

NOTICE OF VILLAGE BOARD MEETING

DATE: Tuesday, May 10, 2022
TIME: 6:00pm
PLACE: Harrison Municipal Building
W5298 State Road 114
Harrison, WI 54952

NOTICE IS HEREBY GIVEN that a Village Board meeting will be held at 6:00pm on Tuesday, May 26, 2022, at the Harrison Municipal Building. This is a public meeting and the agenda is listed below.

1. Call to Order

2. Pledge of Allegiance

3. Roll Call of Village Board

4. Correspondence or Communications from Board and Staff

5. Corrections and Approval of the Previous Meetings Minutes

- a) April 26, 2022

6. Public Comments

Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three-minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.

7. Unfinished Business for Discussion, Consideration, and/or Action

- a) Development Agreement – Luniak Meadows – Schmidt Road
- b) Final Plat – Luniak Meadows – Schmidt Road
- c) Award Bid for Midway Road Recreation Trail Project
- d) Update on Friendship Trail Master Plan
- e) Revised Village Cell Phone Policy
- f) Cell Phone Quotes
- g) Review of Sewer Connection Fee Report and Approval of New Fees

8. Appointments

- a) Bob Streck to Fire Commission to fill the unexpired term vacated by retiring Commissioner Chad Moder; term to expire April 2025

9. New Business for Discussion, Consideration, and/or Action

- a) Proclamation for retiring Fire Commission member

10. Future Agenda Items

- a) Discussion/Action on a 5-year Capital Improvement Plan
- b) Resolution combining wards for the Primary and General Election (due by June 10th)
- c) Revised Amplified Outdoor Music ordinance by May 31, 2022, meeting
- d) Waverly Beach Amended Outdoor Amplification Application
- e) IT Workshop proposed date Wednesday May 25, 2022, at 7:30 AM.
- f) Village IT plan, Proposal of new meeting/agenda software, and Online payment option update by May 31, 2022

11. Closed Session

Pursuant to Wis. Stats. §19.85(1), the Board will convene in closed session under the following exemptions and purposes. There will be no action taken in closed session.

- a) Pursuant to Wis. Stats. §19.85(1)(e), the Board will meet to deliberate or negotiate the purchase of public property, the investment of public funds or conduct other business in which competitive or bargaining reasons require a closed session. Specifically, the Board will discuss the potential land purchase for future location of Village facilities. Present will be the Board, the Village Manager, the Village Assistant Manager / Planner, and the Clerk.

The Board may reconvene in open session pursuant to Wis. Stats. §19.85(2) to take action on any matter discussed in closed session or for such other purposes as are allowed by law.

12. Adjournment

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

Agenda posted on May 5, 2022 at www.harrison-wi.org and the Municipal Building lobby.
Vicki Tessen, Clerk

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

May 10, 2022

Title:

Development Agreement for Luniak Meadows Subdivision

Issue:

Should the Village Board approve the development agreement for the Luniak Meadows subdivision?

Background and Additional Information:

As a part of the subdivision plat approval process, the Village requires a Development Agreement in order to assure all the public improvements are installed in the subdivision if the final plat is to be approved prior to all the improvements being completed. The agreement is the similar as the ones approved for previous subdivisions. The Development Agreement provides standards for utility and roadway construction in a temporary state and final state.

The Village Engineer reviewed the cost estimates for future road construction. Without knowing how inflation and markets will be in 2 years when the project is completed, the best that can be done is to take the current estimates, which are based on contractor quotes, and add the 20% as allowable. The financial guarantee amount will be \$751,577.70

Budget/Financial Impact:

None.

Recommended Action:

Staff recommends that the development agreement be approved for the Luniak Meadows subdivision.

Action Options:

1. Approve the Development Agreement.
2. Approve the Development Agreement with amended language.
3. Postpone action.
4. Do not approve the Development Agreement.

Attachments:

- Draft Development Agreement

**SUBDIVISION DEVELOPMENT AGREEMENT
LUNIAK MEADOWS**

THIS AGREEMENT, made this _____ day of _____, 20____, between Dercks DeWitt, LLC, hereinafter called "Subdivider", and the Village of Harrison, a municipal corporation of the State of Wisconsin, located in Calumet and Outagamie counties, hereinafter called "Village".

WHEREAS, Subdivider is the owner of approximately 38.5-acres of land in the Village, said land being referred to as "Luniak Meadows" described as:

All of Lot 2, Certified Survey Map 3940, Recorded as Document Number 564107, being located in part of the Northwest ¼ of the Northwest ¼ and part of the Northeast ¼ of the Northwest ¼, Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County.

WHEREAS, Subdivider desires to subdivide and develop said lands;

WHEREAS, said lands are presently zoned or planned to be zoned as **RS-1 | Single-Family Residential (Suburban)** which permits the above development; and

WHEREAS, the Plan Commission has recommended to the Village Board that the proposed subdivision of the above described lands be given final approval when the final plat thereof has been presented to the Village Board on the condition that the Subdivider enter into an agreement with the Village relative to the manner and method by which said lands are to be developed; and

WHEREAS, the Subdivider agrees to develop said land as herein described in accordance with this Agreement and in accordance with all of the ordinances and regulations of the Village of Harrison; and

WHEREAS, the developer/subdivider assures the Village and shall on the plat acknowledge:
"The owner/subdivider has no notice or knowledge of any environmental problems (the existence of hazardous or toxic substances) of any sort on the property being transferred. The owner/subdivider understands that it will pay for any costs to remediate any environmental problems encountered during construction of any of the public improvements required by the Village on the plat in the Developer's Agreement. The owner/subdivider understand that they shall be individually responsible for any environmental problems found on the land, transferred to the Village on the Plat of Survey or Certified Survey Map during the construction of roads or other dedications and agree to hold the Village harmless until construction, installation or grading is complete."; and

WHEREAS, the Village and Subdivider agree that the required dedications for surface water drainage and detention shall be dedicated with the plat acceptance, but shall be constructed by the developer as specified. Security for performance of the construction shall be secured by letter of credit or escrow. Security for performance shall not be released in full or in part, at the discretion of the Village, until performance is complete and sufficient development of the subdivision has occurred to satisfy the Village that further development related impairment or damage of surface water structures will not occur.

NOW, THEREFORE, in consideration of the granting of approval of a final plat for **Luniak Meadows** and the development thereof by the Village Board, the Subdivider does hereby agree to subdivide and develop said lands as follows:

SECTION 1 – IMPROVEMENTS

All public improvements shall be in accordance with the Village of Harrison Standards and Specifications as established in the *Standard Specifications Manual*, the Land Division Ordinance, and all other ordinances for the Village of Harrison. All plans and specifications for the public improvements shall require approval from the Village Engineer and Public Works Department prior to proceeding with construction.

A. ROADS AND STREETS The Subdivider and Village hereby agrees:

To furnish, construct, grade and surface all roads and streets in the subdivision, all in accordance with the FINAL plat, plans, specifications and drawings approved by the Village.

The Village has given consideration to the installation required and completion dates shall hereinafter be established and specified below. The completion dates are based upon the developer's installation in accordance with the land division ordinance and the FINAL plan specifications and drawings approved by the Village.

All street construction, including but not limited to, sanitary sewer, watermain, storm sewer and associated laterals, subgrade, gravel base, and 1½" temporary asphalt binder shall be inspected by the Village, or their designee, in accordance with Section I, below.

Once the Village of Harrison standards have been met, the Village Board will take action respectively, to accept the listed roads. Acceptance of a gravel road may only occur after the subgrade, gravel, and 1½" temporary asphalt binder has been installed and inspected by the Village, all utilities (sanitary sewer, water, storm sewer, gas, electric, cable/phone, etc.) have been installed, and all terraces and primary drainage swales and ditches have been graded, seeded, and mulched and inspected by the Village. Once approved, the roads will sit for a period not less than two (2) freeze/thaw cycles but no more than three (3) years after acceptance by the Village Board.

During the specified time period, the mountable curb and gutter shall be installed, the 4-inch asphalt paving completed, and sidewalks and/or trails installed. The Subdivider shall be responsible for the construction of the mountable curb and gutter, asphalt paving, and sidewalk and/or trail construction. All sidewalks to be installed as part of a single project and shall not be installed on a per lot basis unless approved by the Public Works Department.

All costs for construction of the curb and gutter, the asphalt paving, and sidewalks and/or trails shall be held in escrow, in the form of a Performance Bond, Letter of Credit, or Cash Escrow, payable to the Village of Harrison.

Any variation to the proposed schedule of the improvements as set forth in the contract below may be extended where requests are made by the Subdivider for construction during periods within the determination of the Public Works Department and the Village's Engineer, require extension of time periods to assure the Village that the improvements will not suffer from premature degeneration as a result of said construction.

For new utility or street construction between November 15th and May 1st, there will be an additional warranty period of three years beginning from the acceptance of the "gravel road". Such warranty shall apply to all improvements in case of failure. Such warranty shall be in the form of a Performance Bond, Letter of Credit or Cash Escrow in an amount sufficient, as

approved by the Public Works Department and/or Village Engineer, to repair defects in the roadway. Repair of such defects shall be determined by the Public Works Department.

The schedule for construction shall be as follows:

Timeframe Record	
Subdivision	Luniak Meadows
Final Subdivision Approval	Winter 2021/22
Sanitary, Water, and Storm Sewers	Winter 2021/22
Utilities (Gas, Electric, Phone, Cable, etc.)	Spring 2022
Grade & Gravel	Spring 2022
Terraces	Spring/Summer 2022
1½" Temporary Asphalt Binder	Spring/Summer 2022
Landscape Berm with Plantings	NA
Concrete Mountable Curb & Gutter	Summer/Fall 2024
4" Asphalt Pavement	Summer/Fall 2024
Sidewalks/Trails	Summer/Fall 2024

If 80% of the property owners of the subdivision request an earlier timeframe for curb & gutter, asphalt pavement, and sidewalks/trails to be installed, the Village Board may review such request.

B. CURB AND GUTTER The Subdivider hereby agrees:

1. To furnish, construct and install curb and gutter in accordance with the plat, plans, specifications and drawings attached hereto as Exhibit "A" and to complete said installation as set forth in the schedule above.

C. SIDEWALKS The Subdivider hereby agrees:

1. To furnish, construct and install concrete sidewalks in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above. Sidewalks are to be constructed on both sides of the street. Sidewalks are to be installed along all lots at the same time.

D. TRAILS The Subdivider hereby agrees:

1. To furnish, construct and install 2-1/2-inch asphalt 10-foot trail within Outlot 1 in accordance with the plat, plans, specifications and drawings and to complete said installation as set forth in the schedule above. Location of such trail to be approved by the Village.

E. SANITARY SEWER The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete sewerage system throughout the entire subdivision, all in accordance with the plat plans, specifications and drawings *as per the requirements of Darboy Sanitary District and the Standard Specifications Manual for the Village of Harrison.*

2. To install separate sanitary sewer laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
3. The sanitary sewer system will not be accepted until the sanitary sewers have been installed and tested in accordance with *Darboy Sanitary District* specifications on file with the Department of Natural Resources and the Subdivider's plan specifications as approved by *Darboy Sanitary District* and the Village's Engineer.

F. WATER The Subdivider hereby agrees:

1. To furnish, construct, install and provide a complete water distribution system throughout the entire subdivision, all in accordance with the plat, plans, specifications and drawings as per the requirements of *Darboy Sanitary District* and the *Standard Specifications Manual* for the Village of Harrison.
2. To install separate water laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
3. The water distribution system will not be accepted until the water distribution system has been installed and tested in accordance with *Darboy Sanitary District* specifications on file with the Department of Natural Resources and Public Service Commission and the Subdivider's plans and specifications approved by the *Darboy Sanitary District* and the Village's Engineer.

G. SURFACE WATER DRAINAGE The Subdivider hereby agrees:

1. To furnish, construct, install and provide adequate facilities for storm and surface water drainage throughout the entire subdivision, all in accordance with the **FINAL** plat, plans, specifications and drawings approved by the Village and the Wisconsin Department of Natural Resources (WDNR) Post-Construction Performance Standards.
2. All stormwater management facility construction, including but not limited to, retention/detention ponds, primary drainage swales, and associated piping systems shall be inspected by an on-site inspector designated by the Village, before acceptance by the Village.
3. To install separate storm sewer laterals six (6') feet into each lot within the subdivision in accordance with the *Standard Specifications Manual* for the Village of Harrison.
4. The Village Board will not accept the storm and surface water drainage improvements until the same have been installed and tested in accordance with the Village's specifications and the Subdivider's plans and specifications approved by the Village. The storm water and surface water drainage improvements shall be completed before a release of the performance guarantee specified by this contract.

H. EROSION CONTROL The Subdivider hereby agrees:

1. To install silt fence at the right-of-way line or install erosion matting within the right-of-way along all streets in the **FINAL** plat prior to acceptance of the street(s) in a graveled state. Silt fence or erosion matting to be installed in accordance with the WDNR Technical Standards.

2. Maintain silt fence along the right-of-way line until all land disturbances have been stabilized in accordance with WDNR Technical Standards.
3. Maintain all other erosion control practices for stormwater management facilities, environmental protections, etc., in accordance with WDNR Technical Standards.

I. GRADING The Subdivider hereby agrees:

1. To complete rough and fine grading along all primary drainage swales and ditches in the subdivision all in accordance with **FINAL** plat, plans specifications and drawings approved by the Village.
2. To complete rough grading along all property lines to the design grade.
3. To seed and establish a vegetative cover over all disturbed areas.

J. LANDSCAPING RESTORATION The Subdivider hereby agrees:

1. To preserve to the maximum extent possible existing trees, shrubbery, vines and grasses not actually lying within public roadways, easements, drainageways, building foundations sites, private driveways, solid absorption waste disposal areas, paths and trails by use of sound conservation practices.
2. To remove and lawfully dispose of all destroyed trees, brush, tree trunks, shrubs and other natural growth and all rubbish.
3. To provide topsoil, seed, fertilizer and mulch for primary drainage swales and ditches and seed fertilizer and mulch for terrace areas in order to provide permanent growth of grass prior to acceptance of the street(s) in a graveled state.
4. To provide a growth of grass and warranty for washouts or other destruction of the drainage plan structures.

K. LANDSCAPE BERMS The Subdivider hereby agrees:

1. None are proposed.

L. INSPECTIONS The Subdivider hereby agrees:

1. To allow for the Village, or a third party selected by the Village, to inspect all improvements for the purpose of ensuring compliance with the *Standard Specifications Manual* for the Village of Harrison.
2. To pay for all costs associated with the inspection of improvements within the subdivision development. Cost of Village inspections to be billed at the following rates: \$52 per hour for Engineering Technician (Field Inspector), \$59 per hour for Public Works Lead Foreman, and \$69 per hour for Operator, plus actual costs for incidental items, such as equipment, mileage, etc. Costs of third party inspectors to be billed at actual costs to the Village.

M. PAYMENT IN LIEU OF PARKLAND The Subdivider hereby agrees:

1. To pay the Village a fee in lieu of parkland dedication in an amount equal to **\$32,079.60**. Fee in lieu of parkland is based on the following assumptions in the park impact fee and public needs assessment document: \$25,000 per acre of parkland, 6.65-acres of parkland per 1,000 residents, and 2.88 persons per household ($\$25,000 * 6.65 / 1,000 * 2.88 =$ per lot fee). There are 67-lots in Kimberly Heights.

N. STREET LIGHTS The Subdivider hereby agrees:

1. None are proposed.

SECTION II – MISCELLANEOUS REQUIREMENTS

- A. Survey Monuments. The Subdivider hereby agrees to properly place and install all survey or other monuments required by statute and ordinance.
- B. Grade. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner, the final signed plan set showing the finished grade at each lot corner.
- C. Plans. The Subdivider hereby agrees to furnish to the Village Engineer and/or Planner all plans and specifications identified in the Land Division Ordinance of the Village of Harrison.
- D. Compliance with Ordinances and Statutes. The Subdivider hereby agrees to comply with the requirements and provisions of all Village ordinances and state statutes.
- E. Record Drawings. The Subdivider agrees to provide the Village with grade sheets, asphalt mix records, and record drawings of the sanitary sewer, water main, storm sewer improvements, and streets showing location of all the appurtenances and features of the systems as required by the Village of Harrison Standard Specifications.
- F. Locations for Laterals or Other Improvements. If locates are necessary for any reason prior to final acceptance, the developer shall either provide adequate record drawings to the Village or the developer shall provide the field locates of utilities (such as laterals).

SECTION III – PUBLIC IMPROVEMENT GUARANTEE

- A. The Village will not sign the final plat until such improvement is guaranteed as listed in A(1).
 1. The Subdivider shall provide an irrevocable letter of credit, or cash escrow, together referred to as Financial Guarantee, of which the Village can draw from, for an amount equal to one hundred twenty percent (120%) of the cost of furnishing, constructing, installing, staking, inspecting and testing the improvement as required by this contract. The amount shall include construction engineering costs, inspection, and shall be subject to final approval by the Village. (Improvements are described in this contract in Section 1 – Part, A, B,

C, D, E, F , G , H, I , J, K, L, M & N hereof) The improvements shall be guaranteed prior to the Village approving the final plat.

The Subdivider shall notify the Village a minimum of ninety (90) days prior to the expiration of the Financial Guarantee. The Subdivider shall cause the Financial Guarantee to automatically renew year after year until released fully by the Village. Failure to notify the Village in writing that the Financial Guarantee will expire will be deemed a violation of this Agreement and the Village Board shall have the authority to draw upon the Financial Guarantee at any time.

That amount of the public improvements, **as provided by the developer's engineer**, and verified by the Village engineer is \$751,577.70.

A detail of the estimated cost shall be attached as Exhibit "B".

- B. The Subdivider shall furnish, construct, install, stake, inspect and test the improvement. The improvement shall be dedicated to and accepted by the Village prior to the Village approving any release of a public improvement guarantee.
- C. The Subdivider hereby agrees to guarantee the improvements described in Section I hereof against defects due to faulty materials or workmanship which appear within a period of two (2) years [or three (3) years if winter construction is utilized] from the date the final course of asphalt has been laid and shall pay for any damages resulting therefrom to Village property. The warranty shall be in the form of a letter of credit, or cash escrow in an amount sufficient, as approved by the Public Works Department and/or Village Engineer, to repair such defect. Repair of such defect shall be determined by the Public Works Department.
- D. As improvements required by this Agreement are completed, approved and accepted by the Village, the Subdivider may request a reduction of the public improvement guarantee based upon a demonstration that there exists no necessity for a guarantee in the full amount as originally required. Reductions in the amount of the public improvement guarantee shall be solely within the discretion of the Village Board and shall be made only upon recommendation by the Public Works Department and Village Engineer.
- E. That the public improvement guarantee provided hereunder shall in all respects require compliance with the land division ordinance and particularly the performance guarantee as required by Article IV entitled "Development Agreements".

SECTION IV – BUILDING PERMITS

- A. The Village will not allow building permits to be issued to any person in the said subdivision until all improvements required herein have been dedicated to and accepted by the Village. The Village will perform no repair, maintenance or snow plowing upon said improvements until full acceptance of the roadways by the Village.
- B. Building permits may be issued by the Village upon all outstanding inspection and plan review fees or charges being paid and dedication acceptance and verification by the Village that the provisions of this Agreement have been complied with.

- C. The Village shall also require verification that all public improvements have been paid for in the form of Lien Waivers from all persons providing materials or performing work on the Public Improvements for which certification is sought, and upon recording of the final plat, provided that the Subdivider has filed a sufficient Financial Guarantee with the Village to cover the cost of remaining items. Should the Subdivider fail to complete any items pursuant to the terms of the contract by the date set forth herein, the Village shall have the right through the Financial Guarantee provided by the Subdivider to complete the said improvement and the Village shall have unrestricted access to the Subdivider's land for said purpose.

- D. Further, in the event that during the construction of the improvements specified herein, it is determined by the Public Works Department, or Village's Engineer, that the Subdivider and/or its subcontractors installing said improvements have created a situation that is hazardous to the public and requires guarding improvement or repair, the Village may access the Subdivider's property for the purpose of making said repairs and any costs associated with the maintenance of roadways, filling of holes, removal of obstructions or other necessary work may be charged against the cash escrow or irrevocable letter of credit. The Public Works Department shall make an effort to notify the Subdivider of the situation. The Public Works Department and the Engineer in their judgment may determine the necessity of the repairs are urgent in nature and complete those repairs without notice to the Subdivider.

SECTION V – AMENDMENTS

The Village Board and Subdivider by mutual consent may amend this Agreement at any regularly scheduled meeting of the Village Board of the Village of Harrison. The Village Board shall not, however, consent to an amendment until after having first received a recommendation from the Public Works Department and/or the Village's Engineer.

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EXHIBIT A

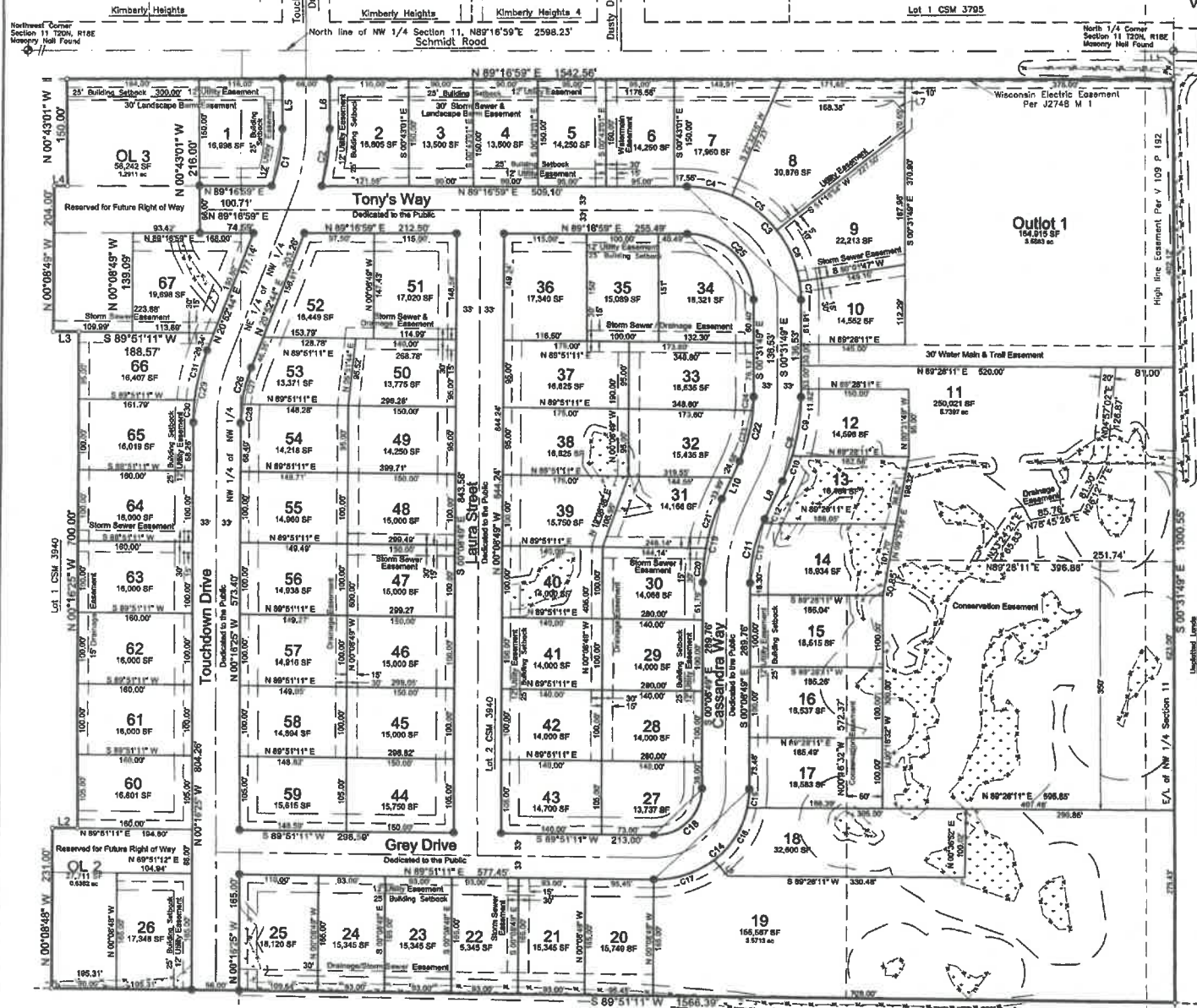
Final Plat, Plans, and Drawings as approved by the Village.

Luniak Meadows

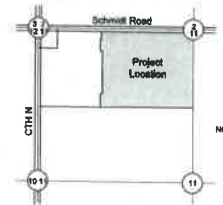
Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin



Bearings are referenced to the North line of the Northwest 1/4, Section 11, T20N, R18E, assumed to bear N69°20'18"E, base on the Calumet County Coordinate System.



LOCATION MAP
NW 1/4 SEC 11, T 20 N, R 18 E
Village of Harrison, Calumet County, WI



LEGEND

- Rebar Found
- 1/2" x 18" Steel Rebar @ 4.30bLF BET
- All Other Corners
- 1/2" x 18" Steel Rebar @ 1.50bLF BET
- SF Lot Areas in Square Feet

LINE TABLE

Line	Bearing	Length
L1	S 20°14'48" E	10.00'
L2	N 89°51'11" E	34.00'
L3	N 89°51'11" E	35.31'
L4	N 89°51'11" E	15.78'
L5	N 89°51'11" E	62.99'
L6	N 89°51'11" E	63.99'
L7	N 89°51'11" E	12.60'
L8	N 89°51'11" E	18.67'
L9	N 89°51'11" E	32.64'
L10	S 24°23'35" W	18.67'

CURVE TABLE

Curve	Radius	Chord Distance	Chord Length	Arc Length	Central Angle	Tangent Bearing-in	Tangent Bearing-out
C1	217.00'	N 10°04'58" W	81.48'	81.04'	21°39'11"	N 20°08'30" E	N 00°47'01" W
C2	263.00'	N 07°28'40" E	80.64'	81.12'	16°29'22"	N 10°02'21" E	N 00°42'01" W
C3	188.00'	S 48°37'23" E	223.81'	246.79'	90°11'12"	N 89°16'09" E	S 00°17'40" W
C4	188.00'	N 79°02'21" W	63.99'	64.13'	23°19'11"	S 89°16'09" W	N 07°27'41" W
C5	188.00'	N 85°02'29" W	78.44'	78.26'	28°44'38"	N 89°16'09" E	N 00°42'01" W
C6	188.00'	N 24°20'42" W	78.44'	78.26'	28°44'38"	N 89°16'09" E	N 00°42'01" W
C7	188.00'	N 08°18'01" W	286.00'	283.53'	2°29'34"	N 89°16'09" E	N 00°42'01" W
C8	263.00'	S 11°42'22" W	121.80'	122.60'	34°42'34"	S 00°17'40" W	S 24°20'42" W
C9	263.00'	N 08°02'41" E	84.02'	84.83'	17°00'00"	N 00°17'40" W	N 00°17'40" W
C10	263.00'	N 20°28'58" E	35.19'	35.22'	7°40'18"	N 10°02'21" E	N 00°42'01" W
C11	217.00'	N 18°03'53" E	82.00'	82.70'	24°29'38"	S 00°17'40" W	S 24°20'42" W
C12	217.00'	S 23°23'35" W	6.60'	6.60'	1°40'00"	S 00°17'40" W	S 23°23'35" W
C13	217.00'	N 11°12'52" E	66.50'	66.20'	22°43'04"	N 20°08'30" E	N 00°42'01" W
C14	132.00'	N 44°18'11" E	188.00'	208.26'	90°00'00"	N 89°51'11" E	N 00°00'00" W
C15	132.00'	N 08°20'54" E	25.90'	26.74'	11°21'08"	N 11°12'52" E	N 00°00'00" W
C16	132.00'	N 30°30'58" E	39.32'	41.00'	39°14'02"	N 08°20'54" E	N 11°12'52" E
C17	132.00'	N 78°13'08" E	60.32'	61.00'	39°14'02"	N 30°30'58" E	N 08°20'54" E
C18	82.00'	N 44°18'11" E	84.70'	106.34'	60°00'00"	N 08°20'54" E	N 00°00'00" W
C19	263.00'	S 15°02'58" W	123.84'	129.66'	24°29'34"	S 24°20'42" W	S 00°17'40" W
C20	263.00'	S 04°48'48" W	48.42'	48.46'	5°46'52"	S 08°02'41" E	S 00°17'40" W
C21	263.00'	S 17°40'20" W	72.20'	72.46'	14°08'31"	S 24°20'42" W	S 00°17'40" W
C22	217.00'	N 15°12'52" E	80.47'	84.20'	24°29'34"	S 00°17'40" W	S 24°20'42" W
C23	217.00'	S 14°28'58" W	74.80'	75.31'	19°03'07"	S 00°17'40" W	S 24°20'42" W
C24	217.00'	S 01°37'40" W	16.89'	16.89'	4°00'17"	S 00°17'40" W	S 01°37'40" W
C25	82.00'	S 48°37'23" E	130.32'	144.81'	80°17'12"	N 89°16'09" E	S 00°17'40" W
C26	217.00'	N 10°18'02" E	79.89'	80.11'	21°09'10"	N 10°02'21" E	N 00°42'01" W
C27	217.00'	N 19°42'22" E	83.31'	83.46'	16°08'02"	N 08°02'41" E	N 00°42'01" W
C28	217.00'	N 05°14'40" E	28.89'	28.87'	7°02'38"	N 00°17'40" W	N 00°42'01" W
C29	263.00'	N 10°18'02" E	180.89'	184.48'	21°09'10"	N 00°42'01" W	N 00°42'01" W
C30	263.00'	N 02°58'48" E	31.80'	31.81'	8°28'27"	N 08°02'41" E	N 00°42'01" W
C31	263.00'	N 12°52'23" E	72.47'	72.67'	14°42'43"	N 08°02'41" E	N 00°42'01" W

James R. Schloff
James R. Schloff PLS 2863
286A/002
Date

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____ 20____
Department of Administration

File: 0014Final.dwg
Date: 05/28/2022
Drafted By: Jim
Sheet: 1 of 2
Revision Date: Mar 29, 2022

DAVE ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Prairie Terrace, Menasha, WI 54952
Ph: 920-951-1848 Fax: 920-941-6004
www.daveinc.com

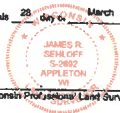
Luniak Meadows

Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

Surveyor's Certificate

I, James R. Sehoff, professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 235 of the Wisconsin Statutes and the subdivision regulations of the Village of Harrison, and under the direction of Dercks Dewitt II, LLC, owner of said land, I have surveyed and divided and mapped Luniak Meadows; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 4,393,811 Square Feet (45.7870 Acres) of land, subject to all easements and restrictions of record.

Given under my hand this 28 day of March, 2022



James R. Sehoff, Wisconsin Professional Land Surveyor No. S-2892

Owner's Certificate

Dercks Dewitt II, LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Dercks Dewitt II, LLC, does further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Harrison Planning and Zoning Committee
Calumet County Resource Department
Department of Administration

IN WITNESS WHEREOF, the said Dercks Dewitt II, LLC, has caused these presents to

be signed by its authorized representatives, located at _____, Wisconsin

this _____ day of _____, 20____

In the Presence of: Dercks Dewitt II, LLC

Tom Dercks, President

State of Wisconsin)
_____) ss
_____) County)

Personally came before me this _____ day of _____, 20____
the above named to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin My commission expires: _____

Village Board Approval Certificate

Resolved, that the plat of Luniak Meadows in the Village of Harrison, Calumet County, Dercks Dewitt II, LLC, is hereby approved by the Village Board of the Village of Harrison.

Chairman _____ Date _____

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Harrison

Clerk _____ Date _____

Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurer of the Village of Harrison and Calumet County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

Village Treasurer _____ Date _____

County Treasurer _____ Date _____

Utility Easement Provisions

An easement for electric, natural gas, public utilities and communications service is hereby granted by

Dercks Dewitt II, LLC, grantor

to:

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee,
SBC, Grantee,
Derby Sanitary District, Grantee
Village of Harrison, Grantee
and
Time Warner Cable, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for easements and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, therein, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantee agrees to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantee or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any lines, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantee's facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantee.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Dercks Dewitt II, LLC

Dercks Dewitt II, LLC _____ Date _____
Tom Dercks, Managing Member

Mortgagee's Certificate

Bank of Kankakee, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and does hereby consent to the above certificate of Dercks Dewitt II, LLC.

IN WITNESS WHEREOF, the said Bank of Kankakee has caused these presents to be signed by

_____ its President, and countersigned by

_____ its Secretary or Cashier, at _____, Wisconsin, and its corporate seal

to be hereunto affixed this _____ day of _____, 20____

President _____ Date _____

Secretary or Cashier _____ Date _____

State of Wisconsin)

_____) County)

Personally came before me this _____ day of _____, 20____
President,

and _____ Secretary (cashier) of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such President and Secretary (cashier) of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

My Commission Expires _____

Notary Public, Wisconsin

Village Notes:

- There are Ordinance regulations that have been passed by the Village of Harrison requiring the maintenance of lot drainage plans on a permanent basis. Said regulations have been recorded as Document Number 331488, Calumet County Register of Deeds and shall apply to all subdivisions approved after the 1st day of May, 2011. Said recording shall have the effect of deed restrictions requiring that permanent lot drainage plans be established in conformance with the lot drainage plan elevations within one year after initial occupancy of any house. Failure to maintain grades in accordance with storm water or drainage plans shall entitle the Village or representative thereof to direct compliance or upon failure of compliance to make said lands come into compliance. The costs and expenses shall be entered on the tax roll as a special charge against the property and collected with other taxes levied thereon.
- Building permits and occupancy permits may be withheld for non-compliance with the plat or Village Ordinances relating to drainage and storm water management.
- In the event that the surface drainage facilities required by the plat which are applicable to the lot for which a building permit has been applied, have not been completed with, the building inspector may withhold building permits required by the building code.
- In the event that, after construction there is a failure to establish surface grades in accordance with the subdivision surface water plan, the building inspector may withhold the occupancy permit required by the building code.
- Maintenance of all drainageways and associated structures within the plat or serving the plat is the sole responsibility of the Owner/Subdivider until acceptance by or dedication to the Village of Harrison. After said acceptance please refer to Note 8 for responsibility of owner for maintenance, restrictions and related cost of all Drainage Easements.
- Where the final drainage plan requires a storm inlet to adequately drain the rear portion of lots within blocks of the plat, the subdivider shall incorporate restrictive covenants in the deeds for the aforementioned lots that, "The respective lot owners shall be responsible for maintaining a clear grate on any storm drainage inlets on their lot."
- Upon failure of the Owner/Subdivider to perform maintenance of the drainageways and associated structures, the Village of Harrison retains the right to perform maintenance and/or repairs. The payments of said maintenance and/or repairs shall be equally assessed among the property owners of the plat.
- Pursuant to the Village of Harrison Subdivision Improvements Policy, the developer and/or owner shall comply with the approved Drainage and Grading Plan as submitted to the Village of Harrison.

Drainage Easement Notes:

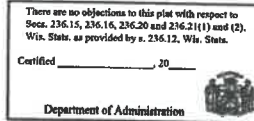
- All lands within areas labeled "Drainage Easement" are reserved for stormwater collection, conveyance, treatment, or infiltration. No buildings, fences, parking areas and landscaping or other structures are allowed in these areas. No grading or filling is allowed in these areas that may interrupt stormwater flows in any way.
- Any improvement shall be allowed only by special exception of the Village of Harrison Planner.
- Landscaping/plantings shall be restricted to ground cover.
- If Drainage Easements are not adequately maintained, the Village of Harrison may levy the cost and expenses of such inspections, maintenance, and/or repair related actions as a special charge against the property and collected as such in accordance with the procedure under Wis. Stats. 66.0627.
- There shall be no lower exposed openings on lots containing a drainage easement. Any egress windows will require a window well with a top elevation consistent with the top of the house foundation elevation.
- The right of way along Schmidt Road adjacent to Lot 1 through Lot 8 is access restrict. No ingress or egress will be allowed between for said lot and Schmidt Road.
- The right of way along Touchdown Drive adjacent to Lot 1 and Lot 2 is access restrict. No ingress or egress will be allowed between for said lot and Touchdown Drive.

Conservation Easement Note

A conservation easement is located on Lots 11, 15-19. The easement is for the preservation of existing woods located within the boundary of the easements. Any filling, grading, planting, or construction of any structure is strictly prohibited within the easement. Only removal of dead and/or diseased trees are allowed.

This Final Plat is contained wholly within the property described in the following recorded instruments:

the property owner of record: Dercks Dewitt II, LLC
Recording Information: Doc No. 054601
Parcel Number(s): 33138



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Provost Terrace, Menasha, WI 54952
Ph: 920-991-1188 Fax: 920-941-0054
www.davel.org

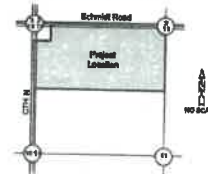
Revision Date: Feb 04, 2022
File: 6614Final.dwg
Date: 02/04/2022
Created By: Jim
Sheet: 2 of 2

Luniak Meadows

Village of Harrison, Calumet County, WI
For: Dercks DeWitt, LLC

LOCATION MAP

W/ 14 SEC 11, T 20 N, R 18 E,
Village of Harrison, Calumet County, WI



Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Derby Sanitary District.

Grades shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Harrison.

Contractor shall locate all buried utilities prior to excavating. This plan may not accurately or completely show all buried utilities.

The Contractor shall verify all existing and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall strictly follow all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The utility services are shown in stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building in properly sealed with the proper flashing plate, and compliance with all permitting permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 302, for lateral notification and clearance locations.

The contractor shall coordinate with provider for electric, gas, and telecommunications service coordination and relocations.

Pipe lengths are measured to center of structure. Excavals are included to pipe length.

Water Pipe shall be PVC 6000 (110), with minimum of 10 gauges, finished (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (110).

Sanitary Sewer Main to be BOST 36 PVC unless depth is greater than 20' or then BOST 26 PVC. All laterals to be BOST 40 PVC, with minimum of 10 gauges, finished (green), single-conductor copper tracer wire, or equivalent, per SPS 382.50 (110).

Storm Sewer Pipe shall be PVC SDR35, Reinforced Concrete Class III, or HDPE, ASTM D 1784, Type S with wall tight joint, with minimum of 10 gauges, finished (green), single-conductor copper tracer wire, or equivalent, per SPS 382.50 (110).

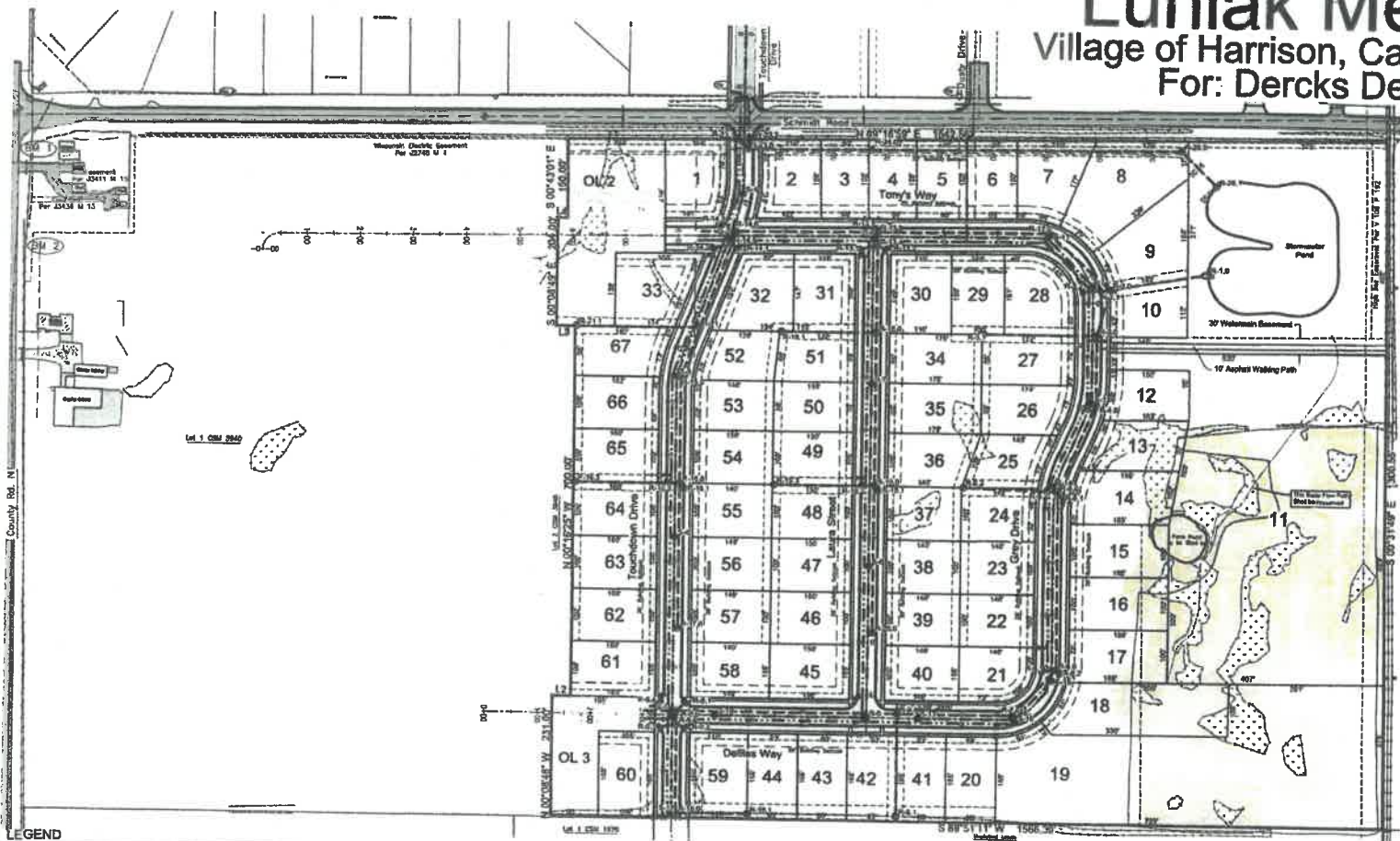
RECEIVED
FEB 02 2022

**HARRISON PLANNING
SEWER & WATER
COVER SHEET**

**DAVEL ENGINEERING &
ENVIRONMENTAL, INC.**
Civil Engineers and Land Surveyors

1184 Providence Terrace, Menasha, WI 54952
Ph: 920-891-0788 Fax: 920-441-8604
www.davel.com

Project Number: 6814
February 2, 2022

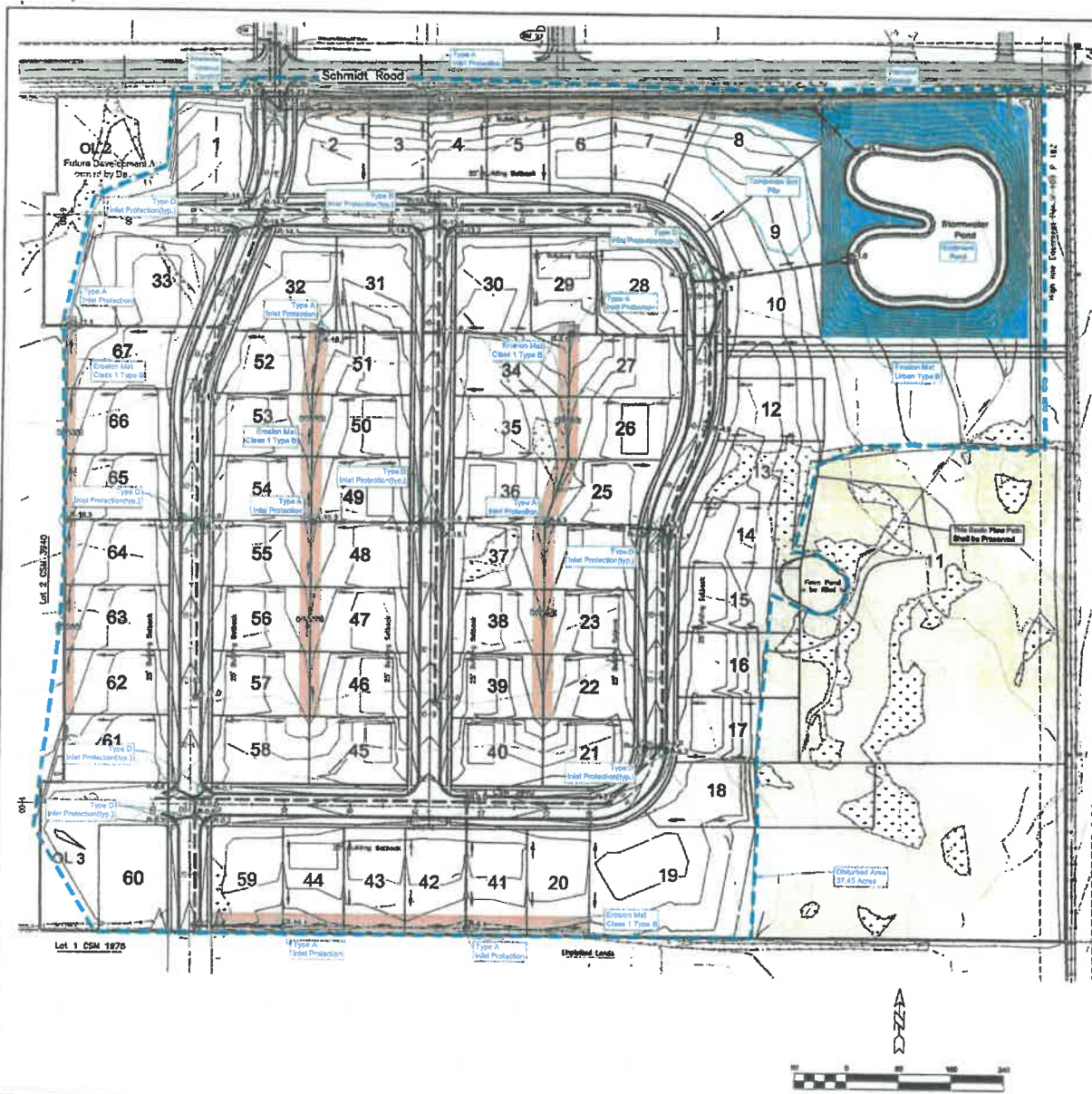


- LEGEND**
- Underground Utility (U)
 - Underground Fiber Optic
 - Overhead Electric Line
 - Utility Pole
 - Sanitary Sewer
 - Storm Sewer
 - Underground Electric
 - Underground Gas Line
 - Underground Telephone
 - Water Main
 - Fence - Wood
 - Fence - Metal
 - Public - Building
 - Trunkline
 - Railroad Tracks
 - Conduit
 - Water Easement
 - Telephone Easement
 - Water Easement
 - Other



SHEET INDEX

Plan & Profile: Sewer Main	1.1
Plan & Profile: Sanitary Sewer	1.2
Plan & Profile: Storm Sewer	1.3
Plan & Profile: Water Main	1.4
Plan & Profile: Water Service	1.5
Plan & Profile: Storm Sewer Detail	2.1
Plan & Profile: Sanitary Sewer Detail	2.2
Plan & Profile: Storm Sewer Detail	2.3
Plan & Profile: Water Main Detail	2.4
Plan & Profile: Water Service Detail	2.5
Plan & Profile: Tony's Way - Sta 0+00 to 1+40.61	3.1
Plan & Profile: DeWitt Way - Sta 0+00 to 9+68.20	3.2
Plan & Profile: DeWitt Drive - Sta 0+00 to 9+07.23	3.3
Plan & Profile: Leona Street - Sta 0+00 to 1+42.23	3.4
Plan & Profile: Touchdown Drive - Sta 0+00 to 8+00	3.5
Plan & Profile: Touchdown Drive - Sta 0+00 to 15+48.12	3.6
Plan & Profile: Storm Sewer Easement - Sta 0+00 to 1+43.20	3.7
Plan & Profile: Water Main Easement - Sta 0+00 to 2+98	3.8



Planned Erosion and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WHDOT Erosion Control Handbook (ECH). It is the responsibility of the Contractor to maintain the area disturbed and the location of the structures. Erosion control measures shall be maintained on a regular basis until the site is permanently stabilized. All erosion control measures shall be at the end of each work day. All erosion control devices containing a result of maintenance work or a storm event shall be cleaned or replaced at the end of each day or as needed until they are no longer effective.

- 1) **Drainage Flow**
 - a) Permanent Channel - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent channels will be used to route runoff to the pond.
 - b) Temporary Channel - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Unlike a permanent channel, the temporary channel will be removed upon the completion of the project. Temporary channels will be used throughout the site and maintained in accordance with DNR Technical Standards 1905. An erosion plan proposed to temporarily route the stream in a non erodible manner. All channels shall be installed and maintained in accordance with DNR Technical Standard 1905.
- 2) **Channel Flow**
 - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment off-site. Silt fences shall reduce the velocity of sheet flow thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and erosion channels shall be maintained along the back slope to the disturbed area. Silt fences shall be installed and maintained in accordance with DNR Technical Standard 1905. It will be placed at the following locations:
 - 1) Along the boundary between the disturbed area and the receiving area.
 - 2) At the top of all slopes if the site will remain in place for more than seven (7) days.
 - 3) Sediment Bank Barrier - Intended to intercept and detain small amounts of sediment from construction operations to prevent sediment from leaving the site. Sediment Bank Barriers are not to be used in areas of channelized flow. All Sediment Bank Barriers shall be installed and maintained in accordance with DNR Technical Standard 1905. Sediment Bank Barriers may be used in place of all other erosion control devices.
 - 4) Mulching and Strain Mats - Intended to reduce the amount of sediment caused by surface erosion, high velocity and uncontrolled flow velocities and control the establishment of both temporary and permanent vegetation. All erosion devices shall be installed and maintained in accordance with DNR Technical Standard 1905 and all Mulching with DNR Technical Standard 1905. In addition to mulching, erosion Mat is required per plan with installation per manufacturer specifications.
 - b) Seeding - Intended to provide a vegetation of erodible flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the site. All seedings shall be in accordance with DNR Technical Standard 1905. Seed mixes shall be WHDOT approved. Seeding shall be used for roads, lawns, and lawns. All permanent seedings shall be done prior to the start of the project. If required, temporary seedings shall consist of Grass, Ryegrass, White Clover, and/or Annual Ryegrass species and shall be installed and maintained in accordance with DNR Technical Standard 1905. Upon completion and restoration of the site, the seed depth shall be checked as part of the City storm water management annual survey and may need to be reseeded.
- 3) **Check Dam - In Channel**
 - a) Check Dam - Intended to reduce sedimentation in streambed flow by reducing the flow velocity. All Check Dams shall be installed and maintained in accordance with DNR Technical Standard 1905. Check Dams will be used where indicated on the plan as indicated on the plan. Additional check dams may be required to stabilize erosion in accordance.
 - b) Sediment Basin - Intended to detain sedimentation runoff from disturbed areas for a sufficient time to allow the sediment to settle. The proposed storm water runoff shall be directed to the sediment basin for each construction phase, shall be located on a bedrock ledge during the construction of the project. The lowest elevation shall be indicated by 3/16 inch diameter dimension. The structure shall be installed and maintained in accordance with DNR Technical Standard 1905. Upon completion and restoration of the site, the pond depth shall be checked as part of the City storm water management annual survey and may need to be reseeded.
- 4) **Permanent Channel Stabilization**
 - a) Riprap - Intended to stabilize a non-erodible lining in the channel to prevent erosion. This can be accomplished using riprap. Riprap will be used in the following areas:
 - 1) Pipe outlets as indicated on the plan.
 - 2) Vegetated channels - Intended to establish permanent vegetation to reduce the velocity of runoff and to stabilize the streambed and prevent erosion. The type of riprap and sand will depend upon the velocity of the runoff in the stream and are specified in accordance with DOT Structural Concrete Technology Package under as indicated on the plan.
 - b) Stone Training Pile - Intended to reduce the amount of sediment transported into public roads. The Training Pile shall be installed and maintained in accordance with DNR Technical Standard 1905. A training pile will be constructed on the stream as indicated on the plan.
 - c) Root Control - Intended to reduce surface to an extent of about 20% of the stream bed. Root control shall be implemented with use of materials provided in DNR Technical Standard 1905. These methods include the use of mulches, rocks, and logs.
 - d) Revegetation - Intended to reduce the amount of sediment caused by disturbing activities. Revegetation practices include compliance with DNR Technical Standard 1905. The use of geotextile fabric is required to prevent sedimentation with discharge to the natural stream water pond. The fabric shall meet the requirements of DNR Technical Standard 1905. Once completion of the revegetation activities, all materials shall be disposed of properly in accordance with all state and local regulations. Waste material - All organic waste and construction materials shall be handled and disposed of properly. No permanent material, runoff from concrete washing, or other waste material is allowed to enter the storm sewer system of receiving waters.

Maintenance Plan

The Contractor is responsible for installation and maintenance of erosion and sediment control measures until the project is completed. The responsibility shall be maintained until seven days or until 24 hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. All eroded areas will be re-eroded and mulched or necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.

- 1) Remove all debris and temporary structures only after final stabilization and vegetation cover is established.
- 2) Avoid the use of herbicides and pesticides in or adjacent to channels or ditches.
- 3) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be submitted by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspection team, and the status of construction and any maintenance performed, shall be reported to the Village of Harrison. Upon request, the inspection reports shall be made available to the owner, the Village of Harrison Department of Natural Resources, or the Village of Harrison.

Stormwater Pollution Prevention Practices (SWPPP) Construction and Maintenance To be Documented (CDOC)

SWPPP Inspection and Compliance Enforcement Village of Harrison Wisconsin Department of Natural Resources

LEGEND

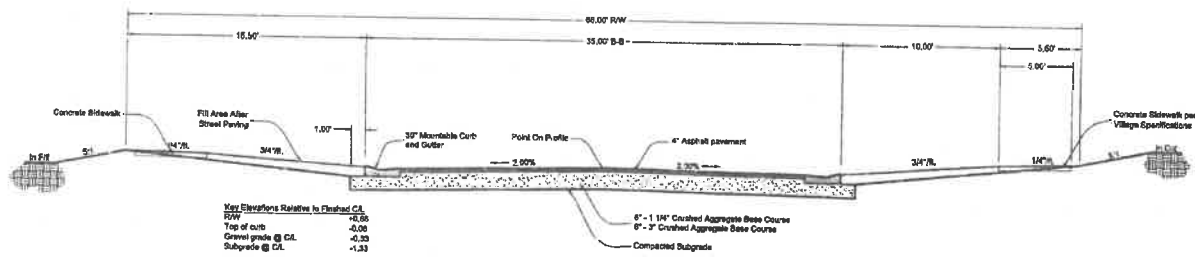
Proposed Storm Water	Proposed Storm Water	Proposed Storm Water	Proposed Storm Water
Proposed Channel	Proposed Channel	Proposed Channel	Proposed Channel
Proposed Bank	Proposed Bank	Proposed Bank	Proposed Bank
Proposed Silt Fence	Proposed Silt Fence	Proposed Silt Fence	Proposed Silt Fence
Prop. Discharge Pipe	Prop. Discharge Pipe	Prop. Discharge Pipe	Prop. Discharge Pipe
Proposed Training Pile	Proposed Training Pile	Proposed Training Pile	Proposed Training Pile
Proposed Silt Check	Proposed Silt Check	Proposed Silt Check	Proposed Silt Check
Proposed Storm Water	Proposed Storm Water	Proposed Storm Water	Proposed Storm Water
Proposed Channel	Proposed Channel	Proposed Channel	Proposed Channel
Proposed Bank	Proposed Bank	Proposed Bank	Proposed Bank
Proposed Silt Fence	Proposed Silt Fence	Proposed Silt Fence	Proposed Silt Fence
Prop. Discharge Pipe	Prop. Discharge Pipe	Prop. Discharge Pipe	Prop. Discharge Pipe
Proposed Training Pile	Proposed Training Pile	Proposed Training Pile	Proposed Training Pile
Proposed Silt Check	Proposed Silt Check	Proposed Silt Check	Proposed Silt Check

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
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 1100 North Lincoln Street, Suite 100
 Chicago, IL 60642
 Tel: 847.224.1100 Fax: 847.224.1101
 www.davel.com

EROSION & SEDIMENT CONTROL PLAN

Luntak Meadows
 Village of Harrison, Calumet County, WI
 For: Dennis DeWitt, LLC

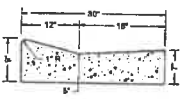
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 0014Engr.dwg
 JRD
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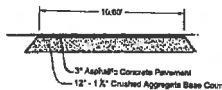
Key Elevations Relative to Finished C/L

R/W	-0.56
Top of curb	-0.00
Ground grade @ C/L	-0.33
Subgrade @ C/L	-1.33

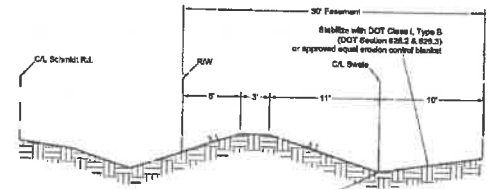
TYPICAL STREET SECTION



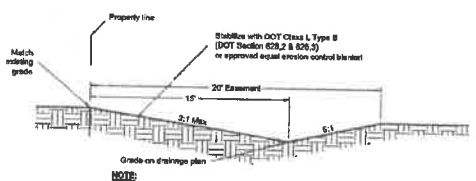
30" MOUNTABLE CURB



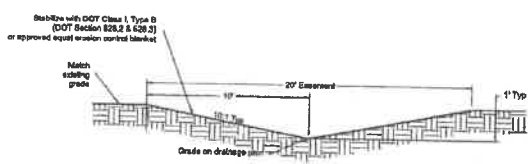
WALKING TRAIL



TYPICAL DRAINAGE SWALE SECTION
Lots 1-8



TYPICAL DRAINAGE SWALE SECTION
Lots 20, 41-44, 58-60



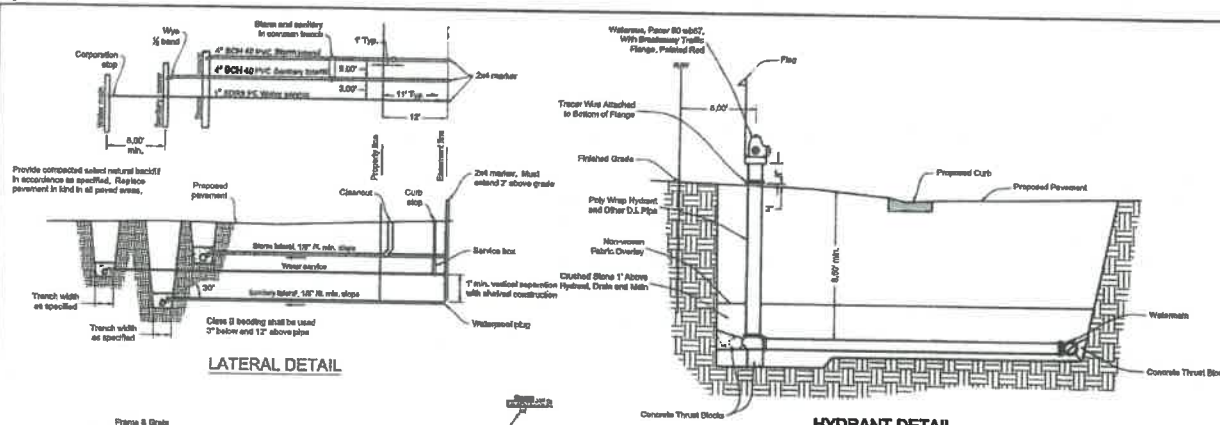
TYPICAL DRAINAGE SWALE SECTION

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1100 West 118th Ave., Suite 200
Denver, CO 80234
www.daveleng.com

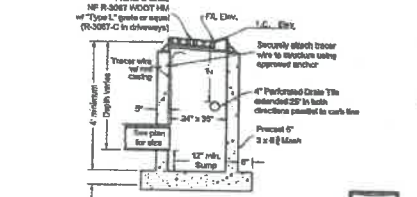
CONSTRUCTION DETAILS

Luniak Meadows
Village of Harrison, Calumet County, WI
For: Dercks DeWitt, LLC

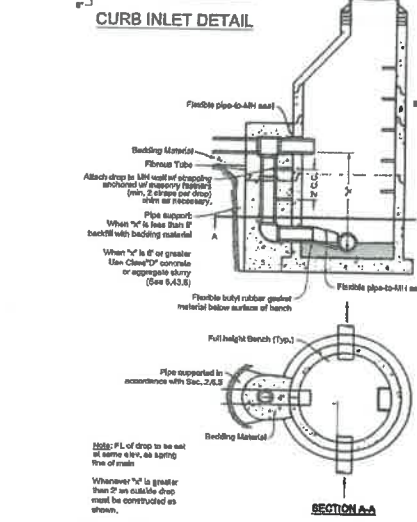
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Filename	8514Engr.dwg
Author	JRD
Last Modified by	eric
Page	2.1



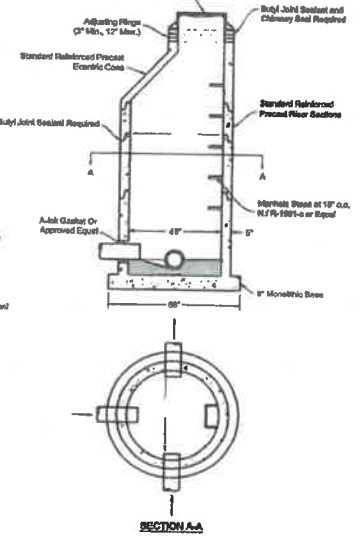
LATERAL DETAIL



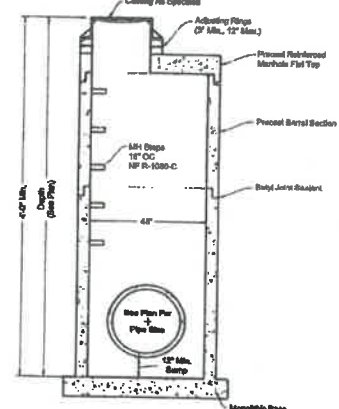
CURB INLET DETAIL



SANITARY MANHOLE

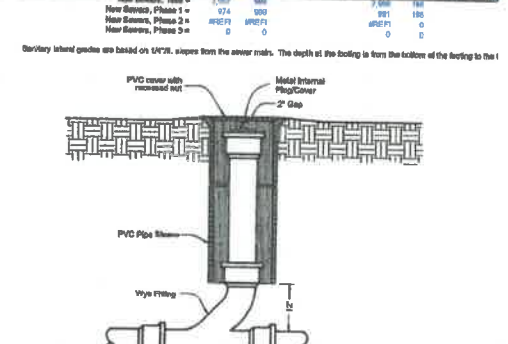


STANDARD STORM MANHOLE



STORM CLEANOUT

PHASE	LOT #	STREET	LOT ELEVATION		FOOTING ELEV.	FINISHED LATERAL	STORM LATERAL	DISTANCE TO D.B. IN		SANITARY MANHOLE		SANITARY INVERT	MANHOLE DIA.	MANHOLE DEPTH
			FLOOR	FINISHED				TO WYE	TO MANHOLE	INVERT	DIAM.			
1	32	Touhouson Dr	797.2	798.25	81	81	81	104	772.26	42	8.2	24.82	24.75	
1	33	Touhouson Dr	797.5	798.15	39	39	39	123	773.14	47	10.2	26.10	26.03	
1	52	Touhouson Dr	797.6	798.62	49	49	49	221	773.42	42	10.4	26.49	26.42	
1	67	Touhouson Dr	797.5	798.81	40	40	40	207	773.52	69	10.1	26.54	26.47	
1	88	Touhouson Dr	798.6	799.42	37	37	37	82	773.24	46	10.7	26.15	26.08	
1	83	Touhouson Dr	798.6	799.42	38	38	38	68	773.28	45	10.8	26.15	26.08	
1	84	Touhouson Dr	798.6	799.42	38	38	38	143	773.60	45	11.3	27.04	26.97	
1	56	Touhouson Dr	798.8	799.49	37	37	37	243	774.27	45	11.6	27.42	27.35	
1	84	Touhouson Dr	800.6	801.39	37	37	37	282	774.30	45	11.8	27.81	27.74	
1	38	Touhouson Dr	801.5	802.28	33	33	33	41	774.65	45	12.4	28.70	28.63	
1	37	Touhouson Dr	802.5	803.28	33	33	33	109	774.83	45	13.0	29.07	29.00	
1	62	Touhouson Dr	823.5	823.38	37	37	37	109	782.72	46	15.4	28.85	28.78	
1	56	Dallas Way	824.6	824.41	37	37	37	279	782.78	45	16.0	29.07	29.00	
1	81	Touhouson Dr	825.6	825.41	37	37	37	205	775.15	45	13.7	28.55	28.48	
1	80	Touhouson Dr	824.6	825.01	37	37	37	115	772.71	45	13.8	29.20	29.13	
1	69	Dallas Way	824.5	825.31	37	37	37	230	782.86	45	16.0	29.31	29.24	
1	3	Tony's Way	786.7	786.91	33	33	33	109	780.53	45	1.8	26.73	26.66	
1	30	Tony's Way	786.3	786.13	33	33	33	216	780.88	45	0.0	26.82	26.75	
1	31	Laura Street	787.3	786.13	33	33	33	102	782.64	45	0.0	26.41	26.34	
1	61	Laura Street	786.8	786.43	33	33	33	110	782.35	46	0.0	26.31	26.24	
1	34	Laura Street	786.8	786.43	33	33	33	232	784.21	45	0.0	26.74	26.67	
1	56	Laura Street	786.3	786.13	33	33	33	222	784.10	45	0.0	26.87	26.80	
1	25	Laura Street	786.3	786.13	33	33	33	87	782.15	45	0.0	26.73	26.66	
1	48	Laura Street	800.0	800.00	27	27	27	137	786.14	45	0.0	29.70	29.63	
1	36	Laura Street	800.0	800.00	27	27	27	48	785.25	45	0.0	28.62	28.55	
1	48	Laura Street	800.7	801.34	27	27	27	237	791.45	45	0.0	29.80	29.73	
1	37	Laura Street	800.0	801.00	27	27	27	89	787.29	45	0.0	28.80	28.73	
1	47	Laura Street	800.4	802.31	27	27	27	134	788.13	45	0.0	29.68	29.61	
1	36	Laura Street	801.4	802.31	27	27	27	6	788.25	45	0.0	29.85	29.78	
1	46	Laura Street	803.2	804.00	27	27	27	94	789.14	45	0.0	29.71	29.64	
1	36	Laura Street	803.0	804.00	27	27	27	100	789.23	45	0.0	29.80	29.73	
1	49	Laura Street	805.0	805.81	27	27	27	107	790.18	46	0.0	29.72	29.65	
1	43	Laura Street	805.0	805.81	27	27	27	205	792.36	46	0.0	29.92	29.85	
1	42	Dallas Way	808.4	808.28	27	27	27	10	791.42	46	0.0	29.18	29.11	
1	44	Dallas Way	808.4	808.28	27	27	27	53	791.74	46	0.0	29.47	29.40	
1	4	Tony's Way	795.1	792.48	23	23	23	47	791.34	46	0.0	26.34	26.27	
1	6	Tony's Way	795.0	796.49	26	26	26	170	792.25	46	0.0	26.81	26.74	
1	20	Tony's Way	798.0	798.49	26	26	26	188	791.71	46	0.0	27.30	27.23	
1	8	Tony's Way	797.7	798.58	26	26	26	228	792.07	46	0.0	27.67	27.60	
1	7	Tony's Way	798.4	797.28	23	23	23	269	792.24	46	0.0	27.78	27.71	
1	8	Tony's Way	798.8	797.89	23	23	23	311	792.42	45	0.0	27.95	27.88	
1	14	Oley Drive	798.4	798.18	27	27	27	115	793.04	46	0.0	27.63	27.56	
1	19	Oley Drive	797.7	798.89	23	23	23	35	793.87	46	0.0	27.84	27.77	
1	14	Oley Drive	798.1	798.89	23	23	23	111	794.20	46	0.0	27.85	27.78	
1	37	Oley Drive	798.4	798.18	27	27	27	149	794.58	46	0.0	27.93	27.86	
1	12	Oley Drive	798.7	798.18	23	23	23	188	795.14	46	0.0	28.15	28.08	
1	36	Oley Drive	798.8	798.89	23	23	23	42	795.24	46	0.0	28.20	28.13	
1	13	Oley Drive	798.2	798.89	23	23	23	60	795.82	46	0.0	28.14	28.07	
1	14	Oley Drive	800.3	791.13	23	23	23	131	798.48	45	0.0	28.82	28.75	
1	25	Oley Drive	799.8	799.41	27	27	27	142	799.54	46	0.0	28.94	28.87	
1	24	Oley Drive	800.7	791.53	27	27	27	154	791.31	46	0.0	28.86	28.79	
1	23	Oley Drive	801.8	792.53	27	27	27	101	797.88	46	0.0	29.24	29.17	
1	18	Oley Drive	802.9	793.48	26	26	26	204	798.51	44	0.0	29.09	29.02	
1	17	Oley Drive	802.9	793.76	26	26	26	224	798.61	46	0.0	29.20	29.13	
1	22	Oley Drive	803.9	794.76	26	26	26	207	799.54	44	0.0	29.06	28.99	
1	21	Oley Drive	804.7	795.76	26	26	26	224	799.48	46	0.0	29.18	29.11	
1	18	Oley Drive	803.9	794.76	26	26	26	85	799.85	46	0.0	29.24	29.17	
1	19	Oley Drive	804.4	795.76	26	26	26	80	791.73	46	0.0	29.30	29.23	
1	20	Dallas Way	804.6	788.48	27	27	27	173	789.09	46	0.0	29.14	29.07	
1	41	Dallas Way	805.3	795.18	27	27	27	182	789.09	46	0.0	29.14	29.07	

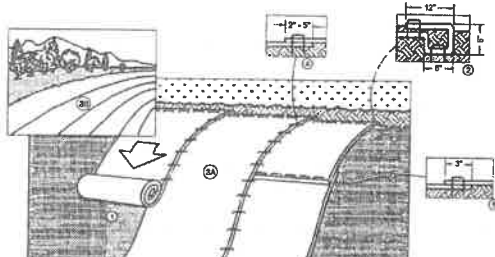


DAVE ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Pavilion Road, Suite 201
 Waukesha, WI 53186
 Phone: 262-533-1100
 Fax: 262-533-1101

SEWER & WATER DETAILS

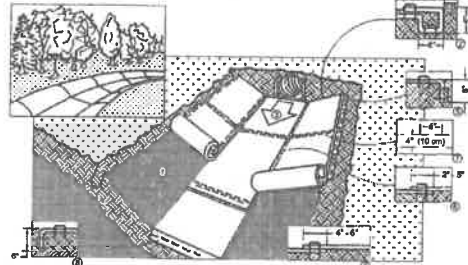
Luniak Meadows
 Village of Harrison, Calumet County, WI
 For: Dencks DeWitt, LLC

Date: 02/2/2022
 Project: 8814Engr.dwg
 Drawn by: JRD
 Checked by: John
 Page: 2/2

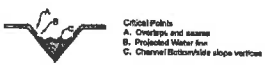


- Prepare soil before installing Rolled Erosion Control Products (RECPs), including any necessary application of lime, fertilizer, and seed.
- When using on-to-soil do not seed prepared areas. Calo-soil must be installed with paper side down.
- Diagonal of the top of the slope by installing the RECPs in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECPs extended beyond the upslope portion of the trench. Anchor the RECPs with a row of staples/staples approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fill remaining 12" (30 cm) portion of RECPs back over seed and compacted soil. Secure RECPs over compacted soil with a row of staples/staples spaced approximately 12" (30 cm) apart across the width of the RECPs.
- Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/staples in appropriate locations as shown in the staple pattern below. When using the Dot system, staples/staples should be placed through each of the colored dots corresponding to the appropriate staple pattern.
- The edges of Geotile RECPs must be stapled with approximately 2" - 3" (5 cm - 7.5 cm) overlap depending on RECP's type.
- Connective RECPs applied down the slope must be placed and covered (single style) with an approximate 3" (7.5 cm) overlap. Staple through overlapping in the approximate 12" (30 cm) apart across entire RECP's width.
- In loose soil conditions, the use of staples or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECPs.
- Detail provided by North American Green (www.nagreen.com).
- Turf Reinforcement Mats (TRMs) shall be installed in accordance with the above specifications for all RECPs. Anchoring size and pattern is to be installed per manufacturer specifications for dry soils having a 1:1 slope. All TRMs shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with manufacturer specifications.

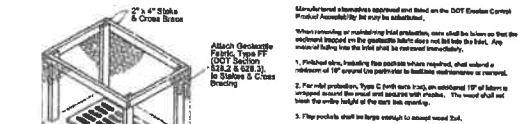
EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION
DNR TECHNICAL STANDARD 1052



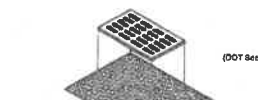
- Prepare soil before installing Rolled Erosion Control Products (RECPs), including any necessary application of lime, fertilizer, and seed.
- Backfill the top of the channel by anchoring the RECPs in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/staples approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fill remaining 12" (30 cm) portion of RECPs back over seed and compacted soil. Secure RECPs over compacted soil with a row of staples/staples spaced approximately 12" (30 cm) across the width of the RECPs.
- Roll center RECPs in direction of water flow in bottom of channel. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/staples in appropriate locations as shown in the staple pattern below. When using the DOT system, staples/staples should be placed through each of the colored dots corresponding to the appropriate staple pattern.
- Place consecutive RECPs and cover end (single style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples/staples 4" (10 cm) apart and 6" (15 cm) apart to secure RECPs.
- Full length width of RECPs at top of side slopes must be anchored with a row of staples/staples approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
- Anchor RECPs must be overlapped approximately 2" - 3" (5 cm - 7.5 cm) (depending on RECP's type) and stapled.
- In high flow channel applications a staple check sill is recommended at 30 to 40 feet (9.1 - 12.2 m) intervals. Use a double row of staples staggered 4" (10 cm) apart and 6" (15 cm) center over entire width of the channel.
- The terminal end of the RECPs must be anchored with a row of staples/staples approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
- In loose soil conditions, the use of staples or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECPs.
- Detail provided by North American Green (www.nagreen.com).



EROSION MAT CHANNEL INSTALLATION
DNR TECHNICAL STANDARD 1053

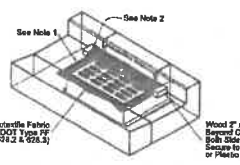


INLET PROTECTION, TYPE A



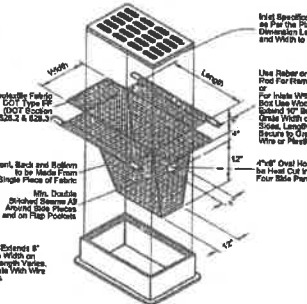
INLET PROTECTION, TYPE B
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

GENERAL NOTES:
Inlet protection devices shall be installed or replaced at the discharge of the neighbor.
Manufacturers' instructions regarding and listed on the DOT Erosion Control Product Approved/By the way be substituted.
When removing or replacing inlet protection, care shall be taken to ensure that the equipment located on the geotile fabric does not fall into the ditch. Any material falling into the ditch shall be removed immediately.
1. Prohibit any building materials when required, shall install a minimum of 18" vertical lip protrusion to facilitate maintenance or removal.
2. For inlet protection, Type C (with curb), an additional 12" of fabric is required around the curb and secure with staples. The word shall not touch the curb height or the curb lip extend.
3. Flap pockets shall be large enough to accept wood nail.



INLET PROTECTION, TYPE C

INSTALLATION NOTES:
Inlet protection Type A shall be installed on a field with a 1:1 slope. Inlet protection Type B shall be installed on a field with a 1:1 slope. Inlet protection Type C shall be installed on a field with a 1:1 slope.
TYPE B & C:
From source made in the flow line to within 1" of the curb.
The contractor shall demonstrate a method of maintenance, using a screw bar, hand tool, or other method to prevent accumulated sediment from getting the inlet.



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)

INSTALLATION NOTES:
Do not install inlet protection Type D in areas where slope is 3:1, measured from the bottom of the inlet to the top of the grate.
You secure fabric to the flow line by within 1" of the grate.
The installed bag shall have a minimum 6" clearance between the first wall and the top of the grate at the bottom of the inlet. When necessary, the contractor shall install the bag using a screw bar to achieve the 6" clearance. The bag shall be placed in a minimum of 2" from the bottom of the bag.

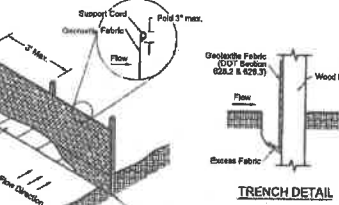
Note:
* Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.
** In loose soil conditions, the use of staples or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECPs.

TRACKING PAD DETAIL
DNR TECHNICAL STANDARD 1057

- Use hand, durable, angular stone or recycled concrete meeting the gradation in Table 1. Where this gradation is not available, use the gradation in Wisconsin Department of Transportation (DOT) 2015 Standard Specification, Section 312, Select Crushed Material.
- Shape the stone tracking pad in a manner to direct runoff to an approved treatment practice.
- Select fabric type based on soil conditions and vehicle loading.
- Install tracking pad across full width of the access point, or extend existing traffic to a disturbed access line at least 12 feet wide across the toe of the pad.
- If a 60" pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

TABLE 1: GRADATION FOR STONE TRACKING PADS

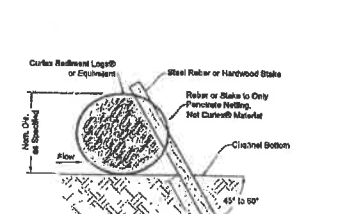
Stone Size	Percent by Weight (ASTM)
100	100
2-5/8"	100
1-1/2"	85-90
3/4"	6-20
3/8"	0-8



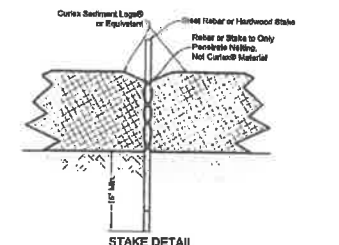
TRENCH DETAIL

- INSTALLATION NOTES:**
- Detail of construction and shown on site drawings shall conform to criteria set by authority having jurisdiction and by DOT Technical Standard 1055.
 - When possible, the trench should be constructed in an arc or horseshoe shape with the ends pointing upstream to minimize both strength and effectiveness.
 - Attach the fabric to the grade with wire staples or wooden nails and mats.
 - 6" x 2" post spacing allowed if a woven geotextile fabric is used.
 - Trench shall be a minimum of 4' wide and 8" deep to bury and anchor the geotextile fabric. Field material to fill trench and bedding and compact trench with excavated soil.
 - Geotextile fabric shall be reinforced with an industrial polypropylene matting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon bag support chord or equivalent is required.
 - Staple points shall be studded "tee" or "U" type with a minimum weight of 128 lb/linear foot (without anchors). Pin anchors shall be a minimum size of 1/2" diameter x 1 1/2" x 1/2", except wood posts anchors. Pin anchors shall be a minimum size of 1/2" x 1 1/2" x 1/2" cast or hot-dip.

SILT FENCE INSTALLATION
DNR TECHNICAL STANDARD 1058



STAKE DETAILS (NO TRENCH)



STAKE DETAIL (FRONT VIEW)



FRONT ELEVATION

NOTE:
Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and hole depth.

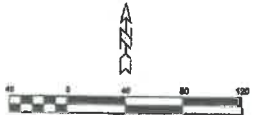
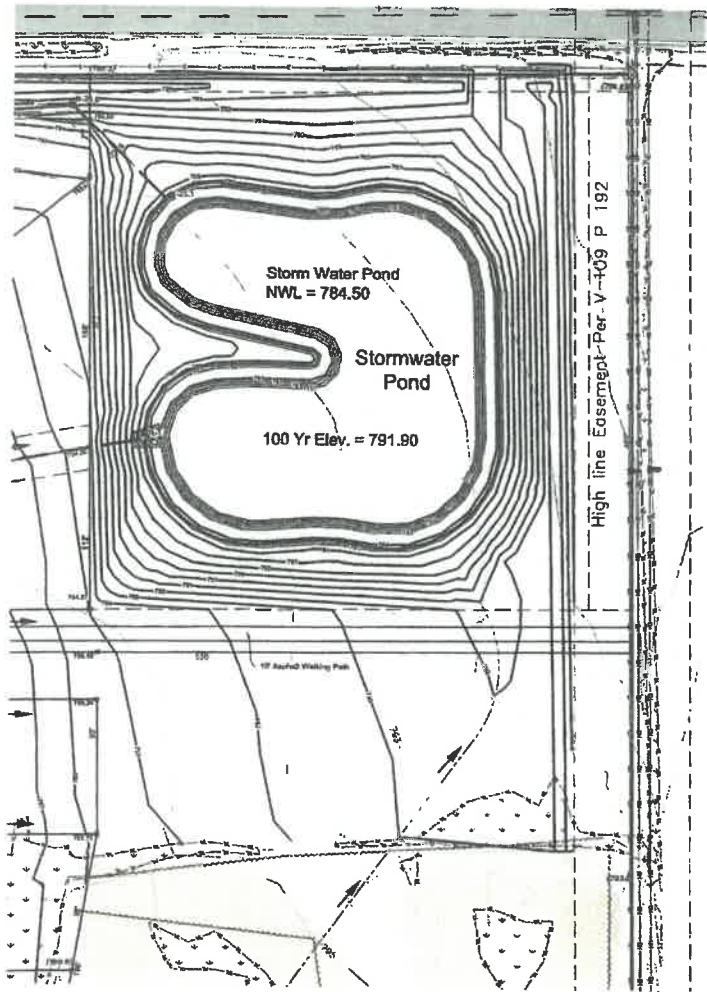
SEDIMENT LOG DETAIL

12/17/2021 11:07 PM C:\ProgramData\AutoCAD 2014\Help\...
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1100 S. KANAWHA BLVD., SUITE 1000
DAVENPORT, FL 33447-1000
www.davel.com

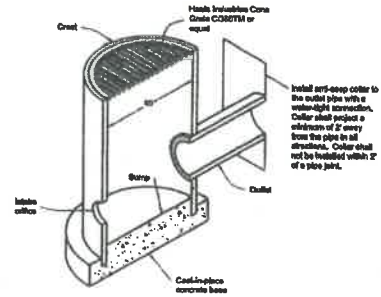
EROSION & SEDIMENT CONTROL DETAILS

Lunlak Meadows
Village of Harrison, Calumet County, WI
For: Dercas DeWitt, LLC

Date: 12/8/2021
Project: 6814Emgr.dwg
Author: JRD
Checked by: h/le
Page: 23

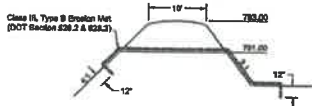


(Reduce to 3 1/2" for
Sediment Control
during construction)



STAND PIPE DETAIL

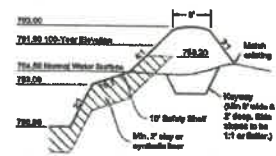
Outlet Elev. at Inlet	784.50
Slope (%)	0.64
Inlet Elev. at Outlet	784.5
Outlet Elevation	784.5
Outlet Elevation	784.5



EMERGENCY SPILLWAY SECTION



EMERGENCY SPILLWAY DETAIL



TYPICAL EMBANKMENT SECTION

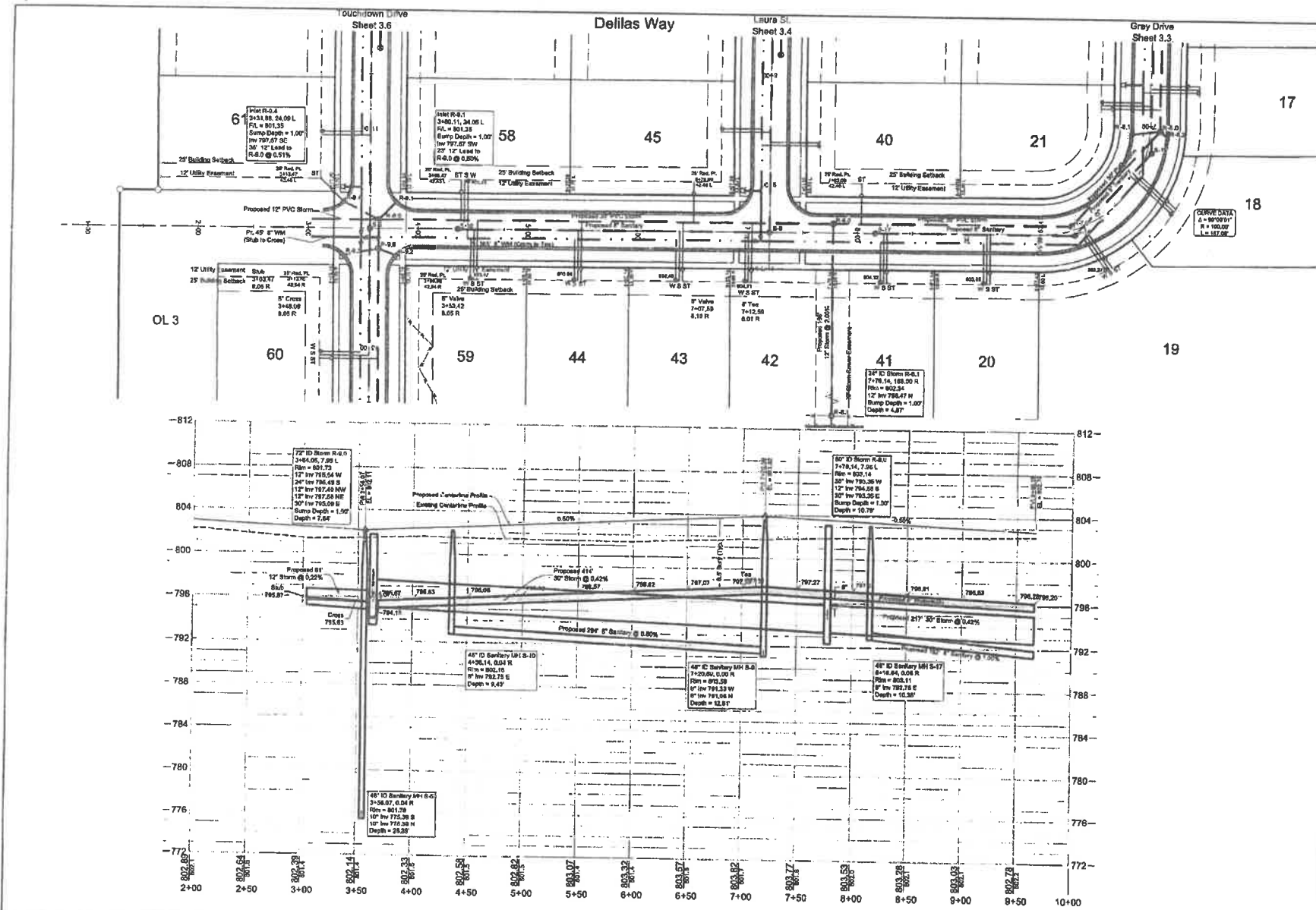
- Pond Notes:**
- The base of the embankment shall be stripped of all vegetation, stumps, logs and other matter. Striping shall be to a minimum of 8 inches. Embankments shall be constructed with non-erodible soil and compacted to 90% standard proctor according to the procedures outlined in ASTM D-698. No less than 18" of compacted material shall be placed in the embankment. The constructed embankment height shall be increased a minimum of 6" for access for seating.
 - All pipes extending through the embankment shall be bedded and backfilled with embankment or equivalent soils. The bedding and backfill shall be compacted to the same standard as the original embankment. Embedment through a completed embankment shall have a side slope of 1:1 or better.
 - Topsoil shall be spread on all disturbed areas, except for situations below the safety shelf, as work is completed. The minimum depth of topsoil shall be 4 inches.
 - All areas disturbed by pond construction shall be seeded as work is completed. Plant side slopes above permanent pool shall be temporarily seeded with annual ryegrass or other temporary seed until "established." This will require topsoil application. Slopes steeper than 1:1 but less than 4:1 will require properly anchored mesh in accordance with Section 627.1 of the DOT Standard Specifications for Highway and Structures Construction, DOT Class I, Type B erosion mat will be required on slopes steeper than 4:1 (Section 626.2 & 626.3).
 - Riprap at all inlet points shall extend a minimum of 18 vertical inches below the permanent pool. (Section 626.2 & 626.3).
 - Any rock encountered shall be excavated to a depth two feet deeper than the proposed pool grade.
 - The pond shall be constructed with a Type B liner with the following WQWR specifications (Wet Detention Pond Technical Standard 1001). Liners include: Clay, High Density Polyethylene (HDPE), Polyethylene Pond Liner (PEL) or any liner satisfying Type A Liner criteria.
 - City liner specifications are as follows:
 - 50% free (200 sieve) or more.
 - Hydraulic conductivity of 1 x 10⁻⁶ cm/sec or less.
 - Average liquid limit of 16 or greater, with no values less than 14.
 - Average PI of 7 or more, with no values less than 6.
 - Clay content and documentation as specified in NRCS Wisconsin Construction Specification 202, Earthfill for Waste Storage Facilities.
 - Minimum thickness of 2 feet.
 - HDPE liner specifications are as follows:
 - Minimum thickness of 40 mils.
 - Design according to the criteria in Table 5 of NRCS 213, Waste Storage Facility Technical Standard.
 - Installed according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Liners.
 - PEL liner specifications are as follows:
 - Minimum thickness of 30 mils.
 - Design according to the criteria in Table 5 of NRCS 213, Waste Storage Facility Technical Standard.
 - Installed according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Liners.
 - All liners must extend above the permanent pool up to the elevation of the 2-year, 24-hour rainfall event.
 - Any pond facilities or installation devices shall comply with conditions of DNR Technical Standard 1001 Section V.8.2.3.

DAVE ENGINEERING & ENVIRONMENTAL, INC.
Civil, Engineering and Land Surveyors
1145 North Lincoln Ave.
P.O. Box 1442
Wausau, WI 54985
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**STORMWATER POND
DETAIL**

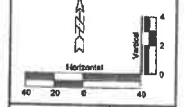
Lunjak Meadows
Village of Harrison, Calumet County, WI
For: Dennis DeWitt, LLC

Date: 02/22/2022
Project: 0514 Engr.dwg
Author: JRD
Checked: eric
Page: 2.4



NOTES:
 RADIUS MATCHED TO BACK OF CURB.
 1:1.15 = PROPOSED GRADE
 SCHEDULES ARE INCLUDED IN DETAILED LENGTH

- LEGEND**
- Proposed Storm Runoff
 - Proposed Sanitary Sewer
 - Proposed Water Mains
 - Proposed Gas
 - Proposed Cable
 - Proposed Sewer Ditch
 - Proposed Sanitary Manholes
 - Proposed Storm Manholes
 - Proposed Catch Basins
 - Proposed Streetlights
 - Proposed Hydrants
 - Proposed Valves
 - Proposed Tees
 - Proposed Crosses
 - Proposed Bends
 - Proposed Reducers
 - Proposed Joints

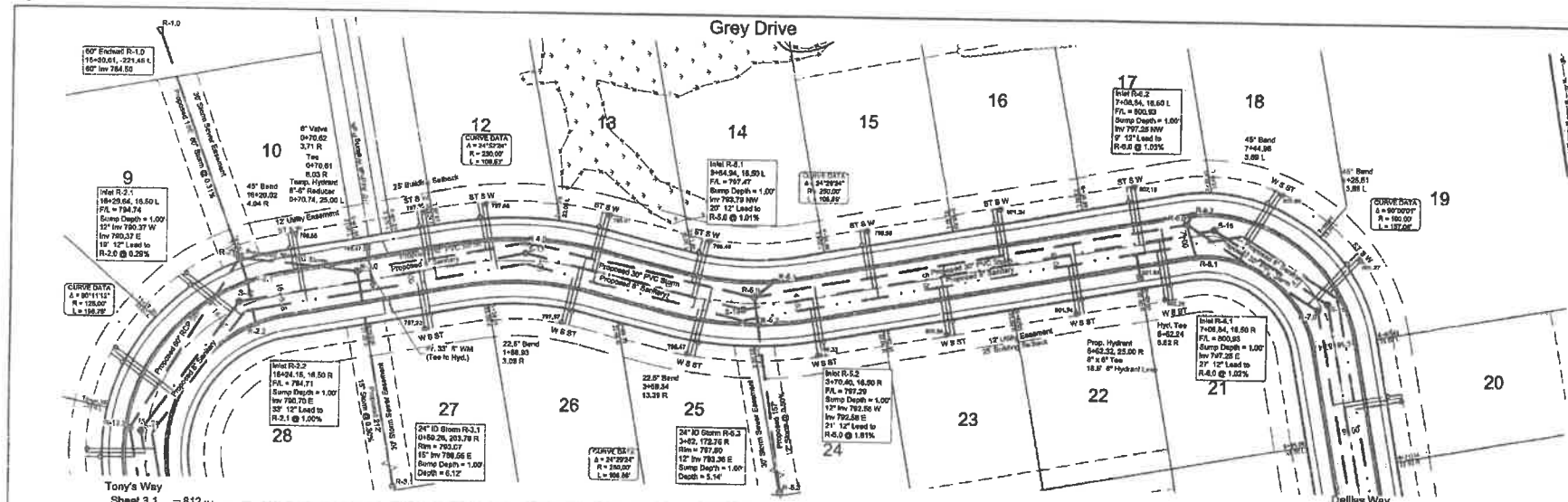


Luniak Meadows
 Village of Harrison, Calumet County, WI
 For: Dericks DeWitt, LLC

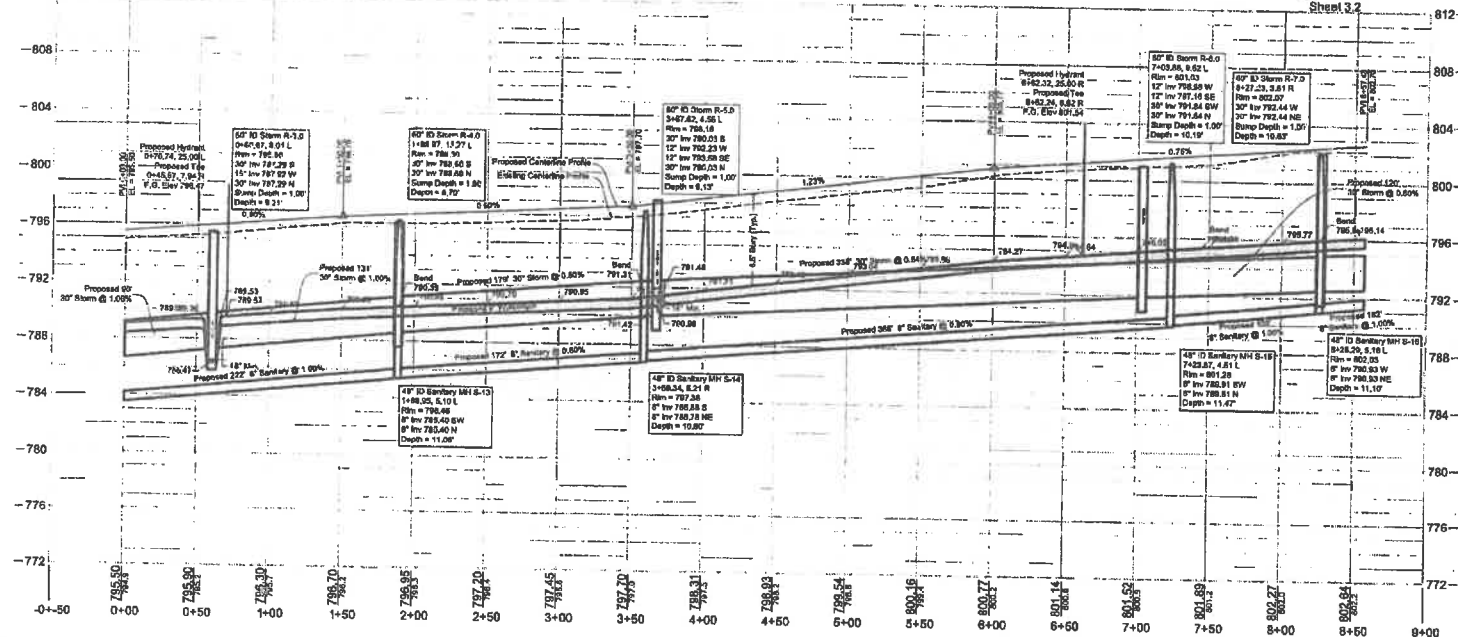
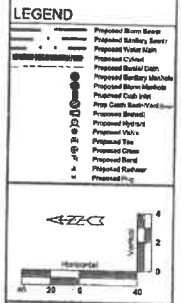
IMPROVEMENT PLANS
 Delilas Way
 Sta 0+00 to 9+60.59

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1111 W. Wisconsin Ave., Suite 1100
 Milwaukee, WI 53233
 Phone: 414.224.1111
 Fax: 414.224.1112
 www.davel.com

88147-Prof1.dwg
 February 2, 2022
 JED
 JED



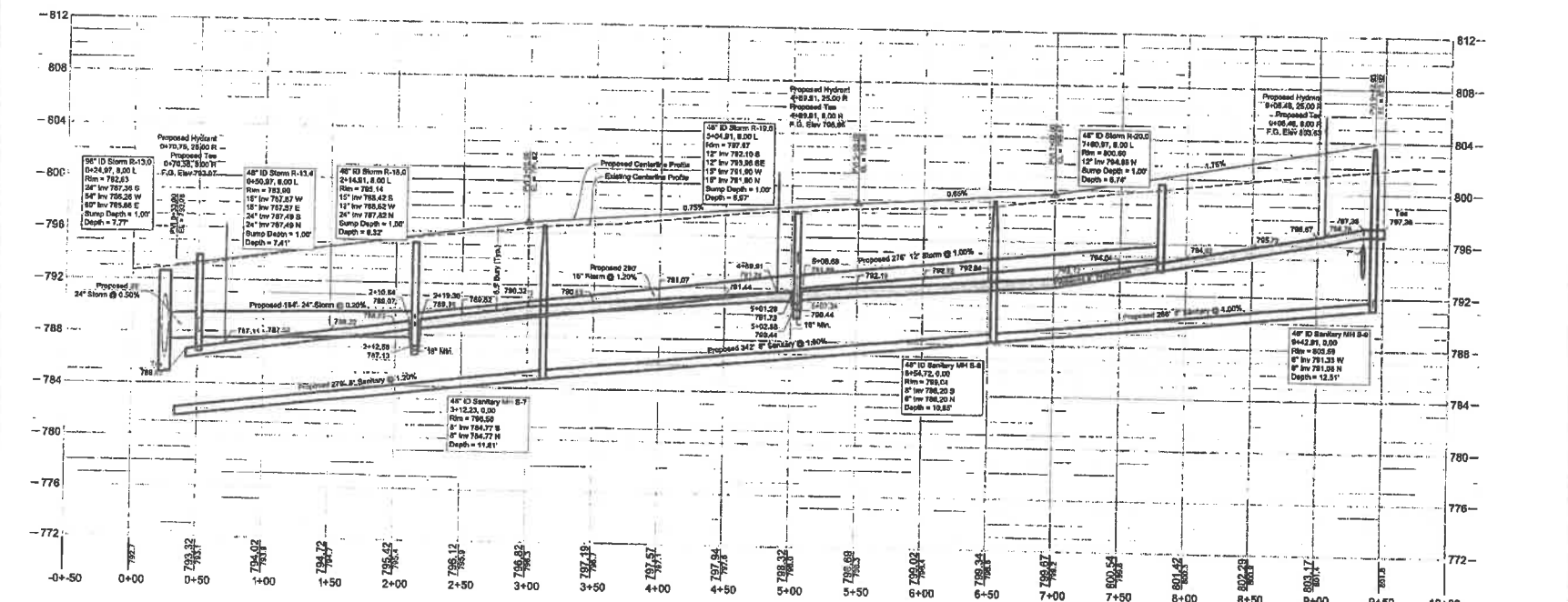
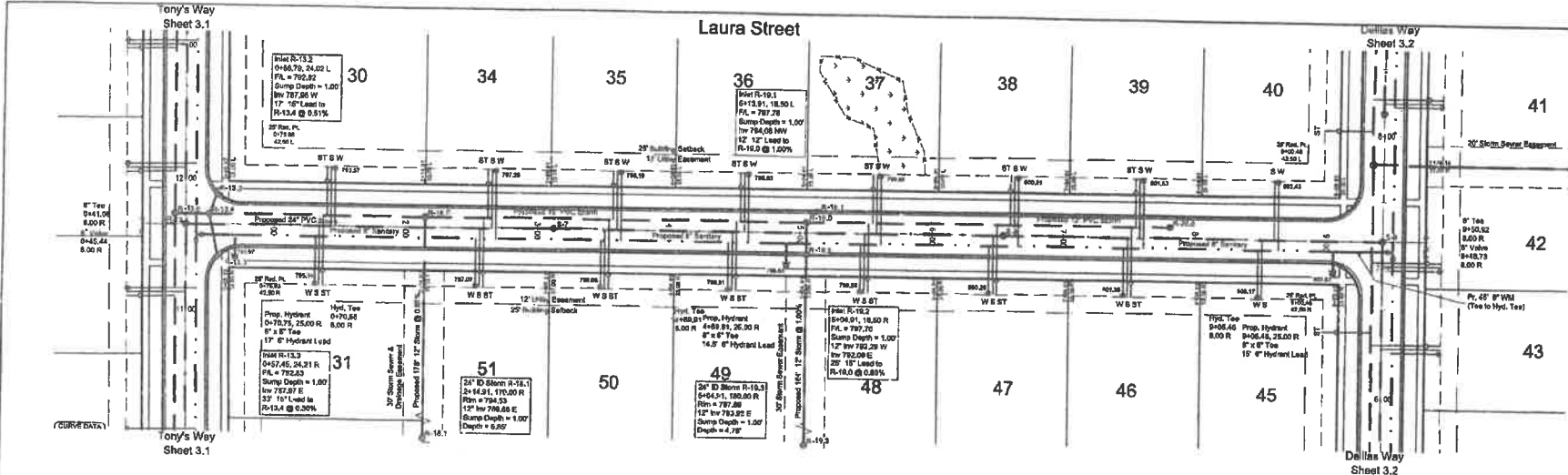
NOTES:
 1. RADIUS STATIONS IN TO BACK OF CURB.
 2. P.A. 18' = PROPOSED GRADE.
 3. EASEMENTS ARE INCLUDED IN CURBLINE LENGTH.



Luniak Meadows
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

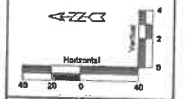
IMPROVEMENT PLANS
 Grey Drive
 Size 1/4" = 1' 0" & 8'-57.43'

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1184 Providence Drive, Suite 200, Okauchee, WI 53051
 Phone: 262-541-1888 Fax: 262-541-1800
 www.davel.com



NOTES:
 1. ANGLES STATIONING IS TO BACK OF CURB.
 2. ±1.15' = PROPOSED GRADE.
 3. DETAILS ARE INCLUDED IN GUYNOTV LENGTH.

- LEGEND**
- Proposed Storm Sewer
 - Proposed Sanitary Sewer
 - Proposed Water Main
 - Proposed Gas
 - Proposed Electric
 - Proposed Cable TV
 - Proposed Fire Hydrant
 - Proposed Manhole
 - Proposed Storm Sewer Structure
 - Proposed Sanitary Sewer Structure
 - Proposed Water Main Structure
 - Proposed Gas Structure
 - Proposed Electric Structure
 - Proposed Cable TV Structure
 - Proposed Fire Hydrant
 - Proposed Manhole
 - Proposed Storm Sewer Structure
 - Proposed Sanitary Sewer Structure
 - Proposed Water Main Structure
 - Proposed Gas Structure
 - Proposed Electric Structure
 - Proposed Cable TV Structure

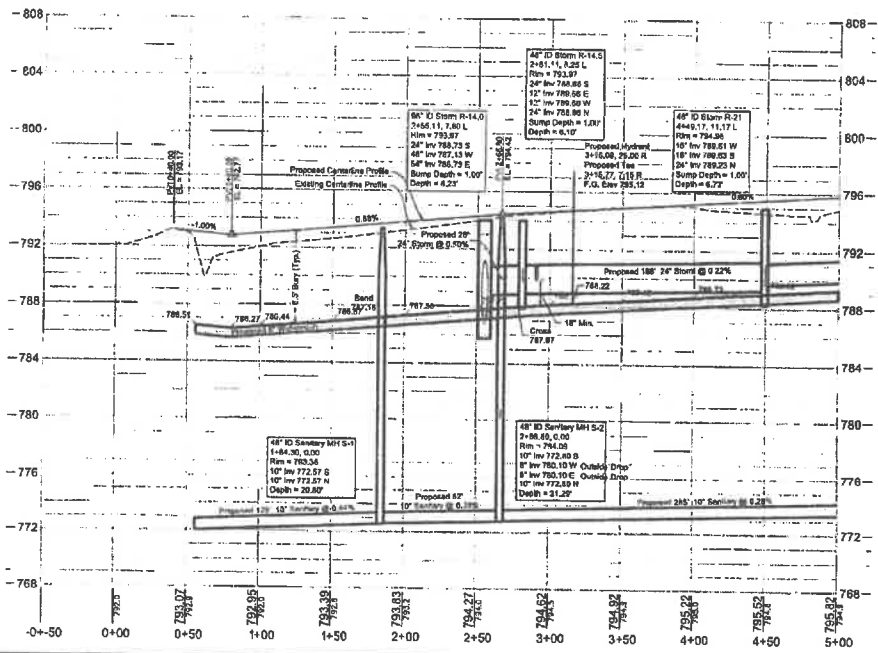
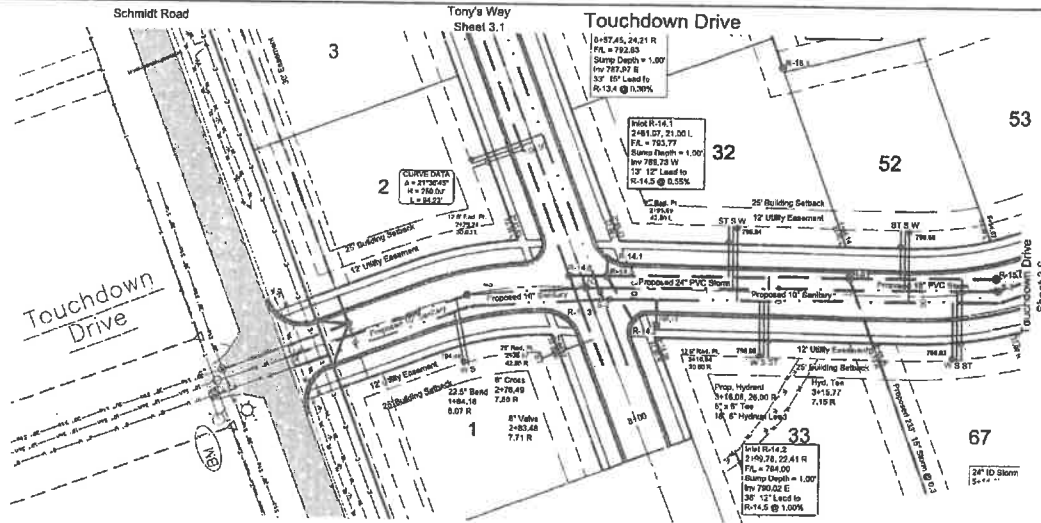


Luniak Meadows
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

IMPROVEMENT PLANS
 Laura Street
 Sta 0+00 to 9+42.93

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Wisconsin Avenue, Inc. 800-241-0401
 www.davel.com

Project: 8514Prof2.dwg
 Date: January 13, 2022
 Drawn by: JPD
 Checked by: MJC



NOTES:
 RADIIUS STATIONING IS TO BACK OF CURVE.
 g+1.5' = PROPOSED GRADE
 DIM WALLS ARE INCLUDE IN CURVEITY LENGTH

- LEGEND**
- Proposed Storm Sewer
 - Proposed Sanitary Sewer
 - Proposed Water Main
 - Proposed Gas
 - Proposed Sewer/Ditch
 - Proposed Sanitary Manhole
 - Proposed Storm Manhole
 - Proposed Catch Basin
 - Proposed Culvert
 - Proposed Easement
 - Proposed Valve
 - Proposed Tee
 - Proposed Cross
 - Proposed Bend
 - Proposed Restrictor
 - Proposed Pipe



Luniak Meadows
 Village of Harrison, Calumet County, WI
 For: Dericks DaWill, LLC

IMPROVEMENT PLANS
 Touchdown Drive
 STA 0+00 TO 5+00

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1111 Wisconsin Avenue, Suite 1000, Madison, WI 53706
 Phone: 608.261.1111 Fax: 608.261.1112
 www.davel.com

EXHIBIT B

Engineer's Cost Estimate for Improvements.

EXHIBIT C

Financial Guarantee.

EXHIBIT B

Engineer's Cost Estimate for Improvements.

Corporate Office
W. 6380 Design Drive
Greenville, WI 54942



Aaron J. Green
Direct: 920-757-7501
Cell: 920-588-7888
Fax: 920-757-2906
agreen@walbecgroup.com

BUDGET

SUBMITTED TO:

Dercks De Witt LLC
Attn: Tom Dercks
W857 CTH ZZ
Kaukauna, WI 54130

DATE: November 2, 2021
PHONE: 920-585-9673
JOB NAME: Luniak Meadows
JOB LOCATION: Schmidt Rd/Touchdown Dr, Harrison, WI
PLAN DATE:
FAX:

For furnishing the necessary labor, material and equipment to complete the following:

- Pulverize the existing asphalt of approximately 12,444 SY(temp asphalt area).
- Fine grade, water and compact the existing base of approximately 15,555 SY.
(Base course to be placed by others to within $\pm 0.1'$)
- Adjust approximately 30 manholes.
- Construct a 4" compacted average depth asphalt pavement on approximately 15,555 SY.

BUDGET: \$310,000.00

Notes:

1. Price includes one (1) mobilization.
2. Any stone required for fine grading is to be furnished by others.
3. Landscape restoration and/or shouldering to be done by others.
4. Permits are not included.
5. Price does not include undercutting of unsuitable soils or private utility locates.
6. The above price is based upon the site allowing for a minimum of 1% drainage. If 1% drainage is not obtainable, water ponding may occur.

*If you have any questions on this proposal, please call me at the contact information listed above.
Thank you!*

THIS PROPOSAL AND NORTHEAST ASPHALT, INC.'S OBLIGATION TO PROVIDE ANY LABOR, MATERIALS AND/OR EQUIPMENT HEREUNDER IS EXPRESSLY CONDITIONED UPON FEDERAL, STATE AND LOCAL REGULATIONS, RESTRICTIONS AND ORDERS PERTAINING TO THE COVID-19 PANDEMIC AND THE HEALTH, SAFETY AND WELFARE OF NORTHEAST ASPHALT, INC.'S EMPLOYEES. IF NORTHEAST ASPHALT, INC., IN ITS SOLE DISCRETION, IS UNABLE TO TIMELY AND/OR ADEQUATELY PROVIDE LABOR, MATERIALS, EQUIPMENT, AND/OR WORKFORCE TO FULFILL THIS PROPOSAL DUE TO THE COVID-19 PANDEMIC OR OTHER VIRUS OUTBREAKS, EPIDEMICS, AND PANDEMICS, THEN THIS PROPOSAL SHALL BE NULL AND VOID, NORTHEAST ASPHALT, INC. SHALL BE EXCUSED FROM ALL PERFORMANCE HEREUNDER, ANY AND ALL LIABILITY AGAINST NORTHEAST ASPHALT, INC. IS WAIVED, AND NORTHEAST ASPHALT, INC. SHALL BE ENTITLED TO REIMBURSEMENT OF ALL COSTS INCURRED AT THE TIME PERFORMANCE IS CEASED.

IF THIS PROPOSAL IS NOT ACCEPTED AND RETURNED WITHIN 10 DAYS FROM THE DATE OF THIS PROPOSAL OR IF THE WORK IS NOT COMPLETED BY July 1, 2022, NORTHEAST ASPHALT, INC. RESERVES THE RIGHT TO WITHDRAW THE PROPOSAL OR MODIFY THE TERMS OF THE PROPOSAL/CONTRACT.

PRIOR TO NORTHEAST ASPHALT, INC. BEGINNING WORK UNDER THIS CONTRACT, OWNER/CONTRACTOR SHALL PROVIDE EVIDENCE THAT THE FOLLOWING PAYMENT TERM IS MET OR PAID AND IS ACCEPTABLE TO NORTHEAST ASPHALT, INC. TO FULFILL THEIR OBLIGATIONS UNDER THIS CONTRACT: **CONTRACT PAYMENT SCHEDULE**

PLEASE CALL COURTNEY AT 920-757-7568 TO GET APPROVAL ON YOUR PROPOSED SCHEDULE OR TO MAKE PAYMENT ARRANGEMENTS.

JIM FISCHER, INC.

2635 S. Casaloma Drive

Appleton, WI 54914

Phone: (920) 734-0519

Fax: (920) 734-0564

TO: Dercks Dewitt
W857 CTH ZZ
Kaukauna, WI 54130

DATE: October 26, 2021

JOB: Harrison
Luniak Meadows

DESCRIPTION	QTY	UNIT	TOTAL
CURB 30" MOUNTABLE (REINFORCED)	8861.0	\$12.75	\$112,977.75
			\$0.00
			\$0.00

Total Bid

\$112,977.75

NOTES & CONDITIONS

- Quoted prices firm for 30 days.
- Traffic, dust and erosion control by others.
- Prices include fine grading only. Excavation, gravel base, grade stake and restoration by others.
- Invoice base on field measured quantities.

JIM FISCHER, INC.

2635 S. Casaloma Drive

Appleton, WI 54914

Phone: (920) 734-0519

Fax: (920) 734-0564

TO: Dercks Dewitt
W857 CTH ZZ
Kaukauna, WI 54130

DATE: April 27, 2022

JOB: Harrison
Luniak Meadows

DESCRIPTION	QTY	UNIT	TOTAL
FLAT SIDEWALK PER PLAN PHASE I	1.0	\$178,337.00	\$178,337.00 \$0.00 \$0.00

Total Bid

\$178,337.00

NOTES & CONDITIONS

- Quoted prices firm for 30 days.
- Traffic, dust and erosion control by others.
- Prices include fine grading only. Excavation, gravel base, grade stake and restoration by others.
- Invoice base on field measured quantities.

EXHIBIT C

Financial Guarantee.

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Planner

Meeting Date:

May 10, 2022

Title:

Final Plat – Luniak Meadows

Issue:

Should the Village Board approve the Final Plat of the Luniak Meadows subdivision?

Background and Additional Information:

The applicant is proposing a 67-lot and 3-outlot final plat for a new subdivision called Luniak Meadows. The subdivision is located south of Schmidt Road, east of County Road N. The property is currently zoned Single-Family Residential (Suburban) [RS-1].

The subdivision is proposed to have roadway access to Schmidt Road via extension of Touchdown Drive from the north. All roadways are proposed to be dedicated to the public at a width of 66-feet for the right-of-way. Lots are generally 15,000 square feet in area, the corner lots are generally 17,000 square feet. A few proposed lots, along the curves and adjacent to the wooded area in the southeast part of the property, are larger.

Sewer and water will be extended through the subdivision. Stormwater management will be accommodated in a stormwater pond located on Outlot 1. Outlot 2 & 3 are reserved for future development.

The final plat is consistent with the preliminary plat.

Recommended Action:

The Plan Commission recommends approval of the Final Plat for Luniak Meadows with the following conditions:

1. All review comments from the Village staff shall be included in the Plan Commission discussion and decision.
2. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
3. All lots shall have a storm sewer lateral provided for sump pump discharge.
4. All drainageways, drainage easement, and associated infrastructure shall be installed, graded and seeded prior to roadway acceptance.
5. All utilities, including but not limited to, sanitary sewer, water, storm sewer, gas, electric, cable, phone, shall be installed prior to roadway acceptance.
6. The Village Board shall accept the roadway in a “graveled state”, with a temporary asphalt binder, prior to issuance of building permits and zoning permits.
7. All final improvements, including but not limited to, curb & gutter, asphalt paving, sidewalks, and trails shall be installed prior to issuance of building permits or zoning

permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.

8. If applicable, wetland determinations and/or studies shall be provided to the Village.
9. Benchmarks shall be established on all hydrant tag bolts.
10. Grading/Drainage Plan shall identify elevations of ground at the foundation.

Attachments:

- Aerial Map
- Final Plat

Aerial Map

Village of Harrison

Calumet & Outagamie Counties, WI



Legend

RoadCenterline

- Local Roads
- County Highway
- State Highway
- US Highway
- RailRoads
- Streams
- Town of Harrison
- Parcels

* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

This map was created by:
Village of Harrison
V2028 Hwy 114
Harrison, WI 54952
920-959-1062
Adopted: July 27, 2010
Effective: November 1, 2010
Current as of: August 31, 2021



Disclaimer:

This map was created using data obtained from Calumet County.

This map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not guarantee the accuracy, current status, or completeness of the material contained herein and is not responsible for any omissions or misrepresentation of this information or its derivatives. In no event shall Calumet County or the Town of Harrison become liable to users of this data for any loss resulting from the use or misuse of these maps and data. The best parcel data is compiled from official records, including survey plats and deeds, but only contains the information required for Calumet County business. Original recorded source documents located in the county courthouse should be used for legal or survey purposes.

Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.

Luniak Meadows

Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

Surveyor's Certificate

I, Arlene B. Zukla, professional land surveyor, hereby certify that in full compliance with the provisions of Chapter 228 of the Wisconsin Statutes and the administrative regulations of the Village of Harrison, and under the direction of Derek Devis II, LLC, owner of said land, I have surveyed and plotted the Luniak Meadows described herein. The plat shown hereby represents an exhibit thereto, and the subdivision of the land surveyed and the land is a lot of Lot 2 of Certified Survey Map 3940, being part of the Northwest 1/4 of the Northwest 1/4 and part of Northeast 1/4 of the Northwest 1/4 of Section 11, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 1.200 5/11 Square Feet (45 7/10 Acres) of land, subject to all easements and encumbrances of record.

Given under my hand this 26 day of APRIL, 2022.



Arlene B. Zukla, Professional Land Surveyor

Owner's Certificate

Derek Devis II, LLC, as a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as a owner, does hereby certify that said easements and the land described on this plat is as represented, defined, measured and delineated as represented on this plat.

Derek Devis II, LLC, does hereby certify this plat is required by s 229.18 or s 229.12 to be submitted to the following for approval or objection:

Village of Harrison Planning and Zoning Commission
Calumet County Resource Department
Department of Administration

IN WITNESS WHEREOF, the said Derek Devis II, LLC, has caused these presents to be signed by its authorized representative, located at _____, Wisconsin this 26 day of APRIL, 2022.

In the Presence of Derek Devis II, LLC

Tom Devis, President

State of Wisconsin
County of _____

Personally came before me this 26 day of APRIL, 2022, the name named to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin My commission expires _____

Village Board Approval Certificate

Resolved, that the plat of Luniak Meadows in the Village of Harrison, Calumet County, Wisconsin, as shown on this plat is hereby approved by the Village Board of the Village of Harrison.

Chairman _____ Date _____
Member _____ Date _____

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Harrison.

Township's Certificate

We, being the duly elected, qualified and acting Trustees of the Village of Harrison and Calumet County, do hereby certify that in compliance with the requirements of our office, there are no unrecorded tax liens and unpaid taxes, or special assessments on and of the land included in this plat.

Village Treasurer _____ Date _____
County Treasurer _____ Date _____

Personally came before me this 26 day of APRIL, 2022.

and _____ Secretary (hereafter of the above named corporation, to be known to be the persons who executed the foregoing instrument, and in the presence of such President and Secretary qualified and sworn in compliance, and no knowledge that they executed the foregoing instrument as such officers on the deed of said corporation, by its authority

Utility Easement Provisions

An easement for electric, natural gas, public utility and communications service is hereby granted by

Derek Devis II, LLC, owner

to:

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as WY Energy, Oconomowoc, WI, Gas Service
Dixie Substation District, Oconomowoc
Village of Harrison, Oconomowoc
and Tom Watson Cable, Genoa

This easement easement and easements, in connection with, separate, repair, maintain and replace lines to be located on and over any and all land, with easement and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same to use or may hereafter be used, all in their various systems, electrical upon the property shown within these areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for easements, also abutts, whether public or private, together with the right to install and maintain telecommunication, electric, natural gas, telephone and cable TV facilities, or other utility lines, and the right to install and maintain the surface of such lot to work easement, however, does not imply the right to establish or install underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any area, length or area which may be removed at any time pursuant to the rights herein granted. Structures shall not be located over easement facilities or in easement areas within the boundaries of easement areas. The grade of any easement property shall not be altered by more than one foot below natural surface ground level.

The grant of easement shall be binding upon and run to the benefit of the heirs, successors and assigns of all parties hereto.

Derek Devis II, LLC

Derek Devis II, LLC Date _____
Tom Devis, Managing Member

Wisconsin's Certificate

Derek Devis II, LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Manager of the above described land, does hereby consent to the surveying, dividing, measuring and delineation of the land described on this plat, and does hereby consent to the annexation of Derek Devis II, LLC, owner

IN WITNESS WHEREOF, the said Derek Devis II, LLC, has caused these presents to be signed by _____, its President, and countersigned by _____, its Secretary or Cashier, at _____, Wisconsin, and its corporate seal

is hereby signed and attested this 26 day of APRIL, 2022.

President _____ Date _____
Secretary or Cashier _____ Date _____

Secretary of Calumet

State of Wisconsin

County of _____

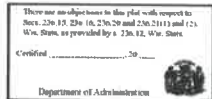
Personally came before me this 26 day of APRIL, 2022.

Notary Public, Wisconsin My commission expires _____

Village Notes

1. There are Ordinance regulations that have been passed by the Village of Harrison regarding the maintenance of lot drainage plans on a permanent basis. Said regulations have been recorded as Document # 2001 11186. Calumet County Register of Deeds and shall apply to all subdivisions approved after the 1st day of May, 2001. If not recorded prior to the effect of said regulations requiring that permanent drains be established in accordance with the lot drainage plan elevations within one year after with a completion of any house. Failure to maintain grades in accordance with storm water or drainage plans shall entitle the Village or representatives thereof to direct completion or upon failure of compliance to raise said house above said completion. The costs and expenses shall be assessed on the lot as a special charge against the property and collected with other taxes levied thereon.
2. Building permits and occupancy permits may be withheld for non-compliance with the plat or Village Ordinances relating to drainage and storm water management.
3. In the event that the surface drainage location required by the plat shall, or are applicable to the lot for which a building permit has been applied, have not been completed, then the building inspector may withhold building permits required by the building code.
4. In the event that, after construction there is a failure to establish surface grades in accordance with the subdivision surface water plan the building inspector may withhold the occupancy permit required by the building code.
5. Maintenance of all structures and associated structures within the plat or serving the plat is the sole responsibility of the Owner/Developer until acceptance by or dedication to the Village of Harrison. After said acceptance shall be held to have that responsibility of owner for maintenance, installation and related cost of all Drainage Easements.
6. Where the final drainage plan requires a storm drain to adequately drain the sewer portion of lots within the plat, the subdivider shall negotiate relative interests in the drain for the storm water drain in the plat. The respective lot owners shall be responsible for establishing a clear grade on any storm drainage within the plat.
7. Lien failure of the Owner/Developer to perform maintenance of the easements and associated structures, the Village of Harrison retains the right to perform maintenance and/or repairs. The performance of said maintenance and/or repairs shall be equally assessed among the property owners of the plat.
8. Pursuant to the Village of Harrison Subdivision Improvement Policy, the developer and/or owner shall comply with the approved Drainage and Grading Plan as submitted to the Village of Harrison.
9. Drainage Easement Note
 - 1) All lots within areas located "Drainage Easement" are reserved for immediate collection, conveyance, easement, or installation. No building, storage, planting and landscaping or other structure are allowed in these areas. No grading or filling is allowed in these areas that may obstruct stormwater flow in any way.
 - 2) Any improvement shall be allowed only by special exemption of the Village of Harrison.
 - 3) Landscaping/structures shall be retained as ground cover.
 - 4) If Drainage Easements are not adequately maintained, the Village of Harrison may levy the cost and expenses of such maintenance, installation, repair and replacement services as a special charge against the property and collected as such in accordance with the procedure under the State DR 0037.
 - 5) There shall be no lower elevation openings on lots containing a drainage easement. Any illegal structure will require a window well with a top elevation consistent with the top of the above foundation elevation.
 - 6) The right of way along Baldwin Road adjacent to Lot 1 through Lot 8 is hereby reserved. No ingress or egress will be allowed between the said lot and Baldwin Road.
 - 7) The right of way along Thornbush Drive adjacent to Lot 1 and Lot 2 is hereby reserved. No ingress or egress will be allowed between the said lot and Thornbush Drive.

- Conservation Easement Note**
- A Conservation easement is located on Lots 11, 15-19. The easement is for the preservation of existing woods located within the boundary of the easement. Any clearing, grading, planting, or construction of any structure is strictly prohibited within the easement. Only removal of dead and/or diseased trees are allowed.
- This Final Plat is evaluated study within the project described in the following recorded instruments:
- | | | |
|-------------------------------|------------------------|---------------------|
| the property owner of record: | Recording Information: | Plant Number/Sheet: |
| Derek Devis II, LLC | Doc # 384521 | 13/16 |



Revision Date: Feb 04, 2022
 File: 88164Final.dwg
 User: 02910223
 Created By: Jim
 Sheet: 2 of 2

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Prussia Trl. Prussia, PA 18904
 Ph: 610-851-1880 Fax: 610-851-1084
 www.davel.com

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

May 10, 2022

Title:

Midway Road Trail Program

Issue:

Which bidder should the Village Board award the Midway Road Recreation Trail Program to?

Background and Additional Information:

On April 27th, bids were received for the Midway Road Recreation Trail Construction Program. Two bids were received, containing a base bid for the urbanization of the north side of Midway Road from County Road N to Darboy Community Park, repaving the north ½ of Midway Road (westbound lane), filling the ditch and constructing a 10-wide asphalt trail on the north side of the road, and supplemental bid #1 for paving the south ½ of Midway Road (eastbound lane). Please note that the road paving is only for the area of construction, which is from County Road N to approximately the eastern end of Darboy Community Park (approximately 1,800 linear feet).

The bid tabulation indicating all bidders and bid amounts is attached. The low bidder for the base bid was Michels Road & Stone, Inc. in the amount of \$511,410.50. The amount for supplemental bid #1 is \$53,690.00. Total project cost if base bid and supplemental bid were approved is \$565,100.50.

Staff is recommending award of the base bid and supplemental bid #1.

Budget Impacts:

Contract Award is \$565,100.50. Approving base bid and supplemental bid #1 is within budget. The Village budgeted approximately \$2,944,000 for road and trail projects in 2022. \$2,125,951 was approved for the street resurfacing, and if \$565,100 is approved for this contract, the remaining balance is \$252,949.

Recommended Action:

Staff recommends approval of the Midway Road Recreation Trail Program to Michels Road & Stone, Inc. including the base bid and supplemental bid #1 in the amount of \$565,100.50. Staff also recommends obtaining a quote for a future change order to complete Midway Road resurfacing from the project limits to Noe Road.

Attachments:

- Bid Tabulation
- Letter from McMahon Associates
- Map of current Project Limits

BID TABULATION

VILLAGE OF HARRISON
 Midway Road Recreation Trail Construction
 Contract No. H0006-09-22-00258
 Bid Date/Time: April 27, 2022 @ 10:00 AM
 Project Manager: Lee Reibold, PE

Engineer: McMAHON ASSOCIATES, INC.
 1445 McMahon Drive
 PO Box 1025
 Neenah, WI 54956 / 54957-1025

MICHELS ROAD & STONE, INC.
 817 Main Street
 PO Box 128
 Brownsville, WI 53006

NORTHEAST ASPHALT, INC.
 W6380 Design Drive
 PO Box 1632
 Greenville, WI 54942

Item	Qty	Unit	Description	Unit Price	Total	Unit Price	Total
1.	1	L.S.	Clearing and Grubbing	\$1,000.00	\$1,000.00	\$1,305.00	\$1,305.00
2.	1	Ea.	Remove Existing CMP Culvert	\$200.00	\$200.00	\$794.00	\$794.00
3.	2	Ea.	Remove Existing 18 Inch RCP Flared End Sections	\$300.00	\$600.00	\$326.15	\$652.30
4.	60	L.F.	Remove Existing 24 inch RCP Culvert	\$20.00	\$1,200.00	\$39.15	\$2,349.00
5.	56	Ea.	24 Inch RCP Storm Sewer	\$103.00	\$5,768.00	\$94.60	\$5,297.60
6.	1	Ea.	24 Inch RCP Flared End section	\$1,075.00	\$1,075.00	\$1,065.30	\$1,065.30
7.	262	L.F.	18 Inch RCP Storm Sewer	\$80.00	\$20,960.00	\$64.70	\$16,951.40
8.	386	L.F.	18 Inch Storm Sewer	\$99.00	\$38,214.00	\$87.00	\$33,582.00
9.	37	L.F.	15 Inch RCP Storm Sewer	\$74.00	\$2,738.00	\$65.25	\$2,414.25
10.	1	Ea.	15 Inch RCP Flared End Section	\$860.00	\$860.00	\$940.30	\$940.30
11.	161	L.F.	12 Inch Storm Sewer	\$75.00	\$12,075.00	\$71.35	\$11,487.35
12.	350	L.F.	4 Inch Geotextile Wrapped Underdrain	\$15.00	\$5,250.00	\$14.70	\$5,145.00
13.	188	L.F.	6 Inch Storm Sewer	\$60.00	\$11,280.00	\$27.85	\$5,235.80
14.	1	Ea.	6 Inch Cleanout	\$850.00	\$850.00	\$815.30	\$815.30
15.	55	L.F.	4 inch Schedule 40 PVC Storm Sewer Lateral	\$55.00	\$3,025.00	\$29.15	\$1,603.25
16.	2	Ea.	4 Inch Cleanout	\$750.00	\$1,500.00	\$652.25	\$1,304.50
17.	2	Ea.	Connection to Existing Sump Pump Lateral	\$500.00	\$1,000.00	\$135.90	\$271.80
18.	3.1	V.F.	Reconstruct Existing 72 Inch Diameter Storm Sewer Manhole	\$1,250.00	\$3,875.00	\$1,461.00	\$4,529.10
19.	7.2	V.F.	60 Inch Diameter Storm Sewer Manhole	\$1,050.00	\$7,560.00	\$1,250.10	\$9,000.72
20.	14.7	V.F.	48 Inch Diameter Storm Sewer Manhole	\$850.00	\$12,495.00	\$1,100.00	\$16,170.00
21.	7	Ea.	Catch Basin	\$2,100.00	\$14,700.00	\$3,515.00	\$24,605.00
22.	2	Ea.	36 Inch Diameter Yard Drain	\$1,500.00	\$3,000.00	\$3,250.00	\$6,500.00
23.	1,650	C.Y.	Common Earthwork	\$10.00	\$16,500.00	\$10.90	\$17,985.00
24.	2,550	S.Y.	Remove Existing Asphalt Pavement (Midway Road)	\$1.00	\$2,550.00	\$3.20	\$8,160.00
25.	1,300	TON	Base Aggregate Dense, 3 inch for Roadway	\$14.80	\$19,240.00	\$16.10	\$20,930.00
26.	800	TON	Base Aggregate Dense, 1-1/4 Inch for Roadway	\$14.80	\$11,840.00	\$16.10	\$12,880.00
27.	1,650	L.F.	30 Inch Concrete Curb and Gutter	\$20.75	\$34,237.50	\$22.95	\$37,867.50
28.	400	L.F.	30 Inch Mountable Concrete Curb and Gutter	\$20.75	\$8,300.00	\$22.55	\$9,020.00
29.	4,000	S.Y.	Fine Grading of Aggregate Base	\$2.40	\$9,600.00	\$3.00	\$12,000.00
30.	570	TON	2-1/4 Inch HMA Pavement 3 LT 58-28S	\$76.80	\$43,776.00	\$76.80	\$43,776.00
31.	450	TON	1-3/4 Inch HMA Pavement 4 LT 58-28S	\$83.90	\$37,755.00	\$83.90	\$37,755.00
32.	2,000	TON	Base Aggregate Dense, 1-1/4 Inch for Trail	\$14.80	\$29,600.00	\$16.10	\$32,200.00
33.	450	TON	3 Inch HMA Pavement 4 LT 58-28S for Trail	\$94.60	\$42,570.00	\$94.60	\$42,570.00
34.	560	S.F.	6 Inch Concrete Sidewalk	\$9.00	\$5,040.00	\$9.80	\$5,488.00
35.	80	S.F.	Curb Ramp Detectable Warning Field, Radial Natural Patina	\$85.00	\$6,800.00	\$92.50	\$7,400.00
36.	1,700	L.F.	Sawing Asphalt	\$0.01	\$17.00	\$0.01	\$17.00
37.	5,000	S.Y.	Lawn Restoration	\$7.00	\$35,000.00	\$7.60	\$38,000.00
38.	5,000	S.Y.	Hydroseed and Hydromulch	\$3.63	\$18,150.00	\$3.25	\$16,250.00
39.	250	MGAL	Seed Water, WisDOT Item 630.0500	\$1.00	\$250.00	\$55.00	\$13,750.00
40.	12	Ea.	Inlet Protection	\$150.00	\$1,800.00	\$87.00	\$1,044.00
41.	3	Ea.	Temporary Ditch Check	\$200.00	\$600.00	\$165.00	\$495.00
42.	960	L.F.	Marking Line 4 Epoxy 4 Inch, WisDOT Item 646.1020	\$3.00	\$2,880.00	\$3.25	\$3,120.00
43.	140	L.F.	Marking Crosswalk Epoxy Transverse Line, 6 Inch, WisDOT Item 646.7420	\$10.00	\$1,400.00	\$10.85	\$1,519.00
44.	30	L.F.	Marking Stop Lien Epoxy 18 Inch, WisDOT Item 646.6120	\$12.00	\$360.00	\$13.10	\$393.00
45.	1	L.S.	Contractor Quality Control Testing	\$2,180.00	\$2,180.00	\$2,180.00	\$2,180.00
46.	1	L.S.	Traffic Control	\$31,740.00	\$31,740.00	\$24,500.00	\$24,500.00
TOTAL (Items 1. through 46., Inclusive)				\$511,410.50		\$541,318.47	

SUPPLEMENTAL BID #1

Item	Qty	Unit	Description	Unit Price	Total	Unit Price	Total
1-1	2,550	S.Y.	Pulverize Existing Asphalt Pavement	\$1.00	\$2,550.00	\$2.70	\$6,885.00
1-2	360	TON	2-1/4 Inch HMA Pavement 3 LT 58-28S	\$76.80	\$27,648.00	\$76.80	\$27,648.00
1-3	280	TON	1-3/4 Inch HMA Pavement 4 LT 58-28S	\$83.90	\$23,492.00	\$83.90	\$23,492.00
TOTAL SUPPLEMENTAL BID #1 (Items 1-1 through 1-3, inclusive)				\$53,690.00		\$58,025.00	

Bid Security	5% Bid Bond	5% Bid Bond
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	Subcontractor	Subcontractor
Storm Sewer	Highway Landscapers	Baumhardt
Excavation	Michels Road & Stone	Michels
Concrete Curb and Gutter	Sommers	Sommers
Asphalt Paving	Northeast Asphalt	N/A
Lawn Restoration	Highway Landscapers	Double D
Pavement Marking	Century Fence	Century Fence



April 27, 2022

Village of Harrison
W5298 Sate Road 114
Harrison, WI 54952

Re: Village of Harrison
Midway Road Recreation Trail Construction
Letter of Recommendation
McM. No. H0006-09-22-00258

On April 27, 2022, bids were received at the Village Hall for the above referenced project. Two bids were received, ranging in price from \$511,410.50 to \$541,318.47 (bid tabulation enclosed).

Based upon the bids received, we recommend awarding Contract H0006-09-22-00258 to the low bidder, Michels Road & Stone, Inc., in the amount of \$511,410.50.

If you agree with our recommendation, please date and sign the enclosed Notices of Award, and return all copies to our office for incorporation into the contract documents.

If you have any questions, please feel free to contact me.

Respectfully,

McMahon Associates, Inc.

Lee R. Reibold, P.E.
Associate / Municipal & Civil Engineer

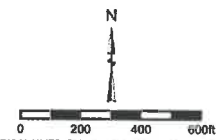
LRR:car

Enclosures: Notice of Awards (3 copies each)
Bid Tabulation

Calumet County, WI

Legend

- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest**
 - Alpen
 - Ball Launch
 - Cemetery
 - Church
 - Fire Station
 - Golf Course
 - City/Town/Village Hall
 - Hospital
 - Leash
 - Library
 - Museum
 - Post Office
 - Park
 - Law Enforcement
 - Public Parking
 - School - Private
 - School - Public
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads**
 - Federal Highways
 - State Highways
 - County Highways
- Local Roads**
 - Local Roads
 - Municipal Streets
- Trail
- Railroad
- Color 2018**
 - Park - Band_1
 - Open - Band_2
 - Blue - Band_3



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

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VILLAGE BOARD MEETING

From:

Mark J. Mommaerts, AICP, Planner

VILLAGE OF HARRISON

Meeting Date:

May 10, 2022

Title:

Update on Friendship Trail Master Plan

Issue:

The Village Board will receive an update on the Friendship Trail Master Plan

Background and Additional Information:

From the East Central Wisconsin Regional Planning Commission (ECWRPC) website...

“The East Central Wisconsin Regional Planning Commission (ECWRPC), in partnership with municipalities in the Fox Cities, is completing study for a new pedestrian / bicycle route along the northern edge of Lake Winnebago, linking communities to High Cliff State Park.

The study will consider accessibility, route types, land impacts, intersection crossings, amenities, and links to existing trail networks, to create a connection that will serve a variety of users, such as walkers, cyclists, and others.

This project has been identified as a priority through a number of previous community planning efforts, and the study will provide guidance on the route alignment, as well as design and strategies for funding and implementation.

The study will focus on identifying a route that connects the Loop the Little Lake Trail, the City of Menasha, the Village of Harrison, and the Village of Sherwood along an east-west corridor to High Cliff State Park, with potential for building off of the existing Friendship Trail. As the study progresses, other spur connections and links to other surrounding communities will be identified as well.

Over the course of the study, this website will be used to share information, register for events, and provide a way to gather input on the plan and planning process.

The study began in August of 2021, and is anticipated to be completed in July of 2022. HKGi, a planning and landscape architecture firm, has been contracted to provide professional services as consultants for the study.

<https://hkgi.mysocialpinpoint.com/high-cliff-connection>”

The goal of the study is to provide a document that identifies a connection from the Fox Cities to High Cliff State Park. The route through Harrison consists of Old Highway Road and an off-road trail from Old Highway Road to Firelane 12. From Firelane 12 to the Village of Sherwood there are 4 route options. Options consist of a connection along Hwy 114 (G), connection along railroad track (H), connection between property lines (I), connection along Firelane 12 & 13 and between properties (J). The attached map illustrates the route options and includes website user comments. It appears that the route along Firelane 12 & 13 has the most concerns. The final document will be a guide document that the Village can utilize.

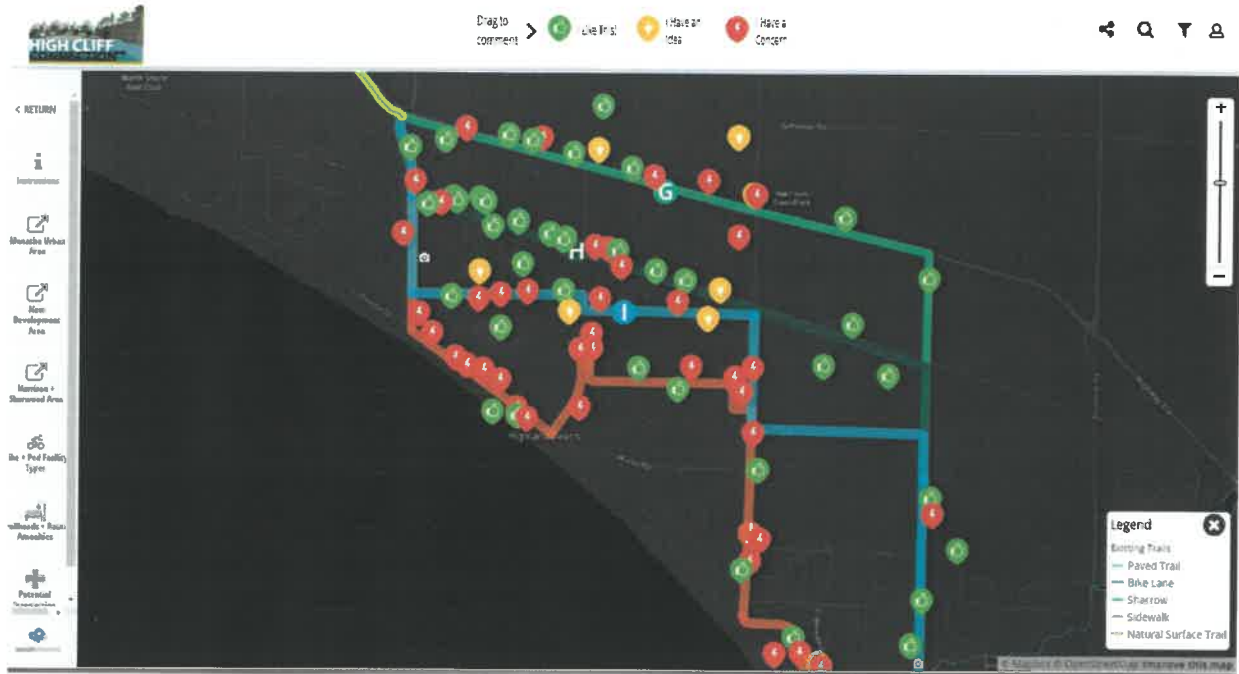
Recommended Action:

No action required.

Attachments:

Route Options Map

Route Option Map



VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Matt Heiser, Village Manager

Meeting Date:

May 10, 2022

Title:

Village Cell Phone Policy

Issue:

Should the Village provide cell phones?

Background and Additional Information:

The Village presently pays some employees stipends for the village use of their personal cell phones. This practice is in the Village personnel manual. Conversely, Harrison Utilities provides cell phones to the operators and allows them to perform personal business on them. For the Village employees it could be a problem if an open records request were submitted for phone logs or text messages of Village activity on private cell phones.

One way to resolve this would be to issue Village owned cell phones for all Village activity.

Staff is obtaining quotes from four companies: ATT, Verizon, US Cellular and T-mobile. Those quotes are a separate agenda item and have its own memo in this packet.

The Village Accountant pays the stipends after the conclusion of every month. If the Board approved this policy and approved a quote at the May 10 meeting, the phones could be delivered and distributed with a cut-over date of June 1.

After the April 26 meeting the Village President requested a Village cell phone for the same reason as staff; to avoid public records from being on her personal phone. Thus staff updated the policy to include Board members for Board consideration.

The Village Attorney approved the proposed policy.

Budget Impacts:

Please see the accompanying quotes for cell phones.

Recommended Action:

To approve the proposed policy.

Attachments:

- A proposed updated cell phone policy to replace the one in the handbook. Not only would it address the public records issue but also unify the policy for Village staff in the municipal building and at utilities.

**VILLAGE OF HARRISON
PERSONNEL POLICY – Village Cellular Telephones**

1.0 Purpose

The purpose of this policy is to provide a set of guidelines governing the provision and use of cellular telephones/Smartphones for Village employees and Board members.

2.0 Scope

This policy applies to all employees of the Village and Harrison Utilities. It replaces the cell phone policy listed in the Personnel Manual (version updated November 2018). It also provides cell phones to Village Board members if they desire one.

3.0 Policy Overview

3.1 Village Issued Phone

A. The Village will provide one cellular phone or Smartphone device to the following positions:

1. The Village Manager (1)
2. The Assistant Village Manager (1)
3. The Fire Chief (1)
4. The Village Clerk/Treasurer (1)
5. The Village Assistant Planner (1)
6. The Deputy Clerk/Treasurer (1)
7. All full time members of Public Works (8)
8. All full time Operators in Harrison Utilities (3)
9. Village Board Members (7)

B. The Village will also provide one protective case and screen protector for such phone.

C. The Village recognizes the advantages of using cellular phones and Smartphones to conduct Village business based on the following:

1. Employee's position
2. Whether the employee is out in the field as part of their regular duties
3. Whether the employee regularly works in an "on call" capacity
4. Whether the employee has a responsibility for key Village operations and is required to respond to emergency incidents Whether the employee is away from their desk or office (while working) for considerable periods of time, and the resulting lack of communication impacts their ability to perform their work
5. Whether the employee needs mobile communication for personal safety
6. Necessity for the employee to respond to business related e-mails and/or text messages in real time

7. Facilitate the storage of public records for Board members.

D. Any anomalies or concerns regarding the usage of a Village provided cell phone shall be reported to the Department Head and/or Village Manager.

3.2 Use of Village Provided Cell Phones

A. Employees are required to perform communication on Village-owned equipment. Village owned cell phones / Smartphones are primarily intended for Village business.

B. Personal use of a Village cell phone / Smartphone is allowed. Employees/Board members must have no expectation of privacy or confidentiality in electronic communication sent, received, or accessed on Village issued cell phones or Smartphones. As such, the Village has the right to monitor, review, audit, and otherwise access the content of all electronic communication sent, received, or accessed on Village issued cell phones or Smartphones with or without prior notice to the employee for both non-investigative work-related reasons, and for investigation of employee misconduct. Employees making or receiving personal calls on a Village cell phone are expected to reimburse the Village for any costs or charges above or outside of its plan resulting from personal use of their cell phones (examples, overages and roaming charges). Any call that cannot be documented for a business purpose will be treated as a personal call.

C. Employees are expected to use a Village cell or Smartphone responsibly and in accordance with this policy and any applicable work rules and policies. Use of a Village cell phone in violation of the Village's policies and work rules, may result in revocation of the cell phone or smartphone assignment and disciplinary action against the employee, up to and including termination.

D. Employees are strongly discouraged from using handheld wireless telephones or data devices while driving or operating motorized equipment except in emergency situations. Instead, employees are encouraged to use hands-free accessories or pull over to the side of the road and/or shut down machinery until the call is complete.

E. Any equipment issued by the Village of Harrison is Village property. Loss, theft or damage to a Village issued cell phone/device shall be reported immediately to the employee's direct supervisor. If the employee is found to be at fault for the loss of the Village issued cell phone due to gross negligence, this may result in disciplinary action. Each Department shall immediately contact the Village Manager upon receiving information of a loss, theft or damage to a Village issued cell phone/device. The Village Manager is authorized to clear all confidential Village information from the phone. This may result in personal information being erased from the device as well.

- F. For employees the Village prohibits excessive personal calls, texts or other messaging during the workday regardless on who's device those phone calls take place. This interferes with employee productivity. Excessive personal communications may result in disciplinary action.
- G. Employees are prohibited from sending, receiving or accessing electronic communication that is insulting, profane, vulgar, lewd, indecent, sexually explicit, illegal, profit-making, political, unprofessional or in the violation of the Village policies while using a Village owned device.
- H. Employees approved to carry a cell phone or Smartphone for Village business are expected to make a reasonable effort to respond in a timely manner to Village business. This includes the response to urgent matters outside of normal business hours. Consistent failure to respond in a timely manner to business calls, texts or emails may result in discipline.
- I. Electronic communication made on Village issued cell phones or Smartphones involving government policy or business is subject to state record retention requirements and may be subject to the Wisconsin Public Records Law. The content of employee electronic communication may be subject to disclosure in litigation, audits, and other purposes. Users are authorized limited incidental use of the Village's issued cell phones for personal purposes, but employees/Board members have no expectation of privacy or confidentiality in such use. Communications of purely personal nature are exempt. Recipients are expected to sign a form acknowledging they understand the phone is part of the open records law.
- J. Employees may not provide the cellular phone number of any employee of the Village to a member of the public without the cell phone user's authorization.

3.3 Employee Separation from Employment

Employees/Board members shall return Village cell phone or Smartphone at the time of separation. The Village will discontinue the service. Failure of the employee to return the Village cell phone or Smartphone at the time of separation will result in the Village taking steps to download files from the device and wipe the device clean to avoid breaches of confidentiality

4.0 Effective Date

This policy is effective upon the first day of the month following approval of the Board.

ACKNOWLEDGEMENT FORM

Village of Harrison

Cell phone/Smartphone policy

Please check one of the following:



I understand that the Village issued cell phone/smartphone is a piece of government equipment that is subject to the Wisconsin Public Records Law and any incidental personal use could be captured as a public record.



I understand that the Village issued cell phone/smartphone is a piece of government equipment that is subject to the Wisconsin Public Records Law and choose to carry a personal phone for all personal business.

Signature

Date

Printed Name

VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Matt Heiser, Village Manager

Meeting Date:

May 10, 2022

Title:

Village Cell Phone Quotes

Issue:

Which cell phone provider should the Village select for Village-provided cell phones?

Background and Additional Information:

Staff sought quotes from four different vendors:

1. ATT
2. US Cellular
3. Verizon
4. T-mobile

The vendors were free to quote any phone in their inventory as long as they met the following technical requirements

1. They were a smart phone with a camera
2. They could connect to the Village e-mail server and allow staff to use their Village e-mail accounts
3. They could connect to the Village network and display Word files, Excel files and PDF files.

While not a requirement the vendors were all offering unlimited voice and data and a hot spot feature.

Staff revised the number of devices a couple of times and with normal response times it resulted in different device counts at the point when the packets were assembled. Here is the status of the current quotes:

Vendor	Devices	Model	Device Cost	Plan Cost	Monthly Cost/Line	Total Monthly
Verizon	17	Samsung A42	\$0.00	\$595.00	\$35.00	\$595.00
T-mobile	12	Samsung A32	\$0.00	\$292.32	\$24.36	\$292.32
ATT	19	iphone 12/Samsung FE	\$18.81	\$759.81	\$39.99	\$759.81
US Cellular	17		\$0.00	\$680.00	\$40.00	\$680.00

Budget Impacts:

The current cost to the Village is \$520 per month for stipend.

The lowest cost plan per month is \$24.36. For 19 total devices that would be \$462.84 which would result in a reduction in monthly cost.

The only up-front cost would be for cases and screen protectors. The vendors are offering a 20-25% discount on accessories which result in a total cost of \$85-100 per phone. For 19 devices this would come to approximately \$2,400.

Recommended Action:

If staff can secure the plan cost of \$24.36 for 24 lines of service staff would recommend the T-mobile quote.

Attachments:

- The quotes from the 4 vendors.
- Current stipend payments to Village employees

Matt Heiser

From: Verizon <VZWMail@ecrmemail.verizonwireless.com>
Sent: Friday, April 29, 2022 2:50 PM
To: Matt Heiser
Subject: Your Verizon Quote #8019557-Q1633622



Your quote is ready.

Review your quote below and complete your order today.
Online exclusive promotions may apply.

 [Complete Order](#) 

Date Created

April 29, 2022

Expires On

May 28, 2022

Quote Id

8019557-Q1633622

Service Address

State hwy 114,
Menasha, Wi 54942

Quote details

Thank you for your interest in Verizon. This quote is valid for the next 30 days. To take advantage of our best online offers, complete your order today.

Disclaimer: All offers require the completion of a major account agreement (MAA) with Verizon.

Verizon Wireless for Business

	Billed Monthly	Due today
Devices		
Samsung Galaxy A42 5G 128GB in Prism Dot Black (17 Items)	\$0.00	\$0.00
Plans		
BUSINESS UNLIMITED START 2.0 SMARTPHONE (17 Items)	\$595.00	\$0.00
Subtotal	\$595.00	\$0.00
Estimated monthly charges		

Promotions and credits

	Billed Monthly	Due today
1) Get \$399.99 off Samsung A42 activations with Unlimited via recurring credit - DPP and FRP - Consumer and Business - Direct and Agents - BIC YES	-\$188.88	-\$0.00
Subtotal	-\$188.88	-\$0.00
Credited on 2 nd billing cycle		

Order summary

	Billed Monthly	Due today
Subtotal	\$595.00*	\$-374.00*

Taxes and other charges

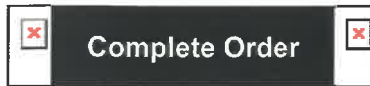
Estimated tax for ZIP code 54942

\$0.00* \$374.00*

Order Total

\$595.00* -

Amount due today



Have questions?

For Questions or help with your order, please Chat with one our business experts

Mon-Fri	8 AM - 10 PM ET
Sat	8 AM - 7 PM ET
Sun	Closed

Chat now >

*Prices referenced in this document are for estimating purposes only. Actual prices will be based on current equipment, calling plan and feature charges available at the time of purchase and are subject to change without notice. MAA Activation/Upgrade fee up to \$40; restocking fee up to \$50. Either an offer recovery fee or up to \$650 early termination fee may apply. If applicable, your line's Offer Recovery Fee will be the sum of device discounts plus device credits you receive. Additional fees for usage and overages may apply. Offers & Coverage vary by service & equipment. See Verizonwireless.com for coverage map. Equipment and accessories are subject to availability while supplies last. Additional charges, taxes, fees, and surcharges apply. Device trade in quote values are an estimate and subject to change without notice. The current market trade value in this quote is the value of the device on the day the quote was submitted. If the device is eligible for trade-in, credit will either be based on the market value of the device(s) at the time of the order or the applicable promo order at the time the promo was created. Final device value is determined at time of inspection. Eligibility for Instant Trade-in credits is determined at the time of your order.

© 2022 Verizon



Date: 4/20/2022



T-Mobile USA
 PO BOX 742596
 Cincinnati, OH 45274-2596

Village of Harrison
 Attn: Matt Heiser
 W5298 State Road 114
 Harrison, WI 54952

Equipment (one-time charge)

Item	Part Number	Order Qty.	MSRP	Promotional Price	Total Cost
Samsung Galaxy A32 5G		12	\$282.00		\$0.00
				Shipping	\$0.00
				Grand Total	\$0.00

Service Charges

Item Code Description	Contract Term	MRC	Order Qty.	Term	Total MRC	Total Cost
Unl Voice/Unl Text/Unl High-Speed Data/Unl HotspotData (Includes 11GB High-Speed)	24 Months	\$24.36	12	24		\$7,015.68
					Grand Total	\$7,015.68

Grand Total for Equipment and Service

Equipment	\$0.00
Service Charges	\$7,015.68
Grand Total	\$7,015.68

REMIT ADDRESS:

T-Mobile, PO Box 742596, Cincinnati, OH 45274-2596

QUOTE DOES NOT INCLUDE APPLICABLE TAXES AND REGULATORY FEES.

Pricing Valid Until 5/30/2022



AT&T Business Mobility Proposal

Prepared by:

Jon-Paul

JX237P@att.com

715-572-6134

EXECUTIVE SUMMARY

Total Devices:	19	One Time Bill Credit
New Domestic Monthly Cost:	\$759.81	(\$3,800.00)

MONTHLY SERVICE CHARGES

Rate Plan	Monthly Rate	Qty	Service Monthly Cost
FirstNet Powered by: AT&T Unlimited	\$39.99	19	\$759.81
FirstNet Powered by: AT&T Unlimited w/Hotspot	\$44.99	0	\$100.00
FirstNet Powered by: AT&T Unlimited Data Devices	\$35.99	0	\$240.00
COST:			\$759.81

MONTHLY EQUIPMENT CHARGES

Equipment	Monthly Rate	Qty	Equipment Monthly Cost
TOTAL MONTHLY EQUIPMENT COST:			

Other Credits and One Time Charges

Detail	Price	Qty	Charges/Credits
Activation Fee	Waived	19	\$0.00
PROMOTION: iPhone 12 64gb	\$0.99	TBD	
PROMOTION: Samsung FE	\$0.99	TBD	
Activation one-time credit	(\$200.00)	19	(\$3,800.00)
TOTAL CREDITS AND ONE TIME CHARGES			<b style="color: red;">(\$3,800.00)

Matt Heiser

From: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Sent: Wednesday, May 4, 2022 1:53 PM
To: Matt Heiser
Subject: RE: Village of Harrison Cell Phone Quote US Cellular

Ok so it will be \$680 per month for the 17 phones. We will waive activation fees for all 17 phones, which would save you guys \$510 there. We also will give you 3 months free service for setting up which is a savings of \$2040. All we will need up front to setup will be the taxes on the new phones, which will be roughly 45.65 per phone. Our cases, wall charger, and screen protector for each phone we'd be able to discount 20% off for a total of 86 per phone. Another great feature with us will be the ability to set appointments at our Darboy location on KK. Set the time and walk in at your appointment time to get whatever you need taken care of. Any other questions, don't hesitate to reach out! Thanks again for your consideration,
--Eric.

From: Matt Heiser <MHeiser@harrison-wi.org>
Sent: Wednesday, May 04, 2022 8:19 AM
To: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Subject: [EXTERNAL]: RE: Village of Harrison Cell Phone Quote US Cellular

One last thing Eric.
Could you add a case for each phone please?
Something basic but sturdy for government use.
Thanks,
--Matt.

Matt Heiser
Village Manager
Village of Harrison
W5298 State Road 114
Harrison, WI 54952
P: 920-989-1062 F: 920-989-1077
www.harrison-wi.org
"where opportunity lives"

From: Matt Heiser
Sent: Wednesday, May 4, 2022 8:13 AM
To: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Subject: Village of Harrison Cell Phone Quote US Cellular

Hello again Eric,
The Village President would like Board members to also have a phone.
Could you please update your quote to add 7 phones?
Thanks,
--Matt.

Matt Heiser
Village Manager
Village of Harrison
W5298 State Road 114
Harrison, WI 54952
P: 920-989-1062 F: 920-989-1077

From: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Sent: Thursday, April 28, 2022 2:10 PM
To: Matt Heiser <MHeiser@harrison-wi.org>
Subject: RE: Cell Phones for the Village of Harrison

Hey Matt,

Yes the phones up and running by June 1st should be no problem. Also yes to the exchange server for email and to retrieve word/excel files as well. Another thing I thought of too with the account being with the fire dept, we would add you to priority service that first responders receive. What that means, in times of congestion or emergency, your phones will be prioritized always on the network versus all the other customers. I would be available May 10th if you would like me to attend the meeting to answer any questions the board might have.

Thanks again,
Eric

From: Matt Heiser <MHeiser@harrison-wi.org>
Sent: Thursday, April 28, 2022 1:38 PM
To: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Subject: [EXTERNAL]: RE: Cell Phones for the Village of Harrison

Hi Eric,

So the current time line is for the Board to review the quotes at their May 10 meeting with the target being up and running on June 1.

Follow-up questions:

If the Board approved your quote on May 10 would we have the phones up and running by June 1?

And, the model that you quoted, can it connect to an exchange server for e-mail and retrieve word/excel files from our network?

Thanks,
--Matt.

Matt Heiser

Village Manager

Village of Harrison

W5298 State Road 114

Harrison, WI 54952

P: 920-989-1062 F: 920-989-1077

www.harrison-wi.org

"where opportunity lives"

From: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Sent: Wednesday, April 27, 2022 3:22 PM
To: Matt Heiser <MHeiser@harrison-wi.org>
Subject: RE: Cell Phones for the Village of Harrison

Hey Matt,

Just following up to see what phones you guys might be needing and if everything was approved at your meeting. Let me know what questions you may have and I'll be happy to answer! Also my personal cell phone is 9202093345 if I happen to be out of the office and you need to get ahold of me.

Thanks again!

Eric

From: Matt Heiser <MHeiser@harrison-wi.org>
Sent: Wednesday, April 20, 2022 1:52 PM
To: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Cc: Jarred Gerl <JGerl@harrison-wi.org>
Subject: [EXTERNAL]: RE: Cell Phones for the Village of Harrison

Hi Eric,
Can you confirm or update your quote please?
Thanks,
--Matt.

Matt Heiser
Village Manager
Village of Harrison
W5298 State Road 114
Harrison, WI 54952
P: 920-989-1062 F: 920-989-1077
www.harrison-wi.org
"where opportunity lives"

From: Matt Heiser
Sent: Tuesday, April 19, 2022 11:37 AM
To: Eric.Rathsack@uscellular.com
Cc: Jarred Gerl <JGerl@harrison-wi.org>
Subject: Cell Phones for the Village of Harrison

Hi Eric,
You had been in a dialog with Chief Jarred Gerl to provide cell phones for Village staff (see below).
Is this quote still valid?

If the Board approved the quote at its April 26 meeting could the phones be delivered and active by May 1?

Thanks,
--Matt.

Matt Heiser
Village Manager
Village of Harrison
W5298 State Road 114
Harrison, WI 54952
P: 920-989-1062 F: 920-989-1077
www.harrison-wi.org
"where opportunity lives"

From: Jarred Gerl <JGerl@harrison-wi.org>
Sent: Monday, April 18, 2022 10:52 AM
To: Matt Heiser <MHeiser@harrison-wi.org>
Subject: FW: US Cellular Estimate *NEW INFORMATION*

From: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Sent: Thursday, February 10, 2022 5:42 PM
To: Jarred Gerl <JGerl@harrison-wi.org>
Subject: RE: US Cellular Estimate *NEW INFORMATION*

NEW INFORMATION!!!

So we have a new promotion for business accounts where we will be able to waive the activation fee and there is free service as well for setting up a new account. This is including the free smartphone promotion as well. It's a crazy aggressive promotion. Let me know if you would like to know more!

From: Jarred Gerl <JGerl@harrison-wi.org>
Sent: Tuesday, February 01, 2022 7:56 AM
To: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Subject: [EXTERNAL]: RE: US Cellular Estimate

Thank you for the information Eric.

Jarred Gerl
Chief – Harrison Fire Rescue
Village of Harrison
W5298 State Rd. 114
Menasha, WI 54952
www.Harrison-wi.org
(920) 733-0421 (Station 70 Office)
(920) 989-1062 (Village Hall)

A proud part of the Village of Harrison public safety family!



From: Rathsack, Eric C <Eric.Rathsack@uscellular.com>
Sent: Monday, January 31, 2022 4:41 PM
To: Jarred Gerl <JGerl@harrison-wi.org>
Subject: US Cellular Estimate

Hey Jared, I just spoke to you earlier today. So basically what I have figured out for 10 lines is 40\$ per line for a total of 400 per month before tax. There is a 30 \$ activation fee per phone, and you also would need to pay the tax on the phones the date of setup. Roughly each phone's tax is around 35 to 60\$ per phone depending on which one you choose. The activation fees can be placed on the first bill if you'd like, but the tax on the phones needs to be paid the date of setup. The plan includes unlimited call, text, data and 30 gb of hotspot per phone per month. Any questions either call me at 9202093345 or email me back. I look forward to working with you all!

Thanks
Eric Rathsack

Cell Phone Stipend Pay - Fire/EMS

Jarred Gerl	40.00	Dept 70	100-07-52200-500-022
Mike Brantmeier	30.00	Dept 60	100-06-52200-500-022
Wes Pompa	30.00	Dept 70	100-07-52200-500-022
Steve Little	30.00	1st Resp	100-08-52300-000-000

Cell Phone Stipend Pay - Office/Hwy

Matt Heiser	40.00	Office	100-00-51600-500-022
Vicki Tessen	40.00	Office	100-00-51600-500-022
Mark Mommaerts	40.00	Office	100-00-51600-500-022
Jeff Funk	40.00	Hwy Dept	100-09-53311-500-022
Mike Nett	40.00	Hwy Dept	100-09-53311-500-022
Kaylee Grezinski	40.00	Hwy / Eng	100-09-53311-500-022
Jeff Wisnet	30.00	Hwy Dept	100-09-53311-500-022
Brad Welhouse	30.00	Hwy Dept	100-09-53311-500-022
Tim Bornemann	30.00	Hwy Dept	100-09-53311-500-022
Ryan Koepke	30.00	Hwy Dept	100-09-53311-500-022
Clayton Leitner	30.00	Hwy Dept	100-09-53311-500-022

Total	520.00		
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VILLAGE BOARD MEETING

VILLAGE OF HARRISON

From:

Matt Heiser, Village Manager

Meeting Date:

May 10, 2022

Title:

Sewer Connection Fees

Issue:

What should Harrison Utilities charge for connections to the sanitary sewer system?

Background and Additional Information:

Utilities generally charge connection fees to cover the costs associated with any increase/upgrade to the system required to accommodate new customers. Conversely, user rates are generally intended to cover costs for existing customers including operational expenses, costs of maintenance to the system, and any debt for equipment/infrastructure replacement.

Waverly Beach Sanitary District, which eventually became Harrison Utilities, charged a connection fee from its inception. The fee changed over time as the customer base grew and the increased use required system additions.

There were projects over the years that were shared as the City of Menasha and the Town of Harrison grew toward each other. To cover its share of the cost of these projects the Town imposed an assessment at one point then its own connection fee. As a result new customers in the Town (eventually Village) of Harrison had to pay a connection fee at HU when they obtained their sewer permit and a connection fee with the Village when they paid for their building permit. In 2020 the Village set a universal connection fee for everyone in the HU service area at \$3,800.

These were challenged by the City of Menasha because the city had already paid for a portion of those projects. It was also questioned by a developer in Menasha because their customers did not utilize portions of the system where the costs had accumulated. In March of 2022 the Village approved an engineering study to review sewer connection fees.

Budget Impacts:

If the recommendations of the study were implemented an effective date would need to be determined. Staff would recommend it be effective retroactively to 2020 when the fees were revised previously. This would mean the cost of the sewer permit would change for some people who paid for them over the course of the two years. Staff believes it would be problematic to try and invoice the customers for whom the fee is increasing. However, customers for whom the fee is decreasing should receive a refund.

One of the goals of the study was to utilize industry standards (as recommended by the engineers) in the determination of the fees. The recommendation in the engineers report to use a unit per acre basis for multi-family is a significant change from the past. This change has a significant impact on the potential refunds.

Current calculations by staff estimate refunds to be \$265,969. This does not include the Driscoll properties because the phase lots are not yet split so acreage is unknown. Staff estimates those refunds will be approximately another \$20,000.

Recommended Action:

Implement the connection fees recommended by Martenson & Eisele's engineering study effective in 2020 to overwrite the previous fee determination and refund the customers whose fees have decreased.

Attachments:

- Sewer Connection Fee Study by Martenson & Eisele.
- Refund Calculations by staff (Calculations provided by Brandon Barlow; formatted by Matt Heiser for viewing).

**Sewer Connection
Fee Study**

**Village of Harrison
Calumet County, WI**

April 2022



Table of Contents

Sewer Connection Fee Study Village of Harrison, Calumet County, WI April 2022

- 1.1 Project Background
- 1.2 Current Connection Fees
 - Table 1 – Current Village of Harrison Sanitary Sewer Connection Fees
- 1.3 Methodology for Calculation of Proposed Connection Fees
 - Table 2 – Summary of Capital Costs
- 1.4 Division of Unique Areas
 - Table 3 – Harrison Utilities Lift Stations
 - Table 4 – Acreages and Number of Connections
- 1.5 Connection Fee Calculations
 - 1.5.1 Description of Capital Costs
 - A. Waverly Sanitary District Sanitary Sewer System S. of Hwy. USH 10/STH 114
 - B. Improvements Required to Accommodate Increased Flows to Lift Station No. 4
 - C. Old Plank Road Forcemain and Menasha Metering Station Improvements
 - D. Transmission Costs
 - E. Waverly Sanitary District Metering Station
 - F. Forcemain Reconstruction
 - G. Lift Station No. 6 Improvements Project
 - H. Sanitary Sewer Extension Old Highway Road South of USH 10/STH 114
 - Table 5 – Summary of Relevant Capital Costs
 - 1.5.2 City of Menasha and City of Appleton Connection Fee Calculations
 - Table 6 – C. of Menasha and C. of Appleton Connection Fee 1 Calculations
 - 1.5.3 Village of Harrison Connection Fee Calculations
 - Table 7 – Village of Harrison Connection Fee 2 Calculations
 - 1.5.4 Lift Station No. 6 Service Area Connection Fee Calculations
 - Table 8 – Lift Station No. 6 Service Area Connection Fee 3 Calculations
 - 1.5.5 Lakeshore Service Area Connection Fee 4
- 1.6 Summary of Proposed Connection Fees
 - Table 9 – Proposed Connection Fees

EXHIBITS

Connection Fee Mapping
Current Connection Fee Resolution V2020-13
Historical Connection Fees
Capital Cost Documentation

**SEWER CONNECTION FEE STUDY
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN
APRIL 2022**

1.1 Project Background

Martenson & Eisele, Inc. (M&E) has been retained by the Village of Harrison to perform an evaluation of the Sanitary Sewer Utility Connection Fees. The goal of this effort is to determine the degree to which the current connection fees reasonably recover the cost incurred by the Village and Harrison Utilities associated with growth and, where appropriate, make recommendations for future connection fees. This Connection Fee Report summarizes the findings of the Study.

1.2 Current Connection Fees

Current Harrison Utilities connection fees are as set by the Village of Harrison Resolution V2020-13 adopted on September 29, 2020, as shown in Table 1 below.

Table 1 – Current Harrison Utilities Sanitary Sewer Connection Fees

Single Family Per Unit	\$3,800.00
Multi-Family	
First Unit	\$3,800.00
Each Additional Unit	\$500.00

A copy of Resolution V2020-13 is included as an Exhibit.

The following historical connection fees will be included in the connection fee evaluation.

Town of Harrison Connection Fee (Year 2000): \$1,500 single family
(Lift Station No. 4 improvements north of Hwy. USH 10/STH 114)

Waverly Sanitary District Connection Fee (Since Year 1992): \$2,870 single family
(Original Lakeshore Area project south of Hwy. USH 10/STH 114)

1.3 Methodology for Calculation of Proposed Connection Fees

Connection fees are one-time fees intended to recover capital costs associated with utility system infrastructure used to provide service to new customers.

Different approaches may be used in the determination of connection fees. For this study, the Buy-In Method has been selected for use in the update of Harrison Utilities connection fees based on the following rationale:

- The Buy-in Method has been used previously by Harrison Utilities in the development of its connection fees.
- Generally, the Harrison Utility System is considered to have adequate capacity to accommodate growth.
- The Buy-In Method is commonly accepted and relatively easy to explain.
- This approach uses the current cost of existing capacity, and therefore is not dependent on future capital project spending to establish the level of fee.

As noted above, connection fees are intended to recover capital costs incurred as a result of growth.

Table 2 that follows summarizes the capital costs that are considered in calculating new connection fees. Documents detailing these capital costs are included as an Exhibit to this Study.

Table 2 – Summary of Capital Costs

Project or Capital Cost Expenditure	Cost
Costs Relative to Lift Station No. 4 Improvements	
Old Plank Road Sanitary Forcemain - 2003 (Needed to re-route flows from Lift Station No. 1 to accommodate increased flows from Lift Station No. 4)	\$181,096.78
Menasha Metering Station - 2003 (Required to re-route flows from Lift Station No. 1 to accommodate increased flows from Lift Station No. 4)	\$14,614.50
Transmission Costs - 2005 (Joint transportation of wastewater through Menasha to N-M WWTP) Based on 2005 City of Menasha/Waverly Sanitary District Agreement	\$112,738.00
Waverly Sanitary District Wastewater Metering Station - 2008 (Additional metering needs for flow from Lift Station No. 1 to Menasha)	\$39,154.40
Forcemain Replacement – 2011 (8" DIP forcemain was burst and replaced with 10" PE forcemain to Fox Crossing to accommodate increased flows from Lift Station No. 4)	\$174,992.61
Total Costs Relative to Lift Station No. 4 Improvements	\$522,596.29
Costs Relative to Lift Station No. 6 Improvements	
Lift Station No. 6 Improvements Project - 2018 Including Oversizing Costs in LS #6 Service Area	\$1,042,000.00
Sanitary Sewer Extension Old Hwy. Rd. South of USH 10/STH 114 - 2020	\$425,753.16
Total Costs Relative to Lift Station No. 6 Improvements	\$1,467,753.16

Separate connection fees are provided in this Study for commercial, industrial, institutional and multi-family developments. These connections will vary depending on the size and type of the development. Therefore, M&E recommends a connection fee based upon the acreage for the proposed commercial, industrial, institutional and multi-family development.

Additional Parameters used in this Study are as follows:

- Connection fees are based on a 40-year planning period, as defined by Wisconsin Administrative Code NR110 for sanitary sewer.
- Number of residential connections is based on 1.8 connections per acre. This assumes that development throughout the Harrison Utilities service area is similar to that projected for the Lift Station No. 6 service area.
- 75% of the service area will develop in the 40-year planning period. This assumption takes into account environmentally sensitive areas, roadways, large lots, and expected rate of development.
- Interest rate of 3.0% is used to project future costs for the 40-year planning period.
- Commercial, industrial, institutional and multi-family connection fees are proposed per acre of the development, based on the assumption of 1.8 residential connections per acre.



1.4 Division of Unique Areas

Harrison Utilities is currently served by five separate lift stations, as summarized in Table 3 below.

Table 3 – Harrison Utilities Lift Stations

Lift Sta. No.	Location Relevant to Hwy. USH 10/STH 114	Location Nearest Roadway	Discharges to
1	South of Highway	Fire Lane 2	City of Menasha Sanitary Sewer System
2	South of Highway	Fire Lane 6	LS #1 Service Area
3	South of Highway	North Shore Road	LS #2 / LS #1 Service Areas
4	North of Highway	Snowberry Way	Village of Fox Crossing Sanitary Sewer System
5	North of Highway	<u>ABANDONED</u> Winding Trail Drive	<u>ABANDONED</u> Originally Discharged to LS #3/#2/#1 Area Currently Flows to LS #6
6	North of Highway	Connor Circle	LS #4 Service Area

Note that wastewater generated south of Hwy. USH 10/STH 114 ultimately flows to Lift Station No. 1 and to the City of Menasha sanitary sewer system. Wastewater generated north of Hwy. USH 10/STH 114 ultimately flows to Lift Station No. 4 and to the Village of Fox Crossing sanitary sewer system. All wastewater generated in the Harrison Utilities service area is treated at the Neenah-Menasha Regional Wastewater Treatment Facility.

For the purpose of this Study, Harrison Utilities is divided into 4 unique areas, as follows. Each of these areas warrant individual connection fee calculations, based on the capital expenditures that apply. Four separate connection fees will be provided.

- Connection Fee 1: Lift Station No. 4 Service Area
located in the Cities of Menasha or Appleton
- Connection Fee 2: Lift Station No. 4 Service Area located in the Village of Harrison
(outside of Lift Station No. 6 Service Area)
- Connection Fee 3: Lift Station No. 6 Service Area
- Connection Fee 4: Lakeshore Area, south of USH 10/STH 114 served by Lift Station No. 1

Harrison Utilities mapping included as an Exhibit identifies these four areas. Table 4 below summarizes the acreage, potential connections, estimated connections for 40-year planning period, and percentage of the connections.

Table 4 – Acreages and Number of Connections

Relevant Area	Total Area Acres	Potential Connections (1.8 Conn. / Acre)	Estimated 40-Yr Planning Period Connections 75%	Percentages
Lift Station No. 4 Service Area				
Connection Fee 1 LS #4 SA C. Menasha or Appleton	1,049	1,888	1,416	32% of LS #4 Service Area
Connection Fee 2 LS #4 SA V. Harrison	1,461	2,630	1,973	44% of LS #4 Service Area
Connection Fee 3 LS #6 SA V. Harrison	775	1,395	1,046	24% of LS #4 Service Area
Lift Station No. 1 Service Area				
Connection Fee 4 Lakeshore Area	805	1,449	1,087	100% of LS #1 Service Area
Totals	4,090	7,362	5,522	

1.5 Connection Fee Calculations

1.5.1 Description of Capital Costs

- A. Waverly Sanitary District Sanitary Sewer System South of Hwy USH 10/STH 114: The original Waverly Sanitary District sanitary sewer (plus expansions to this original system), Lift Stations No. 1, 2 and 3, and forcemain between the lift stations was constructed to serve areas within the Harrison Utilities service area on the north side of Lake Winnebago, south of Hwy USH 10/STH 114. The capital costs for improvements south of the highway have been recovered with the historical connection fee of \$2,870 that remains effective in this connection fee evaluation.
- B. Improvements Required to Accommodate Increased Flows to Lift Station No. 4: The Lift Station No. 4 Improvements project, including USH 10/STH 114 and Lake Park Road Interceptor sewer was complete in 2001, with project costs totaling \$2,571,737.21. It was determined that the Town of Harrison was responsible for \$1,588,423.77 of the total contract. The City of Menasha was responsible for and paid the remainder of the contract, \$983,313.44. The historical Town of Harrison Connection fee of \$1,500 was developed to recover the portion of the Town's cost that was not special assessed, and remains effective in this connection fee evaluation.
- C. Old Plank Road Forcemain and Menasha Metering Station Improvements: In 2003 and 2004, new sanitary sewer and forcemain was constructed to re-route wastewater from Lift Station No. 1 along Old Plank Road to discharge into the City of Menasha sanitary sewer system. The Menasha Metering Station was constructed to measure flow into the City. Re-routing this flow generated on the south side of Hwy. USH 10/STH114 allowed for additional capacity for the sewers downstream of Lift Station No. 4 on the north side of the highway.



- D. Transmission Costs: In an agreement with the City of Menasha dated April 20, 2005, Waverly Sanitary District, now Harrison Utilities, purchased transmission capacity from the City of Menasha in the amount of \$112,738.00. The purchase was for 500,000 gallons per day of reserve capacity in Menasha's existing 27-inch 4th Street / 6th Street interceptor sewer and 15-inch Plank Road sewer for transportation of wastewater from Lift Station No. 1 through Menasha to the point of connection with the Neenah-Menasha Joint Sewerage Commission interceptor. This agreement was needed to allow for additional growth in the Lift Station No. 4 service area.
- E. Waverly Sanitary District Metering Station: The Waverly Sanitary District Metering Station was constructed in 2008 near the Heckrodt Preserve on Plank Road as an additional means to measure wastewater flows generated south of Hwy USH 10/STH 114 into the City of Menasha.
- F. Forcemain Reconstruction: In 2011, in order to increase the capacity of an existing 8-inch ductile iron forcemain serving Lift Station No. 4, a pipe bursting process was used to replace the existing forcemain with a 10-inch polyethylene pipe. The pipe bursting/reconstruction project was from Hwy. USH 10/STH 114 north through an easement and along Deerfield Avenue to Geneva Road.
- G. Lift Station No. 6 Improvements Project: Lift Station No. 6 was constructed in 2018 to serve an area defined by Manitowoc Road on the north, just below STH 114 on the south, Coop Road on the west, and County Trunk Highway N on the east. The project cost for Lift Station No. 6 improvements was \$640,000. Preliminary estimates indicate that the Village will incur approximately \$402,000 in costs to oversize sanitary sewers within the entire Lift Station No. 6 service area. The total estimated costs associated with this project is \$1,042,000.
- H. Sanitary Sewer Extension Old Highway Road South of USH 10/STH 114: Lift Station No. 5 served the North Shore Woods subdivision south of Hwy. USH 10/STH 114 in the Village of Harrison. After Lift Station No. 6 was constructed, Lift Station 5 was abandoned in year 2020, and approximately 2,400 linear feet of 8-inch, 12-inch and 15-inch sanitary sewer was constructed to transport wastewater from the North Shore Woods subdivision to the new Lift Station No. 6. The total cost associated with this project is \$609,381.68. A portion of this project cost, \$425,753.16, was spent to construct the 12" and 15" sewer along Old Highway Road and under USH 10/STH 114 that will serve future development in the Lift Station No. 6 service area.

See Table 5 below for a summary of capital costs relevant to each of the four areas/connections.

Table 5 – Summary of Relevant Capital Costs

Relevant Capital Costs and Existing Connection Fees	Connection Fee 1 C. Menasha/Appleton Served by LS #4	Connection Fee 2 V. Harrison Served by LS #4	Connection Fee 3 Lift Station #6 Service Area	Connection Fee 4 Lakeshore S. of USH 10/STH 114
LS #4 Improvements	X	X	X	
LS #6 Improvements			X	
Yr. 2000 T. Harrison Connection Fee		X		
Year 1992 WSD Connection Fee				X

1.5.2 City of Menasha and City of Appleton Connection Fee Calculations

Table 6 below summarizes the calculations for Connection Fee 1 affecting City of Menasha and City of Appleton properties north of Hwy USH 10 / STH 114, within the Lift Station No. 4 Service Area.

Table 6 – City of Menasha and City of Appleton Connection Fee 1 Calculations

Planning Period	40 Years
Number of Connections	1,416
Percent of Total Connections in LS #4 SA	32%
Appropriated Lift Station No. 4 Costs (32% x \$522,596.29)	
	\$167,230.81
Total Present Cost	\$167,230.81
Future Cost (F/P,3% Interest, 40 Years = 3.2620)	
	\$545,506.90
Cost Per Residential Connection	\$385.24
Cost for Commercial, Industrial, Institutional and Multi-family Connection Per Acre of Development	
	\$693.43

1.5.3 Village of Harrison Connection Fee Calculations

Table 7 below summarizes the calculations for Connection Fee 2 affecting Village of Harrison properties north of Hwy USH 10 / STH 114, within the Lift Station No. 4 Service Area, but outside of the Lift Station No. 6 Service Area.

Table 7 – Village of Harrison Connection Fee 2 Calculations

Planning Period	40 Years
Number of Connections	1,973
Percent of Total Connections in LS #4 SA	44%
Appropriated Lift Station No. 4 Costs (44% x \$522,596.29)	
	\$229,942.37
Total Present Cost	\$229,942.37
Future Cost (F/P,3% Interest, 40 Years = 3.2620)	
	\$750,072.01
Cost Per Residential Connection LS #4 Costs	\$380.17
Cost Per Residential Connection Hist. Conn. Fee	\$1,500.00
Total Cost Per Residential Connection	\$1,880.17
Cost for Commercial, Industrial, Institutional and Multi-family Connection Per Acre of Development	
	\$3,384.31

1.5.4 Lift Station No. 6 Service Area Connection Fee Calculations

Table 8 below summarizes the calculations for Connection Fee 3 affecting properties within the Lift Station No. 6 service area

Table 8 – Lift Station No. 6 Service Area Connection Fee 3 Calculations

Planning Period	40 Years
Number of Connections	1,046
Percent of Total Connections	24%
Appropriated Lift Station No. 4 Costs (24% x \$522,596.29)	
	\$125,423.11
Appropriated Lift Station No. 6 Cost (100%)	
	\$1,467,753.16
Total Present Cost	
	\$1,593,176.27
Future Cost (F/P,3% Interest, 40 Years = 3.2620)	
	\$5,196,940.99
Cost Per Residential Connection LS #4 and #6	
	\$4,968.39
Cost for Commercial, Industrial, Institutional and Multi-family Connection Per Acre of Development	
	\$8,943.10

1.5.5. Lakeshore Service Area Connection Fee 4

A Connection Fee of \$2,870 was established for the Lakeshore Area south of USH 10 / STH 114 by the Waverly Sanitary District Ordinance 28. Martenson & Eisele, Inc. recommends the connection fee remain at the historical level of \$2,870. The proposed commercial, industrial, institutional and multi-family connection fees are shown below.

1.6 Summary of Proposed Connection Fees

Table 9 below summarizes the proposed connection fees as calculated above.

Table 9 – Proposed Connection Fees

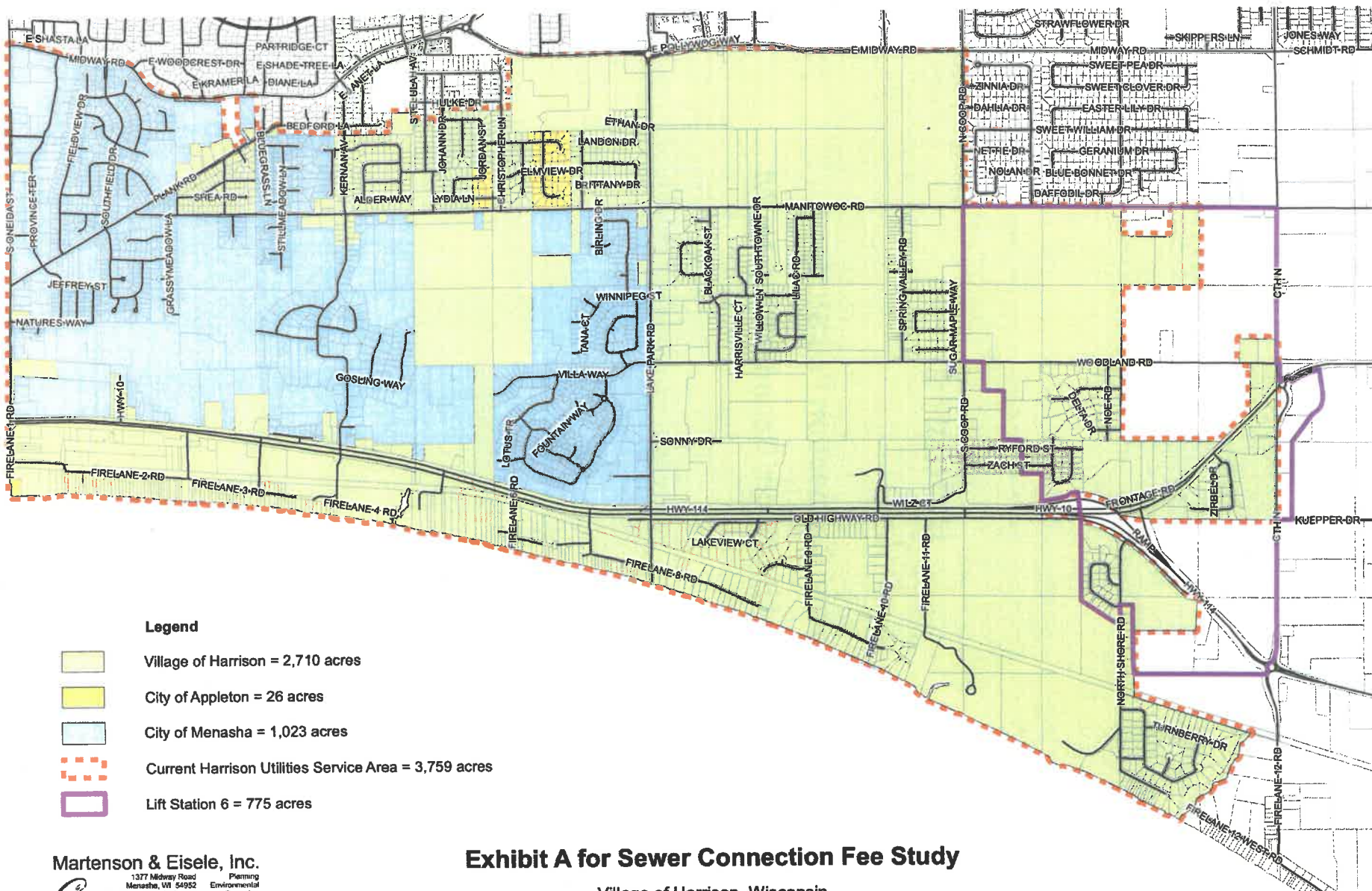
Area	Proposed Residential Connection Fee Per Connection	Proposed Commercial, Industrial, Institutional, and Multi-family Connection Fee Per Acre
Connection Fee 1 – Cities of Menasha and Appleton	\$385	\$695
Connection Fee 2 – Village of Harrison	\$1,880	\$3,385
Connection Fee 3 – Lift Station No. 6 Service Area	\$4,970	\$8,945
Connection Fee 4 – Lakeshore Area	\$2,870	\$5,170

Note that the proposed residential connection fee applies to single family or duplex homes. Connection fees for commercial, industrial, institutional and multi-family developments are on a per acre basis.

Martenson & Eisele, Inc. recommends that the Village of Harrison re-evaluate connection fees following any capital improvements project involving expenditure of Village funds for improvements to serve new or future development.

EXHIBITS

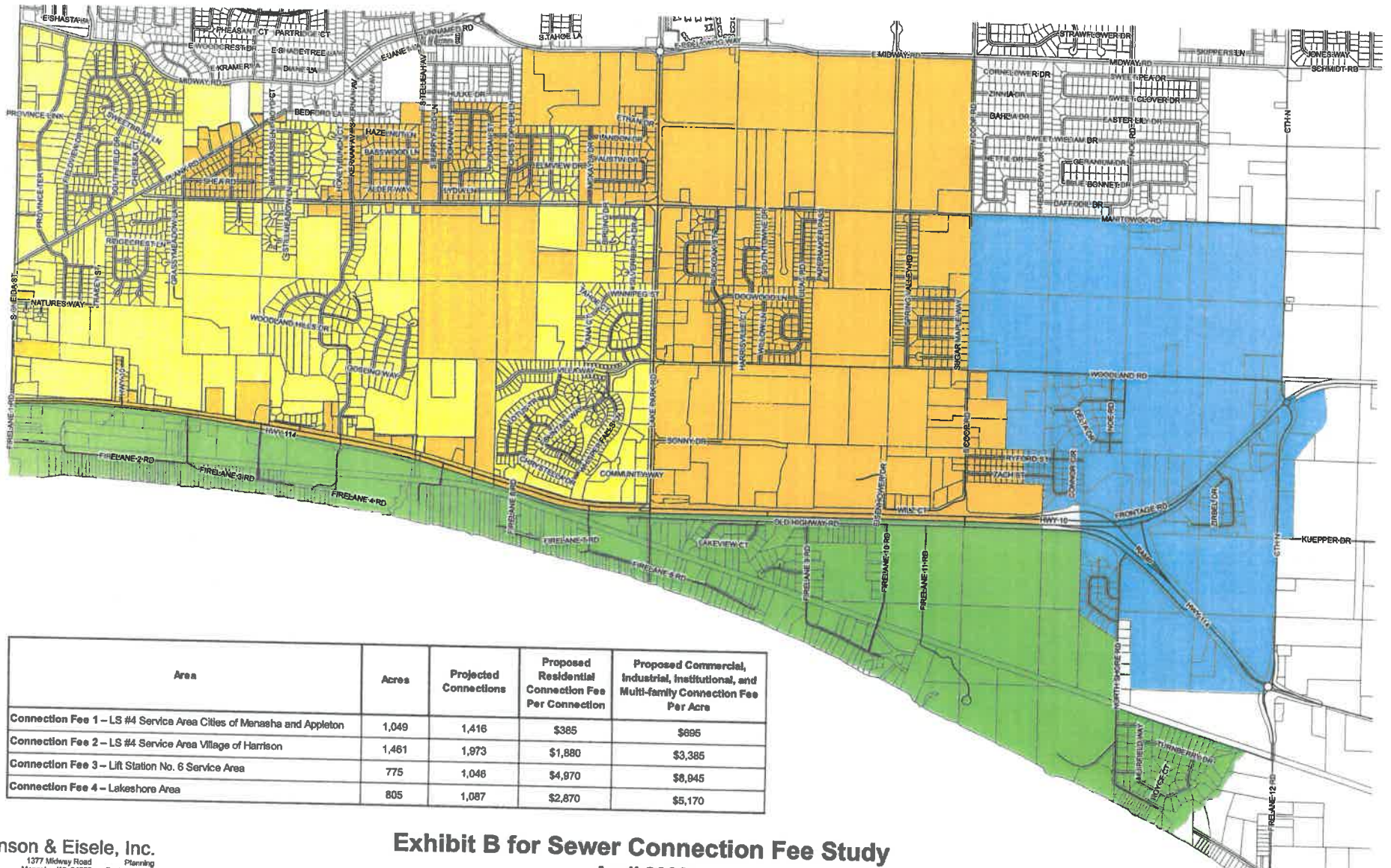
**Sewer Connection Fee Study
Village of Harrison, Calumet County, WI**



- Legend**
- Village of Harrison = 2,710 acres
 - City of Appleton = 26 acres
 - City of Menasha = 1,023 acres
 - Current Harrison Utilities Service Area = 3,759 acres
 - Lift Station 6 = 775 acres

Martenson & Eisele, Inc.
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.238.0381
 aregls_calumet_county.mxd_04/14/2022

Exhibit A for Sewer Connection Fee Study
 Village of Harrison, Wisconsin
 Calumet County, Wisconsin



Martenson & Eisele, Inc.
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381
 arcgis_calumet_county.mxd_04/27/2022

Exhibit B for Sewer Connection Fee Study
April 2022
 Village of Harrison, Wisconsin
 Calumet County, Wisconsin

RESOLUTION V2020-13

VILLAGE OF HARRISON
Calumet and Outagamie Counties

**RESOLUTION ESTABLISHING A HARRISON UTILITIES SEWER CONNECTION
FEE**

WHEREAS, the Village of Harrison, Calumet and Outagamie Counties, Wisconsin is a municipal corporation charged with the duty to provide necessary services to the residents of the Village; and

WHEREAS, Ordinance V20-08 authorizes the Village of Harrison to establish a sewer connection fee for Harrison Utilities in an amount established by the Village Board by resolution; and

WHEREAS, the Village of Harrison Village Board has determined that it is in the best interest of the residents and customers of the Harrison Utilities to charge a sewer connection fee for new development in order to recover some of the costs of providing sewer service to new developments;

NOW, THEREFORE, BE IT RESOLVED by the Village of Harrison Village Board to charge a sewer connection fee in the amounts below:

Sewer Connection Fee:

Single Family Per Unit

\$3,800.00

Multi-Family 1st Unit

\$3,800.00

Each Additional Unit

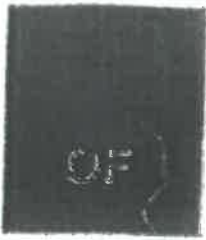
\$500.00

Adopted by the Village Board of the Village of Harrison, Calumet and Outagamie Counties, Wisconsin, this 29th day of September, 2020.

VILLAGE OF HARRISON

By: Kevin M. Hietpas
Kevin Hietpas, Village President

Attest: Jennifer Weyenberg
Jennifer Weyenberg, Village Clerk



HARRISON

*WCH
Picked up info
@ 8/10/00
mts.*

*Town of Harrison
Connection Fee 2000*

SCM

COPY

W5298 Hwy 114 Menasha, Wisconsin 54952
Town Hall 920-989-1062 Town Garage 920-989-1139
Fax 920-989-1077

TOWN OF HARRISON

W5298 Hwy 114
Menasha, WI 54952
920-989-1062

POLICY - CONNECTION FEES

DESCRIPTION	COST	COMMENT
SFR (Single-family residence)	\$1500.00	
Duplex	\$2250.00	
Multi-Unit	\$1500.00	1 st Unit
	\$ 700.00	Each additional unit
Commercial	\$1500.00	per acre (Equivalency)

**** Above fees do not include Waverly Sanitary District's Hook-up fee**

CHANGES THAT OCCURRED SINCE THE JULY 25, 2000 PUBLIC HEARING

CHANGES	OLD	NEW
Reduced front footage 25%	\$ 62.14 sewer/water	\$ 46.61 sewer/water
Reduced area wide - 50%	\$1070.75 per acre	\$ 535.38 per acre
NO TAX LEVY	\$.25 TAX LEVY	\$.00 TAX LEVY

- Added a \$1500.00 hook up fee or equivalent
- Within the assessment area, existing single family residence will receive a single connection fee. If parcel is divided in future, the new parcel will be subject to a connection fee.

Waverly Sanitary District Connection Fee
Lakeshore Area 1992-1997

Michael S Siewert

From: Brandon Barlow <bbarlow@harrisonutilities.org>
Sent: Monday, April 4, 2022 11:20 AM
To: Michael S Siewert; 'Tom Van Zeeland'
Cc: Mark Mommaerts (VOH)
Subject: RE: Historic connection fee

Mike,

Here is the history that I can piece together based on the ordinance binder:

Year	Ordinance	Original Areas A through E (Lakeshore) Higher Connection Fee in Lieu of Assessments	Other Residential	Commercial (Under 2,500 ft ²) 2x residential	Commercial (Over 2,500 ft ²) 4x residential
1983	2	\$2,700	-	-	-
1992	20	\$2,870	\$485	\$970	\$1,940
1995	23	\$2,870	\$700	\$1,400	\$2,800
1997	27	\$2,870	\$800	\$1,600	\$3,200
1997	28	\$2,870	\$975	\$1,950	\$3,900

Once LS #4 was installed the connection fees remained unchanged, but there were assessments from the municipalities as well as the additional \$1,500 connection fee for the TOH/VOH (in addition to what was paid to WSD/HU). Once LS #6 came on-line there was an additional "contribution charge" for lots in that area (on top of the connection fee). In 2019 it all got very messy as the PSC disallowed the water portion of the connection fees on everything except the original system area (deemed to be a valid special assessment to my understanding). I can get into more detail on the last few years if you need it.

-Brandon

From: Michael S Siewert <mikes@martenson-eisele.com>
Sent: Friday, April 1, 2022 11:22 AM
To: Brandon Barlow <bbarlow@harrisonutilities.org>; Tom Van Zeeland <tvanzeeland@harrisonutilities.org>
Subject: Historic connection fee

Good morning,

Can you find what our historical connection fee was pre-LS 4?

Please let me know.

Thank You

Old Plank Road Sanitary Force Main 2003

To: Waverly Sanitary District Attn: Cathy Girdley N8722 CTH LP Menasha WI, 54952	Certificate of Payment Certificate No. 3 Issue Date: May 12, 2004 Old Plank Road Sanitary Force Main
--	--

This is to certify that in accordance with the terms of the Agreement dated October 17, 2003

Contractor: Advance Construction
Attn: Glenn Joski, President
2082 London Road
Green Bay, WI 54311

is entitled to **(full)** payment for work performed through

May 12, 2004

Attached herewith you will find:

- Contractor's Application for Payment
- Itemized Cost Breakdown

<u>Payment/Contract Summary</u>	
Original contract	\$179,763.00
Actual Units and/or Changes	\$1,333.78
Contract Plus (Minus/Plus) Changes	\$181,096.78
Work Completed to Date (see Attached)	\$181,096.78
Retainage (Pavement Repair & Restoration)	\$0.00
Amount Due Contractor	\$181,096.78
Less Previous Payments	\$174,694.33
Amount due this Payment (Mail to Contractor)	\$6,402.45

Certified by
MARTENSON & EISELE, INC.

Stanley C. Martenson, P.E.
Senior Project Engineer



Martenson & Eisele, Inc.

Planning ■ Surveying ■ Engineering ■ Architecture

Professionals dedicated to serving people committed to improving their communities

CHANGE ORDER NO. 2

November 17, 2003

Sewer & Force Main Construction

Waverly Sanitary District

Advance Construction, Inc.
Attn: Glenn Joski, President
2082 London Road
Green Bay, WI 54311

Your are hereby directed to make the following changes in the project.

Force Main and Sanitary Main Construction

<u>Item</u>	<u>Unit Price</u>	<u>Total</u>
8. Delete 105 LF 12 San Main – Add 15”/18” per attached detail for Monitoring		<u>\$14,614.50</u>
Total		<u>\$14,614.50</u>

The above changes result in the following adjustments:

Contract Amount Prior to Change	\$181,729.00
Adjustments this Change/extension	+\$ 14,614.50
	<u>=====</u>
Contract Amount After Change	\$196,343.50

Recommended by:

Martenson & Eisele, Inc.

November 17, 2003

Approval by Owner:

William C. Nelson

Date: 11/18/03

Approval by Contractor:

Date: _____

ADVANCE CONSTRUCTION, INC.

2082 LONDON ROAD
GREEN BAY, WI 54311

Phone (920)468-9386
Fax (920)468-6360

Menasha Metering Station - 2003

November 12, 2003

Martenson & Eisele, Inc.
Attn: Stanley Martenson
1377 Midway Road
Menasha, WI 54952

RE: Sewer & Force Main Construction

Dear Mr. Martenson:

Here are the proposed cost for the monitoring manhole and associated work requested by Taryn Nall of Kaempfer & Associates, Inc.

Description	Quantity	Price	Total
15" connection to existing manhole instead of 12" connection upsized cone and boot	1 ea	\$350.00	\$350.00
18" sanitary sewer	30 LF	\$45.50	\$1,365.00
72" diameter monitoring manhole	10 VF	\$400.00	\$4,000.00
3" parshall flume supplied and installed	1 EA	\$1,500.00	\$1,500.00
15" sanitary sewer	69 LF	\$43.00	\$2,967.00
18" seal instead of 12" seal at manhole #1	1 EA	\$75.00	\$75.00
R-1916-F casting	1 EA	\$600.00	\$600.00
Remobilization if not complete when rest of contract items completed	1 EA	\$1,750.00	\$1,750.00
Create grout at flume and transition flume, approx. 3 feet as noted on #1 and #4 sheet 2, drawing G.2, along with bubbler system, see note 2	1 EA	\$3,750.00	\$3,750.00
Field rep and certification paperwork with installation per C53, section 4 a&b, also note 5 drawing G.2	1 EA	\$1,000.00	\$1,000.00
Note 3 pipe stiffener for 15" & 18" supplied and installed	1 EA	\$390.00	\$390.00
Reducing slab for manhole per drawing G.2, Detail A	1 EA	\$595.00	\$595.00

Monitoring manhole cost is for concrete structure, and 1-18" seal, 1-15" seal. No coatings, meters, or electrical included. *Deduct 105 LF 12" San @ 35.50*

Sub Total \$18,342.00
- 3,727.50

Above prices to be paid based on quantity installed.

Total \$14,614.50

Days necessary for above work to be determined by owner and Advance.

If you have any questions please call.

Sincerely,
Glenn Joski
Glenn Joski, President

Transmission Costs 2005

Draft 2/24/04
Revised 2/26/04
Revised 4/20/05

**Agreement for Transportation of Wastewater Between
The City of Menasha and The Waverly Sanitary District**

This agreement made and entered into this ____ day of _____, 2005, by and between the City of Menasha hereinafter called "Menasha", and the Waverly Sanitary District hereinafter called "Waverly".

Whereas, each of the parties hereto has the responsibility of providing an orderly, efficient, and sanitary means of collecting, transporting, treating, and disposing of wastewater of each of said municipal corporations; and

Whereas, each of the parties hereto have, by resolution of its respective governing body, been authorized to negotiate with the other party a mutually cooperative contract for the joint transportation of wastewater of Waverly through Menasha to the Neenah-Menasha Joint Sewerage Commission Treatment Facilities;

Now, therefore, in consideration of the premises aforementioned and of the conditions and covenants hereinafter set forth,

It is agreed as follows:

1. General Intent. That Waverly shall purchase sanitary sewer reserved capacity from Menasha, being primarily excess capacity in Menasha's existing 27" 4th Street / 6th Street interceptor sewer and 15" Plank Road sanitary sewer, for transportation of wastewater from Waverly through Menasha to the point of connection with the Neenah-Menasha Joint Sewerage Commission interceptor, upon the terms and conditions hereinafter set forth.

2. Waverly Purchase of up to 500,000 Gallons per Day Reserved Capacity. That attached hereto as Exhibit A is a Kaempfer & Associates, Inc., consulting engineers, analysis of "Capacity of Existing Plank Road / Fourth Street Interceptor Sewers". Upon the date of signature of this contract, Waverly shall pay to Menasha \$112,738.00, in two annual installments of \$56,369.00 each, and shall at said time be the purchaser of reserved capacity, of up to 500,000 gallons per day for transportation of wastewater through said interceptor sewers.

Once the purchase price of \$112,738.00 has been paid in full, Waverly shall be the owner, now and in the future, of reserved capacity within said 27" and 15" interceptor sewers of not less than 500,000 gallons per day of wastewater flowage.

Draft 2/24/04
Revised 2/26/04
Revised 4/20/05

The operation and maintenance expenses and equipment replacement expenses, on an annual basis, to be paid by Waverly to Menasha reference these 27" and 15" sewer mains, shall be as hereinafter set forth.

~~3. Possible Purchase of Future Reserved Capacity in Existing Menasha Sewers. In the event Menasha determines that additional reserved capacity exists in the 27" and 15" interceptor sewers, Menasha agrees to extend to Waverly the option to purchase said additional reserved capacity. The parties mutually agree that Exhibit A, all of its methodology being incorporated herein by reference, shall be the methodology to be utilized in the future if Waverly elects, within its sole discretion, to purchase wastewater transportation determined by Menasha to be available. That if and when Waverly shall notify Menasha of its desire to purchase said reserved capacity, the Kaempfer & Associates, Inc. methodology of Exhibit A shall be updated. The purchase price, as then redetermined by said methodology and formula, shall be payable by Waverly to Menasha. Immediately upon payment, Waverly shall own as purchaser reserved capacity within the respective purchased sewers.~~

~~At the time Waverly exercises its option to purchase any one or more of the future identified reserved capacities, the parties shall immediately agree and enter into an amendment to this agreement, agreeing to the methodology for the then payment by Waverly to Menasha of annual operation and maintenance, and equipment replacement, for these delineated sewers. By agreement of the parties, the methodology shall be similar to that set forth in Exhibit B attached, and the payments shall be pursuant to a quarterly basis as outline under paragraph 5 hereinafter.~~

4. 40 Year Purchase Period. Waverly may exercise the right to purchase any additional reserved capacity, pursuant to Exhibit A attached, at any time from the date of this contract through a period of 40 years hereinafter. It is mutually agreed and understood that this agreement on purchase of additional capacity per Exhibit A for the next 40-year period shall be binding upon each of the municipal parties entering into this agreement.

5. Operation and Maintenance Costs: Annual Reimbursement. Attached hereto as Exhibit B is the Menasha budget estimate of 2005 operation, maintenance, and equipment replacement of Menasha sewers. The parties agree that each year, commencing year

Draft 2/24/04
Revised 2/26/04
Revised 4/20/05

2005, Menasha shall estimate, for budget purposes, its operation and maintenance expense and equipment replacement, for all sanitary sewers within its sewer collection system. Commencing year 2005, and each year thereafter, based upon Menasha's budget and estimate of operation and maintenance and equipment replacement, for its sewer collection system, Waverly shall pay to Menasha its share of the annual budgeted charges of Menasha, as set forth under the methodology and procedure of Exhibit B. All payments from Waverly to Menasha shall be made on a quarterly basis for the calendar quarters ending March 31, June 30, September 30, and December 31. Menasha shall continue, in year 2005 and thereafter, to use a uniform and systematic method of determining operation, maintenance, and equipment replacement as set forth in Exhibit B.

6. Extraordinary Maintenance, Repair, or Replacement Costs. If Menasha determines any extraordinary *maintenance*, repair, or replacement of the 27" 4th Street / 6th Street and/or 15" Plank Road sewers is required, the costs of said repair or replacement shall be shared based on the Waverly owned capacity percentage of the segment. Segment capacity shall be as listed on Exhibit A. *The cost to Waverly for any flow enhancement rehabilitation shall be proportional to Waverly's share of the sewer capacity.*

7. Metering, Sampling, and Monitoring

Metering. Flows from Waverly to Menasha shall be metered for volume, and the meter read at intervals as specified ~~by the Neenah-Menasha Joint Sewerage Commission, by its designated personnel.~~ *Flow metering shall be performed continuously.* This reading shall be forwarded to Menasha and to the Neenah-Menasha Joint Sewerage Commission. This reading shall be used to compute treatment costs and any applicable capital costs for Waverly at the Neenah-Menasha Joint Sewerage Commission treatment facility. ~~The Waverly volume shall be subtracted from the Menasha metered volume entering the Neenah-Menasha Joint Sewerage Commission interceptor, to determine the volume attributable to Menasha.~~

Monitoring. ~~By mutual agreement, for so long as the nature of the development in Waverly is residential and commercial only, monitoring shall be conducted on a "spot check" basis only, as may be required by Menasha or the Neenah-Menasha Joint~~

Draft 2/24/04
Revised 2/26/04
Revised 4/20/05

~~Sewerage Commission. The Waverly suspended solids, BOD, and phosphorus shall be equal to the values as determined for the monitored discharge of Waverly.~~

~~**Menasha Meter.** Menasha has constructed a metering and sampling manhole in the discharge sewer immediately upstream from the end manhole on the Plank Road 15" sewer line. Menasha may use this manhole to verify flows from Waverly if and when it sees fit. Alternatively, Waverly and Menasha may jointly agree to install permanent metering to be used to determine flows from Waverly through Menasha. Waverly and Menasha shall pay for construct a monitoring station acceptable to the City Menasha that shall be used for the purpose of measuring flow and determining amount of suspended solids, BODs, and phosphorous. Sampling shall be performed no less than one week (seven consecutive days) per month. At the discretion of the City Menasha, sampling frequency may be increased up to continuous sampling. Menasha shall provide to Waverly the rational for continuous sampling. All construction costs, equipment costs, monitoring costs, operational costs, and maintenance costs shall be borne shared on a 50/50 basis by Waverly and Menasha.~~

8. Initial Normal Operation. Initial normal operations will consist of Waverly Lift Station No. 1 (Fire Lane #2) discharging to the Plank Road sewer. Waverly Lift Station #4 (Lake Park Villas) will normally discharge through Waverly's 8" force main to the Town of Menasha Utility District's sewers in Geneva Road per existing agreements. No change from this initial normal operation will be made without notice from Waverly to Menasha and the Neenah-Menasha Sewerage Commission and mutual agreement on metering of flows.

9. Use of Emergency Connections. Waverly and the Town of Menasha Utility District have agreements in place providing for emergency use. ~~of intereconnected facilities under the following conditions:~~ *No Town of Menasha wastewater shall be discharged as a result of this agreement at any time.*

- ~~➤ Emergency use is defined as failure of the Waverly 8" force main or Town of Menasha Utility District 12" force main north of STH 114 with a duration of use as required only for the time of repairs.~~
- ~~➤ Use of the valved interconnection shall be operated only by personnel from the owner upon notification of need from the other utility.~~

Draft 2/24/04
Revised 2/26/04
Revised 4/20/05

- ~~➤ No unauthorized or un-notified use of any interconnection is permitted.~~
- ~~➤ Use of any interconnection will not be permitted unless downstream capacity is available as determined in the sole discretion of the owner of the downstream sewers; i.e. Town of Menasha Utility District or City of Menasha.~~
- ~~➤ In any case, Waverly agrees that no Town of Menasha Utility District discharge to Menasha will occur without advance notice and concurrence by Menasha.~~

10. Severability. If any portion of this agreement is rendered invalid or unenforceable for any reason, the remaining portions shall continue in full force and effect.

WAVERLY SANITARY DISTRICT

CITY OF MENASHA

Approved _____

Approved _____

Waverly Sanitary District Wastewater Metering Station 2008

To: Waverly Sanitary District N8722 County Road LP Menasha, WI 54952	Certificate of Payment No. 2 Issue Date: June 24, 2008 Wastewater Metering Station Waverly Sanitary District M&E Project No. 469-050 B
--	---

This is to certify that in accordance with terms of the Agreement dated: October 2, 2007

Contractor: PTS Contractors, Inc.
4075 Eaton Road
Green Bay, WI 54311

is entitled to **(final)** payment for work performed through: June 24, 2008

Attached herewith you will find:

- Contractor's Application for Payment
- Itemized Cost Breakdown

<u>Payment/Contract Summary</u>	
Original contract	\$37,148.00
Actual Units and/or Changes	\$2,006.40
Contract Plus Changes	\$39,154.40
Work Completed to Date (see Attached)	\$39,154.40
Retainage	\$0
Amount Due Contractor	\$39,154.40
Less Previous Payments	\$38,604.40
Amount due this Payment (mail to Contractor)	\$550.00

Certified by
Martenson & Eissele, Inc.


Mary Jo Miller, P.E.

C: PTS Contractors, Inc.

PAY REQUEST NO. 2

**Project Number: 469-050 B
Wastewater Metering Station
Waverly Sanitary District
Winnebago County, WI
Engineer: Mary Jo Miller, P.E., Martenson & Eisele, Inc.
Contractor: PTS Contractors, Inc.
Owner: Waverly Sanitary District**

CONSTRUCTION COSTS AND QUANTITIES							
ITEM NUMBER	DESCRIPTION	UNIT	UNIT BID PRICE	BID QUANTITY	PROJECT ESTIMATED COST	ACTUAL QUANTITY	TOTAL REQUESTED AMOUNT
1	Strip and Stockpile Topsoil	SY	\$3.50	180	\$630.00	180	\$630.00
2	Reinforced Pre-Cast Concrete Metering Structure	LS	\$24,000.00	1	\$24,000.00	1	\$24,000.00
3	Install 10-inch Meter, Signal Converter and Appurtenances	EACH	\$1,750.00	1	\$1,750.00	1	\$1,750.00
4	Install 10-inch Knife Gate Valve	EACH	\$300.00	1	\$300.00	1	\$300.00
5	Electrcal Service and Meter Base, Control Panel, Wiring	LS	\$2,650.00	1	\$2,650.00	1	\$2,650.00
6	10-inch PVC Pipe, Pipe Supports, and Fittings	LS	\$2,600.00	1	\$2,600.00	1	\$2,600.00
7	1-inch PVC Conduit and Fittings	LF	\$6.60	80	\$528.00	80	\$528.00
8	Crushed Aggregate Base Course 3/4"	TON	\$12.00	125	\$1,500.00	86.88	\$1,042.32
9	Asphaltic Concrete Pavement :	SY	\$24.00	110	\$2,640.00	102.67	\$2,464.08
10	Topsoil, Fertilizing, Seeding and Mulch	LS	\$550.00	1	\$550.00	1	\$550.00
	Subtotal				\$37,146.00		
Change Order No. 1	Asphalt Driveway Extension to the East	LS	\$2,640.00	1	\$2,640.00	1	\$2,640.00
	Adjustment of Bid Quantities (Deduct)				\$633.60		
Revised Contract Amount					\$39,154.40		\$39,154.40
Amount Requested Pay Request No. 2							\$39,154.40

Force Main Replacement 2011

8" FM From Hwy 114 up Deerfield to Geneva Road
in Fox Crossing; Replaced with 10" Polyethylene
by pipe bursting

To: Waverly Sanitary District N8722 CTH LP Menasha, WI 54952	Certificate of Payment Certificate No. 2 & Final Issue Date: <u>November 1, 2011</u> Force Main Replacement
--	---

This is to certify that in accordance with the terms of the Agreement dated May 31, 2011

Contractor: PTS Contractors, Inc.
4075 Eaton Road
Green Bay, WI 54311

is entitled to **(final)** payment for work performed through

October 28, 2011

Attached herewith you will find:

- Contractor's Application for Payment
- Itemized Cost Breakdown

<u>Payment/Contract Summary</u>	
Original contract	\$165,823.10
Actual Units and/or Changes	+\$9,169.51
Contract Plus (Minus/Plus) Changes	\$174,992.61
Work Completed to Date (see Attached)	\$174,992.61
Retainage (0%)	\$0.00
Amount Due Contractor	\$174,992.61
Less Previous Payments	\$160,957.57
Amount due this Payment (Mail to Contractor)	\$14,035.04

Certified by
MARTENSON & EISELE, INC.

Stanley C. Martenson, P.E.
District Engineer

Lift Station No. 6 Improvements Project 2018

Martenson & Eisele, Inc.

Your Solution Professionals

Planning - Environmental - Surveying - Engineering - Architecture

Memorandum from Mary Jo Miller, P.E.

Date: October 8, 2018

To: Travis Parish, Administrator, Village of Harrison

Re: Connection Fees
Lift Station No. 6 Service Area
Village of Harrison, Wisconsin

In response to your request for Martenson & Eisele, Inc. to calculate proposed connection fees for the Lift Station No. 6 service area, please note the following.

In July of 2014, Martenson & Eisele, Inc. prepared a Sanitary Sewer and Lift Station Feasibility Study to serve the Lift Station No. 6 service area defined by Manitowoc Road on the north, just below Hwy 114 on the south, South Coop Road on the west, and County Trunk Highway N on the east.

Attached is a table included in the Feasibility Study showing how development is proposed in the service area, and the basis for Lift Station No. 6 flow projections. Note that ultimate development includes 600.5 acres of normal residential development expected to accommodate 2.25 units per acre, 102.5 acres of large parcel residential development expected to accommodate 0.5 units per acre, and 5 acres of commercial development. Ultimate development would result in an estimated 1,405 units or connections.

In addition, it can be assumed that 50% of this development will occur in the next 20 years, and 75% of this development will occur in the next 40 years.

A contract was awarded to Dornier, Inc. in July of 2018 in the amount of \$508,291.60 for construction of Lift Station No. 6 with appurtenances and approximately 1,400 linear feet of 8-inch forcemain in the Village of Harrison. Considering additional costs incurred with contingencies, engineering, legal and administrative fees, the estimated Total Project Cost is \$640,000. A preliminary estimate indicates that the Village will incur approximately \$402,000 in costs to oversize sanitary sewers within the entire Lift Station No. 6 Service Area.

The table below summarizes proposed connection fees based on recovering these project costs over a 20 year and 40-year time period. Connection fees are calculated based on a 20-year loan period at 4.5% interest rate.

Martenson & Eisele

Table 1 Total Cost Including Lift Station No. 6 and Forcemain

	20-Year Planning Period	40-Year Planning Period
Number of Connections	703 connections	1,054 connections
Total Project Cost – LS #6 and Forcemain	\$640,000	\$640,000
Total Project Cost Based on 20 Year Loan at 4.5%	\$971,750	\$971,750
Cost Per Connection	\$1,382	\$922
Minimum Proposed Connection Fee	\$1,400	\$1,000

Table 2 Total Cost Including Lift Station No. 6 and Forcemain, and Sewer Oversizing Charges

	20-Year Planning Period	40-Year Planning Period
Number of Connections	703 connections	1,054 connections
Total Project Cost – LS #6, Forcemain and Oversizing Charges	\$1,042,000	\$1,042,000
Total Project Cost Based on 20 Year Loan at 4.5%	\$1,582,130	1,582,130
Cost Per Connection	\$2,251	\$1,501
Minimum Proposed Connection Fee	\$2,300	\$1,500

PAY REQUEST NO. 5 - FINAL

Lift Station 6 Service Area, Village of Harrison
 Project Number: 1-0038-011
 Owner: Village of Harrison
 Contractor: Dornier, Inc.
 Engineer: Mary Jo Miller, P.E.

Prepared By:
 Martenson & Elsele, Inc.
 1377 Midway Rd., Menasha, WI 54952
 (920) 731-0381
 www.martenson-elsele.com

Item	Description	Bid Costs and Quantities			Construction Costs and Quantities		
		Bid	Unit Bid	Total	Total Actual	Unit Bid	Total
		Quantity	Cost	Amount	Quantity	Cost	Amount
General Work							
1	Lump Sum Mobilization	1	\$20,000.00	\$20,000.00	1	\$20,000.00	\$20,000.00
2	Lump Sum Installation and Maintenance of Traffic Control	1	\$1,500.00	\$1,500.00	1	\$1,500.00	\$1,500.00
General Work Subtotal				\$21,500.00			\$21,500.00
Erosion Control and Surface Restoration							
3	Lump Sum Topsoil Stripping, Stockpiling, Re-Spreading and Fine Grading	1	\$10,000.00	\$10,000.00	1	\$10,000.00	\$10,000.00
4	Each Stone Tracking Pad	2	\$1,000.00	\$2,000.00	0	\$1,000.00	\$0.00
5	Linear Feet Silt Fence	610	\$2.10	\$1,071.00	619	\$2.10	\$1,287.30
6	Each Sediment Log Ditch Check	2	\$300.00	\$600.00	2	\$300.00	\$600.00
7	Each Rockbag Culvert Ditch Check	1	\$150.00	\$150.00	3	\$160.00	\$450.00
8	Lump Sum Topsoil, Seed, Fertilize and Mulch	1	\$10,000.00	\$10,000.00	1	\$10,000.00	\$10,000.00
9	Square Yards Erosion Matting	200	\$2.55	\$510.00	200	\$2.55	\$510.00
10	Lump Sum Erosion Control Monitoring, Record Keeping and Termination	1	\$750.00	\$750.00	1	\$750.00	\$750.00
Erosion Control Subtotal				\$26,081.00			\$23,687.30
Watermain Components							
11	Linear Feet 6-inch Watermain (includes Tracer Wire, Bends, Tees, Plugs and Connections)	210	\$35.00	\$7,350.00	217	\$35.00	\$7,695.00
12	Each 6-inch Gate Valve	1	\$1,250.00	\$1,250.00	1	\$1,250.00	\$1,250.00
13	Each Hydrant	1	\$4,300.00	\$4,300.00	1	\$4,300.00	\$4,300.00
14	Linear Feet 1-1/2-inch Water Service Pipe with Tracer Wire	41	\$19.00	\$779.00	40	\$19.00	\$760.00
15	Each Water Service Curb Stop and Service Connection	1	\$500.00	\$500.00	1	\$500.00	\$500.00
Watermain Components Subtotal				\$14,179.00			\$14,405.00
Sanitary Sewer Components							
16	Linear Feet 16-inch Sanitary Sewer	255	\$120.00	\$30,600.00	253	\$120.00	\$30,360.00
17	Each Drain Piping from LIR Station to Wet Well with Accessories	1	\$1,600.00	\$1,600.00	1	\$1,600.00	\$1,600.00
18	Linear Feet 8-inch Forcemain with Tracer Wire	1371	\$35.00	\$47,985.00	1380	\$35.00	\$48,300.00
19	Each Connect Sanitary Sewer to Existing Manhole	1	\$2,000.00	\$2,000.00	1	\$2,000.00	\$2,000.00
20	Linear Feet 12-inch Sanitary Sewer	80	\$50.00	\$4,000.00	81	\$50.00	\$4,050.00
21	Vertical Feet Sanitary Manhole	8	\$338.00	\$2,688.00	8	\$338.00	\$2,688.00
22	Each Sanitary Manhole Casting	1	\$440.00	\$440.00	1	\$440.00	\$440.00
Sanitary Sewer Components				\$89,313.00			\$89,438.00
Lift Station Components							
23	Lump Sum Wet Well Structure	1	\$85,000.00	\$85,000.00	1	\$85,000.00	\$85,000.00
24	Lump Sum Wet Well Accessories (Access Hatch, Aluminum Rafting, Vent, Etc.)	1	\$5,280.00	\$5,280.00	1	\$5,280.00	\$5,280.00
25	Lump Sum Flygt Pumps and Accessories (Guide Rails, Lifting Chain, Etc.)	1	\$26,250.00	\$26,250.00	1	\$26,250.00	\$26,250.00
26	Lump Sum Lift Station No. 6 Building and Building Components	1	\$155,000.00	\$155,000.00	1	\$155,000.00	\$155,000.00
27	Lump Sum Lift Station and Wet Well Piping and Valves	1	\$26,500.00	\$26,500.00	1	\$26,500.00	\$26,500.00
28	Lump Sum Controls and Electrical to be Provided and Installed by Contractor	1	\$18,000.00	\$18,000.00	1	\$18,000.00	\$18,000.00
29	Lump Sum Installation of Generator and Appurtenances Provided by Others	1	\$16,000.00	\$16,000.00	1	\$16,000.00	\$16,000.00
Lift Station Components				\$332,030.00			\$332,030.00
Site Work							
30	Lump Sum Excavation and Grading	1	\$20,000.00	\$20,000.00	1	\$20,000.00	\$20,000.00
31	Linear Feet 12-inch CMP Culvert Pipe Plus Apron Endwalls	28	\$49.00	\$1,372.00	28	\$49.00	\$1,372.00
32	Tons 1.25-inch Crushed Aggregate Base Course for Building and Parking Lot	650	\$12.80	\$8,320.00	670.08	\$12.80	\$8,577.02
33	Square Feet Concrete Pavement	30	\$28.22	\$846.60	30	\$28.22	\$846.60
Site Work				\$30,538.60			\$30,785.62
TOTAL BASE BID 1				\$512,041.60			\$511,765.92
Alternate Bid 1							
1	Adjustment for Alternate Bid 1	1	-\$4,350.00	-\$4,350.00	1.00	-\$4,350.00	-\$4,350.00
Alternate Bid 1				-\$4,350.00			-\$4,350.00
TOTAL BASE - BID 1 with ALTERNATE BID 1		Total		\$508,291.60			\$507,415.92
Change Order No. 1							
1	Additional Cubic Yards Concrete for Ballast for Wetwell	4	\$128.00	\$512.00	4.00	\$128.00	\$512.00
Change Order No. 1				\$512.00			\$512.00
Change Order No. 2							
1	Additional Electrical Components to Accommodate We Energies 200 Amp Service	1	\$1,915.00	\$1,915.00	1	\$1,915.00	\$1,915.00
	200 Amp, 480 Volt Service Rated Disconnect	1	\$465.00	\$465.00	1	\$465.00	\$465.00
	200 Amp Meter Socket	1	\$465.00	\$465.00	1	\$465.00	\$465.00
Change Order No. 2				\$2,380.00			\$2,380.00
Change Order No. 3							
1	Provide Longer Pump Electrical Cords and Appurtenances	2	\$2,000.00	\$4,000.00	2.00	\$2,000.00	\$4,000.00
Change Order No. 3				\$4,000.00			\$4,000.00
Change Order No. 4							
1	Provide Ball Valve for Pump Discharge Piping	1	\$525.00	\$525.00	1.00	\$525.00	\$525.00
Change Order No. 4				\$525.00			\$525.00
Change Order No. 5							
1	Provide Two Additional Bolts	2	\$750.00	\$1,500.00	2.00	\$750.00	\$1,500.00
Change Order No. 5				\$1,500.00			\$1,500.00
TOTAL BASE - BID 1 with ALTERNATE BID 1 Plus Change Orders		Total		\$517,208.60			\$516,332.92

Sanitary Sewer Extension Old Hwy. Rd. South of USH10/STH114 2020

PAY REQUEST NO. 4 - FINAL

Abandon Lift Station No. 5
 Village of Harrison, Calumet County, Wisconsin
 Owner: Village of Harrison
 Contractor: DeGroot Inc.
 Engineer: Mary Jo Miller, P.E.

Prepared By:
 Martenson & Eisele, Inc.
 1377 Midway Rd., Menasha, WI 54952
 (920) 731-0381
 www.martenson-eisele.com

Item	Description	Bid Costs and Quantities			Construction Costs and Quantities			Applies to Connection Fee	Abandon LS-5	
		Bid Quantity	Unit Bid Cost	Total Amount	Total Actual Quantity	Unit Bid Cost	Total Amount			
General Work										
1	Lump Sum Mobilization	1.00	\$4,545.00	\$4,545.00	1.00	\$4,545.00	\$4,545.00	\$3,181.50	\$1,363.50	
2	Lump Sum Installation and Maintenance of Traffic Control	1.00	\$6,888.20	\$6,888.20	1.00	\$6,888.20	\$6,888.20	\$4,824.74	\$2,063.46	
General Work Subtotal										
					\$11,433.20					
Erosion Control and Surface Restoration										
3	Lump Sum Clearing and Grubbing	1.00	\$3,535.00	\$3,535.00	1.00	\$3,535.00	\$3,535.00	\$2,474.50	\$1,060.50	
4	Lump Sum Topsoil Stripping, Stockpiling, Re-Spreading and Fine Grading	1.00	\$12,625.00	\$12,625.00	1.00	\$12,625.00	\$12,625.00	\$8,837.50	\$3,787.50	
5	Each Stone Tracking Pad	1.00	\$1,615.00	\$1,615.00	0.00	\$1,615.00	\$0.00	\$0.00	\$0.00	
6	Lump Sum Topsoil, Seed, Fertilizer and Mulch	1.00	\$24,745.00	\$24,745.00	1.00	\$24,745.00	\$24,745.00	\$17,321.50	\$7,423.50	
7	Square Yards Erosion Mattress	810.00	\$3.03	\$2,454.30	3,320.00	\$3.03	\$10,059.60	\$7,041.75	\$3,017.85	
8	Square Yards Gravel Shoulder Restoration with 3/4-Inch Base Course Material	200.00	\$26.75	\$5,350.00	50.00	\$26.75	\$1,337.50	\$904.75	\$432.75	
9	Lump Sum Remove and Replace Landscape Berm and Trees at North Shore Drive	1.00	\$5,555.00	\$5,555.00	1.00	\$5,555.00	\$5,555.00	\$0.00	\$5,555.00	
10	Lump Sum Erosion Control Monitoring, Record Keeping and Termination	1.00	2,525.00	\$2,525.00	1.00	2,525.00	\$2,525.00	\$1,787.50	\$737.50	
Erosion Control and Restoration Subtotal					\$58,106.30		\$58,332.60			
Sanitary Sewer Components										
11	Linear Feet 8-Inch Sanitary Sewer	468.00	\$80.80	\$37,814.40	468.00	\$80.80	\$37,814.40	\$0.00	\$37,814.40	
12	Linear Feet 12-Inch Sanitary Sewer	1,038.00	\$93.47	\$97,115.33	1,040.00	\$93.47	\$97,208.80	\$62,084.08	\$35,124.72	
13	Linear Feet 15-Inch Sanitary Sewer	880.00	\$104.07	\$91,601.60	883.00	\$104.07	\$91,893.81	\$91,893.81	\$0.00	
14	Linear Feet 24-Inch Steel Casings Pipe - Bored and Jacked with Appurtenances	65.00	\$601.07	\$39,069.55	65.00	\$601.07	\$39,069.55	\$0.00	\$39,069.55	
15	Linear Feet 30-Inch Steel Casings Pipe - Bored and Jacked with Appurtenances	288.00	\$514.86	\$148,299.68	290.00	\$514.86	\$149,309.40	\$149,309.40	\$0.00	
16	Vertical Feet Sanitary Manhole	145.00	\$247.27	\$35,854.15	145.16	\$247.27	\$35,893.71	\$27,918.26	\$7,975.45	
17	Each Sanitary Manhole Castings	8.00	\$729.22	\$5,833.76	8.00	\$729.22	\$5,833.76	\$4,378.32	\$1,455.44	
18	Lump Sum Abandon Existing Lift Station No. 5	1.00	\$12,625.00	\$12,625.00	1.00	\$12,625.00	\$12,625.00	\$0.00	\$12,625.00	
Sanitary Sewer Improvements Subtotal					\$468,982.15		\$481,869.33			
TOTAL BASE BID 1					\$536,521.23		\$663,438.63	\$381,809.43	\$171,526.21	\$563,435.63
CHANGE ORDERS										
Change Order No. 1										
Culvert Replacement on Old Highway										
Remove and relay 70 linear feet of 24-inch culvert					\$3,800.00					
Permanently patch disturbed asphalt					\$1,750.00					
Change Order No. 1					\$5,550.00		\$5,550.00	\$5,550.00		
Change Order No. 2										
Culvert Replacement on Old Highway										
Remove and relay 70 linear feet of 30-inch culvert					\$3,800.00					
Permanently patch disturbed asphalt					\$1,950.00					
Change Order No. 2					\$5,750.00		\$5,750.00	\$5,750.00		
Change Order No. 3										
Remobilization Fees - Always Construction, Inc. for Surface Restoration					\$700.00					
Change Order No. 3					\$700.00		\$700.00	\$490.00	\$210.00	
Change Order No. 4										
Revision to Bid Item #9 - Provided One New Tree Instead of Three New Trees					-\$1,845.00					
Change Order No. 4					(\$1,845.00)		(\$1,845.00)		(\$1,845.00)	
Change Order No. 5										
Adjust Bid Quantities					W/REF					
Change Order No. 5					W/REF					
TOTAL BASE BID 1 AND CHANGE ORDERS				Total	W/REF		\$663,590.63	\$383,689.43	\$169,891.21	\$563,590.63
							Engineering	\$32,053.74	\$13,737.32	\$45,791.05
							Total	\$425,753.16	\$183,628.52	\$409,341.88

To:	Village of Harrison Attn: Travis Parish, Village Manager W5298 State Road 114 Harrison, WI 54952	Certificate of Payment No. 4 - Final Issue Date: December 9, 2020 Abandon Lift Station No. 5 Village of Harrison Calumet County, Wisconsin M&E Project No. 1-0038-039
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This is to certify that in accordance with terms of the Agreement dated: February 28, 2020

Contractor: DeGroot, Inc.
4201 Champion Road
Green Bay, WI 54311

is entitled to **final** payment for work performed through: December 9, 2020

Attached herewith you will find:

- () Contractor's Application for Payment
- (X) Itemized Cost Breakdown

<u>Payment/Contract Summary</u>	
Original contract	\$536,521.65
Actual Units and/or Changes	\$27,068.98
Contract Plus Changes	\$563,590.63
Work Completed to Date (see Attached)	\$563,590.63
Retainage (0%)	\$0.00
Amount Due Contractor	\$563,590.63
Less Previous Payments	\$491,183.41
Amount due this Payment (mail to Contractor)	\$72,407.22

Certified by
Martenson & Eisele, Inc.

Mary Jo Miller, P.E.

C: DeGroot, Inc.

Date	Permit Number	Account Number	Applicant	Classification	Municipality	Lift Station	Proposed Fee Area	Original Fee	Revised Fee	Difference
11/17/20	1603	001-1452	Fore Real Estate Holdings	Multi-Family	COM	4	1	\$ 35,300.00	\$ 4,031.00	(\$31,269.00)
03/21/22	1701	001-1453 - 001-1458	Hartwood Homes, Inc	Multi-Family	COM	4	1	\$ 6,300.00	\$ 1,320.50	(\$4,979.50)
11/24/20	1604	001-1708	Sweetwood LLC	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
02/01/21	1610	001-9274	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
02/01/21	1611	001-9273	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
02/01/21	1612	001-9275	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
02/19/21	1615	001-1119	Cypress Homes	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
03/25/21	1621	001-9279	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
03/30/21	1623	001-0883	Silvertree Homes	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
04/14/21	1626	001-9282	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
06/08/21	1639	001-1714	Atkins Building Group	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
06/14/21	1642	001-1713	Atkins Building Group	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
06/16/21	1644	001-9280	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
07/14/21	1666	001-1712	Atkins Building Group	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
07/15/21	1667	001-1711	Atkins Building Group	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
07/19/21	1668	001-1682	Cypress Homes	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
07/21/21	1669	001-1193	Jason Selig Homes	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
08/25/21	1674	001-1700	Maes Builders Inc	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
10/06/21	1682	001-1122	Cypress Homes	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
10/22/21	1686	001-9276	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
11/29/21	1690	001-1123	Cypress Homes	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
02/02/22	1693	001-1710	Atkins Building Group	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
02/09/22	1695	001-0108	Nonemacher Builders LLC	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
02/14/22	1696	001-1721	Atkins Building Group	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
03/04/22	1698	001-1715	Atkins Building Group	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
03/30/22	1702	001-1153	Cypress Homes	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
04/05/22	1704	001-1118	Cypress Homes	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
04/12/22	1707	001-9285	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
04/12/22	1708	001-9286	Van's Realty & Construction	Single Family	COM	4	1	\$ 3,800.00	\$ 385.00	(\$3,415.00)
09/20/21	1678	000-0003	The Boldt Company/Samaritan Counseling	Commercial	COM	4	1	\$ 3,354.00	\$ 1,668.00	(\$1,686.00)
01/22/21	1608	001-4103	Lexington Homes	Multi-Family	VOH	4	2	\$ 75,300.00	\$ 59,237.50	(\$16,062.50)
12/18/20	1607	001-4101	Lexington Homes	Multi-Family	VOH	4	2	\$ 73,300.00	\$ 56,191.00	(\$17,109.00)
08/03/21	1671	001-4102	Lexington Homes	Multi-Family	VOH	4	2	\$ 70,300.00	\$ 44,682.00	(\$25,618.00)
03/31/21	1624	001-9254	LouMar Properties	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
04/08/21	1627	001-0733	Appleton Valley Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
04/15/21	1628	001-9257	Cory Wunderlich	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
05/04/21	1631	001-9256	Pfile Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
05/19/21	1635	001-6130	LouMar Properties	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
05/25/21	1638	001-9252	Elegant Homes LLC	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1646	001-4609	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1647	001-4610	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1648	001-4611	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1649	001-4612	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1650	001-4613	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1651	001-4626	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1652	001-4627	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1653	001-4628	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1654	001-4629	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1655	001-4630	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1656	001-4631	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1657	001-4632	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1658	001-4633	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1659	001-4634	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1660	001-4635	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1661	001-4636	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1662	001-4637	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1663	001-4638	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)

06/25/21	1664	001-4639	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
06/25/21	1665	001-4640	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
07/27/21	1670	001-6058	Brian Warner Construction	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
09/13/21	1677	001-7042	Ken Mader Construction	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
09/28/21	1681	001-6057	Brian Warner Construction	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
11/22/21	1689	001-9255	Pfile Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4614	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4615	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4616	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4617	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4618	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4621	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4622	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4623	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
03/04/22	1699	001-4624	Lexington Homes	Single Family	VOH	4	2	\$ 3,800.00	\$ 1,880.00	(\$1,920.00)
11/10/20	1602	001-9245 & 001-9246	Evers Construction & Realty	Duplex	VOH	4	2	\$ 4,300.00	\$ 3,760.00	(\$540.00)
04/08/21	1625	001-9247 & 001-9248	Evers Construction & Realty	Duplex	VOH	4	2	\$ 4,300.00	\$ 3,760.00	(\$540.00)
08/10/21	1672	001-9265 & 001-9266	Evers Construction & Realty	Duplex	VOH	4	2	\$ 4,300.00	\$ 3,760.00	(\$540.00)
11/11/21	1688	001-9243 & 001-9244	Evers Construction & Realty	Duplex	VOH	4	2	\$ 4,300.00	\$ 3,760.00	(\$540.00)
12/29/20	1630	101-0500 - 101-0548	Millennium Construction/Driscoll Properties	Multi-Family	VOH	4	2	\$ 23,300.00		
01/24/22	1692	101-0550 - 101-0659	Millennium Construction/Driscoll Properties	Multi-Family	VOH	4	2	\$ 46,000.00		
Total Refunds										(\$265,969.00)
10/05/20	1600	001-9052	Brian Warner Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
12/01/20	1605	001-9233	Alexander Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
12/01/20	1606	001-9287	Rucon Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
01/29/21	1609	001-9075	Silvertree Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
02/02/21	1613	001-9239	Rucon Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
02/09/21	1614	001-9211	Precision Cut Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
02/23/21	1616	001-9072	Brian Warner Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
02/25/21	1617	001-9076	Hennessey Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
03/11/21	1618	001-9209	Virtue Homes LLC	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
03/17/21	1619	001-9240	Cypress Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
03/23/21	1620	001-9213	Virtue Homes LLC	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
04/08/21	1622	001-9236	NJ Schmidt Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
04/26/21	1629	001-9046	FVTC Foundation	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
05/07/21	1632	001-9228	Cypress Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
05/18/21	1633	001-9047	Hennessey Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
05/19/21	1634	001-9235	Precision Cut Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
05/20/21	1636	001-9231	Cypress Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
05/21/21	1637	001-9060	Harwell Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
06/14/21	1641	001-9229	Rucon Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
06/16/21	1643	001-9227	Calmes Verkuilen Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
06/22/21	1645	001-9238	Rucon Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
08/24/21	1673	001-9074	LCF Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
08/31/21	1675	001-9080	Silvertree Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
09/08/21	1676	001-9078	Silvertree Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
10/12/21	1683	001-9081	Pfile Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
10/14/21	1684	001-9232	Cypress Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
10/18/21	1685	001-9042	Harwell Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
10/27/21	1687	001-9207	Precision Cut Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
12/20/21	1691	001-9230	Calmes Verkuilen Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
02/02/22	1694	001-9058	Jacobs Design Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
02/23/22	1697	001-9064	Brian Warner Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
03/18/22	1700	001-9054	Matt Bobber Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
04/04/22	1703	001-9070	Cypress Homes	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
04/08/22	1705	001-9203	KM Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
04/11/22	1706	001-9220	Rucon Construction	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00
04/13/22	1709	001-9071	Dan & Laura Leary	Single Family	VOH	6	3	\$ 3,800.00	\$ 4,970.00	\$1,170.00

~Proclamation~

WHEREAS

The Village of Harrison is served by a Fire Commission composed of five resident members appointed by the Village Board; and

WHEREAS

These appointed offices have a high responsibility in the tradition of American public safety: they are charged with governing the members of the Harrison Fire Department; and

WHEREAS

These appointed offices decide department membership and matters of discipline for the members; and

WHEREAS

The duties and responsibilities of these appointed offices require dedication by the individuals who hold them, substantial commitments of time, a love of public service, a desire for justice and a passion for the Village, and;

WHEREAS

The flourishing state of the community and its high quality of life are dependent upon residents who take the time to hold these offices and execute their duties; and

WHEREAS

Chad Moder served on the Harrison Fire Commission from 2014 – 2022.

THEREFORE

We, On behalf of the Village Board of the Village of Harrison, issue this PROCLAMATION OF COMMENDATION in recognition of the public service provided by

Chad Moder

by serving on the Fire Commission for the Village of Harrison.

The Village Board of the Village of Harrison encourages all citizens of this great community to show recognition and support to Chad in appreciation for his service to the people.

By order of the Village Board
of the Village of Harrison
this 10th day of May, 2022

Allison Blackmer
Village President

ATTEST:

Vicki Tessen
Village Clerk