



PLAN COMMISSION AGENDA

TOWN OF HARRISON & VILLAGE OF HARRISON
COUNTIES OF CALUMET & OUTAGAMIE, WI
W5298 HWY 114
MENASHA, WI 54952
www.harrison-wi.org (920) 989-1062

**Tuesday, April 18, 2017
5:30 PM**

- 1) Call to Order
- 2) Pledge of Allegiance
- 3) Roll Call
- 4) Public Participation (Non-Agenda Harrison Related Items)
Please be advised per State Statute Section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments.
- 5) Approve Minutes
 - March 21, 2017
- 6) Items for Discussion and Possible Action
 - a. Preliminary Plat – Kimberly Heights – Derck DeWitt, LLC
- 7) Items for Discussion
 - a. Lot Split – Jason Jahnke – Zirbel Drive
 - b. Report: Zoning Permits
- 8) Set Next Meeting Date
 - Tentatively May 23, 2017 at 6:00pm
- 9) Adjourn

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting. As such, a quorum of the Town Board, Village Board, Zoning Board of Appeals, or Committee of the Whole may be in attendance. However, the only business to be conducted is for the Plan Commission.

PLAN COMMISSION
MEETING MINUTES – MARCH 21, 2017

- 1) Call to Order: The meeting was called to order in the Harrison Municipal Building by Chair Darlene Bartlein at 6:00pm.
- 2) Pledge of Allegiance: The Pledge was recited.
- 3) Roll Call: Members present were: Jim Fochs, Jim Lincoln, Kevin Hietpas, Darlene Bartlein, Jerry Bartlein, Dennis Reed. One seat is vacant.

Staff Present: Planner Mark Mommaerts, AICP

- 4) Public Participation: None
- 5) Approve Minutes: Motion (Fochs/Reed) to approve the minutes of February 27, 2017. Motion carried 6-0.
- 6) Convene Meeting and Enter Public Hearing 6:02pm
 - a. Zoning Map Amendment – Al Lamers Realty, Inc. – Wilz Ct./S. Coop Rd.: Planner Mommaerts introduced the item stating that the rezoning was from AG to RS-1. The Comprehensive Plan identifies this area as future single family residential so the proposed rezoning is consistent.
 - i. Public Questions: Kathy Schuh, N8789 S. Coop Road expressed concern about the wetlands and drainage. Jim Schuh, N8789 S. Coop Road also expressed concerns about drainage. Dave Schmalz from McMahon Associates, representing Al Lamers, stated that the wetlands were delineated by an assured wetland delineator from NES. All sump pumps will be tied into a drainage pipe leading to the Wilz Court ditch. Commissioner D. Bartlein asked if sewer and water was available. Mr. Schmalz indicated that sewer and water is available along Wilz Court and S. Coop Road.
- 7) Close Public Hearing and Reconvene Regular Meeting 6:10pm
- 8) Items for Discussion and Possible Action
 - a. Zoning Map Amendment – Al Lamers Realty, Inc. – Wilz Ct./S. Coop Rd.: Motion (Fochs/Hietpas) to approve the Zoning Map Amendment from AG to RS-1. Motion carried 6-0.
 - b. Certified Survey Map – Al Lamers Realty, Inc. – Wilz Ct./S. Coop Rd.: Planner Mommaerts introduced the item stating that the applicant is proposing a 4-lot Certified Survey Map (CSM) for the property located at the curve intersection of Wilz Court and S. Coop Road, Tax ID 33622. The

property is approximately 8.7 acres and is currently used as farmland with the northern portion being woods. The applicant plans to split the property into four-lots for future single-family homes (rezoning to be reviewed separately). The lots are proposed to be 1.5-acres or larger. Lot 1 will be a flag lot with 33-feet of frontage along Wilz Court on the west side of the property. There are several wetland areas on the property but there will be sufficient buildable areas on each lot. Sewer and water is available along Wilz Court and S. Coop Road. Commissioner Fochs asked about the current drainage of the property. Dave Schmalz from McMahon Associates, representing Al Lamers, stated that the property sheet flows from northeast to southwest. Planner Mommaerts stated that staff would like to see a note added to the CSM indicating that there may be assessments for future roadway improvements. Kathy Schuh, N8789 S. Coop Road, asked about the wetlands along the north. Mr. Schmalz commented that the area north of the wetland delineation line is assumed to be wetlands.

Motion (Hietpas/ J Bartlein) to approve the CSM received March 17, 2017 with the condition that a note shall be added to the CSM that there will be future assessments for sidewalks and roadway urbanization. Motion carried 6-0.

- 9) Report: Zoning Permits: Planner Mommaerts reported that February had 4 single family permits for a year to date total of 7.
- 10) Next Meeting Date: April 18th at 5:30pm
- 11) Adjourn: Motion (J Bartlein/Fochs) to adjourn the meeting at 6:30pm
 - a. Motion carried 6-0.

Prepared by: Mark Mommaerts, Planner

Dated: March 22, 2017

Memo

Date: April 10, 2017

To: Plan Commission Members

From: Mark J. Mommaerts, AICP, Planner

Re: Agenda Item 6a: Preliminary Plat – Kimberly Heights

Overview:

The developers, Dercks DeWitt LLC, have submitted a preliminary plat called Kimberly Heights for a new 96-lot subdivision. This subdivision is located along County N north of Schmidt Road. The subdivision is planned for two phases. Phase 1 will consist of lots along Hoelzel Way and Touchdown Drive. Phase 2 will consist of lots 41-96. Stormwater management is expected to be accomplished through a combination of using the Van's Road regional stormwater pond (off-site) and several detention ponds within the subdivision.

Attachments:

- Preliminary Plat
- Sewer/Water Feasibility Plan
- Aerial Map

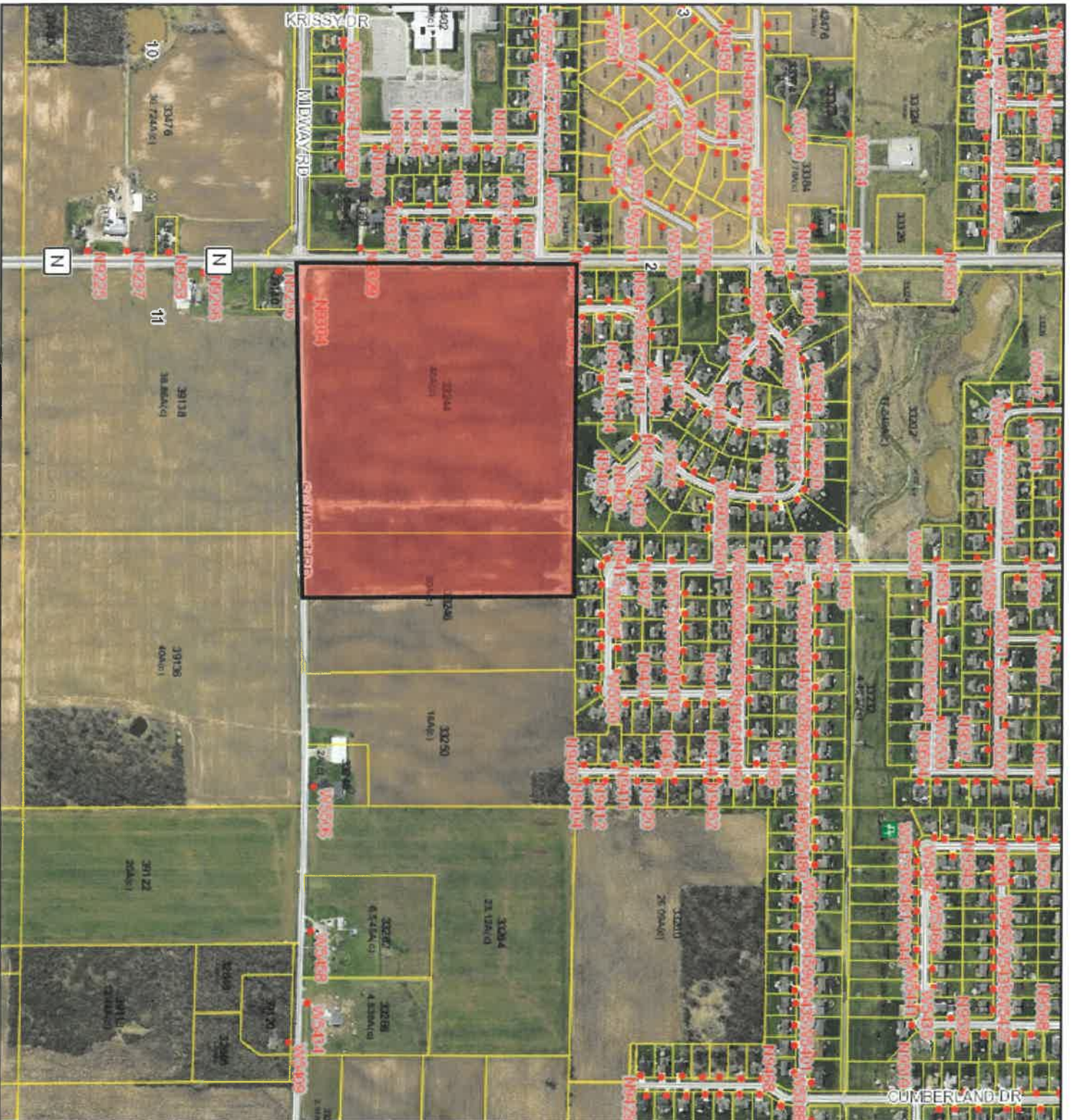
Staff Recommendation:

Staff recommends approval of the Preliminary Plat of Kimberly Heights with the following conditions:

1. A zoning map amendment (rezoning) shall be submitted to rezone the property from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1].
2. A "12' Utility Easement" shall be granted to include the Darboy Sanitary District as a Grantee for the purposes of maintenance, repair, and/or replacement of sanitary or water infrastructure and access thereto.
3. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
4. All lots shall have a storm sewer lateral provided for sump pump discharge.
5. All drainageways, drainage easement, and associated infrastructure shall be installed, graded and seeded prior to roadway acceptance.
6. All utilities, including but not limited to, sanitary sewer, water, storm sewer, gas, electric, cable, phone, shall be installed prior to roadway acceptance.
7. The Village Board shall accept the roadway in a graveled state prior to issuance of building permits and zoning permits.
8. All other improvements, including but not limited to, curb & gutter, concrete paving, sidewalks, shall be installed prior to issuance of building permits or zoning permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.
9. All comments from the Village engineer shall be included in the Plan Commission discussion and decision.

10. Typical Street Section to be in accordance with the Village of Harrison Standard Specifications Manual for Concrete Streets.
11. High-back, integral concrete curb shall be utilized rather than the mountable curb.
12. Wetland determinations and/or studies shall be provided to the Village.
13. A note shall be added to the plat indicating access control to County N and Schmidt Road.
14. A note shall be added to the final plat indicating that the Village of Harrison will assess all lots for street improvements, including but not limited to, curb & gutter, concrete pavement, and sidewalks.
15. Location of all sidewalk curb ramps shall be approved by Harrison staff.
16. A grading/drainage stormwater management plan and erosion control plan shall be reviewed and approved by the Village engineer and Village staff.
17. Final utility and street plans shall be reviewed and approved by the Village Engineer and Village staff prior to approval of the Final Plat and prior to utility and street construction.
18. Benchmarks shall be established on all hydrant tag bolts.
19. All environmental corridors shall be clearly identified and setback lines to be indicated.
20. Temporary turn-around to be provided on dead-end streets longer than 150-feet.
21. A 25-foot easement for a landscaping berm and plantings shall be added to the final plat. Details on the berm design and plantings shall be indicated in the final plans.
22. Grading/Drainage Plan shall identify elevations of ground at the foundation.
23. The Stormwater Management Plan shall also be approved by Garner's Creek Stormwater Utility for the portion of the subdivision that will be utilizing the Van's Road Pond.
24. All road names shall be approved by the Appleton Post Office, the Village of Harrison, and Calumet County E911.

Calumet County, WI



Legend

- Address Point
- ▭ County Boundary
- ▭ Wisconsin Water
- ▭ Other Counties
- Unincorporated Community
- ▭ Town Boundary
- ▭ Point of Interest
- ▭ Parcel Boundary
- ▭ Property Hook
- ▭ PLSS Section
- ▭ State Parks
- ▭ County Parks
- ▭ Lake
- ▭ River and Stream
- ▭ Major Roads
- ▭ Local Roads
- ▭ Municipal Streets
- ▭ Local Roads
- ▭ Trail
- ▭ Railroad
- Color 2014
 - ▭ RedBand_1
 - ▭ GreenBand_2
 - ▭ BlueBand_3



DISCLAIMER: This map is not guaranteed to be accurate, correct, current or complete and conclusions drawn are the responsibility of the user.

Author:	
Date Printed:	04/10/17 2:58 PM
Sources:	



LEGEND

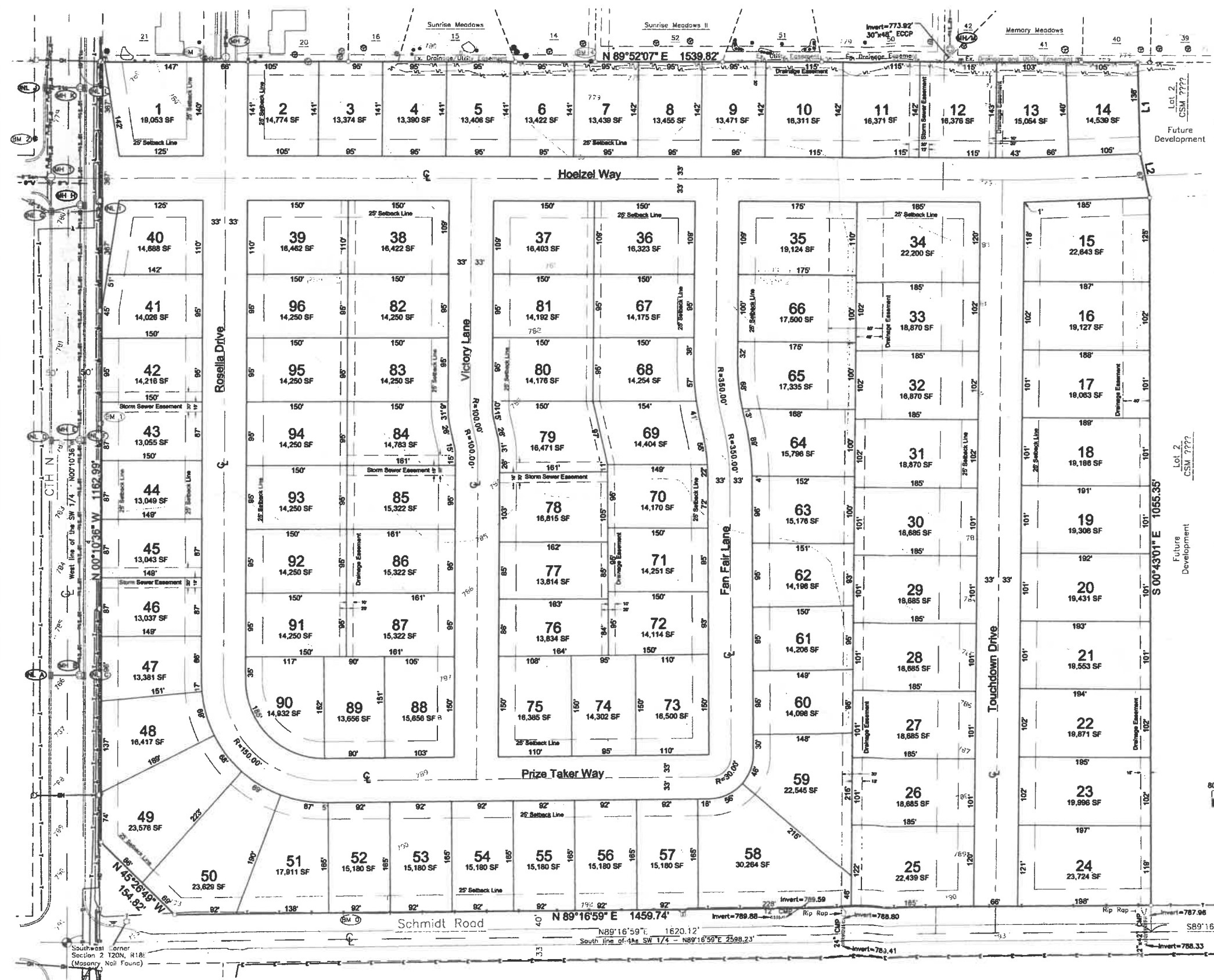
—○—	Overhead Electric Lines	○	Sanitary MH / Tank / Base	○	Deciduous Tree
—○—	Sanitary Sewer	○	Open Cut / Curb Stop / Full Box	○	Coniferous Tree
—○—	Storm Sewer	○	Storm Manhole	○	Bush / Hedge
—○—	Underground Gas Line	○	Inlet	○	Benchmark
—○—	Underground Telephone	○	Water MH / Well	○	1/2" Rebar Found
—○—	Wetlands	○	Hydrant	○	3/4" Rebar Found
—○—	Culvert	○	Utility Valve	○	1" Iron Pipe Found
—○—	Index Contour	○	Utility Pole	○	Witness Monument
—○—	Intermediate Contour	○	Light Pole / Signal	○	Government Corner
		○	Telephone Pedestal	○	Recorded As
		○		○	Asphalt Pavement
		○		○	Concrete Pavement

LINE TABLE

Line	Bearing	Length
L1	S 02°16'47" E	136.26'
L2	S 12°58'32" E	87.17'

Preliminary Plat of Kimberly Heights

All of Lot 1 of Certified Survey Map No. _____ and being part of the SW 1/4 of the SW 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin



Sanitary Structures

Structure #	Rim	Inv	Size	Material	Direction
MH 1	779.40	766.70	8"	PVC	S
		766.70	8"	PVC	W
		766.70	8"	PVC	N
MH 2	778.98	769.98	8"	PVC	N
		769.98	8"	PVC	S
MH 3	778.74	752.94	10"	PVC	N
		752.94	10"	PVC	S

Storm Structures

Structure #	Rim	Inv	Size	Material	Direction
INL A	785.29	781.49	12"	RCP	E
MH B	785.72	779.82	12"	RCP	E
		779.82	12"	RCP	W
		778.42	18"	RCP	S
		778.42	18"	RCP	N
INL C	785.38	779.48	12"	RCP	W
INL D	781.38	777.58	12"	RCP	E
MH E	781.71	776.91	12"	RCP	W
		776.91	12"	RCP	E
		776.71	18"	RCP	S
		776.71	18"	RCP	N
INL F	781.34	776.84	12"	RCP	W
INL G	779.49	775.99	12"	RCP	NW
		775.99	12"	RCP	NE
MH H	779.81	775.91	12"	RCP	SW
		775.91	12"	RCP	E
		775.11	18"	RCP	S
		775.11	18"	RCP	N
INL I	779.45	776.15	12"	RCP	W
INL J	778.36	775.06	12"	RCP	E
MH K	778.83	774.53	12"	RCP	W
		774.53	12"	RCP	E
		773.73	18"	RCP	S
		773.73	18"	RCP	N
INL L	778.47	774.97	12"	RCP	W
MH M	777.56	772.36	48"	RCP	S
		762.06	48"	RCP	N
INL N	778.30	774.80	12"	PVC	E
INL O	778.12	774.12	12"	PVC	W
		774.12	12"	PVC	N
		774.12	12"	PVC	E

- BENCHMARKS (NAVD83)**
- BM 0: Disk in Concrete (DE7729) N. R/W of Schmidt Rd. Elev. 780.73
 - BM 1: RR Spike in P. Pole #71-2855 E. R/W of City Hwy 7th. Elev. 785.24
 - BM 2: Fire Hydrant, Tag Bolt NW Quad of City Hwy 7th/Hoelzel Way int. Elev. 782.57
 - BM 3: Fire Hydrant, Tag Bolt End of Rosella Dr. Elev. 780.55
 - BM 4: "X" in Concrete Elec. Pedestal #607 East of Rosella Dr. Elev. 778.16
 - BM 5: "X" in Concrete Elec. Pedestal #730 West of Dusty Dr. Elev. 778.90

Davel Engineering, Inc. provides no guarantee to the accuracy of the data provided. User of said data assumes all risks associated with said use and releases Davel Engineering, Inc. from any and all liabilities and damages resulting from said use.

SUPPLEMENTARY DATA

Total Area = 1,989,418 SF 45.2116 acres
 RW Area = 395,357 SF 9.0761 acres
 Net Area = 1,574,061 SF 36.1355 acres
 Number of Lots = 50
 Average lot size = 16,000 SF
 Typical lot dimension = 85' x 170'
 Linear feet of Proposed Street = 6,266 LF
 Existing zoning = AG - General Agriculture
 Proposed zoning = RS-1 - Single Family Residential (Suburban)
 Approving Authorities: Village of Harrison
 Objecting Authorities: Department of Administration, Calumet County

Setbacks Per Code:
 Front Yard: 25 feet
 Side Yard: 7.5 feet
 Rear Yard: 25 feet
 Stream Setback: 50 feet

NOTES:

All linear measurements have been made to the nearest one hundredth of a foot
 All angular measurements have been made to the nearest 20 seconds and computed to the nearest half seconds.
 Utility and Drainage Easements will be shown on Final Plat

SURVEYOR'S CERTIFICATE

I, James R. Sehoff, hereby certify that this Preliminary Plat is a correct representation of all existing land divisions and features, and that I have complied with the preliminary plat requirements for the city/village/county.

James R. Sehoff, P.L.S. No. S-2692
 Date: 4 APR 2017



Bearings are referenced to the S.L. of the SW 1/4 Section 2 T20N, R18E assumed to bear N89°16'59\"/>

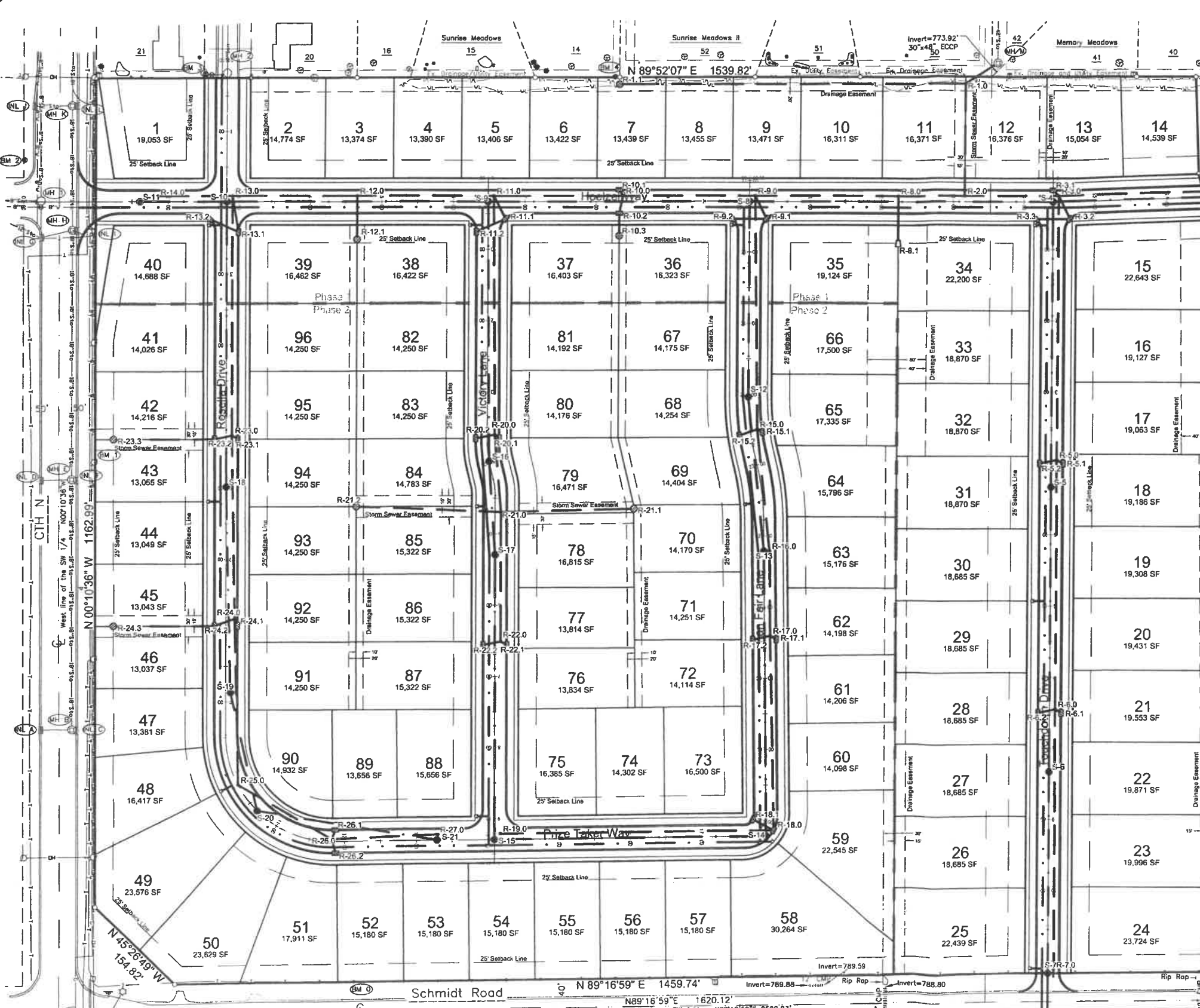
RECEIVED
 APR 04 2017
 HARRISON PLANNING



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 CIVIL ENGINEERING CONSULTANTS
 1811 Racine Street Menasha, WI 54952
 Ph: 920-991-1866 Fax: 920-630-6995
 www.davel.pro

Kimberly Heights

Village of Harrison,
Calumet County, WI
For: Dercks DeWitt, LLC



Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Darby Joint Sanitary District #1.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Village of Harrison.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

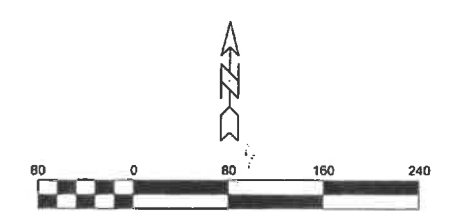
The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Sanitary sewer and storm sewer laterals to be SCH 40 PVC and water laterals to be SDR9 PE.

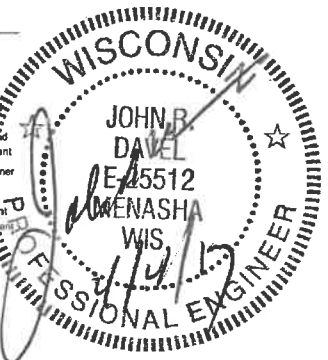


SHEET INDEX:

Sheet	Page
Sewer Feasibility Plan	1.1
Drainage and Grading Plan - North	1.2
Drainage and Grading Plan - South	1.3
Topographic Survey	1.5
Construction Details	2.1
Sewer & Water Details	2.3
Sewer Feasibility Details	2.4

LEGEND

—DH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base	⊙	Deciduous Tree
—S—	Sanitary Sewer	○	Clean Out / Curb Stop / Pull Box	⊙	Coniferous Tree
—St—	Storm Sewer	○	Storm Manhole	⊙	Bush / Hedge
—G—	Underground Gas Line	○	Initial	⊙	Bandmark
—T—	Underground Telephone	○	Water MH / Wall	⊙	1/2" Rebar Found
—VL—	Wetlands	○	Hydrant	⊙	3/4" Rebar Found
—ECC—	Index Contour	○	Utility Valve	⊙	1" Iron Pipe Found
—IC—	Intermediate Contour	○	Culvert	⊙	Witness Monument
—	Proposed Storm Sewer	○	Proposed Sanitary Manhole	⊙	Government Corner
—	Proposed Sanitary Sewer	○	Proposed Storm Manhole	⊙	Recorded As-Built
—	Proposed Water Main	○	Proposed Catch Basin / Yard Drain	⊙	Asphalt Pavement
—	Proposed Contour	○	Proposed Endwall	⊙	Concrete Pavement
—	Proposed Swale	○	Proposed Hydrant	⊙	Proposed Plug
—	Proposed Culvert	○	Proposed Valve	⊙	Proposed Water MH
			Proposed Curb Stop	⊙	Proposed Ties
					Proposed Cross
					Proposed 90° Bend
					Proposed 45° Bend
					Proposed 22.5° Bend

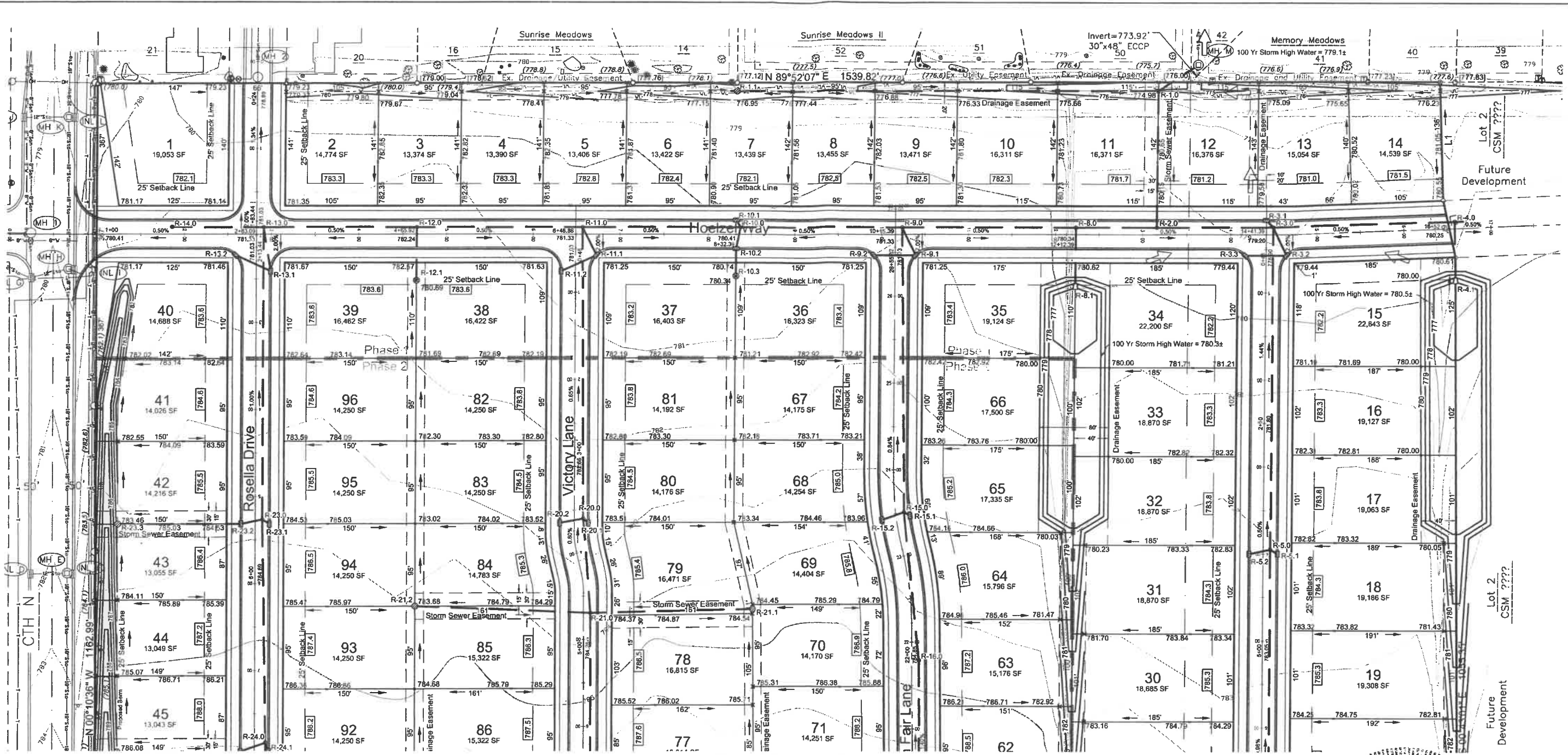


RECEIVED
APR 04 2017

SEWER & WATER FEASIBILITY PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
HARRISON PLANNING & ENVIRONMENTAL
CIVIL ENGINEERING CONSULTANTS

1811 Racine Street Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-830-9595
www.davel.pro



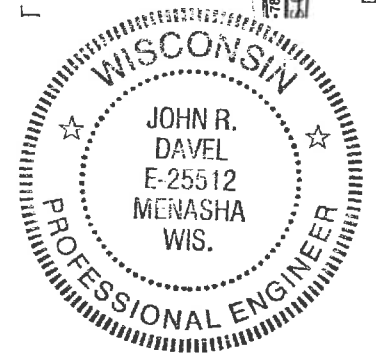
(See Sheet 1.3)

LEGEND	
—DH—DH—	Overhead Electric Lines
—San—San—	Sanitary Sewer
—S-to—S-to—	Storm Sewer
—G—G—	Underground Gas Line
—UL—UL—	Underground Telephone
—W—W—	Wetlands
—C—C—	Culvert
—IC—IC—	Index Contour
—IM—IM—	Intermediate Contour
—608—	Proposed Storm Sewer
—608.73—	Proposed Contour
—608.73—	Proposed Swale
—608.73—	Proposed Culvert
—608.73—	Adjacent Plat Grade
—608.73—	Prop. Lot Corner Elevation
—608.73—	Proposed Spot Elevation
—608.73—	Existing Grade
○	Sanitary MH / Tank / Base
○	Clean Out / Curb Stop / Pull Box
○	Manhole
○	Inlet
○	Water MH / Wall
○	Hydrant
○	Utility Valve
○	Utility Pole
○	Light Pole / Signal
○	Telephone Pedestal
○	Proposed Storm Manhole
○	Proposed Curb Inlet
○	Prop. Catch Basin / Yard Drain
○	Proposed Endwall
○	Proposed Rip Rap
○	Prop. Lot Corner Elevation
○	Prop. Drainage Direction
○	Prop. Garage Floor Elev.
○	100 Yr Overland Flow Path
○	Deciduous Tree
○	Coniferous Tree
○	Bush / Hedge
○	Benchmark
○	1/2" Rebar Found
○	1" Rebar Found
○	1" Iron Pipe Found
○	Witness Monument
○	Government Corner
○	Recorded As
○	Asphalt Pavement
○	Concrete Pavement

BENCHMARKS (NAVD88)

BM 0	Disk In Concrete (DE7729) N. R/W of Schmidt Rd. Elev. 791.73
BM 1	RR Spike in P. Pole #71-2855 E. R/W of Cty Hwy "N" Elev. 785.24
BM 2	Fire Hydrant, Tag Bolt NW Quad of Cty Hwy "N"/Hoetzel Way Int. Elev. 782.37
BM 3	Fire Hydrant, Tag Bolt End of Rosella Dr. Elev. 780.55
BM 4	"X" in Concrete Elec. Pedestal ±507' East of Rosella Dr. Elev. 779.16
BM 5	"X" in Concrete Elec. Pedestal ±730' West of Dusty Dr Elev. 778.90

- NOTES:**
- Permanent Benchmark shall be set on all new fire hydrants within the subdivision.
 - Regional storm water treatment is provided by the Vans Road Pond for this subdivision.
 - 2.23 Acre-Feet of Storm Water storage is provided in the rear of lots 15-24, 25-35, and 58-66 to attenuate the increase in runoff from this subdivision so as not to make flooding more frequent or severe along the north property line.
 - Two watersheds totaling 78.6 acres exist south of Manitowoc Road that flow north through this subdivision.
 - The area of this subdivision is 45 acres



DRAINAGE PLAN CERTIFICATION:
I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of the Calumet County Subdivision Ordinance and the requirements of the Village of Harrison.
John R. Davel, P.E. E-25512 Date: 4/4/17

PRELIMINARY 1/01/2008

Date:	04/4/2017
Filename:	4773eng.dwg
Author:	???
Last Saved by:	katie
Page:	1.2

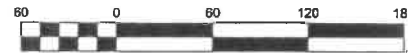
Kimberly Heights
Village of Harrison, Calumet County, WI
For: Dercks DeWitt, LLC

**PRELIMINARY
DRAINAGE & GRADING
PLAN - NORTH**

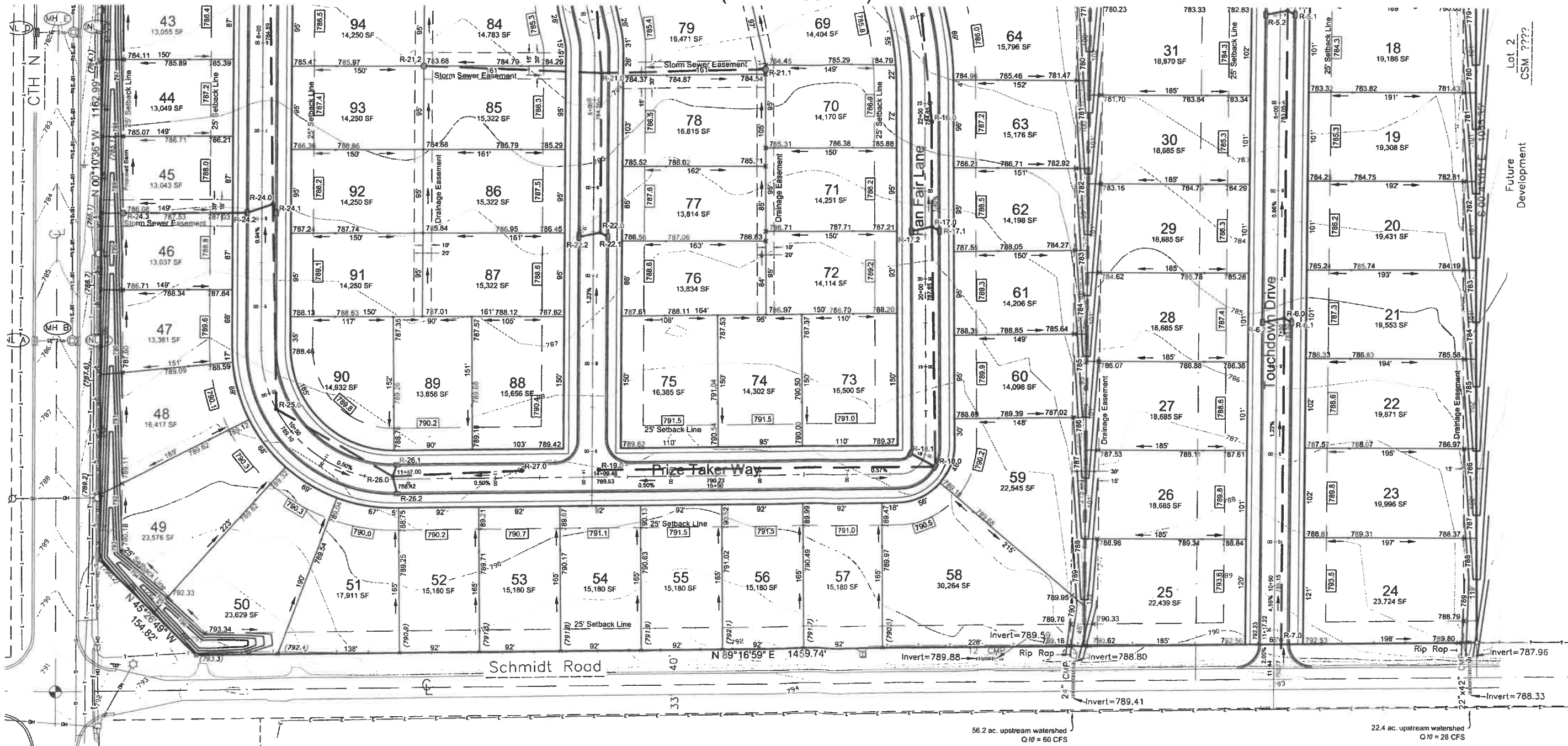
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1611 Racine Street, Menasha, WI 54952
Ph: 920-991-1886 Fax: 920-890-9595
www.davelinc.com

LEGEND

—DH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base	○	Deciduous Tree
—San—	Sanitary Sewer	○	Clean Out / Curb Stop / Pull Box	○	Coniferous Tree
—Sto—	Storm Sewer	○	Storm Manhole	○	Bush / Hedge
—G—	Underground Gas Line	○	Inlet	○	Benchmark
—T—	Underground Telephone	○	Water MH / Well	○	1/4" Rebar Found
—VL—	Wetlands	○	Hydrant	○	3/4" Rebar Found
—Culv—	Culvert	○	Utility Valve	○	1" Iron Pipe Found
—500—	Index Contour	○	Utility Pole	○	Witness Monument
—608—	Proposed Storm Sewer	○	Telephone Pedestal	○	Government Corner
—608.73	Proposed Contour	○	Proposed Storm Manhole	○	Recorded As
—608.73	Proposed Swale	○	Proposed Curb Inlet	○	Asphalt Pavement
—608.73	Proposed Culvert	○	Prop. Catch Basin / Yard Drain	○	Concrete Pavement
—608.73	Adjacent Plat Grade	○	Proposed Endwall	○	
—608.73	Prop. Lot Corner Elevation	○	Proposed Rip Rap	○	
—608.73	Proposed Spot Elevation	○	Prop. Drainage Direction	○	
—608.73	Existing Grade	○	Prop. Garage Floor Elev.	○	
		○	100 Yr Overland Flow Path	○	



(See Sheet 1.2)



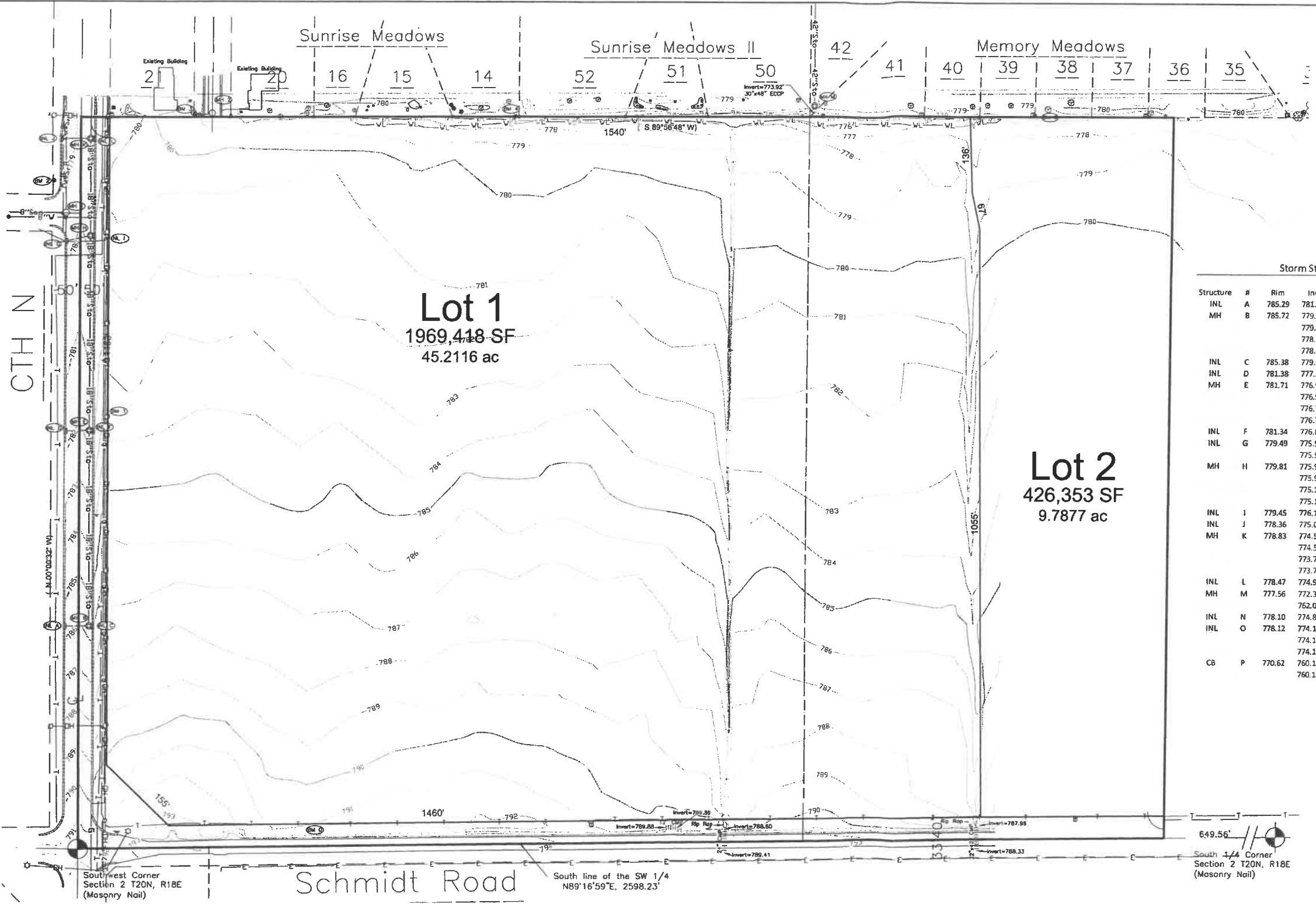
1/1/2017 3:43 PM J:\Projects\4773\4773.dwg Civil 3D\4773eng.dwg Printed by: katie
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 ENVIRONMENTAL CONSULTANTS
 1611 Racine Street, Menasha, WI 54952
 PH: 920-951-1888 Fax: 920-950-9595
 www.davel.pro

PRELIMINARY DRAINAGE & GRADING PLAN - SOUTH

Kimberly Heights
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

PRELIMINARY 1/01/2008

Date:	04/4/2017
Filename:	4773eng.dwg
Author:	???
Last Saved by:	katie
Page:	13



Storm Structures

Structure #	Rim	Inv	Size	Material	Direction
INL A	785.29	781.49	12"	RCP	E
MH B	785.72	779.82	12"	RCP	E
		779.82	12"	RCP	W
		778.42	18"	RCP	S
		778.42	18"	RCP	N
INL C	785.38	779.48	12"	RCP	W
INL D	781.38	777.58	12"	RCP	E
MH E	781.71	776.91	12"	RCP	W
		776.91	12"	RCP	E
		776.71	18"	RCP	S
		776.71	18"	RCP	N
INL F	781.34	776.84	12"	RCP	W
INL G	779.49	775.99	12"	RCP	NW
		775.99	12"	RCP	NE
MH H	779.81	775.91	12"	RCP	SW
		775.91	12"	RCP	E
		775.11	18"	RCP	S
		775.11	18"	RCP	N
INL I	779.45	776.15	12"	RCP	W
INL J	778.36	775.06	12"	RCP	E
MH K	778.83	774.53	12"	RCP	W
		774.53	12"	RCP	E
		773.73	18"	RCP	S
		773.73	18"	RCP	N
INL L	778.47	774.97	12"	RCP	W
MH M	777.56	772.36	48"	RCP	S
		762.06	42"	RCP	N
INL N	778.10	774.80	12"	PVC	E
INL O	778.12	774.12	12"	PVC	W
		774.12	12"	PVC	N
		774.12	12"	PVC	E
CB P	770.62	760.12	42"	PVC	N
		760.12	42"	PVC	S

BENCHMARKS (NAVD88)

BM 0	Disk In Concrete (DE7729)	N. R/W of Schmidt Rd.	Elev 791.73
BM 1	RR Spike in P. Pole #71-2855	E. R/W of Cty Hwy "N"	Elev 785.24
BM 2	Fire Hydrant, Tag Bolt	NW Quad of Cty Hwy "N"/Hoelzel Way Int.	Elev 782.37
BM 3	Fire Hydrant, Tag Bolt	End of Rosella Dr.	Elev 780.55
BM 4	"X" in Concrete Elec. Pedestal	±500' East of Rosella Dr.	Elev 779.16
BM 5	"X" in Concrete Elec. Pedestal	±730' West of Dusty Dr.	Elev 778.90

Sanitary Structures

Structure #	Rim	Inv	Size	Material	Direction
MH 1	779.40	766.70	8"	PVC	S
		766.70	8"	PVC	W
		766.70	8"	PVC	N
MH 2	778.98	769.98	8"	PVC	N
		769.98	8"	PVC	S
MH 3	778.74	752.94	10"	PVC	N
		752.94	10"	PVC	S

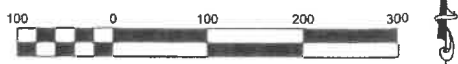
Apr 04, 2017 - 04:08 PM J:\Projects\477346\Map\Content\477346-Plan.dwg
DAVE ENGINEERING & ENVIRONMENTAL, INC.
 CIVIL ENGINEERING CONSULTANTS
 1811 Racine Street, Minnetonka, WI 54952
 PH: 920-991-1886 Fax: 920-930-9956
 www.davei.net

TOPOGRAPHIC SURVEY

Kimberly Heights
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

LEGEND

—DH— Overhead Electric Lines	○ Sanitary MH / Tank / Base	⊠ Electric Pedestal
--- Utility Guy Wire	□ Clean Out / Curb Stop / Put Box	⊠ Telephone Pedestal
--- San Sanitary Sewer	⊠ Storm Manhole	⊠ Gas Regulator
--- S to Storm Sewer	⊠ Inlet	⊠ Sign
--- Underground Electric	⊠ Catch Basin / Yard Drain	⊠ Deciduous Tree
--- G Underground Gas Line	⊠ Water MH / Well	⊠ Coniferous Tree
--- T Underground Telephone	⊠ Hydrant	⊠ Bush / Hedge
--- W Water Main	⊠ Utility Valve	⊠ Marsh
--- WL Wetlands	⊠ Utility Meter	⊠ Soil Boring
--- Tr Line	⊠ Utility Pole	⊠ Benchmark
--- Culvert	⊠ Light Pole / Signal	⊠ Asphalt Pavement
--- Index Contour	⊠ Guy Wire	⊠ Concrete Pavement
--- Intermediate Contour	⊠ Ex Spot Elevation	⊠ Gravel



NOTES

This topographic survey was performed during winter conditions. Utility and ground features shown on this map are indicated based on what was observed at the time. Utility markings and existing features may have been covered by snow and/or ice and may not be shown on this map.

Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

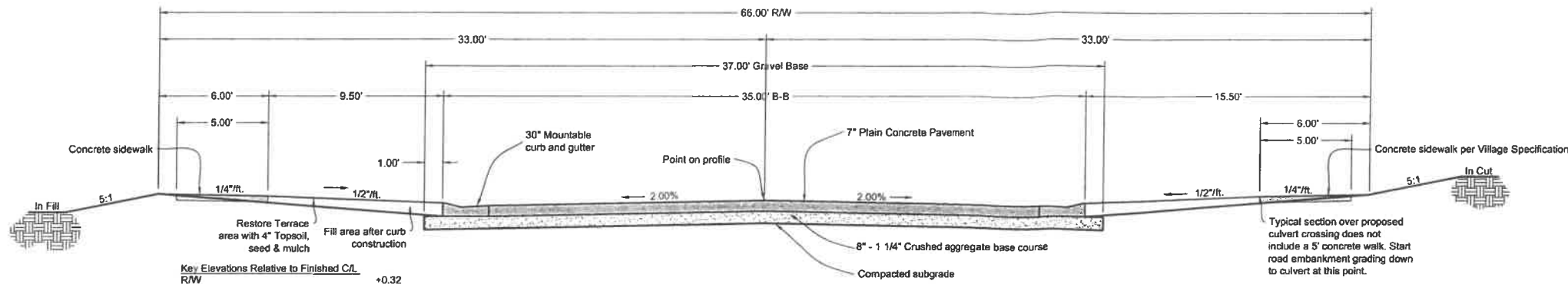
This is not a boundary survey.

SURVEYOR'S CERTIFICATE

I, James R Sehoff, hereby certify that I have surveyed this property and this topographical map is a true representation thereof and shows the size and location of the property and the location of all apparent roadways. I hereby certify that said topographical survey and map were made in accordance with acceptable professional standards and that the information contained thereon is, to the best of my knowledge, information and belief, a true and accurate representation thereof.

James R Sehoff, Wisconsin Professional Land Surveyor No. S-2692 Date

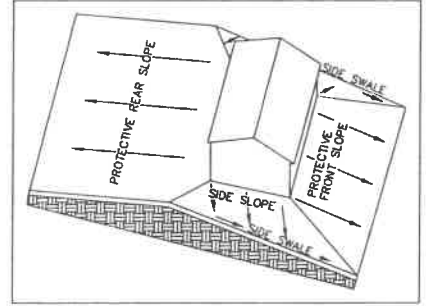
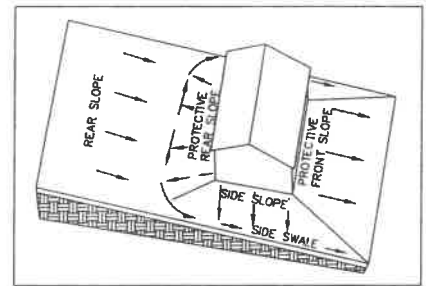
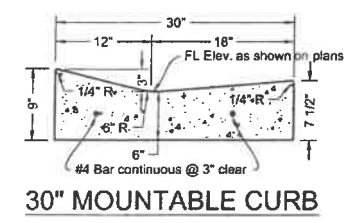
Date:	04/4/2017
Filename:	4773TOPO-Plan.dwg
Author:	???
Last Saved by:	jim
Page:	15



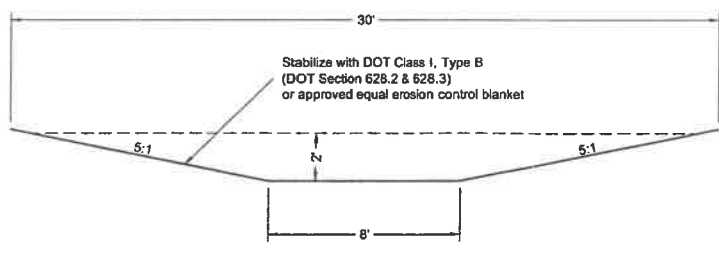
Key Elevations Relative to Finished C/L

R/W	+0.32
Gutter Flowline	-0.43
Binder course	-0.15
Gravel grade @ C/L	-0.29
Subgrade @ C/L	-1.29

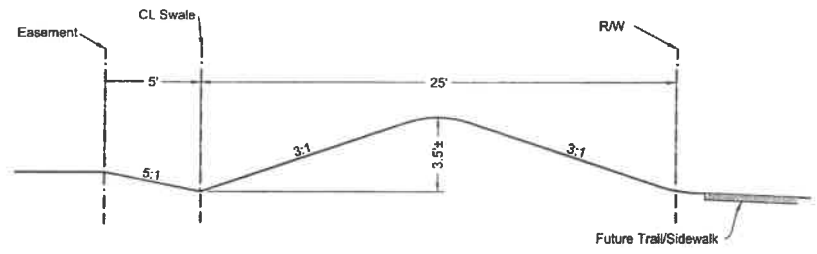
TYPICAL STREET SECTION
66' Right of Way (Emily Lane, Parker Way, Mase Court)



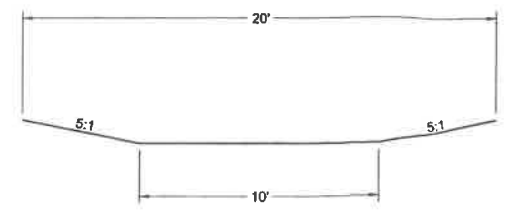
HOUSE ELEVATIONS:
The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.



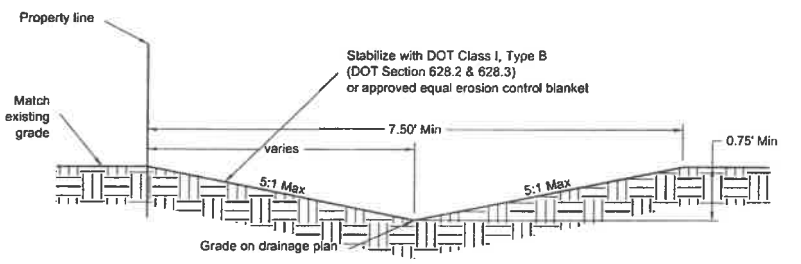
CHANNEL SECTION
Lots 25-35, 58-66, 15-24



LANDSCAPE BERM SECTION
Lots 40-50



100 YEAR OVERFLOW SECTION
Lots 12-13



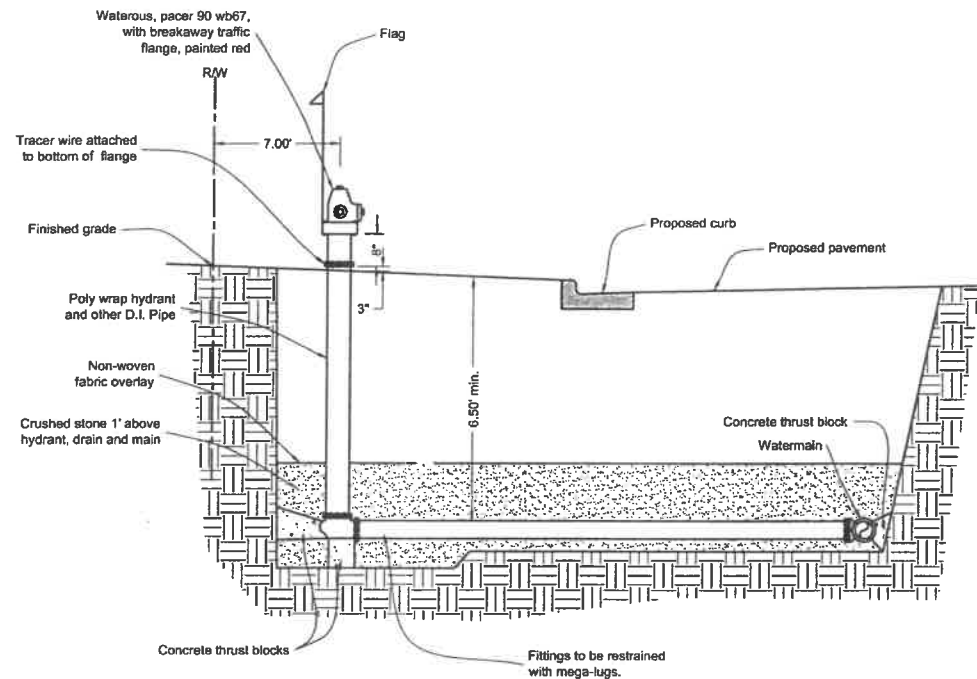
TYPICAL DRAINAGE SWALE SECTION
Lots 2-14

CONSTRUCTION DETAILS

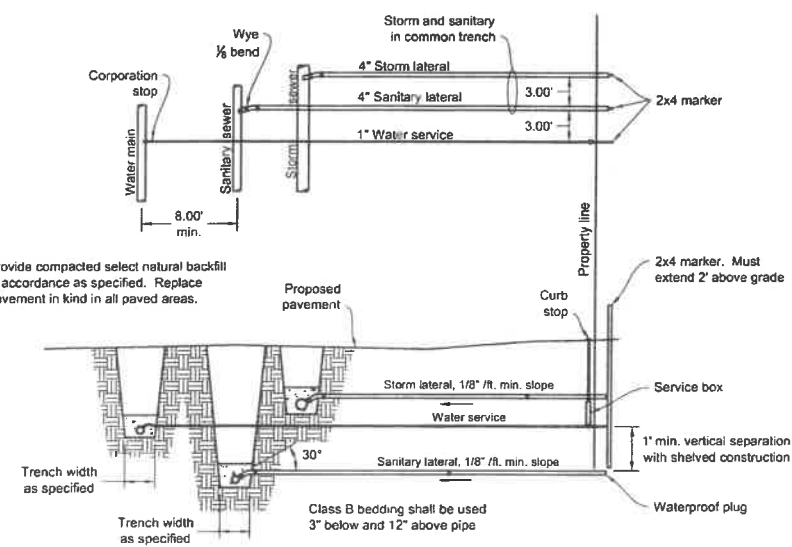
Kimberly Heights
 Village of Harrison, Calumet County, WI
 For: Dercks DeWitt, LLC

PRELIMINARY 1/01/2008

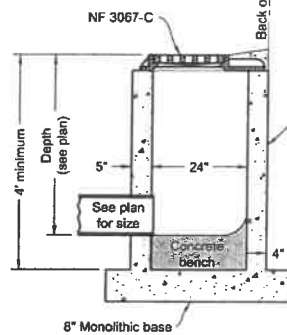
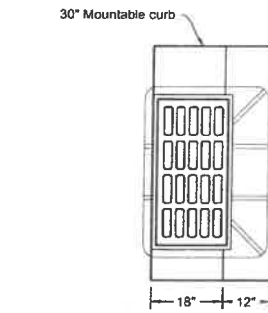
Date:	04/4/2017
Filename:	4773eng.dwg
Author:	???
Last Saved by:	katie
Page:	21



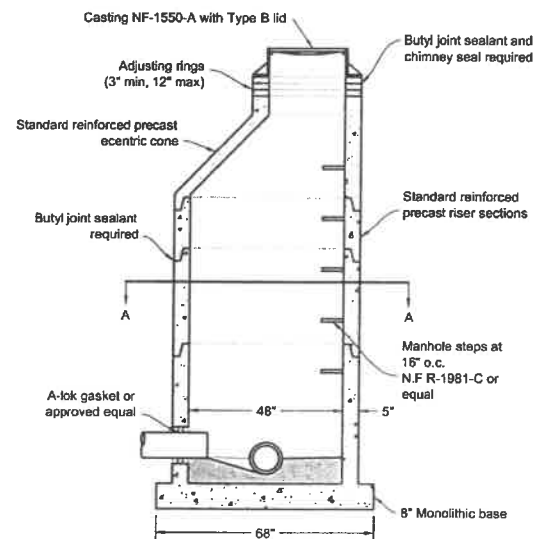
HYDRANT DETAIL



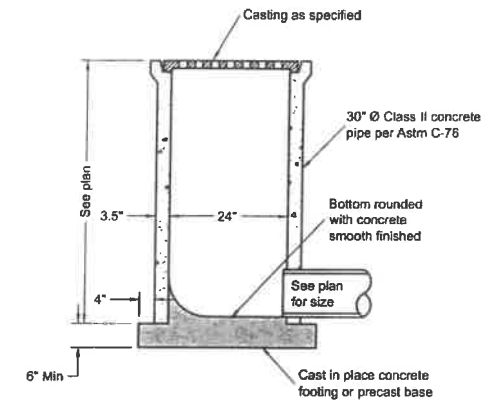
LATERAL DETAIL



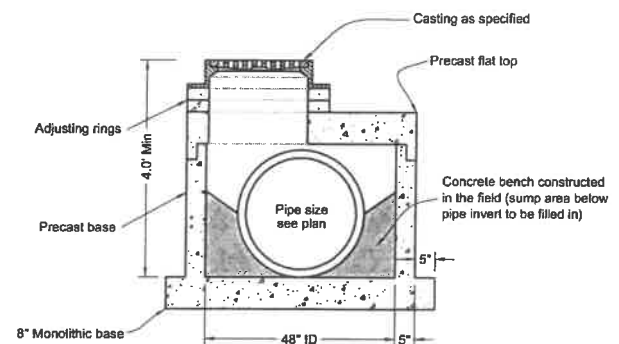
CURB INLET DETAIL



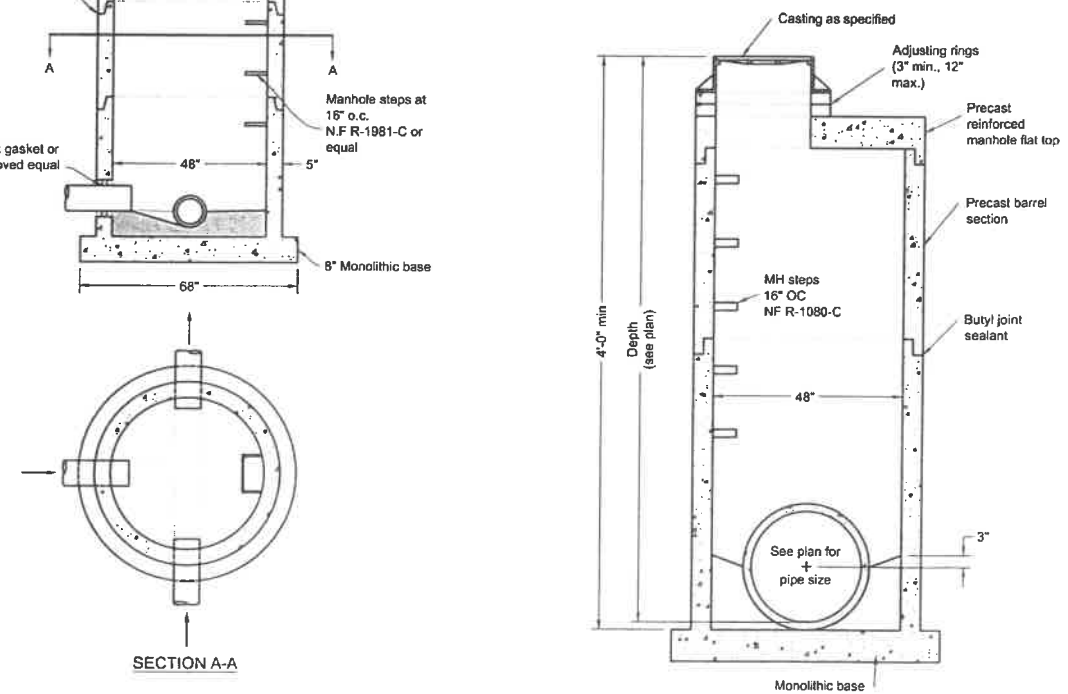
SANITARY MANHOLE



YARD DRAIN DETAIL



SHALLOW STORM MANHOLE



STANDARD STORM MANHOLE

STORM SEWER PIPE SUMMARY

Table with columns: Reach, US Inv, DS Inv, Length, Slope, Size, Node Drop, Phase, 2-Year Hydrograph, Flow (cfs), Capacity (cfs), Velocity (ft/s). Lists pipe segments from R-1.0 to R-27.0.

STORM SEWER STRUCTURE SUMMARY

Table with columns: Structure, Phase, Street, Station, Offset, Type, Size, Cover, Final Grade Rim, Plan Rim, Invert, Final Grade Depth, Plan Depth. Lists structures from R-1.0 to R-27.0.

SANITARY PIPE SUMMARY

Table with columns: Reach, US Inv, DS Inv, Length, Size, Slope, Node Drop, Number of Laterals, Load (cfs), Peak Load (cfs), Capacity (cfs), Velocity (ft/sec), Phase. Lists sanitary pipe segments from S-1 to S-21.

New Sewers, Total = 6,942 New Services, Total = 106 0.197
New Sewers, Phase 1 = 3,658 New Services, Phase 1 = 46 0.085
New Sewers, Phase 2 = 3,284 New Services, Phase 2 = 60 0.111

SANITARY STRUCTURE SUMMARY

Table with columns: Structure, Phase, Alignment, Station, Offset, Final Rim, Plan Rim, Invert, Final Depth, Plan Depth, Size, Casting, Structure Depth. Lists sanitary structures from S-1 to S-21.

New Sewers 318.73 318.73 297.73
New Sewers, Phase 1 194.45 194.45 183.45
New Sewers, Phase 2 124.28 124.28 114.28

*Contractor shall field verify all existing infrastructure and notify Engineer of any discrepancy.

Total = 7,952
Phase 1 = 3,970
Phase 2 = 3,983

*Contractor shall field verify all existing infrastructure and notify Engineer of any discrepancy.

Total = 490.97 486.15
Phase 1 = 278.07 273.25
Phase 2 = 212.90 212.90

PRELIMINARY 1/01/2008

Kimberly Heights
Village of Harrison, Calumet County, WI
For: Dercks DeWitt, LLC

DAVEL ENGINEERING & ENVIRONMENTAL, INC. CIVIL ENGINEERING CONSULTANTS
1811 Rudolph Street, Mena, WI 54852
PH: 920-894-1888 FAX: 920-894-9585
www.davel.net

SEWER FEASIBILITY DETAILS

Memo

Date: April 10, 2017

To: Plan Commission Members

From: Mark J. Mommaerts, AICP, Planner

Re: Agenda Item 7a: Lot Split – Zirbel Drive

Overview:

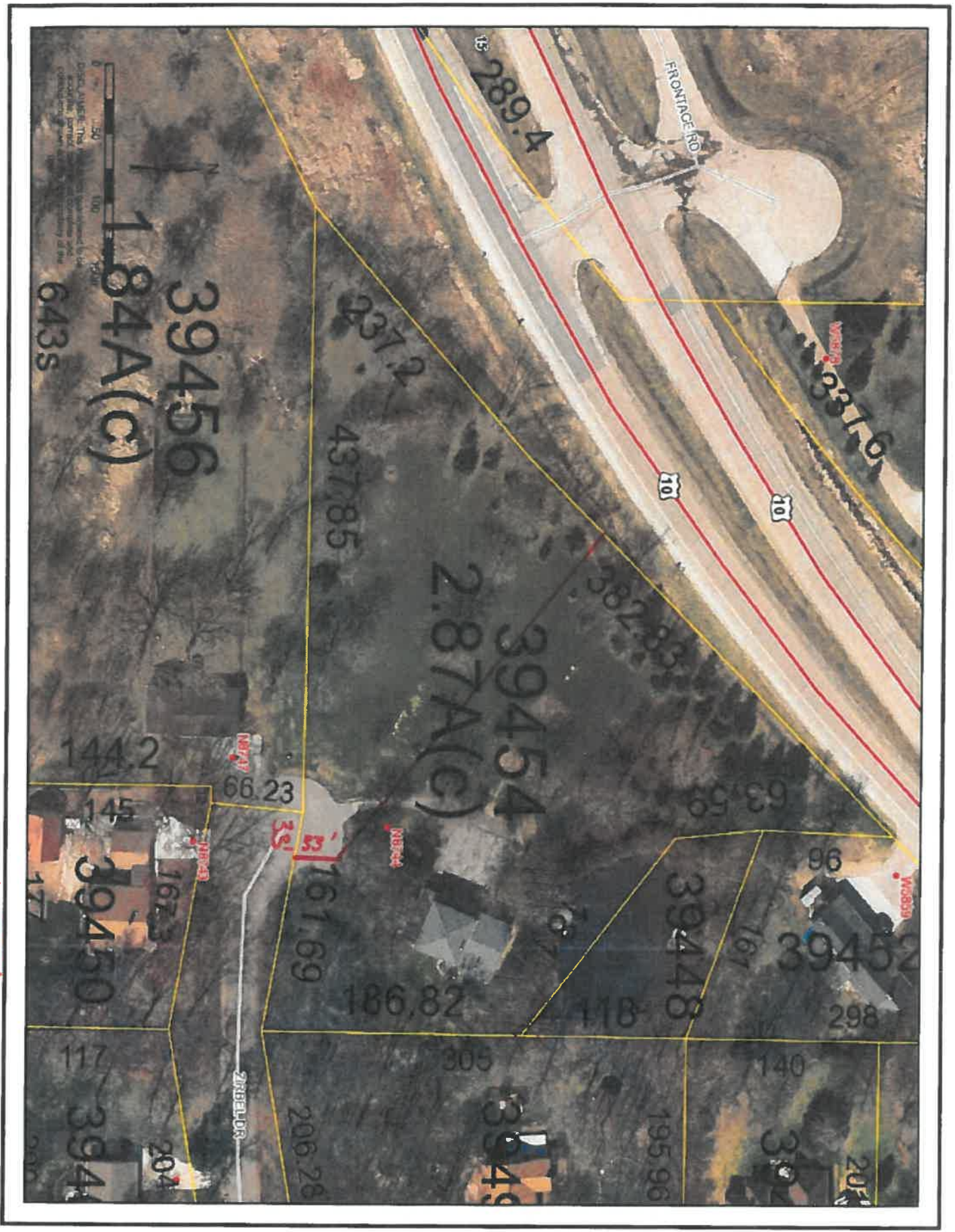
A property owner at N8744 Zirbel Drive is seeking input on a proposed lot split of the property. The property is currently 2.87-acres and is irregular in shape. The property has access to Zirbel Drive, which is a public roadway. The property owner wishes to divide the property into 2-lots. One lot would contain the existing home. The other lot would be for a new home. The Zirbel Drive neighborhood could be serviced with public sewer and water in a couple of years, currently these properties utilize private wells and septic systems.

The zoning ordinance requires a minimum of 80-feet of road frontage for all lots in the RS-1 zoning district. There is an exception to allow only 33-feet for flag lots. Staff does not feel that this lot qualifies as a flag lot. Additionally, creating 2 lots with 80-feet of road frontage may create awkward angled lots. Staff does not recommend splitting this property.

The Plan Commission is being asked to provide feedback/comments on the proposed lot split.

Attachments:

- Aerial Map



39456
184A(c)
643S

2.87A(c)
39454

144.2

39450

394

237.2
437.85

289.4

331.6

382.33

66.23

161.69

186.82

206.28

63.59

39448

195.96

96

101

298

140

392

204

1" = 88'

Scale: 1" = 88'

0 50 100

North Arrow

FRONTACE RD

10

10

ZIRBELDR