/20 10:33 AM IN THE OFFICE OF THE CLERK OF CALUMET COUNTY, WISCONSIN

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manger

Meeting Date:

April 26, 2022

Title:

Ord V22-03 Zoning Map Amendment - Macrander

Issue:

Should the Village Board approve a zoning map amendment to rezone property from AG to RR to match the existing RR zoning on a parcel?

Background and Additional Information:

The applicant is proposing to rezone property located along Firelane 12, Location ID 40040, from General Agricultural [AG] to Rural Residential [RR]. The purpose of the rezoning is to create lots for single-family home sites. The Comprehensive Plan and Future Land Use Map identifies these properties as 'Single Family Residential (Unsewered)'. The proposed rezoning is consistent with the Comprehensive Plan. Many of the surrounding properties in this area are zoned Rural Residential.

The Plan Commission held a public hearing on April 19th, no one spoke in opposition to the rezoning but there was a question as to how many lots would be created in the future. The owner replied they were looking to create 4 new lots.

Findings of Fact:

- Plan Commission finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan of the Village of Harrison.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Recommended Action:

Plan Commission recommends approval of the Zoning Map Amendment request as submitted.

Attachments:

- Aerial Map
- Zoning Map
- Ord V22-03

Zoning Map

Village of Harrison

Calumet & Outagamie Counties, WI

Legend

Zoning Districts

RoadCenterline

- AD | General Agriculture
- RS-1 | Single-Family Residential (Suburban)
- RS-2 | Single-Family Residential (Traditional)
- RT-1 | Two-Family Residential
- RM | Multiple-Family Residential
- CN | Neighborhood Commercial
- COR | Office & Retail Commercial
- CC | Community Commercial
- BP | Business Park
- BA | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- PDO | Planned Development Overlay
- SNO | Shoreland Overlay
- SWO | Shoreland-Wetland Overlay

- Local Roads
- County Highway
- State Highway
- US Highway
- Railroads
- Streams
- Parcels



This map was created by:
 Village of Harrison
 114 N. Lincoln Hwy
 Harrison, WI 54902
 920-888-1022
 Adopted: July 27, 2010
 Effective: November 1, 2010
 Current as of: December 1, 2021



Scale: 0 100 200 400 600 800 Feet

This map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not guarantee the accuracy, currency, or completeness of the material contained herein and is not responsible for any reliance or misrepresentation of this information by its owners. In no event shall Calumet County or the Town of Harrison incur any liability for damages of any kind for any loss resulting from the use or misuse of these maps and data. The material contained herein is provided as a service to the public and does not constitute a warranty. The user assumes the responsibility for any loss or damage resulting from the use or misuse of this information. Digital recorded survey documents located in the county courthouse should be used for legal or survey purposes. Calumet County shall retain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.



ORDINANCE V22-03

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON
OFFICIAL ZONING MAP. (Macrander)**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on April 19, 2022; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Rural Residential [RR]:

Described as 142-141, J2505-4 GL-1 SEC.23-20-18, EX PT SE OF HWY & EX PLAT OF LONG BEACH & EX A PCL 183'X 200' INCL/LOC ID#40046, Village of Harrison, Calumet County, Wisconsin.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 26th day of April, 2022.

Allison Blackmer, Village President

Attest: Vicki Tessen, Clerk

Zoning Map

Village of Harrison









Calumet & Outagamie Counties, WI

Legend

Zoning Districts

-  AG | General Agriculture
-  RR | Rural Residential
-  RS-1 | Single-Family Residential (Suburban)
-  RS-2 | Single-Family Residential (Traditional)
-  RT | Two-Family Residential
-  RM | Multiple-Family Residential
-  CN | Neighborhood Commercial
-  COR | Office & Retail Commercial
-  CC | Community Commercial
-  BP | Business Park
-  IM | Industrial & Manufacturing
-  NC | Natural & Conservancy
-  MHO | Mobile Home Overlay
-  PDO | Planned Development Overlay
-  * SHO | Shoreland Overlay*
-  * SWO | Shoreland-Wetland Overlay*

RoadCenterline

-  Local Roads
-  County Highway
-  State Highway
-  US Highway
-  RailRoads
-  Streams
-  Town of Harrison
-  Parcels

* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.



This map was created by:
 Village of Harrison
 W5288 Hwy 114
 Harrison, WI 54952
 920-989-1062
 Adopted: July 27, 2010
 Effective: November 1, 2010
 Current as of: December 1, 2021



Disclaimer:
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 The tax parcel data is compiled from official records, including survey plats and deeds, but only contains the information required for Calumet County business. Original recorded source documents located in the county courthouse should be used for legal or survey purposes.
 Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.



VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manger

Meeting Date:

April 26, 2022

Title:

Ord V22-04 Zoning Map Amendment - Mielke

Issue:

Should the Village Board approve a zoning map amendment to rezone property from AG to RR to match the existing RR zoning adjacent to the property?

Background and Additional Information:

The applicant is proposing to rezone property located along Mielke Road, Location IDs 43796 & 43768, from General Agricultural [AG] to Rural Residential [RR]. The purpose of the rezoning is to create lots for single-family home sites. The Comprehensive Plan and Future Land Use Map identifies these properties as 'Single Family Residential (Unsewered)'. The proposed rezoning is consistent with the Comprehensive Plan. Many of the surrounding properties in this area are zoned Rural Residential.

The Plan Commission held a public hearing on April 19th, no one spoke in opposition to the rezoning.

Findings of Fact:

- Plan Commission finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan of the Village of Harrison.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Recommended Action:

Plan Commission recommends approval of the Zoning Map Amendment request as submitted.

Attachments:

- Aerial Map
- Zoning Map
- Ord V22-04

ORDINANCE V22-04

**AN ORDINANCE AMENDING THE VILLAGE OF HARRISON
OFFICIAL ZONING MAP. (Mielke)**

WHEREAS, a public hearing on the map amendment (rezoning) was held by the Harrison Plan Commission on April 19, 2022; and

WHEREAS, the Plan Commission found the proposed map amendment to be consistent with the Comprehensive Plan; and

WHEREAS, the Plan Commission recommended approval of the zoning map amendment.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, that Article IV of the Village of Harrison Zoning Ordinance pertaining to zoning districts, and the map therein described, is hereby amended by rezoning the below described properties from General Agricultural [AG] to Rural Residential [RR]:

Part of the Southeast Quarter of the Southeast Quarter and the Southwest Quarter of the Southeast Quarter of Section 23, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin containing 312,562 square feet or 7.175 acres of land and described as follows: Commencing at the Southeast Comer of said Section 23, thence North 89°24'09" West a distance of 383 .59 feet along the south line of the southeast quarter to the southwest comer of Certified Survey Map No. 2599 and the point of beginning; thence continuing North 89°24'09" West a distance of 300.00 feet along the south line to the southeast comer of Certified Survey Map No. 3752; thence North 00°49'34" East a distance of 389.41 feet to the northeast comer of Certified Survey Map No. 3752; thence North 88°51'55" West a distance of 275.00 feet to the northwest comer of Certified Survey Map No. 3752; thence South 00°49'34" West a distance of 391.99 feet to the southwest comer of Certified Survey Map No. 3752; thence North 89°24'09" West a distance of 358.17 feet along the south line of the southeast quarter to the east line of the southwest quarter of the southeast quarter; thence North 00°51'51" East a distance of 45.34 feet to the north right-of-way line of Mielke Road; thence North 88°51'55" West a distance of 120.67 feet along the north right-of-way line to a point of curvature; thence 92.92 feet along the arc of a 725.34 foot radius curve to the right, with a chord bearing of North 85°11'43" West a distance of 92.86 feet and a central angle of 07°20'24" along the north right-of-way line to the southeast comer of Certified Survey Map No. 3725; thence North 18°28'27" East a distance of 360.44 feet to the northeast comer of Certified Survey Map No. 3725; thence South 88°51'55" East a distance of 1,033.05 feet to the west line of Certified Survey Map No. 3604; thence South 00°49'34" West a distance of 100.00 feet to the southwest comer of Certified Survey Map No. 3604; thence South 88°51'55" East a distance of 4.13 feet to the northwest comer of Certified Survey Map No. 2599; thence South 00°49'34" West a distance of 286.60 feet to the point of beginning. Subject to all easements and restrictions of record. Liability hereunder is expressly limited to the cost of this survey.

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.

Adopted by the Village Board of the Village of Harrison this 26th day of April, 2022.

Allison Blackmer, Village President

Attest: Vicki Tessen, Clerk

Zoning Map

Village of Harrison

Calumet & Outagamie Counties, WI

Legend

- | Zoning Districts | RoadCenterline |
|--|------------------|
| AG General Agriculture | Local Roads |
| RR Rural Residential | County Highway |
| RS-1 Single-Family Residential (Suburban) | State Highway |
| RS-2 Single-Family Residential (Traditional) | US Highway |
| RT Two-Family Residential | RailRoads |
| RM Multiple-Family Residential | Streams |
| CN Neighborhood Commercial | Town of Harrison |
| COR Office & Retail Commercial | Parcels |
| CC Community Commercial | |
| BP Business Park | |
| IM Industrial & Manufacturing | |
| NC Natural & Conservancy | |
| MHO Mobile Home Overlay | |
| PDO Planned Development Overlay | |
| *SHO Shoreland Overlay* | |
| *SWO Shoreland-Wetland Overlay* | |

* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.



This map was created by:
 Village of Harrison
 V6298 Hwy 114
 Harrison, WI 54952
 920-889-1062

Adopted: July 27, 2010
 Effective: November 1, 2010
 Current as of: December 1, 2021



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VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

CSM – Mielke (Tax ID 43768)

Issue:

Should the Village Board approve a Certified Survey Map?

Background and Additional Information:

The property owner owns two agricultural parcels (Tax ID 43796 & 43768) and plans to subdivide the property fronting Mielke Road into single-family lots. There is a future road proposed to access the remaining agricultural lands behind the lots. Lots can be created by Certified Survey Map (CSM), but are limited to four lots every five years. The proposed CSM for Tax ID 43768 will be the fourth lot created within the past five years.

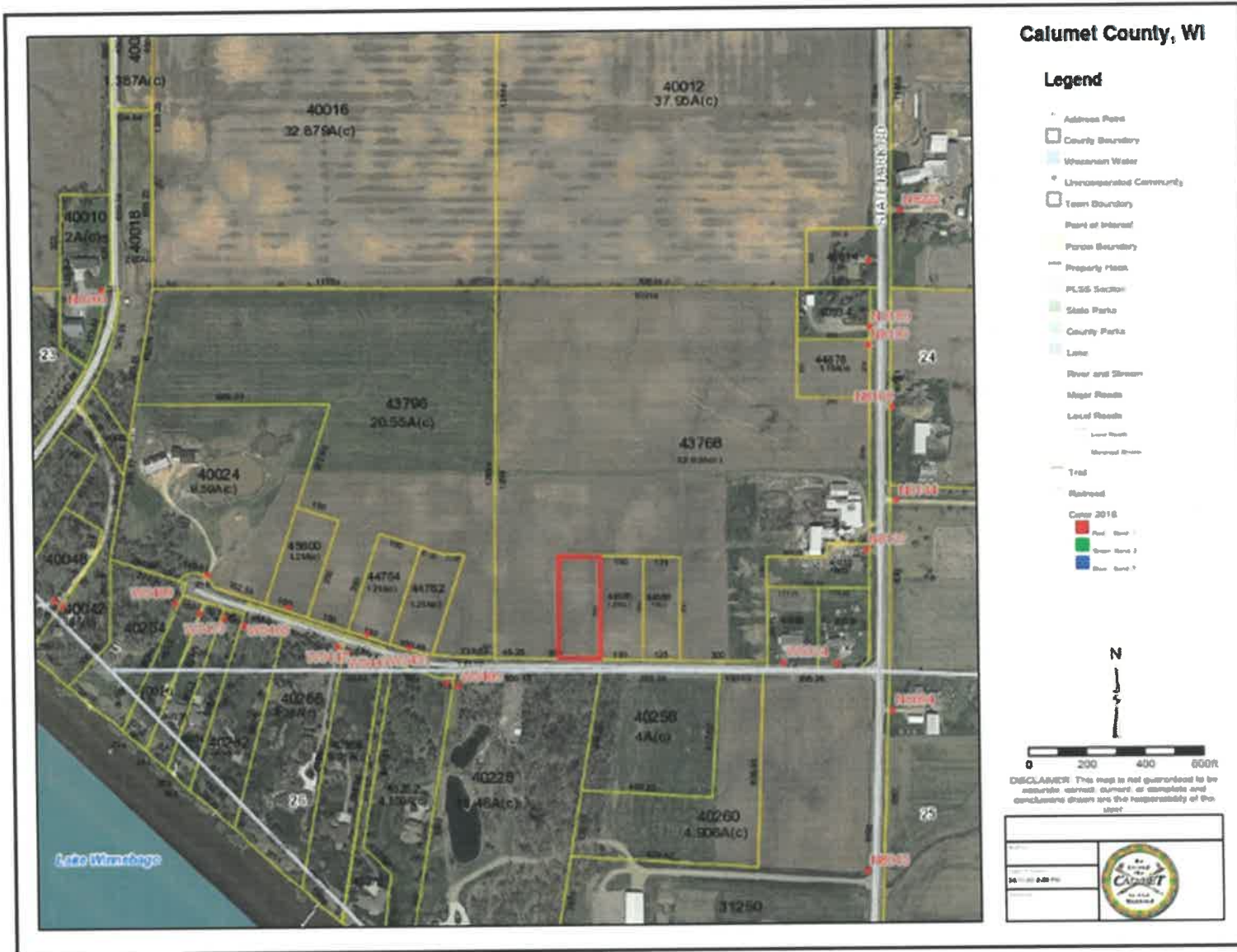
The property owner is proposing a 1-lot Certified Survey Map (CSM) for the property located along Mielke Road. The property is zoned Rural Residential [RR]. The purpose of the CSM is to create a single-family home site. The proposed lot is 1.205-acres in area with 150-feet of road frontage. The RR zoning district currently allows single-family homes as a permitted use. The property owner is working with the Calumet County Planning & Zoning Dept. regarding the private sanitary systems. Access will come from Mielke Road via culvert and private driveway to the lot.

Recommended Action:

The Plan Commission recommends approval of the Certified Survey Map (CSM).

Attachments:

- Aerial Map
- CSM

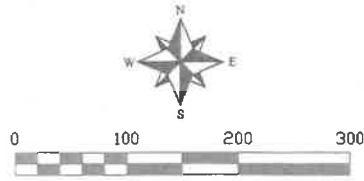


CSM

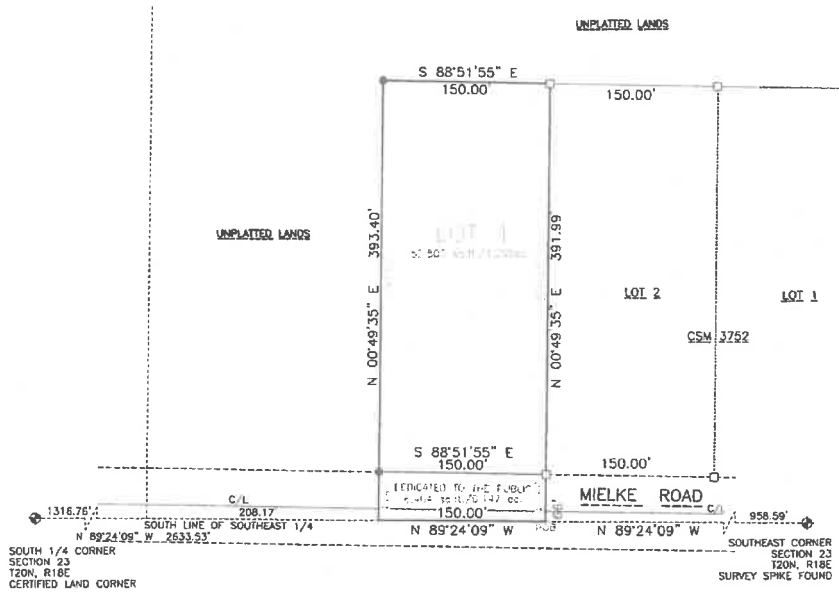
CERTIFIED SURVEY MAP NO. _____

Sheet 1 of 3

PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY,
WISCONSIN.



James A. Mayer
March 12, 2022.



MAYER LAND SURVEYING
W5460 MIELKE ROAD
MENASHA, WI. 920-418-2343

SURVEYED FOR
DONALD R. MIELKE
W5484 MIELKE ROAD
MENASHA, WI

C:\Projects\MielkeDon22\Mielkeesm.dwg
BEARINGS REFERENCED TO COUNTY
DATUM SOUTH LINE OF THE SOUTHEAST
QUARTER BEARS NORTH 89°24'09" WEST.
THIS INSTRUMENT DRAFTED BY J.G. MAYER"
NOTEBOOK NO.44 PAGE 39.

PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY,
WISCONSIN.

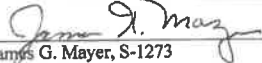
SURVEYOR'S CERTIFICATE

I, James G. Mayer, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed, divided, and mapped under the direction of Donald R. Mielke, part of the Southeast Quarter of the Southeast Quarter of Section 23, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin containing 52,500 square feet or 1.205 acres of land and described as follows.

Commencing at the Southeast Corner of said Section 23, thence North 89°24'09" West a distance of 958.59 feet along the south line of the southeast quarter to the southwest corner of Certified Survey Map No. 3752 and the point of beginning; thence continuing North 89°24'09" West a distance of 150.00 feet; thence North 00°49'35" East a distance of 391.99 feet; thence South 88°51'55" East a distance of 150.00 feet to the northwest corner of Certified Survey Map No. 3752; thence South 00°49'35" West a distance of 391.99 feet to the point of beginning. Subject to all easements and restrictions of record. Liability hereunder is expressly limited to the cost of this survey.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division made thereof. That I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the Village of Harrison in surveying, dividing and mapping such lands.

Dated this 12th day of March, 2022.


James G. Mayer, S-1273
Wis. Professional Land Surveyor

OWNER'S CERTIFICATE

As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided mapped and dedicated as represented on the plat. I (we) also certify that this plat is required by s. 236.10 or s. 236.12 to be submitted to the following for approval or objection: Village of Harrison.

Dated this _____ day of _____, 2022

Donald R. Mielke, Owner

State of Wisconsin)
Calumet County)ss

Personally came before me on the _____ day of _____, 2022, the above named owners to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires: _____

Notary Public, Calumet County, Wisconsin

PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY,
WISCONSIN.

VILLAGE BOARD CERTIFICATE

Resolved that the above certified survey map in the Village of Harrison was approved by the Village Board on
this _____ day of _____, 2022.

Village President

Village Clerk

VILLAGE TREASURER'S CERTIFICATE

I being the duly elected qualified and acting village treasurer of the Village of Harrison, do hereby certify that in
accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of
_____, 2022 on any of the lands included in this Certified Survey Map.

Village Treasurer

Date

COUNTY TREASURER'S CERTIFICATE

I being the duly elected qualified and acting treasurer of the County of Calumet, do hereby certify the records in
my office show unredeemed tax sales and no unpaid taxes or special assessments as of
_____, 2022 affecting the lands included in this Certified Survey Map.

County Treasurer

Date

Notes:

This CSM is part of tax parcel no. 43768. This CSM is contained wholly within the property described in the
following recorded instrument: Doc. No. 356788. The property owner of record is Donald R. Mielke, W5484
Mielke Road, Menasha WI 54952.

A circular seal, likely the official seal of the Village of Harrison or Calumet County, is partially visible. Overlaid on the seal is a handwritten signature in cursive that reads "James J. Meyer" and a date "March 12, 2022".

VILLAGE BOARD MEETING**VILLAGE OF HARRISON****From:**

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

April 26, 2022

Title:

CSM – Zahringer

Issue:

Should the Village Board approve a Certified Survey Map?

Background and Additional Information:

The property owner is proposing a 2-lot Certified Survey Map (CSM) for the property located at N7247 Hwy 55. The property is zoned General Agricultural [AG]. The purpose of the CSM is to separate the farmhouse and farm buildings from the agricultural lands. Lot 1 is proposed to be 2.984-acres and will contain the existing home and farm buildings. Lot 2 is proposed to be 36.287-acres and will be agricultural land.

The AG zoning district requires a minimum of 3-acres in order to have livestock on the property. Staff would suggest the owner consider amending the lot lines so that Lot 1 is a minimum of 3-acres. This will give the proposed lot more flexibility in the future.

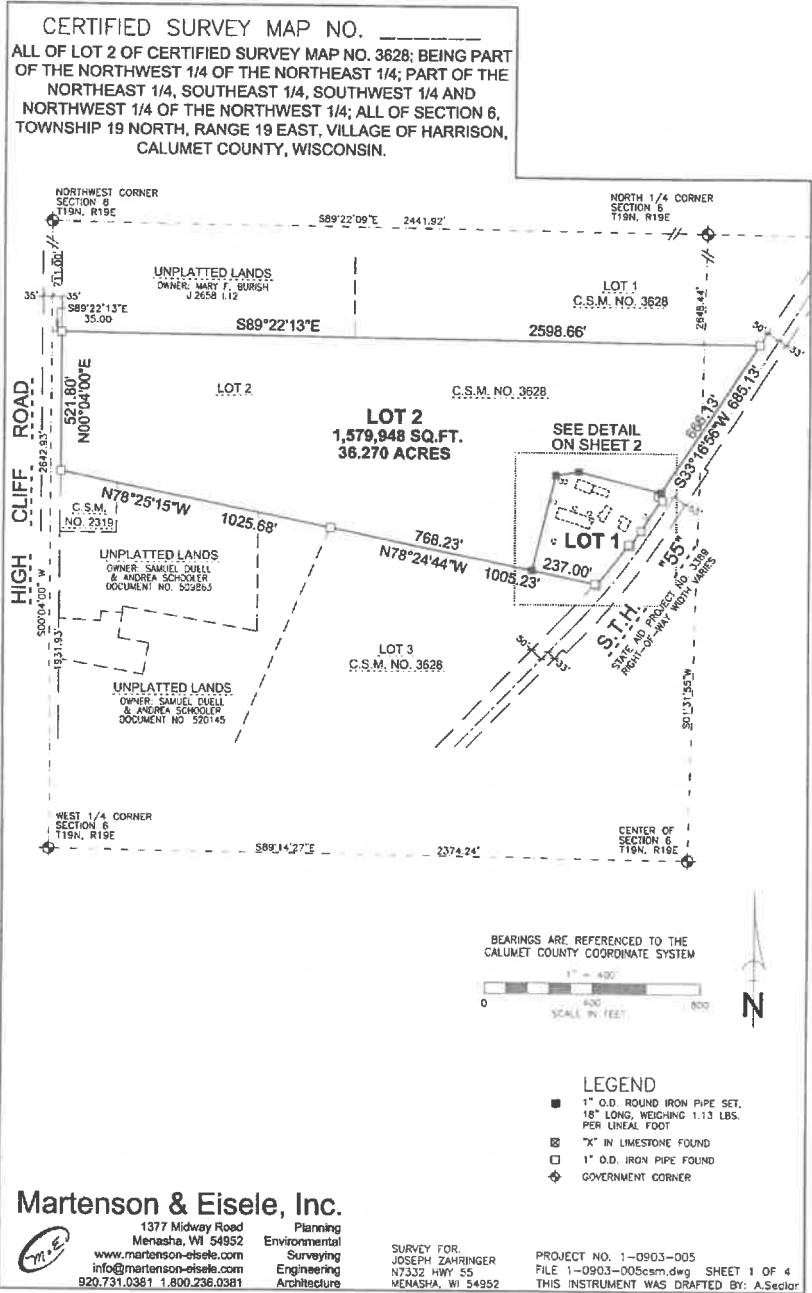
Recommended Action:

The Plan Commission recommends approval of the Certified Survey Map (CSM) as submitted on April 18, 2022 with Lot 1 being 3.001-acres.

Attachments:

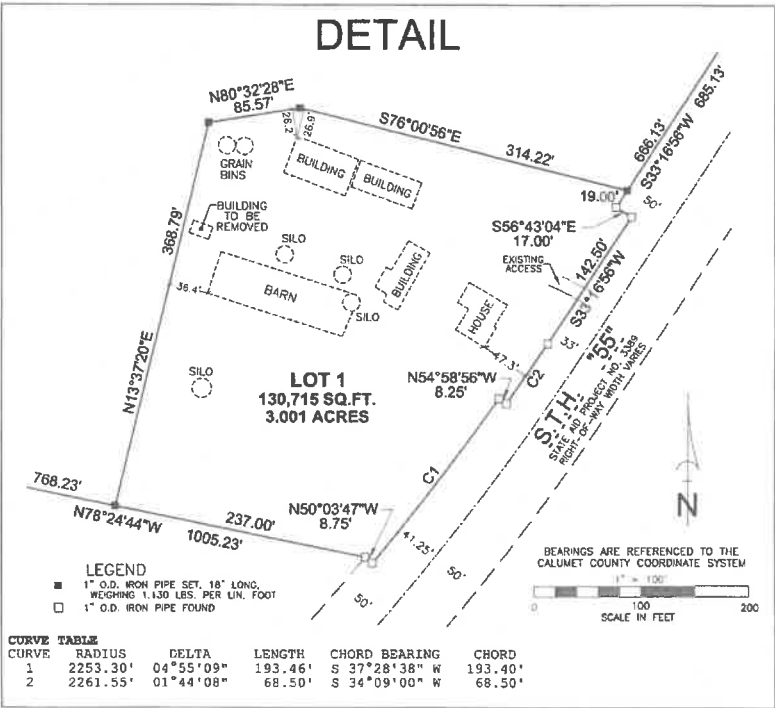
- Aerial Map
- CSM (revised 4/18/22)

RECEIVED
 APR 18 2022
 HARRISON PLANNING



CERTIFIED SURVEY MAP NO. _____
 ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 3628; BEING PART OF THE NORTHWEST 1/4 OF THE
 NORTHEAST 1/4; PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND
 NORTHWEST 1/4 OF THE NORTHWEST 1/4; ALL OF SECTION 6, TOWNSHIP 19 NORTH, RANGE 19 EAST,
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

DETAIL



THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING
 RECORDED INSTRUMENTS

OWNER OF RECORD:	RECORDING INFORMATION:	PARCEL NUMBER:
JOSEPH AND DAWN ZAHRRINGER	DOCUMENT NO. 549209	131-0000-0000000-000-0-191906-00-240A
		TAX PARCEL ID NUMBER: 39804

CERTIFIED SURVEY MAP NO. _____

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 3628; BEING PART OF THE NORTHWEST 1/4 OF THE
NORTHEAST 1/4; PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND
NORTHWEST 1/4 OF THE NORTHWEST 1/4; ALL OF SECTION 6, TOWNSHIP 19 NORTH, RANGE 19 EAST,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, GARY A. ZHRINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:
THAT I HAVE SURVEYED, MAPPED AND DIVIDED AT THE DIRECTION OF JOSEPH ZHRINGER, ALL OF LOT 2 OF
CERTIFIED SURVEY MAP NO. 3628, RECORDED IN VOLUME 32 OF CERTIFIED SURVEY MAPS ON PAGE 132, AS
DOCUMENT NO. 520414; BEING PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4; PART OF THE
NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4; ALL OF
SECTION 6, TOWNSHIP 19 NORTH, RANGE 19 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.
CONTAINING 1,710,663 SQ. FT. [39.271 ACRES]. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF
RECORD.

THAT I HAVE FULLY COMPLIED WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND WITH THE
VILLAGE OF HARRISON AND CALUMET COUNTY SUBDIVISION ORDINANCE IN SURVEYING, DIVIDING, AND
MAPPING THE SAME.

THAT THIS MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND
SURVEYED AND THE DIVISION THEREOF.

GIVEN UNDER MY HAND THIS 17TH DAY OF MARCH, 2022.

GARY A. ZHRINGER,
PROFESSIONAL WI LAND SURVEYOR S-2098

CERTIFICATE OF THE VILLAGE OF HARRISON:

BE IT RESOLVED THAT THIS CERTIFIED SURVEY MAP, IN THE VILLAGE OF HARRISON HAS BEEN APPROVED
AND ACCEPTED AS SURVEYED, MAPPED AND DIVIDED BY THE OWNERS SHOWN HEREON,

THIS _____ DAY OF _____, 2022.

VILLAGE PRESIDENT

VILLAGE CLERK

TREASURER'S CERTIFICATE:

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE
LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

VILLAGE TREASURER

DATE

COUNTY TREASURER

DATE

CERTIFIED SURVEY MAP NO. _____

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 3628; BEING PART OF THE NORTHWEST 1/4 OF THE
NORTHEAST 1/4; PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND
NORTHWEST 1/4 OF THE NORTHWEST 1/4; ALL OF SECTION 6, TOWNSHIP 19 NORTH, RANGE 19 EAST,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

OWNERS CERTIFICATE:

AS OWNERS, WE HEREBY CERTIFY THAT WE CAUSED THE LAND ABOVE DESCRIBED TO BE SURVEYED, DIVIDED
AND MAPPED AS SHOWN AND REPRESENTED ON THIS MAP.

I ALSO FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.10 OR S.236.12 TO
BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF HARRISON

DATED THIS _____ DAY OF _____, 2022

JOSEPH ZAHNINGER

DAWN ZAHNINGER

STATE OF WISCONSIN)
)SS
CALUMET COUNTY)

PERSONALLY CAME BEFORE ME ON THE _____ DAY OF
_____, 2022, THE ABOVE OWNERS
TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE
FOREGOING INSTRUMENT AND ACKNOWLEDGE THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION (IS PERMANENT)
(EXPIRES: _____)

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manger

Meeting Date:

April 26, 2022

Title:

Conditional Use Permit – Milis Enterprises

Issue:

Should the Village Board approve a conditional use permit for a business expansion?

Background and Additional Information:

The applicant, Milis Enterprise, is requesting a Conditional Use Permit (CUP) in order to operate a contractor business on the property located on County KK, east of Bies Road (parcel ID 40348). The applicant already has an existing office and shop at the property at W4567 County KK. This conditional use permit will be to construct an office building and a second shop for the construction business. The property is currently zoned General Agricultural [AG] and is identified as commercial in the Comprehensive Plan.

The office building is proposed to be 9,477-square feet. The second shop building is proposed to be 80' x 220'. The project also calls for construction of a stormwater management system and paving of parking areas. The applicant is proposing some outdoor storage for lumber, forms, and miscellaneous concrete equipment. Staff has some concerns regarding the outside storage.

Findings of Fact:

- Plan Commission finds that the Conditional Use Permit request will comply with the Harrison Zoning Ordinance with the below conditions.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Basis for Approval: *(from the Zoning Ordinance Section 117-319)*

1. *Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of this chapter. Where there is an existing nonconforming structure, the design standards of the underlying zoning district may be waived by the plan commission and village board. Contractor offices and storage are a conditional use in the AG zoning district.*
2. *Plans. The proposed use conforms to the comprehensive plan and any other officially adopted plan. The Comprehensive Plan identifies this property as Commercial.*
3. *Traffic. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. The proposed use should not negatively affect the traffic on County KK.*

4. *Landscaping and screening. Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in article VI, Access, Parking, and Loading and article IX, Landscaping and Screening Standards. There is an existing tree line on the south property lines. Additional landscaping may be required to meet buffering requirements.*
5. *Neighborhood compatibility. The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust. There will be limited construction activity on site as the business operation typically occurs off site. Majority of materials and equipment should be stored inside.*
6. *Services. Adequate facilities, access roads, drainage and/or necessary services have been or will be provided. There is no sanitary sewer or water service in this area. The property is currently served by on-site well and sanitary systems. There is an existing driveway for the business.*

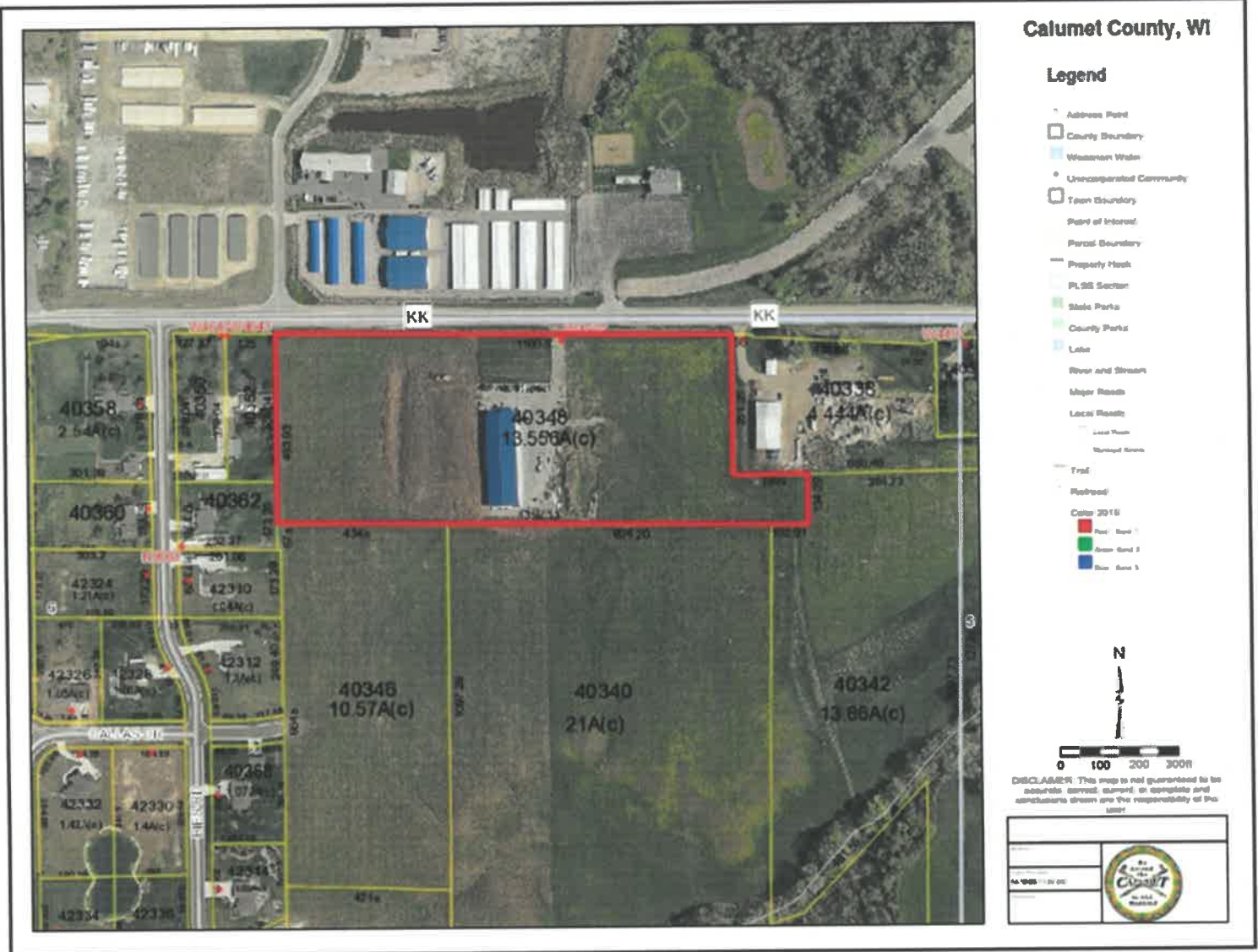
Recommended Action:

The Plan Commission recommends approval of the Conditional Use Permit request with the following conditions:

1. All conditions of the Conditional Use Permit issued November 2016 shall apply (as listed below, #2-10).
2. All equipment, materials, and other items related to the business shall be screened with a berm and plantings. Vehicles stored outside of the building shall be screened from view from the roadway and adjacent properties by a fence, plantings, or a combination thereof.
3. Zoning permits, which meet the requirements of the zoning ordinance, shall be obtained for all building construction.
4. An erosion control permit shall be obtained.
5. The Building Inspector shall be consulted regarding building permits, including state permits if needed.
6. The Calumet County Planning Department shall be consulted regarding sanitary permits.
7. All signage shall require a separate permit and shall meet the requirements of the zoning ordinance.
8. Screening of all parking and loading areas from adjacent properties shall be provided either through a solid fence (wood, vinyl or other similar aesthetic material) or plantings.
9. A dumpster enclosure shall be provided that meets, or exceeds, the requirements of the zoning ordinance.
10. Failure to comply with these conditions may cause for the Conditional Use Permit to be revoked.
11. A Site Plan Review application shall be submitted, reviewed, and approved.
12. All stormwater management shall meet or exceed Village requirements for the whole site.

Attachments:

- Aerial Map
- Development Plan
- Planset



Development Plan

March 2022

Prepared for:

Milis Enterprise, LLC
W4567 County Road KK
Kaukauna, WI 54130
Contact: Dylan Milis
Phone: (920) 843-2359

Prepared by:

Clark Fox, P.E.
Civil Fox Engineering, LLC
1730 East. Sylvan Avenue
Appleton, WI 54915
Phone: (920) 419-5904



CIVIL FOX
ENGINEERING, LLC

Milis Enterprise, LLC
Development Plan

Table of Contents

1.0 Introduction	1
2.0 Construction Phases.....	1
3.0 Zoning	2

Appendix A – Conditional Use Application
Appendix B – Plat of Survey

Attachment – Proposed New Office and Storage Building for Milis Flatwork



1730 East Sylvan Avenue
Appleton, WI 54915
www.civil-fox.com
Phone: (920)419-5904

Development Plan Narrative

1.0 Introduction

Milis Enterprise, LLC, is owned by Dylan Milis. Milis Enterprise, LLC owns Milis Flatwork, LLC which desires to construct a new office and storage building for their concrete business. A total of two new buildings is being proposed at this time, along with increasing the yard size. The proposed construction is located at W4567 County Road KK, Kaukauna, WI 54130 in the Village of Harrison, Calumet County, Wisconsin (Parcel #40348; NW-NE, SE of Section 6, T20N R19E).

Milis Flatwork, LLC operates its existing business at the proposed site. The hours of operation are from 6AM to 5PM Monday through Friday, 7AM to 1 PM on Saturday, and closed on Sunday. Milis Flatwork currently has approximately 84 employees on staff. The existing shop building has three (3) on staff employees, the proposed office building will have twelve (13) employees, the proposed shop will have eight (8) employees. There are also 60 employees that are on site and commute to Milis Flatwork to take a company vehicle to job sites, this is where the northern parking lot will be utilized for employee parking. Outside storage will consist of lumber, forms, and miscellaneous concrete equipment. All work-related vehicles will be parked in the existing shop or the proposed shop.

2.0 Construction Phases

Phase 1

- Construct a 9,477 square foot office building and a 80' by 220' one story freestanding shop building, both with a flat roof that is internally drained and will connect to the proposed stormwater pond. The structures will not have basements.
- Construct a concrete driveway over existing gravel driveway and add additional concrete parking that will cover 113,996 square feet. The western lot will remain gravel and be expanded to the west for a total of 117,909 square feet.
- Construct a Stormwater Management System (SMS) that consists of surface inlets within the concrete driveway area that discharge stormwater to a wet detention basin. Roof water will be collected internally and underground drainage and discharged into the wet detention basin. Runoff from the wet detention basin will be discharged flow to the concentrated flow where the water currently discharges. The SMS is designed to collect runoff from both phases of construction.

- Dimensional Requirements:
 - Lot area – 586,003 ft²
 - Building area – 44,077 ft²
 - Parking/driveway area – 236,588 ft²
 - Total impervious area – 280,665 ft²
 - 114 Parking spaces provided.
 - Front lot width – 1160 feet
 - Front yard setback from structure – 50 feet
 - West side yard setback from structure – 541.621 feet
 - East side yard setback from structure – 233.218 feet
 - Rear yard setback from structure – 50 feet
 - Lot coverage 47.89%
 - Building maximum height –23 feet

Phase 2

- Pave the western lot with concrete 117,909 square feet.

Future

- Expand the western lot further to the west with 42,112 square feet of impervious included in the SMS.
- Add an east lot that would have 48,734 square feet of impervious included in the SMS.

3.0 Zoning

The property is currently zoned (AG) General Agriculture. The neighbors to the east and south are also zoned AG. The neighbors to the west are zoned (RR) Rural Residential. Through discussions with Village of Harrison Zoning department it was determined that a conditional use permit was required due to the nature of development being outside of the zoning requirements. Conditional uses and structures allow for *Offices and storage yards, trade and contractor*. The proposed project would fall under this use as the property is a concrete contractor.

The Construction Plans as well as the other supporting documents in this submittal represent the documentation required by the Village of Harrison to consider allowing Milis Flatwork, LLC to proceed with the conditional use permit.



Appendix A
Conditional Use Application



Village of Harrison

W5298 Hwy 114
 Harrison, WI 54952
 Phone: 920-989-1062

CONDITIONAL USE PERMIT APPLICATION

Applicant Information			
Applicant Name (Indiv., Org. or Entity) Civil Fox Engineering, LLC		Authorized Representative Clark Fox	Title Owner
Mailing Address 1730 E. Sylvan Ave.		City Appleton	State WI
		Postal Code 54915	
E-mail Address Clark@civil-fox.com		Telephone (include area code) (920) 419-5904	Fax (include area code)
Landowner Information (if different than Applicant)			
Name (Organization or Entity) Milis Enterprise, LLC		Contact Person Dylan Milis	Title Owner
Mailing Address W4567 County Road KK		City Kaukauna	State WI
		Postal Code 54130	
E-mail Address Dylan@milisflatwork.com		Telephone (include area code) (920) 843-2359	Fax (include area code)
Project or Site Location			
Site Name (Project): Milis Flatwork		Location ID(s): 40438	
Site Address / Location: W4567 County Road KK		Plat / CSM / Lot No.:	
Quarter: <input type="checkbox"/> NW <input checked="" type="checkbox"/> NE <input type="checkbox"/> SW <input type="checkbox"/> SE	Section: 6	Township: 20 N	Range: 19 E
Legal Description: J170-27 NE1/4 NE FRAC 1/4 SEC.6-20-19 COM N1/4/C SEC.6, E888.24' S37. 99' & POB, S483.93', E1352.13', N476.41' TO S/L HWY, W1352.44' TO POB, EX PRT CSM#2485 & EX DOC# 471302			
Current Zoning: AG		Proposed Zoning: AG	
Current Uses:		Proposed Uses:	
Lot Dimensions: Front: 1160' Side: 484' Rear: 1351' Side: 484' Lot Area: 13.45 <input checked="" type="checkbox"/> acres or <input type="checkbox"/> square feet			
Description of the Proposed Use for the Property (attach separate document if needed)			
Expanding the existing shop to include a new office and another shop. Milis Flatwork is a concrete contractor that provides concrete services to all of Wisconsin and outside of WI.			
See attached narrative for additional information			
Development Plan			
<input checked="" type="checkbox"/> See reverse side for complete application submittal requirements.			
Fees			
<input checked="" type="checkbox"/> \$350.00			
Certification & Permission			
<p>Certification: I hereby certify that I am the landowner of the property which is the subject of this Application. I certify that the information contained in this form and attachments is true and accurate. I understand that failure to comply with any or all of the provisions of the ordinances and/or permit may result in notices, fines / forfeitures, stop work orders, permit revocation, and cease & desist orders.</p> <p>Permission: As landowner of the property, I hereby give the permit authority permission to enter and inspect the property to evaluate this application, to determine compliance with the ordinances and to perform corrective actions after issuing proper notice to the landowner.</p>			
Applicant Signature 		Date Signed 3/27/22	
Landowner Signature (required) 		Date Signed 3/25/22	

LEAVE BLANK – FOR MUNICIPAL USE ONLY		
Date Complete Application Received:	Fee Received \$	Receipt No:
	Date Paid:	Taken By:

Development Plan. An application for a Conditional Use Permit shall be accompanied with the plans/information outlined below. Plan requirements may be assimilated into one (1) or more plan documents. The Zoning Administrator may waive one (1) or more of the requirements when it is deemed unnecessary for the review of a particular type of development.

- A narrative detailing the hours of operation, anticipated number of occupants and/or employees.
- A narrative explaining any outside storage of materials, equipment or vehicles.
- Submit a floor plan of building(s), size and layout of rooms,
- Submit preliminary building(s) façade/elevations for existing and proposed buildings that show sufficient detail to permit an understanding of the architectural style of the development. Design renderings may also be submitted.
- A legal description of the property.
- The location of all existing and proposed streets, easements, building(s), parking areas, pedestrian and vehicular access points, and pedestrian walkways.
- Dimensions of all existing and proposed streets, easements, building(s), parking areas, pedestrian and vehicular access points, and pedestrian walkways shall be indicated.
- A graphic outline of any development phasing.
- The land use and zoning classifications of adjacent properties shall also be indicated.
- A drainage plan shall show existing topography at two (2') foot intervals, spot elevations of existing and proposed buildings.
- The approximate location of any proposed storm water management facilities needed in order to meet the Post-Construction Storm Water Management requirements.
- The location of existing trees and land forms.
- Indicate the location, extent and type of all proposed plantings.
- The location, height, opaque characteristics, extent and type of any required screening.
- The location of all utilities (storm, sanitary, water mains, electrical, natural gas and communication lines),
- The location and type of all exterior lighting, light fixture heights.
- The location of proposed and existing signs.
- The location and details of trash collection areas and their enclosures.
- Indicate areas for snow removal storage.
- Any other pertinent information necessary for the Plan Commission and Village Board to make a decision.

What is a Conditional Use Permit?

A Conditional Use is a use or structure that may not be appropriate as a general permit or unrestricted throughout a zoning district but which, if controlled as to number, area, location, or relation to the neighborhood, would promote the health, safety, welfare, comfort, convenience or the general welfare. Each zoning district has a list of uses or structures requiring a Conditional Use Permit.

Where do I Begin?

Consult with the Planner regarding your interest in a Conditional Use Permit. Staff will discuss with you compliance with the Harrison Comprehensive Plan, the criteria for approval, surrounding uses, and possible nonconformities.

What is the Process?

1. Preliminary Consultation (recommended): The purpose of this meeting is to ensure that the applicant is aware of the requirements of the Conditional Use Permit process.
2. Informal Hearing (optional): The applicant may request an informal hearing before the Plan Commission to obtain preliminary feedback on the Conditional Use Permit application.
3. Submittal: The applicant shall submit a complete Conditional Use Permit Application, signed by the property owner or his/her designee. A complete application includes a completed application form, development plans, and applicable fees.
4. Public Hearing: Within forty-five (45) days of filing a complete application, the Plan Commission will hold a Public Hearing. Notice of the hearing will be sent to property owners within 300-feet of the subject property, the applicant and adjacent municipalities. A notice of the Public Hearing is published in the newspaper for two (2) consecutive weeks prior to the Plan Commission meeting.
5. Plan Commission Action: At the Public Hearing, the Plan Commission will make a recommendation to the Village Board on the application.
6. Village Board Action: Within forty-five (45) days of the Plan Commission recommendation, the Village Board will approve, approve with modifications, deny the Conditional Use Permit or refer it back to the Plan Commission considering the criteria in basis for approval.

What is the Final Action?

Village Board approval is the final action for a Conditional Use Permit.

Basis for Approval. No Conditional Use Permit shall be recommended by the Plan Commission, or approved by the Village Board, unless it shall find all of the following criteria have been met. The applicant's failure to satisfy the criteria, or any other applicable requirement in this Chapter, shall be deemed grounds to deny the Conditional Use Permit.

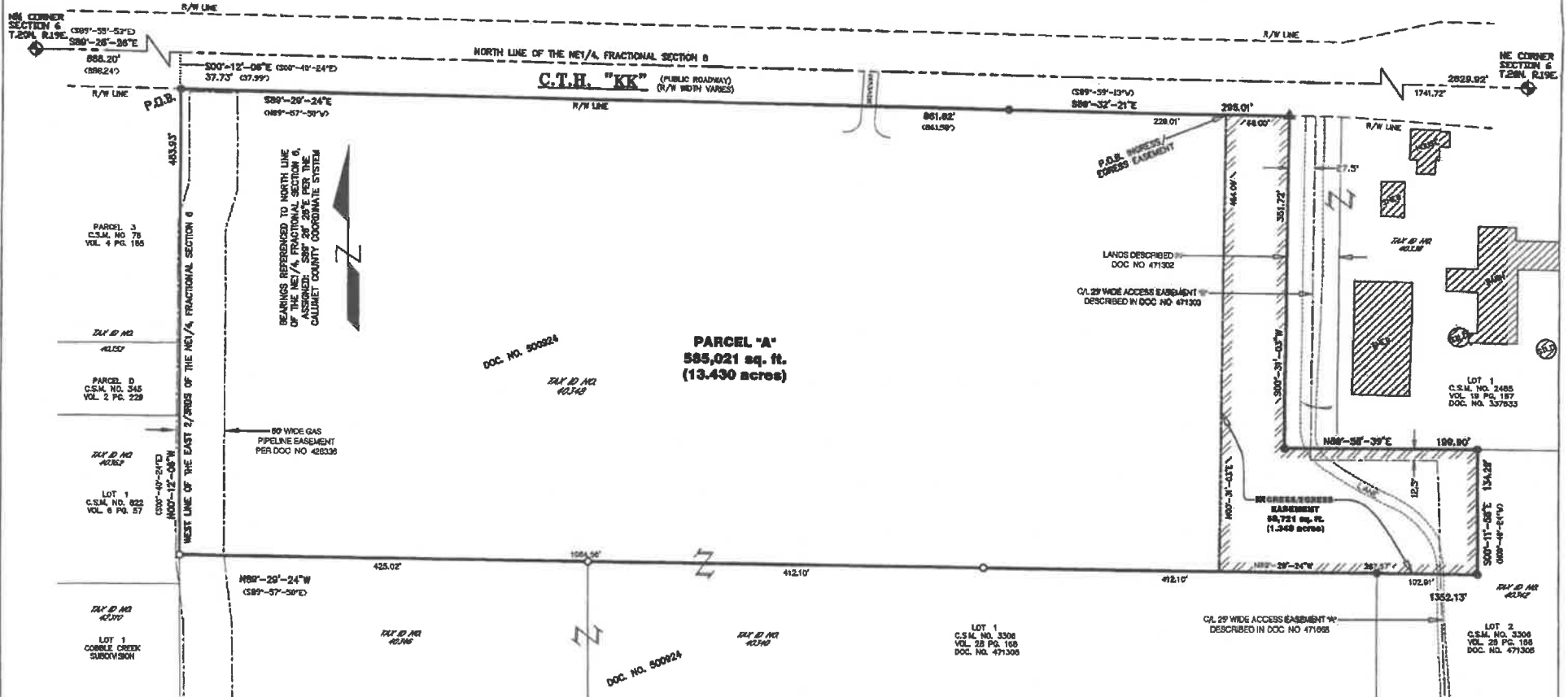
- a. **Zoning.** The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of the ordinance.
- b. **Plans.** The proposed use conforms to the Harrison Comprehensive Plan and any other officially adopted village plan.
- c. **Traffic.** Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- d. **Landscaping and Screening.** Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use.
- e. **Neighborhood compatibility.** The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust.
- f. **Services.** Adequate facilities, access roads, drainage and/or necessary services have been or will be provided.

Appendix B
Plat of Survey



PLAT OF SURVEY

A PART OF THE N1/2- NE1/4, FRACTIONAL SECTION 6, T.20N., R.19E.,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN



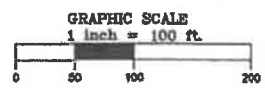
SURVEYOR'S CERTIFICATE
I, Bradley A. Buschel, Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shows to a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 10th day of October, 2018.

Bradley A. Buschel
BRADLEY A. BUSCHEL
WISCONSIN PROFESSIONAL LAND SURVEYOR
Bradley A. Buschel, S-2613



- LEGEND-
- = 1" X 18" IRON PIPE SET
 - = 1" IRON PIPE FOUND
 - ▲ = EXISTING RIGHT OF WAY POST
 - △ = CALUMET CO. PLSS COR.
 - () = RECORDED INFORMATION
 - = PROPERTY LINE BOUNDARY



MERIDIAN
SURVEYING, LLC

NS774 Pkings 1 Office: 920-893-0861
Menasha, WI 54952 Fax: 920-273-8037

DRAWN BY: <i>BJB</i>	FIELD WORK DATE: 10-07-16
CHECKED BY: <i>EBB</i>	FIELD BOOK: M-35
JOB NO.: 8123	SHEET 1 OF 2

SURVEYED FOR:
COUNTRY AIRE FARMS, LLC
ATTN: MIKE GERRITS
1440 LAMERS CLANCY ROAD
GREENLEAF, WI 54126

PROPOSED NEW OFFICE AND STORAGE BLDG. FOR:



W4567 County Rd KK
Kaukauna, WI 54130

SHEET INDEX

ARCHITECTURAL

TS - TITLE SHEET

G1.1 - GENERAL INFORMATION

C1.0 - EXISTING CONDITIONS

C2.0 - SITE PLAN

C3.0 - UTILITY PLAN

C4.0 - GRADING PLAN

A1.1 - FLOOR PLAN - OFFICE

A3.1 - EXTERIOR ELEVATIONS - OFFICE

A1.1 - FLOOR PLAN - STORAGE BUILDING

A3.1 - EXTERIOR ELEVATIONS - STORAGE BUILDING

BUILDING CODE ANALYSIS

OCCUPANCY: (M) WITH ACCESSORY (B) & (S) (NON-SEPARATED)
TYPE OF CONSTRUCTION: (B) METAL FRAME UNPROTECTED
NON-SPRINKLED

OCCUPANT LOAD:
447/1000 = 45 OCC
TOTAL OCCUPANT LOAD = 45

EGRESS WIDTH REQUIRED:
2' / OCCUPANT NON-SPRINKLED
45 X 2 = 90' REQUIRED

FIRE FIGHTING APPARATUS:
THE BUILDING IS LIMITED IN AREA
THE FIRELANE IS UNOBSTRUCTED

THE BUILDING IS LESS THAN 50'-0" TALL
THE FIRELANE OF 22'-0" MIN WIDTH
WITH A MIN UNOBSTRUCTED HEIGHT OF 15'-0"

CONTROL AREAS:
NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THIS BUILDING
PER TABLES S01.1 (1) AND S01.1 (2)

GRADE PLAN DETERMINATION:
THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 22'-0"
ALLOWABLE HEIGHT PER TABLE 503 IS 40'
NUMBER OF STORIES: (1)
THIS BUILDING HAS (1) FLOOR LEVEL

ALLOWABLE FLOOR AREA PER TABLE 506.2

B - OFFICE
ALLOWABLE BUILDING SIZE 25,000 SF. NO PROTRUSIVE BURGE
TOTAL BUILDING AREA 4,471 S.F.
TOTAL PROJECT AREA 4,471 S.F.

ALLOWABLE BUILDING HEIGHT PER TABLE 504.5

B - BUSINESS
ALLOWABLE BUILDING HEIGHT 50'

TOILET FACILITIES PER TABLE 2902.1
THIS IS AN OFFICE BUILDING WITH 22 MAXIMUM EMPLOYEES
WITH SOME OUTSIDE VISITORS AND LIMITED NON EMPLOYEE ORIENTATION

MEN	WOMEN
BUSINESS USE MEN 12/28 = 3 H.C. 12/40 = 3S LAV.	BUSINESS USE WOMEN 12/28 = 3 H.C. 12/40 = 3S LAV.
1 H.C. & 1 LAVS. REQUIRED 1 H.C., 0 URN AND 1 LAVS. PROVIDED	1 H.C. & 1 LAVS. REQUIRED 1 H.C., 0 URN AND 1 LAVS. PROVIDED
1 SERVICE SINK, WAREHOUSE 1 WATER COOLER	

PROJECT INFORMATION

PROJECT: MILIS CONCRETE FLATWORK
NEW OFFICE

ADDRESS: 44567 COUNTY ROAD KK
KAUKAUNA WI 54130

OWNER: MILIS ENTERPRISE LLC
44567 COUNTY ROAD KK
KAUKAUNA WI 54130

CONTACT: DYLAN MILIS

DESIGNER OF RECORD:

ARCHITECT: FISHER & ASSOCIATES LLC
ARCHITECTS/PLANNERS
16554 BALDWIN LAKE ROAD
GRIVITZ, WISCONSIN 54141
P.(920) 516-0001

CONTACT: RICHARD J. FISHER AIA
RFISHER@FISHERANDASSOCIATESLLC.COM

STRUCTURAL ENGINEER:
LARSON ENGINEERING OF WISCONSIN
2501 ENTERPRISE AVE
APPLETON, WISCONSIN 54915
P.(920) 754-4561
P.(920) 754-4560

CONTACT: BRIAN ENDLER
BENDLER@LARSONENR.COM

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Architects / Planners
16554 BALDWIN LAKE DRIVE GRIVITZ, WI
P.(920) 516-0001
FISHER@FISHERANDASSOCIATESLLC.COM

PROJECT INFO:
PROPOSED NEW OFFICE AND STORAGE BLDG. FOR:

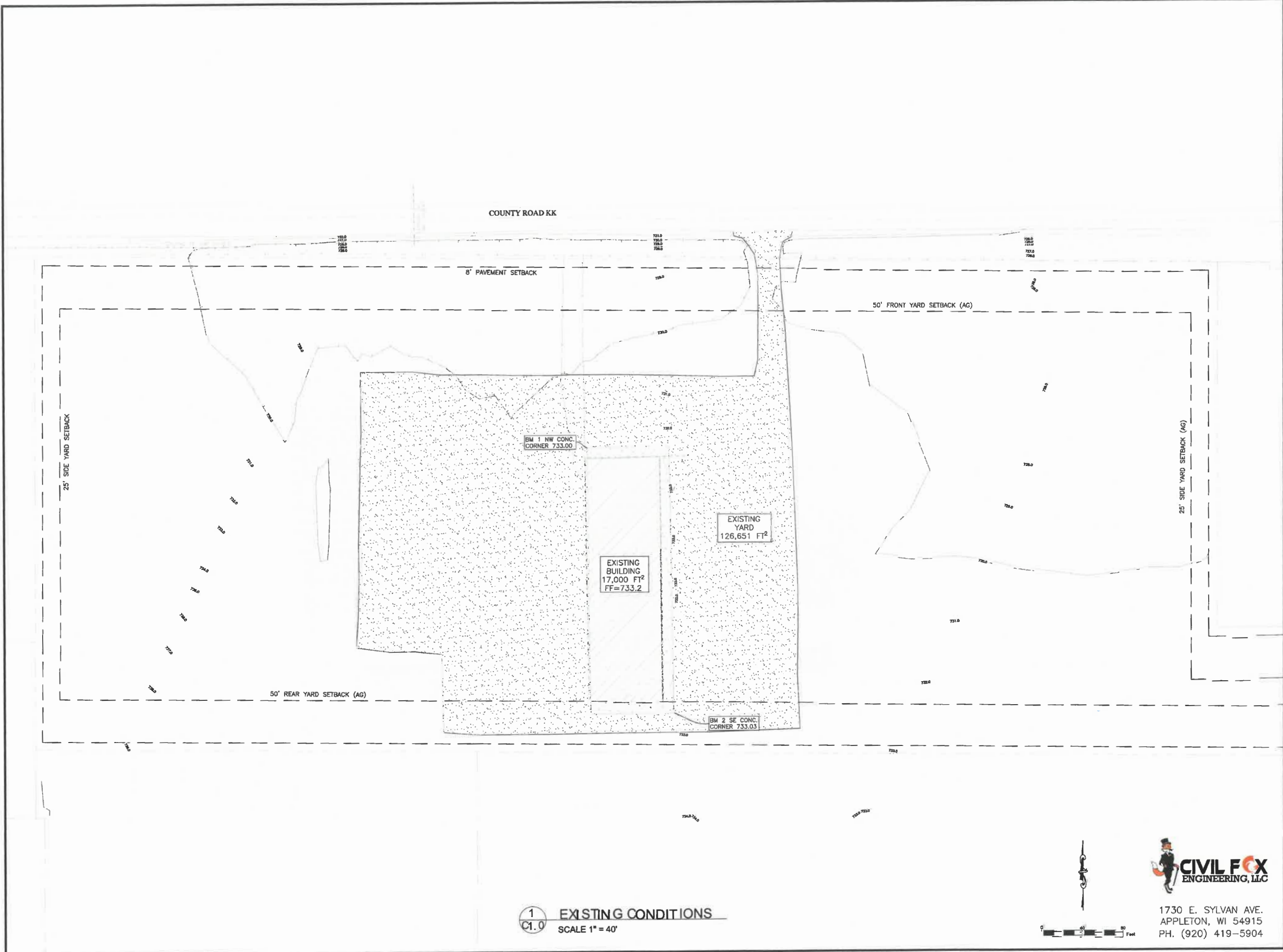


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BLJF GREG
SMET NO.: 21-102
21089
ARCHT. NO.: TS
DATE: 12/20/21

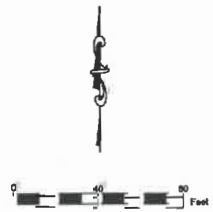
RELEASED #1 3/28/22

RELEASE #1 3/28/22

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(920) 533-9811
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1
C1.0 EXISTING CONDITIONS
SCALE 1" = 40'



CIVIL FOX
ENGINEERING, LLC
1730 E. SYLVAN AVE.
APPLETON, WI 54915
PH. (920) 419-5904

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REVISIONS:

KESHER & ASSOCIATES, LLC
Architects / Planners
WISLA BULM LINE DR. CRMT. W
P.O. BOX 332-898
MILWAUKEE, WI 53208
www.kesher.com

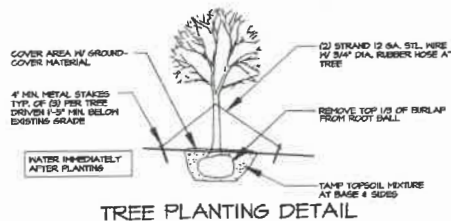
PROJECT INFO:
PROPOSED NEW OFFICE AND STORAGE BLDG. FOR
M.L.L.S.
W/4567 County Rd KK
Kaukauna, WI 54130

DRAWN BY: RJP
SMET NO.: 21-102
ARCHT. NO.: 21089
DATE: 02/20/21

SALES: GREG
SHEET: C1.0

LANDSCAPE KEY

COUNT	MARK	COMMON NAME	SIZE
PROPOSED-TREES			
95		EMERALD GREEN ARBORVITAE	6' TALL
65		EMERALD QUEEN MAPLE	2 1/2" DIA
PROPOSED-SHRUB			
166		JAPANESE BARBERRY	18"-24" TALL



CIVIL LEGEND

DESCRIPTION	EXISTING	PROPOSED
CONTOUR MAJOR	--- 500 ---	--- 500 ---
CONTOUR MINOR	--- 499 ---	--- 499 ---
SANITARY SEWER	--- S ---	--- S ---
STORM SEWER	--- STN ---	--- STN ---
WATER MAIN	--- W ---	--- W ---
PROPERTY LINE	--- P ---	--- P ---
SILT FENCE	--- S ---	--- S ---
GRADING LIMIT	--- G ---	--- G ---
SPOT ELEVATION	▲ 700.00	▲ 700.00

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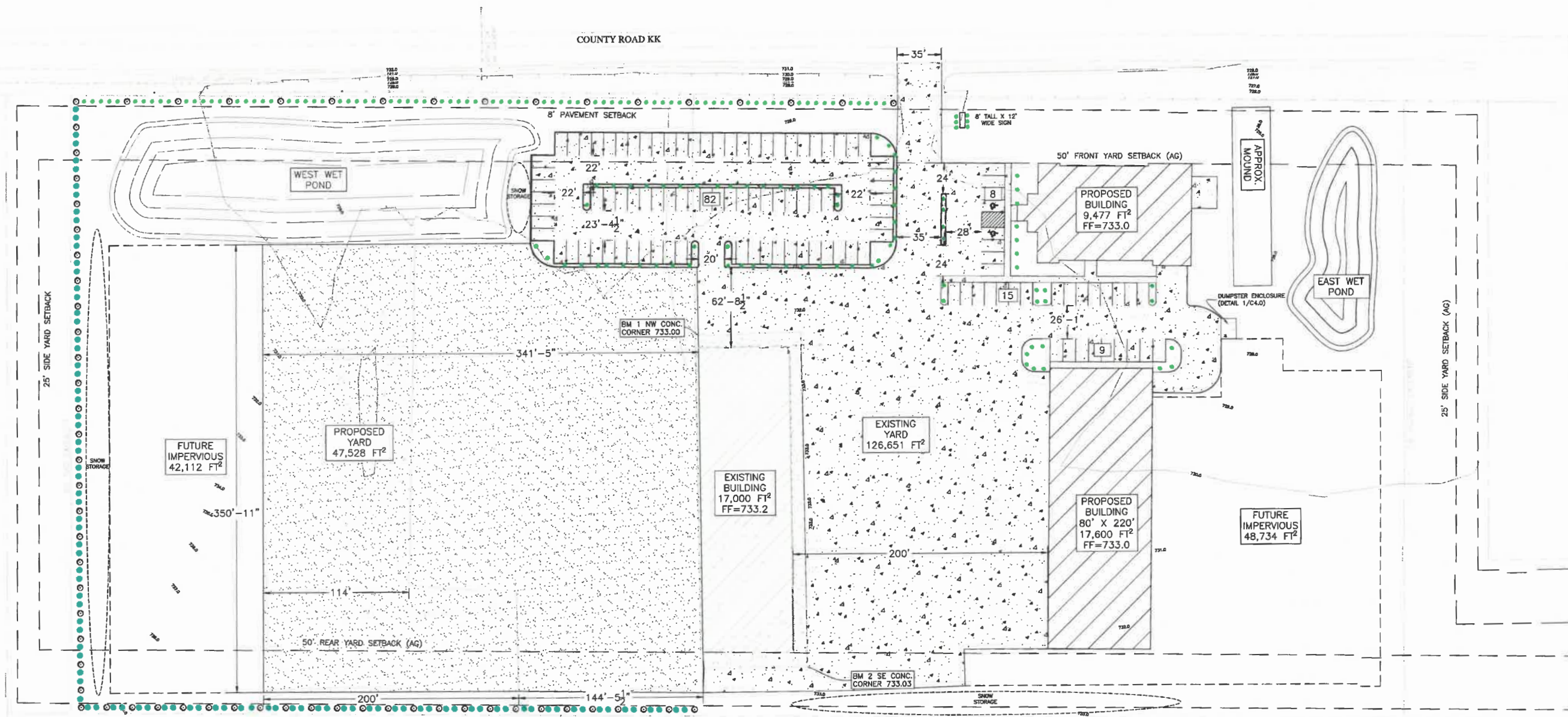
NO.	DESCRIPTION

FISHER & ASSOCIATES, LLC
Architects / Planners
14354 BALM LAKE DRIVE DRZT, W
PH: (920) 532-5999
fisher@fisherandassociates.com

PROPOSED NEW OFFICE AND STORAGE BLDG. FOR:
MILLS
Estate Services
W/4567 County Rd Kk
Kaukauna, WI 54130

PROJECT INFO:	SALES:
DRAWN BY: R/JF	OREG
SMET NO.:	SHEET:
21-102	C2.0
ARCHT. NO.:	
21089	
DATE:	
12/20/21	

811
Know what's below.
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ENGINEERING, LLC
1730 E. SYLVAN AVE.
APPLETON, WI 54915
PH. (920) 419-5904



SITE DATA (INCLUDES FUTURE)

TOTAL AREA =	586,003 SQ FT
BUILDING AREA =	44,077 SQ FT (07.52%)
PAVED AREAS =	327,046 SQ FT (55.81%)
TOTAL BUILDING & PAVED =	371,123 SQ FT (63.33%)
GREEN SPACE =	214,880 SQ FT (36.67%)

PROPOSED AREAS

BUILDING AREA =	27,077 SQ FT (04.62%)
PAVED AREAS =	231,904 SQ FT (39.57%)
TOTAL BUILDING & PAVED =	258,981 SQ FT (44.19%)

EXISTING IMPERVIOUS

GRAVEL & PAVED AREAS =	130,996 SQ FT
EXISTING BUILDING =	17,000 SQ FT
TOTAL EXISTING IMPERVIOUS =	147,996 SQ FT (25.26%)
GRAVEL REMOVED =	126,651 SQ FT
(GRAVEL REMOVED IS EXISTING GRAVEL TO BE PAVED)	
(PAVING PLANNED FOR FUTURE ON WEST LOT)	
TOTAL EXISTING AND PROPOSED IMPERVIOUS =	371,123 SQ FT (63.33%)

NOTE:
ALL AREAS DESIGNATED AS "GREEN SPACE" SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS

1 SITE PLAN
SCALE 1" = 40'

BENCHMARKS

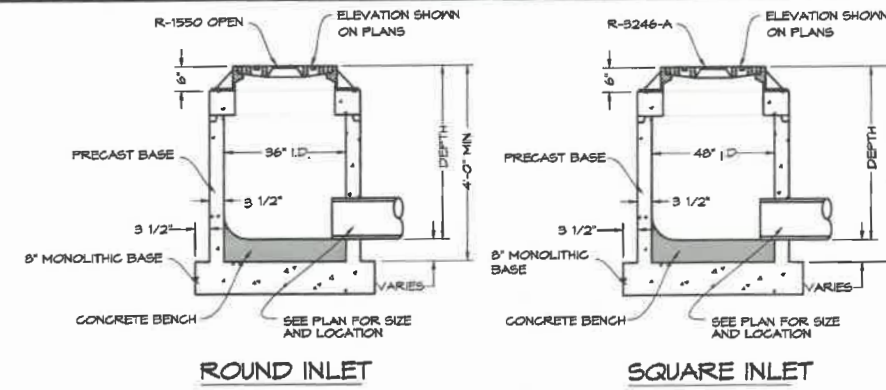
LABEL	ELEVATION	DESCRIPTION
BM 1	773.00	NW CONC. CORNER
BM 2	773.03	SE CONC. CORNER

UTILITY NOTES:

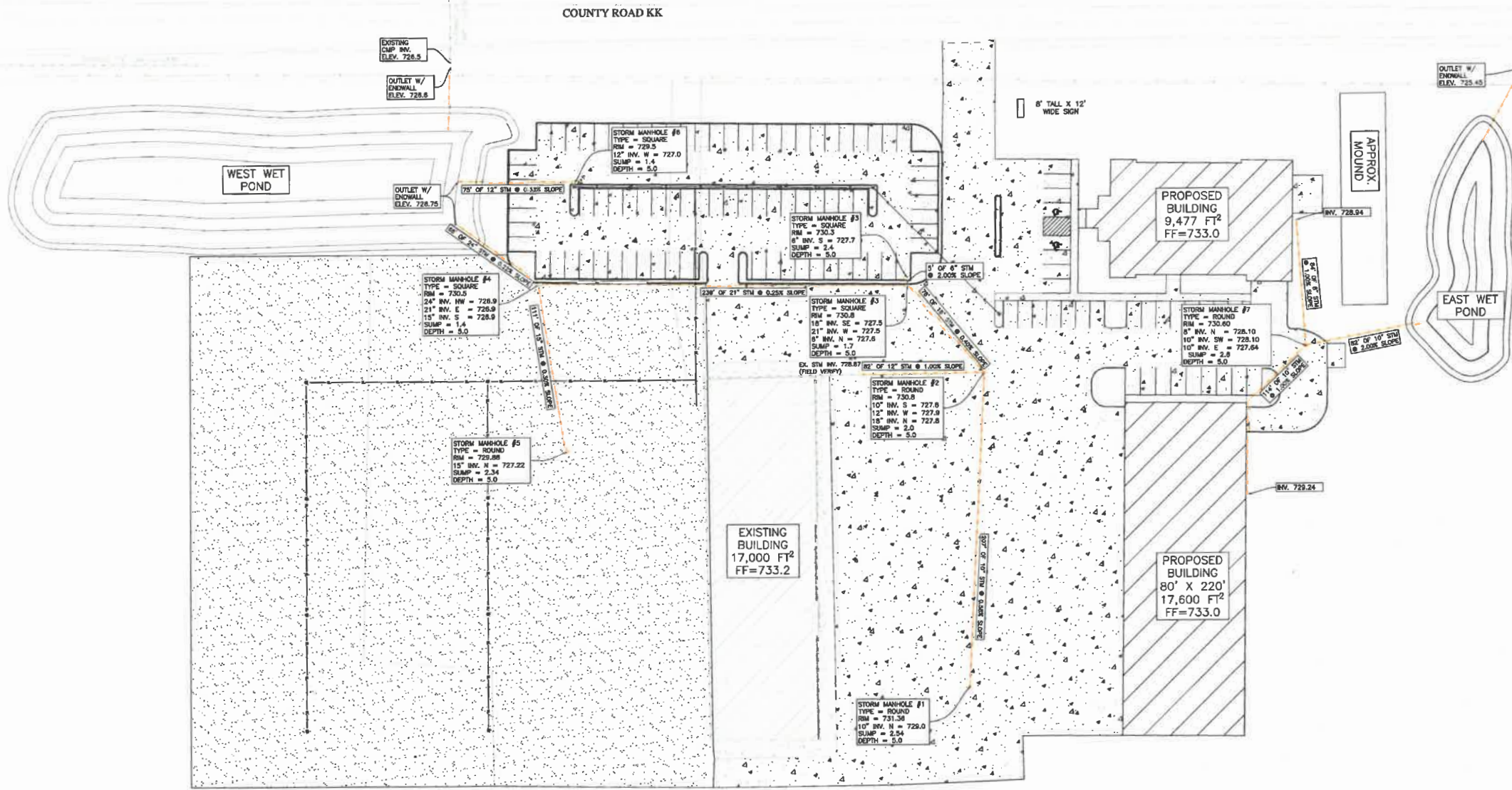
CONTRACTOR SHALL LOCATE ALL BURIED FACILITIES PRIOR TO EXCAVATING. THIS PLAN MAY NOT CORRECTLY OR COMPLETELY SHOW ALL BURIED UTILITIES. THE CONTRACTOR SHALL VERIFY ALL STAKING AND FIELD LAYOUT AGAINST THE PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTING THE WORK AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES, CHAPTER SPS 382, FOR LATERAL CONSTRUCTION AND CLEANOUT LOCATIONS. THE CONTRACTOR SHALL COORDINATE WITH PROVIDER FOR ELECTRIC, GAS, AND TELECOMMUNICATION SERVICE CONNECTION AND RELOCATIONS. PIPE LENGTHS ARE MEASURED TO CENTER OF STRUCTURE. ENDWALLS ARE INCLUDED IN PIPE LENGTH. CONFIRM DOWNSPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS. SANITARY SEWER PIPE SHALL BE PVC SCHEDULE 40, WITH MINIMUM OF 18 GAUGE. STORM SEWER (STM) PIPE SHALL BE PVC SDR(35), REINFORCED CONCRETE CLASS III, OR HDPE, ASHTO M 294, TYPE S WITH SOIL TIGHT JOINTS, WITH MINIMUM OF 18 GAUGE, INSULATED (BROWN), SINGLE-CONDUCTOR COPPER TRACER WIRE, OR EQUIVALENT, PER SPS 382.36 (7)(D)10.A.

LIGHTING NOTES:

-DIMMABLE LED SOFFIT LIGHTS AT 10'-0" IN BUILDING SOFFITS. VERIFY LOCATIONS WITH ARCHITECT.
-SEE LIGHTING PLAN FOR WALL PACKS AND VERIFY LOCATIONS WITH ARCHITECT.



2 TYP. ROUND & SQUARE INLETS
C3.0 NTS



1 UTILITY PLAN
C3.0 SCALE 1" = 40'



Know what's below.
Call before you dig.



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REVISIONS:

ROSHIER & ASSOCIATES, LLC
Architects / Planners
1835A BALCON LAKE DRIVE DRITZ, W
PH. (920) 532-9999
rlroshier@roshierandassociates.com

MILIS
FLYWORKER

PROPOSED NEW OFFICE AND STORAGE BLDG. FOR:
W4567 County Rd Kk
Kaukauna, WI 54130

PROJECT INFO:
DRAWN BY: SALES:
R/JF GREG
SMET NO.: GHEET
21-102
ARCHIT. NO.:
21089
DATE: C3.0
12/20/21



4471 S.F.

FLOOR PLAN
1/8" = 1'-0"



RELEASE #1 3/28/22

PROJECT INFO:

PROPOSED NEW OFFICE AND STORAGE BLDG. FOR:



W4567 County Rd KK
Kaukauna, WI 54130

DRAWN BY: R/F
SMET NO.: 21-102
ARCHT. NO.: 21089
DATE: 12/29/21

SALES: GREG

A1.1

REVISIONS:

RESNER & ASSOCIATES, LLC
Architects / Planners
1854 WALNUT LAKE ROAD, ORVITZ, WI
PH: (920) 552-1144
F: (920) 552-1144
resner@resnerandassociatesllc.com

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DEPERE, WI 54185



(800) 275-4772
(800) 582-5685
FAX (800) 582-5681

WWW.SMET.COM

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NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

RELEASE #1 3/28/22

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E-MAIL: BUILD@SMET.COM

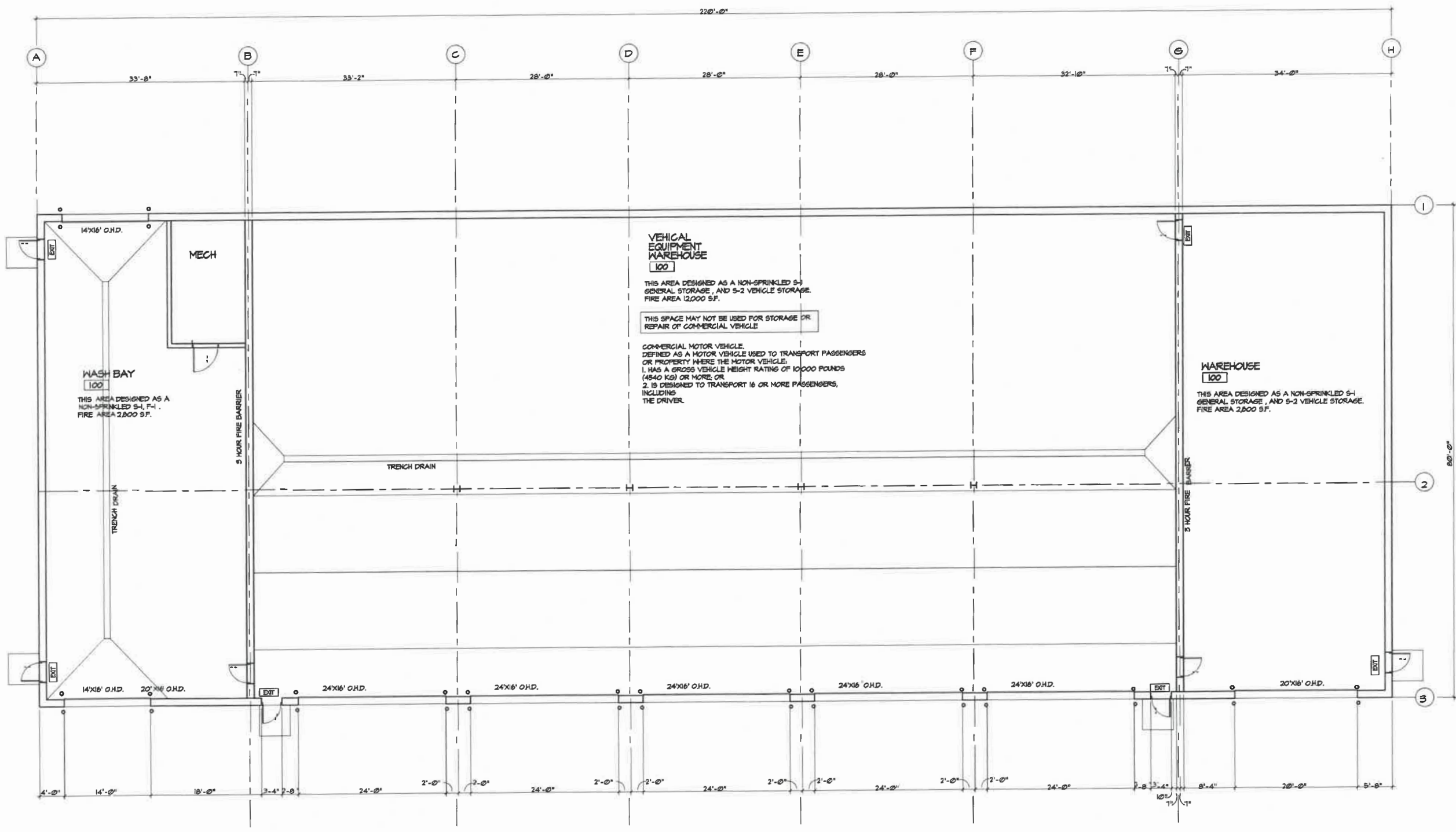
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Architects / Planners
1800 PALM LAKE ROAD, GRANTZ, WI
PHONE: (608) 292-4941
WWW.FISHERANDASSOCIATESLLC.COM

PROJECT INFO:
PROPOSED NEW OFFICE AND STORAGE BLDG. FOR:
MILLS
A DIV. OF
W4567 County Rd KK
Kaukauna, WI 54130

DRAWN BY: RJF	SALES: GREG
SMET NO.:	SHEET:
21-102	A3.1
ARCHT. NO.:	DATE:
21089	12/20/21



VEHICAL EQUIPMENT WAREHOUSE
100

THIS AREA DESIGNED AS A NON-SPRINKLED S-I GENERAL STORAGE, AND S-2 VEHICLE STORAGE. FIRE AREA 12,000 S.F.

THIS SPACE MAY NOT BE USED FOR STORAGE OR REPAIR OF COMMERCIAL VEHICLE

COMMERCIAL MOTOR VEHICLE, DEFINED AS A MOTOR VEHICLE USED TO TRANSPORT PASSENGERS OR PROPERTY WHERE THE MOTOR VEHICLE:

1. HAS A GROSS VEHICLE WEIGHT RATING OF 10,000 POUNDS (4540 KG) OR MORE, OR
2. IS DESIGNED TO TRANSPORT 16 OR MORE PASSENGERS, INCLUDING THE DRIVER.

WASH BAY
100

THIS AREA DESIGNED AS A NON-SPRINKLED S-I, F-I. FIRE AREA 2,800 S.F.

WAREHOUSE
100

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PRELIM DESIGN 3/22/22

FLOOR PLAN
1/8" = 1'-0"

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REVISIONS:

NO.	DESCRIPTION

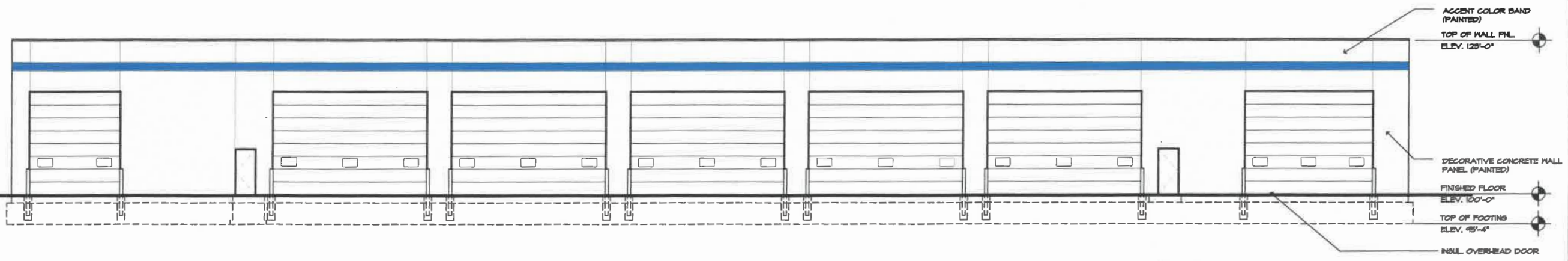
FISHER & ASSOCIATES, LLC
Architects / Planners
18564 BALSAM LAKE ROAD, COVINGTON, LA
70038-5274
ff@fisherandassociatesllc.com

PROPOSED NEW STORAGE BLDG. FOR:

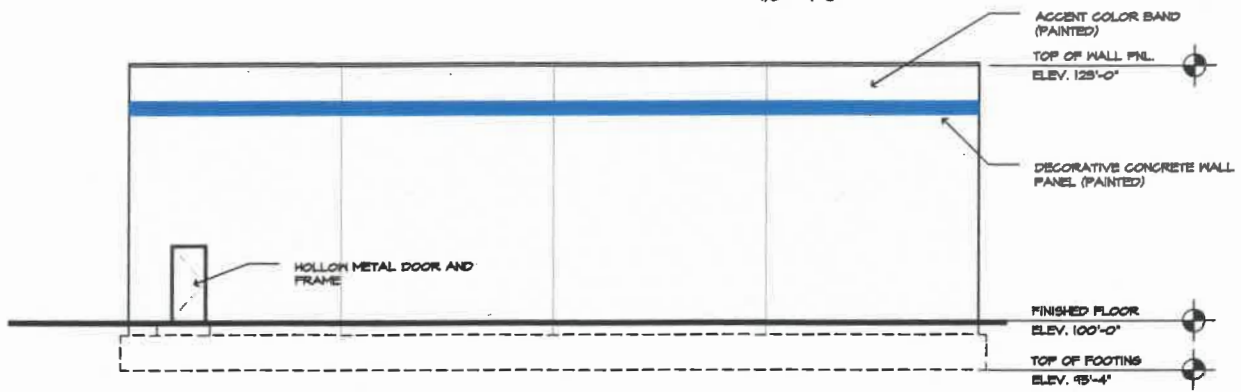
MILLS FLAVOR
W4567 County Rd KK
Kaukauna, WI 54130

PROJECT INFO:	SALES:
DRAWN BY: RJE	GREG
SMET NO.:	
21-102	
ARCHT. NO.:	
22018	
DATE:	
3/21/22	

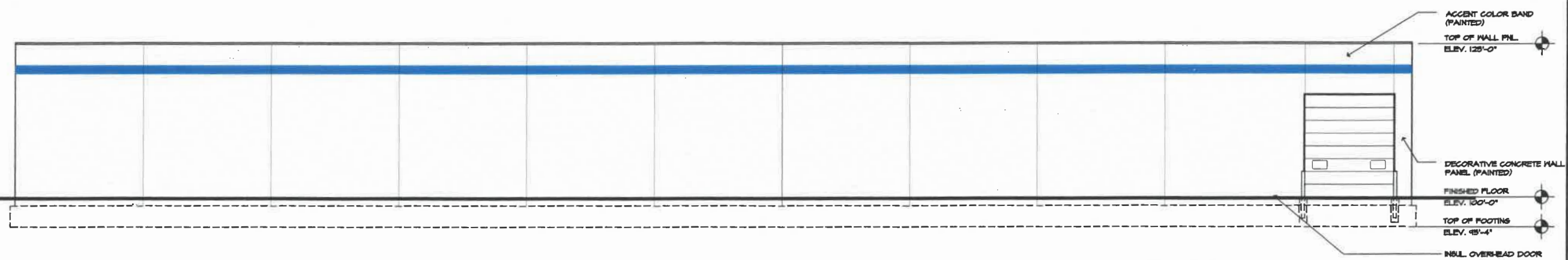
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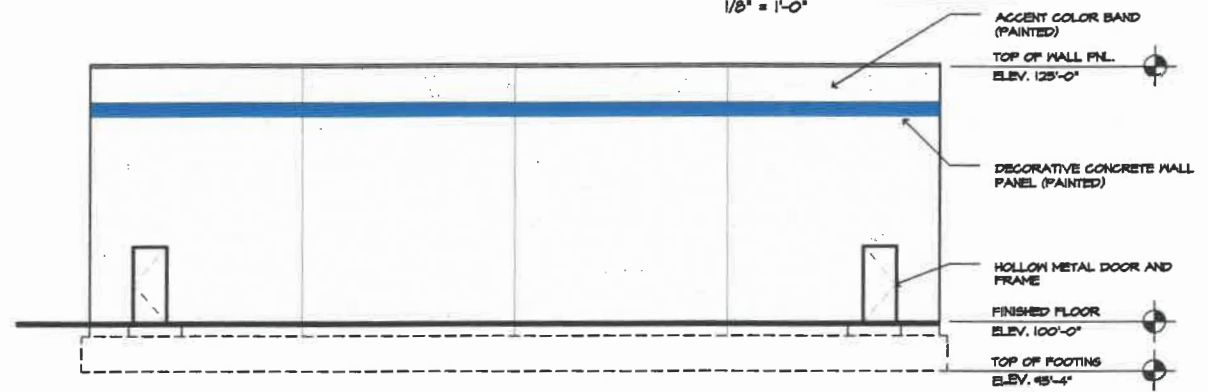
WEST ELEVATION
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EAST ELEVATION
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NORTH ELEVATION
1/8" = 1'-0"

PRELIM DESIGN 3/22/22

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16354 BALSAM LAKE ROAD, GRANT, WI
PHONE: (202) 532-9881
FISHER@FISHERANDASSOCIATESLLC.COM

PROJECT INFO:
PROPOSED NEW STORAGE BLDG. FOR:
MILIS
W4567 County Rd Kk
Kaukauna, WI 54130

DRAWN BY: R/JF	SALES: GREG
SMET NO.: 21-102	SHEET: A3.1
ARCHT. NO.: 22018	DATE: 3/21/22

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager
Jeff Funk, Operations Manager

Meeting Date:

April 26, 2022

Title:

Purchase of Salt Spinner for Public Works Department truck

Background and Additional Information:

The Public Works Department budgeted for a right-hand mounted spinner assembly (salt spinner) for a truck in 2022. Staff obtained quotes and found that only Monroe Truck Equipment will quote the product because other truck companies will not perform this type of work on vehicles they did not build.

Public Works staff feels the second spinner assembly is needed for this truck to optimize snow and ice removal on the roads.

Budget Impacts:

The 2022 budget identifies \$12,000 for purchase of a salt spinner. The quote was \$9,890.00 which is within budget.

Recommended Action:

Staff recommends the Village Board authorize Public Works Department to have the mounted spinner assembly purchased and installed by Monroe Truck Equipment for \$9,890.00.

Attachments:

- Quote from Monroe Truck Equipment for \$9,890.00



1151 W Main Avenue
DePere, WI 54115
Sales Rep: Troy Redfearn
Ph: (920) 360-4446
www.MonroeTruck.com

J.O. #

Quotation ID: 2CQQ000042

Date: 4/11/2022

Valid thru: 5/9/2022

Terms: NET 30

Quoted by: Chris Quezada

Ph/Fax: 920-347-4184 / 920-336-8118

Quoted to:

HARRISON, VILLAGE OF (ATTN: JEFF)
W5298 HWY 114
MENASHA, WI 54952
Ph: 920-989-1139 / Fax: 920-989-1077
Email:

Chassis Information

Year: 2016	Make: WESTERN STAR	Model: 4700	Chassis Color:	Cab Type: REGULAR
Single/Dual: DRW	CA: 0.0	CT: 135.0	Wheelbase: 220.0	Engine: DIESEL
			F.O. Number #:	Vin:

Notes:

Monroe Truck Equipment, Inc. is pleased to offer the following quote for your review:

Description	Amount
VILLAGE OF HARRISON ORIGINAL JOB # 41099 SPREADER SERIAL # 16-06-3449	

- ADDITION OF RIGHT-HAND MOUNTED SPINNER ASSEMBLY:
- CHANGE S/A PRE-WET SECTION OUT FOR A D/A AUGER SECTION
 - USE CARTRIDGE TO OPERATE PRE-WET
 - REPLUMB AUGER FOR REVERSING FUNCTION
 - ADD SECOND SPINNER ASSEMBLY TO EXISTING SPREADER
 - REPLUMB SPINNERS TO RUN IN SERIES (BOTH SPINNER WILL TURN)
 - SPINNER LIGHT ADDED TO RH SPINNER ASSEMBLY
 - ADD STAINLESS CHAIN TO SUPPORT SPINNER
 - PRE-WET WILL CONTINUE TO BE ONLY ON LEFT HAND SPINNER

Quote Total: \$9,890.00

***Due to current market conditions, pricing is subject to change at time of upfit.

Additional Options:

Description	Amount	Add to quote? Yes / No
-------------	--------	---------------------------

Terms & Conditions

- Terms are Due Upon Receipt unless prior credit arrangements are made at the time of order.
- Please note if chassis is furnished, it is as a convenience and terms are Net Due on Receipt of Chassis.
- State and Federal taxes will be added where applicable. **Out-of-state municipal entities may be subject to Wisconsin sales tax.**
- Restocking fees may be applicable for cancelled orders.
- MTE is not responsible or liable for equipment that does not meet local/state regulations if those laws are not made known at time of order.

By signing and accepting this quote, the customer agrees to the terms listed above and has confirmed that all chassis information listed above is accurate to chassis specs.

Re-Assign (Required for all pool units):	<input type="checkbox"/> Fleet	<input type="checkbox"/> Retail	Customer P.O. Number:	Dealer Code:	Sourcewell Member Number:
MSO/MCO (ONLY check if legally required):	<input type="checkbox"/> MCO	<input type="checkbox"/> MSO	PENDING		
Customer Signature:				Date of Acceptance:	



VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Matt Heiser, Village Manager

Meeting Date:

April 26, 2022

Title:

Village Cell Phone Policy

Issue:

Should the Village provide cell phones?

Background and Additional Information:

The Village presently pays some employees stipends for the village use of their personal cell phones. This practice is in the Village personnel manual. Conversely, Harrison Utilities provides cell phones to the operators and allows them to perform personal business on them. For the Village employees it could be a problem if an open records request were submitted for phone logs or text messages of Village activity on private cell phones.

One way to resolve this would be to issue Village owned cell phones for all Village activity.

Staff is obtaining quotes from four companies: ATT, Verizon, US Cellular and T-mobile. Those quotes will be presented at the May 3 Village Board meeting.

The Village Accountant pays the stipends after the conclusion of every month. If the Board approved this policy at the April 26 meeting (or either May meeting if they wish to amend the policy), and approved a quote at the May 10 meeting, the phones could be delivered and distributed with a cut-over date of June 1.

The Village Attorney approved the proposed policy.

Budget Impacts:

This will be determined with the update/confirmation of quotes for the May meeting. Preliminary quotes place the cost of each line between \$25.00 and \$50.00 a month which is comparable to the stipend costs. Thus the budget impact may be very small.

Recommended Action:

To approve the proposed policy.

Attachments:

- A proposed updated cell phone policy to replace the one in the handbook. Not only would it address the public records issue but also unify the policy for Village staff in the municipal building and at utilities.

**VILLAGE OF HARRISON
PERSONNEL POLICY – Village Cellular Telephones**

1.0 Purpose

The purpose of this policy is to provide a set of guidelines governing the provision and use of cellular telephones/Smartphones for Village employees.

2.0 Scope

This policy applies to all employees of the Village and Harrison Utilities. It replaces the cell phone policy listed in the Personnel Manual (version updated November 2018)

3.0 Policy Overview

3.1 Village Issued Phone

A. The Village will provide one cellular phone or Smartphone device to the following positions:

1. The Village Manager
2. The Assistant Village Manager
3. The Fire Chief
4. The Village Clerk/Treasurer
5. The Village Assistant Planner
6. The Deputy Clerk/Treasurer
7. All full time members of Public Works
8. All full time Operators in Harrison Utilities

B. The Village will also provide one protective case for such phone.

C. The Village recognizes the advantages of using cellular phones and Smartphones to conduct Village business based on the following:

1. Employee's position
2. Whether the employee is out in the field as part of their regular duties
3. Whether the employee regularly works in an "on call" capacity
4. Whether the employee has a responsibility for key Village operations and is required to respond to emergency incidents Whether the employee is away from their desk or office (while working) for considerable periods of time, and the resulting lack of communication impacts their ability to perform their work
5. Whether the employee needs mobile communication for personal safety
6. Necessity for the employee to respond to business related e-mails and/or text messages in real time

- D. Any anomalies or concerns regarding the usage of a Village provided cell phone shall be reported to the Department Head and/or Village Manager.

3.2 Use of Village Provided Cell Phones

- A. Employees are required to perform communication on Village-owned equipment. Village owned cell phones / Smartphones are primarily intended for Village business.
- B. Personal use of a Village cell phone / Smartphone is allowed. Employees must have no expectation of privacy or confidentiality in electronic communication sent, received, or accessed on Village issued cell phones or Smartphones. As such, the Village has the right to monitor, review, audit, and otherwise access the content of all electronic communication sent, received, or accessed on Village issued cell phones or Smartphones with or without prior notice to the employee for both non-investigative work-related reasons, and for investigation of employee misconduct. Employees making or receiving personal calls on a Village cell phone are expected to reimburse the Village for any costs or charges above or outside of its plan resulting from personal use of their cell phones (examples, overages and roaming charges). Any call that cannot be documented for a business purpose will be treated as a personal call.
- C. Employees are expected to use a Village cell or Smartphone responsibly and in accordance with this policy and any applicable work rules and policies. Use of a Village cell phone in violation of the Village's policies and work rules, may result in revocation of the cell phone or smartphone assignment and disciplinary action against the employee, up to and including termination.
- D. Employees are strongly discouraged from using handheld wireless telephones or data devices while driving or operating motorized equipment except in emergency situations. Instead, employees are encouraged to use hands-free accessories or pull over to the side of the road and/or shut down machinery until the call is complete.
- E. Any equipment issued by the Village of Harrison is Village property. Loss, theft or damage to a Village issued cell phone/device shall be reported immediately to the employee's direct supervisor. If the employee is found to be at fault for the loss of the Village issued cell phone due to gross negligence, this may result in disciplinary action. Each Department shall immediately contact the Village Manager upon receiving information of a loss, theft or damage to a Village issued cell phone/device. The Village Manager is authorized to clear all confidential Village information from the phone. This may result in personal information being erased from the device as well.

- F. The Village prohibits excessive personal calls, texts or other messaging during the workday regardless on who's device those phone calls take place. This interferes with employee productivity. Excessive personal communications may result in disciplinary action.
- G. Employees are prohibited from sending, receiving or accessing electronic communication that is insulting, profane, vulgar, lewd, indecent, sexually explicit, illegal, profit-making, political, unprofessional or in the violation of the Village policies while using a Village owned device.
- H. Employees approved to carry a cell phone or Smartphone for Village business are expected to make a reasonable effort to respond in a timely manner to Village business. This includes the response to urgent matters outside of normal business hours. Consistent failure to respond in a timely manner to business calls, texts or emails may result in discipline.
- I. Electronic communication made on Village issued cell phones or Smartphones involving government policy or business is subject to state record retention requirements and may be subject to the Wisconsin Public Records Law. The content of employee electronic communication may be subject to disclosure in litigation, audits, and other purposes. Users are authorized limited incidental use of the Village's issued cell phones for personal purposes, but employees have no expectation of privacy or confidentiality in such use. Communications of purely personal nature are exempt. Recipients are expected to sign a form acknowledging they understand the phone is part of the open records law.
- J. Employees may not provide the cellular phone number of any employee of the Village to a member of the public without the cell phone user's authorization.

3.3 Employee Separation from Employment

Employees shall return Village cell phone or Smartphone at the time of separation. The Village will discontinue the service. Failure of the employee to return the Village cell phone or Smartphone at the time of separation will result in the Village taking steps to download files from the device and wipe the device clean to avoid breaches of confidentiality

4.0 Effective Date

This policy is effective upon the first day of the month following approval of the Board.

ACKNOWLEDGEMENT FORM

Village of Harrison

Cell phone/Smartphone policy

Please check one of the following:

I understand that the Village issued cell phone/smartphone is a piece of government equipment that is subject to the Wisconsin Public Records Law and any incidental personal use could be captured as a public record.

I understand that the Village issued cell phone/smartphone is a piece of government equipment that is subject to the Wisconsin Public Records Law and choose to carry a personal phone for all personal business.

Signature

Date

Printed Name

Renewal Alcohol Beverage License Application

(Submit to municipal clerk. Read instructions on page 3.)

For the license period beginning: 05/01/2022 ending: 10/01/2022
(mm dd yyyy) (mm dd yyyy)

To the Governing Body of the: Town of } Harrison
 Village of }
 City of }
 County of Calumet Aldermanic Dist. No. _____
 (if required by ordinance)

Check one: Individual Limited Liability Company
 Partnership Corporation/Nonprofit Organization

Complete A or B. All must complete C.

Applicant's Wisconsin Seller's Permit Number <u>456-00002-02</u>	
FEIN Number <u>51-02</u>	
TYPE OF LICENSE REQUESTED	FEE
<input type="checkbox"/> Class A beer	\$
<input type="checkbox"/> Class B beer	\$
<input type="checkbox"/> Class C wine	\$
<input type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class A liquor (cider only)	\$ N/A
<input type="checkbox"/> Class B liquor	\$
<input type="checkbox"/> Reserve Class B liquor	\$
<input type="checkbox"/> Class B (wine only) winery	\$
Publication fee	\$
TOTAL FEE	<u>\$waived</u>

A. Individual or Partnership:

Full Name (Last)	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)
Full Name (Last)	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)
Full Name (Last)	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)

B. LLC or Corporation (and Agent):

Full Legal Name of Corporation / Nonprofit Organization / Limited Liability Company <u>Harrison Athletic Assoc</u>	Address of Corporation / Limited Liability Company (if different from licensed premises) <u>Hwy 114 / State Park Rd</u>
---	--

All corporations/organizations or limited liability companies applying for a license to sell fermented malt beverages and/or intoxicating liquor must appoint an agent.

Agent Last Name <u>Mader</u>	(First) <u>Becky</u>	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code) <u>178580 Cty m Menasha WI 54952</u>
---------------------------------	-------------------------	---------------	--

All Officer(s) Director(s) of Corporation and Members / Managers of Limited Liability Company:

President / Member Last Name <u>Lambie</u>	(First) <u>Kevin</u>	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code) <u>Field Dr Appleton WI 54915</u>
Vice President / Member Last Name <u>Fredericks</u>	(First) <u>Rob</u>	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code) <u>Appleton 54915</u>
Secretary / Member Last Name <u>Stumpf</u>	(First) <u>Brenda</u>	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code) <u>view Ct Sherwood 54169</u>
Treasurer / Member Last Name <u>Fredericks</u>	(First) <u>Pam</u>	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code) <u>Appleton 54915</u>
Directors / Managers Last Name	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)
Directors / Managers Last Name	(First)	(Middle Name)	Home Address (Street, City or Post Office, & Zip Code)

C. Business Information

- Trade Name _____ Business Phone Number _____
- Address of Premises _____ Post Office & Zip Code _____
- Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? Yes No
- Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, consumption, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.)
Pavilions, Concession Stands

5. Legal description (omit if street address is given on previous page): _____
6. a. Since filing of the last application, has the named licensee, any member of a partnership licensee, or any member, officer, director, manager or agent for either a limited liability company licensee, or nonprofit organization licensee been **convicted of any offenses** (excluding traffic offenses not related to alcohol) for violation of any federal laws, any Wisconsin laws, any laws of other states, or ordinances of any county or municipality? **If yes, complete page 3** Yes No
- b. Are **charges for any offenses** presently **pending** (excluding traffic offenses not related to alcohol) against the named licensee or any other persons affiliated with this license? **If yes, explain fully on page 3.** Yes No
7. Except for questions 6a and 6b, have there been any changes in the answers to the questions as submitted by you on your last application for this license? **If yes, explain** Yes No
- _____
- _____
- _____
8. Was the profit or loss from the sale of alcohol beverages for the previous year reported on the Wisconsin Income or Franchise Tax return of the licensee? **If not, explain** Yes No
- _____
- _____
- _____
9. Does the applicant understand they must hold a Wisconsin Seller's Permit? Yes No
[phone (608) 266-2776]
10. Does the applicant understand that alcohol beverage invoices must be kept at the licensed premises for 2 years from the date of invoice and made available for inspection by law enforcement? Yes No
11. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor? Yes No
12. Does the applicant owe municipal property taxes, assessments, or other fees? Yes No
(Note: Renewal of licenses may be denied pursuant to a local ordinance, if the licensee owes municipal taxes, assessments or other fees).

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the undersigned states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. The signer agrees that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000.

Contact Person's Name (Last, First, M.I.) <i>Stumpf, Brenda</i>	Title / Member <i>Secretary</i>	Date <i>4-13-22</i>
Signature <i>Brenda Stumpf</i>	Phone Number <i>920-8</i>	Email Address <i>uwi.com</i>

TO BE COMPLETED BY CLERK

Date received and filed with municipal clerk <i>04-13-2022</i>	Date reported to council / board <i>04-26-2022</i>	Date license granted
License number issued	Date license issued	Signature of Clerk / Deputy Clerk

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:
Vicki Tessen, Clerk

Meeting Date:
April 26, 2022

Title:
Woodland School End of Year Party at Darboy Park

Issue:
Should the Board waive the park shelter fees for a Woodland School event?

Background and Additional Information:
Woodland School is having an end of year gathering at the Darboy Park for the 5th and 6th graders and they would like to use the shelter free of charges.

The date is Thursday, June 2, 2022 from 8 am - 2:30 pm

There are no other events scheduled or anticipated for this date.

Budget Impacts:
None

Staff Recommendation:
Staff recommends approving Woodland School's request to waive the park shelter rental fee.

Action Options:

- Approve waiving the fees.
- Deny waiving the fees.

Attachments:

- none

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Vicki Tessen, Clerk

Meeting Date:

April 26, 2022

Title:

Adopt the Calumet County Hazard Mitigation Plan

Issue:

Should the Village of Harrison adopt the Calumet County Hazard Mitigation Plan?

Background and Additional Information:

Calumet County updated their hazard mitigation plan using grant funds. They are offering/requesting the village to adopt their plan. The adoption of this plan does not commit us to complete any of the plans' suggested projects. However, by doing so, Harrison may be eligible to apply for future hazard mitigation grants or funding of projects that would make Harrison residents safer.

The Calumet County Hazard Mitigation Plan is 243 pages. *Printed copies of the plan were not included in the printed meeting packets.* A printed copy is available in the Clerk's office for public viewing.

An electronic copy was included in the meeting packet that was uploaded to the village website and was also emailed to the Board and 2 citizens that receive meeting packets via email.

Budget Impacts:

None

Staff Recommendation:

Staff recommends approving the Resolution for the County Hazard Mitigation Plan as requested.

Action Options:

1. Approve the Resolution for the County Hazard Mitigation Plan as requested.
2. Approve the Resolution for the County Hazard Mitigation Plan with the following amendments:
3. Postpone action and defer back to staff for further information.
4. Other: _____

Attachments:

- Letter from Bernie Sorenson, Calumet County Emergency Management
 - Resolution V2022-08
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Bernie Sorenson, Emergency Manager

206 Court Street, Chilton, WI 53014
Office: (920) 849-1473
Toll Free: (833) 620-2730
Cell: (920) 418-4407 | Fax: (920) 849-1472
Email: Bernie.sorenson@calumetcounty.org

Emergency Management

March 23, 2022

Dear Town, Village, City, or County Community Leader:

In an effort to mitigate Calumet County's vulnerability to disaster, we applied for, received, and have now updated the Calumet County Hazard Mitigation Plan through a Pre-Disaster Mitigation planning grant. The updated plan serves as a roadmap that outlines potential cost-effective hazard mitigation activities, some of which might be available for future grant funding. The plan highlights the risks and vulnerabilities that Calumet County faces from natural disasters, and highlights mitigation the strategies that may reduce our future losses.

As this project nears completion, we are sending copies of the final updated plan and a draft resolution template for you to use for your re-adoption of this plan. Please note:

1. **Adoption of this plan will not cost your community anything.** You will not be committing to complete any of the projects listed within the plan; instead, it is a list of triaged ideas that could be accomplished should the funding to complete one or more of them become available.
2. **If you do not adopt this plan, your community will not be eligible to apply for and receive mitigation project funding in the future.**

Please include the adoption of this resolution on your next meeting agenda *and provide a copy of the final resolution, as soon as it is passed, to me at the email address listed below.* If you have any questions or comments regarding this process, please feel free to contact me at (920) 849-1473, or by email at bernie.sorenson@calumetcounty.org

This small investment of your time will help make our community a safer, healthier, and more disaster-resistant community for years to come.

Respectfully,

Bernie Sorenson, Emergency Manager
Calumet County Sheriff's Office



RESOLUTION V2022-08
VILLAGE OF HARRISON
Calumet and Outagamie Counties

RESOLUTION ADOPTING THE CALUMET COUNTY HAZARD MITIGATION PLAN

FISCAL IMPACT: None

WHEREAS, the Village of Harrison, Wisconsin recognizes the threat that natural hazards pose to people and property; and

WHEREAS, undertaking hazard mitigation actions before disasters occur will reduce the potential for harm to people and property and save taxpayer dollars; and

WHEREAS, an adopted all-hazards mitigation plan is required as a condition of future grant funding for mitigation projects; and

WHEREAS, the Village of Harrison participated jointly in the planning update process with Calumet County and the other local units of government within the County to prepare an updated Hazard Mitigation Plan;

NOW, THEREFORE, BE IT RESOLVED, that the Village Board of the Village of Harrison, hereby adopts the Calumet County Hazard Mitigation Plan as an official plan; and

BE IT FURTHER RESOLVED that the Calumet County Emergency Management Department will submit, on behalf of the Village, the adopted Hazard Mitigation Plan to Wisconsin Emergency Management and Federal Emergency Management Agency officials for final review and approval. Minor changes made upon advice from Wisconsin Emergency Management and Federal Emergency Management Agency will not require re-adopting this resolution.

Introduced, Approved, and Adopted: April 26, 2022.

Allison K. Blackmer, Village President

ATTEST:

Vicki L. Tessen, Village Clerk/Treasurer