

## PLAN COMMISSION AGENDA

Tuesday, December 22, 2020  
5:30PM

- 1) Call to Order
- 2) Pledge of Allegiance
- 3) Roll Call
- 4) Public Participation (Non-Agenda Harrison Related Items)  
*Please be advised per State Statute Section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments.*
- 5) Approve Minutes
  - November 17, 2020
- 6) Convene Meeting and Enter Public Hearing
  - a. Zoning Text Amendment – Climate Controlled Storage
- 7) Close Public Hearing and Reconvene Regular Meeting
- 8) Items for Discussion and Possible Action
  - a. Toonen Companies Zoning Map Amendment (Rezoning) – Manitowoc Road
  - b. Certified Survey Map – Kimberly Clark Corp. – Old Highway Road
  - c. Affidavit of Correction for Drainage Easement – Lot 15 of Southtowne Place
  - d. Preliminary Plat – Stargazer Estates – Midway Road
  - e. Zoning Text Amendment – Climate Controlled Storage
- 9) Items for Discussion
  - a. Mini-warehousing Storage – Cameron Butler – Pigeon Road/Hwy 114
  - b. Report: Zoning Permits
- 10) Set Next Meeting Date
  - Tentatively January 19, 2021 at 5:30pm
- 11) Adjourn

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting. As such, a quorum of the Village Board, Zoning Board of Appeals, or Committees may be in attendance. However, the only business to be conducted is for the Plan Commission.

Posted: December 15, 2020

**VILLAGE OF HARRISON  
PLAN COMMISSION MEETING MINUTES  
NOVEMBER 17, 2020**

1. The meeting was called to order in the Harrison Municipal Building by Chairman Hietpas at 5:30pm.
2. The Pledge of Allegiance was recited.
3. Roll Call: Members present: Dennis Reed, Jim Lincoln, Kevin Hietpas, Mark Van Hefty (arrived late) and Kent Gross. Excused: Darlene Bartlein. Absent: Pat Hennessey.

Staff Present: Mark Mommaerts, Planner; Carie Krause, Deputy Clerk-Treasurer.

4. Public Participation: None.
5. Motion (Lincoln/Gross) to approve the minutes of October 27, 2020.  
Motion carried 4-0.
6. Enter Public Hearing at 5:32pm
  - a. Zoning Map Amendment (Rezoning) – Toonen Companies, Inc. – Manitowoc Road – Planner Mommaerts introduced the item stating that the applicant is proposing to rezone approximately 40-acres of land located along Manitowoc Road east of County Road N, Location IDs 39146 & 39148, from General Agricultural [AG] to Multiple-Family Residential [RM]. The purpose of the rezoning is to develop a multi-family development in the future. The Comprehensive Plan and Future Land Use Map identifies this property as ‘Village Center’. The Comprehensive Plan and Village Center Plan identify multiple family residential as appropriate uses within the Village Center. The proposed rezoning is consistent with the Comprehensive Plan and Village Center Plan. Residents Megan & Phil Stumpf spoke in favor.
  - b. Zoning Map Amendment (Rezoning) – Deno – Peters Road & N. Harwood Road – Planner Mommaerts introduced the item stating that the applicant is proposing to rezone a pair of properties located along Peters Road and N. Harwood Road, Location IDs 40616, 44780 & 40576, from General Agricultural [AG] to Rural Residential [RR]. The purpose of the rezoning is to create lots for single-family home sites. The Comprehensive Plan and Future Land Use Map identifies these properties as ‘Vacant, Undeveloped, Agricultural’. The Comprehensive Plan identifies limited single-family residential as appropriate uses within the Vacant, Undeveloped, Agricultural uses. Limited single-family residential development is considered single home sites versus a subdivision development. The proposed rezoning is consistent with the Comprehensive Plan. No public comments.

- c. Zoning Map Amendment (Rezoning) – Mielke – Mielke Road – Planner Mommaerts introduced the item stating that the applicant is proposing to rezone property located along Mielke Road, Location IDs 43796, from General Agricultural [AG] to Rural Residential [RR]. The purpose of the rezoning is to create lots for single-family home sites. The Comprehensive Plan and Future Land Use Map identifies these properties as ‘Single Family Residential (Unsewered)’. The proposed rezoning is consistent with the Comprehensive Plan. Many of the surrounding properties in this area are zoned Rural Residential. No public comments.
  
- d. Zoning Map Amendment (Rezoning) - Biggar (Ataraxia) – Manitowoc Road – Planner Mommaerts introduced the item stating that the applicant is proposing to rezone property located along Manitowoc Road east of Woodland School, Location IDs 33502, from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] and Planned Development Overlay [PDO]. The purpose of the rezoning is to develop a conservation subdivision in the future. The Comprehensive Plan and Future Land Use Map identifies these properties as ‘Single Family Residential (Transitional)’. The Transitional designation is to limit the amount of development not on public sewer & water. This area will have access to public sewer & water and the developer will be responsible to extending the sewer & water to the property. The PDO will be utilized as an overlay to accommodate the unique development standards of the proposed subdivision. A PDO development declaration and agreement will be developed for review and approval in the future. The proposed rezoning is consistent with the Comprehensive Plan. Applicants Jim Fletcher and Curtis Biggar presented their innovative housing project involving creative homes without basements, 20 acres of natural habitat, bicycle lanes and kayak canals with minimal cost to local government because of private infrastructure and HOA governance. Resident S. Hayes spoke on behalf of herself and neighbors regarding clarity on PDO, water concerns and traffic concerns. Resident Eric Ostermann questioned how the utilities would come in and commented that it sounds exciting but there are a lot of questions, he would like more detail. Planner Mommaerts explained PDO and answered questions regarding utilities, water, and traffic.

7. Close Public Hearing at 6:04pm

8. Items for Discussion and Possible Action

- a. Design Standards Waiver – Lexington Homes (Mirragio) – Midway Road – Planner Mommaerts introduced the item stating that this item was postponed from the October meeting as the Plan Commission wanted the Developer to bring in material samples. Staff notified the Developer who brought in samples to the meeting. From the October memo: The Developer of Mirrago Apartments development on Midway Road is requesting a waiver from the design standards found in the Multiple-Family Residential (RM) zoning district. The applicant is proposing to deviate from the required amount of materials facing a public street. The reason for the request is that the site will be surrounded by berms and plantings and the buildings will have reduced visual impact

from the street. The applicant is proposing to use premium shake siding on the upper portions of the buildings.

The request also is for wall and window composition. Some of the buildings do not meet the 50-foot wall composition break, but there are several deviations to break up the blank wall appearance, which is the intent of the ordinance. The intent of the ordinance to have windows on sides facing a roadway is to break up flat, blank walls. The applicant provided an alternate side elevation of buildings that have sides facing a public street for Buildings 11 & 12.

Motion (Lincoln/Van Hefty) to approve the special exception to the design standards for the Lexington Homes (Mirragio) property including staff recommendations (Condition that the berms along the roadways be 5-feet in height and trees/plants be at least 4-5 feet at planting. Staff also recommends the alternate elevations with windows on the sides be approved.)

Motion carried 5-0.

- b. Zoning Map Amendment (Rezoning) – Toonen Companies – Manitowoc Road – Commissioner Van Hefty shared his concern, and that of several thousand constituents, that the Village has already approved 1200 multifamily units. Chair Hietpas believes this does comply with the comprehensive plan. Commissioner Lincoln would like to see some fact finding on housing needs in the area. Commissioner Van Hefty stated that the Village Board is resistant to any future multifamily and his biggest concern is bringing in low income housing and the problems that will come with it.

Motion (Gross/Van Hefty) to postpone the item for more information.

Motion carried 4-1. Reed opposed.

- c. Zoning Map Amendment (Rezoning) – Deno – Peters Road & N Harwood Road – Motion (Lincoln/Gross) to approve the zoning map amendment for Deno – Peters Rd & Harwood Rd.

Motion carried 5-0.

- d. Certified Survey Map – Deno – N Harwood Road – Planner Mommaerts introduced the item stating that the applicant is proposing a 1-lot Certified Survey Map (CSM) for property located along N. Harwood Road, Location IDs 40576. The purpose of the CSM is to create a lot for a single-family home site. The proposed lot is 3.387-acres in area with 250-feet of road frontage. The CSM will dedicate a portion of N. Harwood Road to the public for roadway purposes. This lot is under consideration for a rezoning from General Agricultural [AG] to Rural Residential [RR].

Motion (Gross/Lincoln) to approve the CSM for Deno – N Harwood Road.

Motion carried 5-0.

- e. Certified Survey Map – Deno – Peters Road – Planner Mommaerts introduced the item stating that the applicant is proposing a 1-lot Certified Survey Map (CSM) for property located at N8650 Peters Road, Location IDs 40616. The purpose of the CSM is to separate the existing home and buildings from the remaining agricultural lands. The

proposed lot is 1.725-acres in area with 363-feet of road frontage. The CSM will dedicate a portion of Peters Road to the public for roadway purposes. This lot is under consideration for a rezoning from General Agricultural [AG] to Rural Residential [RR].  
Motion (Van Hefty/Lincoln) to approve the CSM for Deno – Peters Road.  
Motion carried 5-0.

f. Zoning Map Amendment (Rezoning) – Mielke – Mielke Road

Motion (Van Hefty/Gross) to approve the zoning map amendment for Mielke – Mielke Road.

Motion carried 5-0.

g. Certified Survey Map – Mielke – Mielke Road – Planner Mommaerts introduced the item stating that the applicant is proposing a 1-lot Certified Survey Map (CSM) for property located along Mielke Road, Location IDs 43796. The purpose of the CSM is to create a lot for a single-family home site. The proposed lot is 1.205-acres in area with 150-feet of road frontage. This lot is under consideration for a rezoning from General Agricultural [AG] to Rural Residential [RR].

Motion (Van Hefty/Lincoln) to approve the CSM for Mielke – Mielke Road.

Motion carried 5-0.

h. Zoning Map Amendment (Rezoning) – Biggar (Ataraxia) – Manitowoc Road

Motion (Van Hefty/Gross) to approve the zoning map amendment for Biggar – Manitowoc Road.

Motion carried 5-0.

i. Certified Survey Map – Propson – Schaefer Road – Planner Mommaerts introduced the item stating that the applicant is proposing a 2-lot Certified Survey Map (CSM) for property located at W4928 Schaefer Road, Location IDs 39332. The purpose of the CSM is to separate the house from the building. Lot 1 is proposed to be 3.229-acres with 340-feet of road frontage. Lot 2, which contains the existing house, is proposed to be 1.142-acres with 185-feet of road frontage. This property is currently zoned Rural Residential [RR].

Motion (Lincoln/Van Hefty) to approve the CSM for Propson – Schaefer Road.

Motion carried 5-0.

9. Items for Discussion

- a. Climate Controlled Storage & Multiple Family Residential Development – County KK – Planner Mommaerts introduced the item stating that the landowners have an interested party in the property on KK (owned by Rick Sweere and Trent Novotny). The scope of his project would be a multi-family development on the pond and a commercial climate-controlled storage facility on the KK frontage. The landowners understand that “storage” is not highly desirable, but this is not a mini-warehouse. The buyer/developer is currently working with Grand Chute on another facility on Hwy. 15, and that is progressing nicely (see attached drawings). The building the developer is putting there, which would be

similar to the one proposed for Harrison, is a 100,000+ sqft, heated and cooled, sprinklered, pre-engineered metal building. The Grand Chute project will likely cost over \$5,000,000.00, and on this lot the developer would be adding 4+ acres of multifamily on the south side of Amy Avenue that could be additional millions in developed value. The landowners would like to see this go forward. They have owned this land for many years waiting for the right project, and they think this could be it.

The issue is whether an indoor storage facility is appropriate for this location. The property is currently zoned Office & Retail Commercial [COR] north of Amy Avenue and Multiple-Family Residential [RM] south of Amy Avenue. The COR zoning allows multi-tenant buildings as a conditional use permit. Mini-warehouse is only allowed in the Industrial & Manufacturing [IM] or General Agricultural [AG] zoning districts. The landowners feel that the zoning code doesn't accurately identify this type of building. They contend that mini-warehouses bring little tax base to the community, while this development would be a very taxable development. Though the storage may not use a lot of utilities, the multifamily portion of the development certainly would. The multifamily portion of the development would be located in the existing RM zoning district, no changes would be needed, only a conditional use permit. The landowners would like to know how this could move forward.

Does the Plan Commission wish to consider the commercial climate-controlled storage as a Conditional Use for the COR zoning as a multi-tenant building over 20,000 sq ft? Or, will the Plan Commission consider a request to rezone to IM where storage would be a permitted use?

The developer only wants to do the project if he can do both multifamily and commercial as they complement each other. The landowners state that the developer is doing a few of these facilities in the state now, and will simply find another municipality that will allow it if this does not work. The landowners state that the storage is his main business, but he has other multifamily developments that make this lot more attractive to him. Travis Novotny represented the land owners, Eric Wellhouse presented on the climate controlled portion of the project. Commissioners Gross, Lincoln and Van Hefty like the option of doing a text amendment to the zoning ordinance to specifically include indoor climate-controlled storage in the conditional use within the commercial zoning. Planner Mommaerts will move forward with the text amendment.

- b. Report: Zoning Permits – Planner Mommaerts stated that the current number of single-family permits for the year is 75 which is up 19 from last year. The total estimated value of all permits year to date is over \$60 million compared to \$23 million from last year.

10. Next Meeting Date: Tentatively December 22, 2020 at 5:30pm.

11. Adjourn: Motion (Lincoln/Gross) to adjourn at 7:06pm.

Prepared by: Carie Krause, Deputy Clerk-Treasurer

Dated: November 18, 2020

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**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

December 22, 2020

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**Title:**

Toonen Companies Rezoning on Manitowoc Road

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**Issue:**

Does the Plan Commission want to make a recommendation to the Village Board?

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**Background and Additional Information:**

At the November Plan Commission meeting there was an application by Toonen Companies to rezone approximately 40-acres east of County Road N and north of Manitowoc Road from General Agricultural [AG] to Multiple Family Residential [RM]. There was discussion among the Plan Commission about the number of multi-family developments/units approved recently. The Plan Commission approved a motion to postpone action for more information. Under the Harrison Zoning Ordinance, the Plan Commission and Village Board are given review timelines in order to respond to the application, the applicant must agree to postpone action in order to extend the review timeline. In this case, Toonen Companies did not agree to extend the review timeline, so the Village Board had to take action at their meeting on December 8<sup>th</sup> in order to meet the review timeline. The Village Board made a motion to adopt Ordinance V20-20 approving the rezoning from AG to RM. The motion failed on a 3-4 vote, so the property was not rezoned. Since the Village Board already acted on the item, the Plan Commission recommendation is not needed.

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**Recommended Action:**

Village Board already acted on the rezoning request.

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**Attachments:**

- None

Year Multiple Family Residential Units in Harrison

2014 70 -units constructed (North Shore)

2015 98 -units constructed (North Shore)

2016 92 -units constructed (North Shore)

2017 30 -units constructed (North Shore)

2018 0

2019 0

2020 62 -units under construction (40 Driscoll + 22 Asterion)

2021 360 -units under construction and planned (120 Nicolet Lumber + 82 Asterion + 56 Mirragio + 48 Novella + 54 Driscoll)

2022 306 -units planned (88 Mirragio + 88 Novella + 40 Asterion + 90 Driscoll)

2023 214 -units planned (40 Novella + 98 Asterion + 76 Driscoll)

2024 80 -units planned (32 Asterion + 48 Driscoll)

Total built and planned = 1,312 -units



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**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

December 22, 2020

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**Title:**

Certified Survey Map – Kimberly Clark Corp.

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**Issue:**

Should the Plan Commission recommend approval of a 2-outlot CSM to the Village Board?

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**Background and Additional Information:**

The applicant is proposing a 2-outlot Certified Survey Map (CSM) in order to create a parcel to sell to the adjacent property owner. Outlot #1 is proposed to be 5.842-acres and contains a portion of the driving range of the adjacent North Shore Golf Club. The applicant wishes to sell off land in this area and North Shore Golf Club wishes to purchase that portion of the property containing the driving range. North Shore Golf Club currently has an agreement to utilize a portion of the property for the driving range. Outlot #2 is 6.490-acres and will be retained by the applicant and sold with the adjacent properties the applicant owns to the west and north.

These properties are being created as outlots as they do not meet public roadway frontage standards. Under state statutes, outlots are unbuildable. The current property configuration does not have public roadway frontage, access is gained through adjacent properties under common ownership.

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**Recommended Action:**

Staff recommends approval of the Certified Survey Map request as submitted.

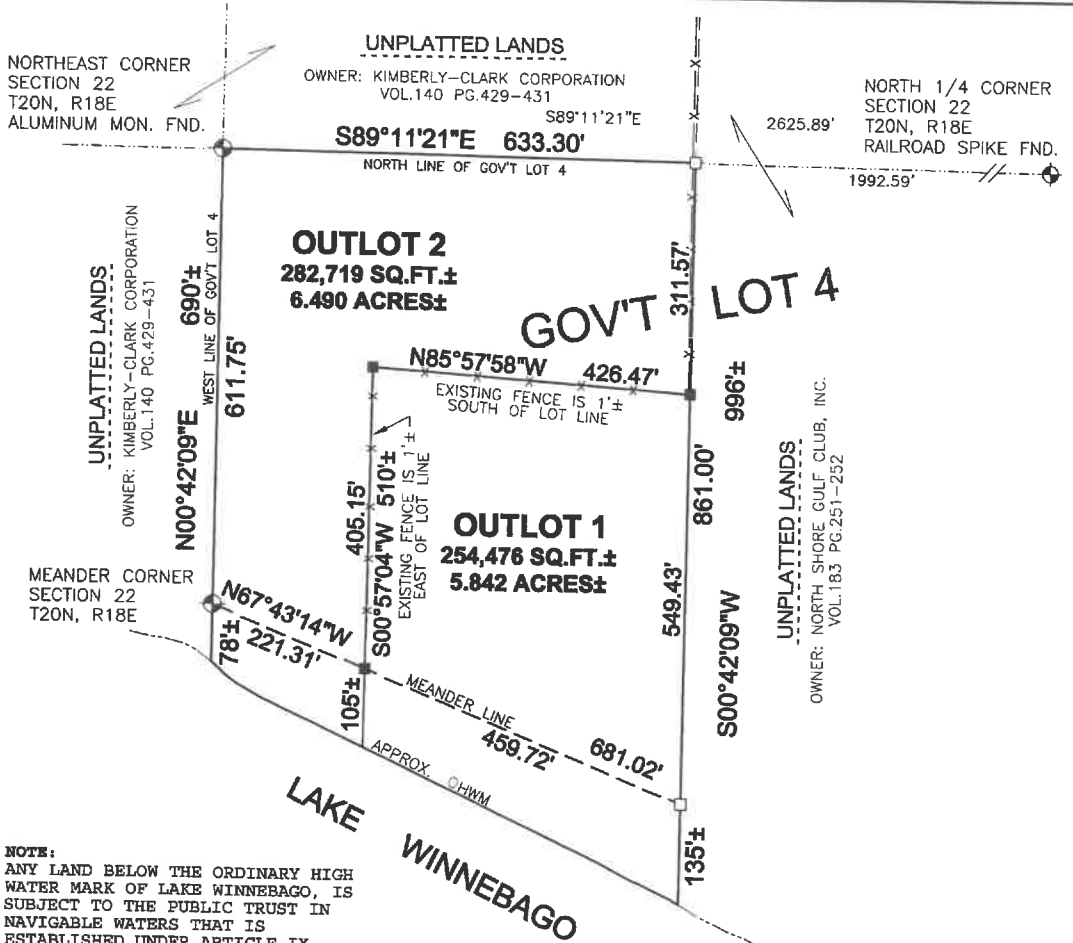
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**Attachments:**

- Aerial Map
- CSM

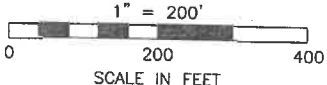


CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
 PART OF GOVERNMENT LOT 4, SECTION 22,  
 TOWNSHIP 20 NORTH, RANGE 18 EAST,  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



**NOTE:**  
 ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF LAKE WINNEBAGO, IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1 OF THE STATE CONSTITUTION.

BEARINGS ARE REFERENCED TO THE CALUMET COUNTY COORDINATE SYSTEM (NAD83) WHICH HAS THE NORTH LINE OF GOVERNMENT LOT 4, SECTION 22 BEARING S 89°11'21" E



- LEGEND**
- 1" O.D. ROUND IRON PIPE SET, 18" LONG, WEIGHING 1.13 LBS. PER LINEAL FOOT
  - 1" O.D. IRON PIPE FOUND
  - ⊕ GOVERNMENT CORNER
  - OHWM - APPROXIMATE ORDINARY HIGH WATER MARK FOR REFERENCE ONLY

**Martenson & Eisele, Inc.**

1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture

SURVEY FOR:  
 KIMBERLY-CLARK CORP.  
 400 GOODYS LN. SUITE 100  
 KNOXVILLE, WI 37922

PROJECT NO. 1-0005-026  
 FILE 1-0005-026csm.dwg SHEET 1 OF 3  
 THIS INSTRUMENT WAS DRAFTED BY: A.Sedlar

CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
PART OF GOVERNMENT LOT 4, SECTION 22, TOWNSHIP 20 NORTH, RANGE 18 EAST,  
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

I, GARY A. ZHRINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:  
THAT I HAVE SURVEYED, MAPPED AND DIVIDED AT THE DIRECTION OF KIMBERLY-CLARK CORPORATION, PART  
OF GOVERNMENT LOT 4, SECTION 22, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON,  
CALUMET COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 22; THENCE SOUTH 89 DEGREES 11 MINUTES 21  
SECONDS EAST, ALONG THE NORTH LINE OF GOVERNMENT LOT 4 OF SAID SECTION, A DISTANCE OF 633.30  
FEET; THENCE SOUTH 00 DEGREES 42 MINUTES 09 SECONDS WEST, 861.00 FEET TO A MEANDER CORNER,  
SAID CORNER BEING NORTH 00 DEGREES 42 MINUTES 09 SECONDS EAST, 135 FEET MORE OR LESS FROM THE  
ORDINARY HIGH WATER MARK OF LAKE WINNEBAGO; THENCE NORTH 67 DEGREES 43 MINUTES 14 SECONDS WEST,  
ALONG A MEANDER LINE, A DISTANCE OF 681.02 FEET TO A MEANDER CORNER, SAID CORNER BEING SOUTH  
00 DEGREES 42 MINUTES 09 SECONDS WEST, 78 FEET MORE OR LESS FROM THE ORDINARY HIGH WATER MARK  
OF LAKE WINNEBAGO; THENCE NORTH 00 DEGREES 42 MINUTES 09 SECONDS EAST, ALONG THE WEST LINE OF  
GOVERNMENT LOT 4 OF SAID SECTION 22, A DISTANCE OF 611.75 FEET TO THE POINT OF BEGINNING.  
CONTAINING 537,195 SQUARE FEET MORE OR LESS [12.332 ACRES±]. INCLUDING ALL LANDS LYING BETWEEN  
MEANDER LINE AND THE ORDINARY HIGH WATER MARK OF LAKE WINNEBAGO. SUBJECT TO ALL EASEMENTS AND  
RESTRICTIONS OF RECORD

THAT I HAVE FULLY COMPLIED WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND WITH THE  
VILLAGE OF HARRISON AND CALUMET COUNTY SUBDIVISION ORDINANCE IN SURVEYING, DIVIDING AND  
MAPPING THE SAME.

THAT THIS MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND  
SURVEYED AND THE DIVISION THEREOF.

GIVEN UNDER MY HAND THIS 16TH DAY OF NOVEMBER, 2020.

\_\_\_\_\_  
GARY A. ZHRINGER,  
PROFESSIONAL WI LAND SURVEYOR S-2098

**THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING  
RECORDED INSTRUMENTS**

OWNER OF RECORD:  
KIMBERLY-CLARK CORPORATION

RECORDING INFORMATION:  
VOL.140 PG.429

PARCEL ID:  
131-39924

**CERTIFICATE OF THE VILLAGE OF HARRISON:**

BE IT RESOLVED THAT THIS CERTIFIED SURVEY MAP, IN THE VILLAGE OF HARRISON HAS BEEN APPROVED  
AND ACCEPTED AS SURVEYED, MAPPED AND DIVIDED BY THE OWNERS SHOWN HEREON,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
VILLAGE PRESIDENT

\_\_\_\_\_  
VILLAGE CLERK

**TREASURER'S CERTIFICATE:**

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE  
LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

\_\_\_\_\_  
VILLAGE TREASURER

\_\_\_\_\_  
DATE

\_\_\_\_\_  
COUNTY TREASURER

\_\_\_\_\_  
DATE



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**PLAN COMMISSION MEETING**

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**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

December 22, 2020

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**Title:**

Affidavit of Correction for Drainage Easement

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**Issue:**

Should the Plan Commission recommend approval of an Affidavit of Correction for drainage easement purposes to the Village Board?

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**Background and Additional Information:**

As part of the Southtowne Place subdivision plat, there is a drainage easement that runs along the east and south sides of the plat where Lot 15 is located. There were artificial wetlands along these areas where historic drainage of the property flowed. As part of the plat, the artificial wetlands were going to be filled and the drainage swale relocated within the easement area. During the construction of the plat, it was determined that the drainage swale would be best suited to follow the artificial wetlands, which on the southeast corner of Lot 15 was outside of the drainage easement.

An Affidavit of Correction is proposed in order to relocate the drainage easement to cover the lands for the drainage swale. Since the drainage easement was part of the subdivision plat, any changes must be approved by the Village Board.

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**Recommended Action:**

Staff recommends approval of the Affidavit of Correction as submitted.

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**Attachments:**

- Southtowne Place Plat
- Affidavit of Correction





# "SOUTHTOWNE PLACE"

BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

### SURVEYOR'S CERTIFICATE:

I, ROBERT F. REIDER, PROFESSIONAL WISCONSIN LAND SURVEYOR NO. 1261, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED "SOUTHTOWNE PLACE", BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

THAT I HAVE MADE SUCH SURVEY, LAND-DIVISION AND PLAT BY THE DIRECTION OF EL SOUTHTOWNE, LLC, OWNER OF SAID LAND, CONTAINING 430.88 SQUARE FEET (0.8883 ACRES) OF LAND MORE OR LESS.

BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 9, THENCE S89°37'39"E, 159.31 FEET ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 9 TO THE EAST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3143 AND THE POINT OF BEGINNING; THENCE CONTINUOUS S89°37'39"E, 37.35 FEET ALONG SAID NORTH LINE; THENCE S89°37'39"E, 135.54 FEET TO THE NORTHEAST CORNER OF WOODLAND TERRACE ESTATES; THENCE N89°05'17"W, 24.12 FEET ALONG SAID NORTH LINE TO THE NORTH LINE OF OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 3091; THENCE N89°04'49"W, 2.87 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF HIDDEN PINES; THENCE N89°28'29"E, 138.25 FEET ALONG SAID EAST LINE AND THE EAST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3140 TO THE POINT OF BEGINNING. SAID DESCRIBED PARCEL CONTAINS 0.8883 ACRES OF LAND MORE OR LESS, SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD, RESERVING THAT PART PRESENTLY USED FOR ROAD PURPOSES.

THAT THIS PLAT IS A CORRECT REPRESENTATION OF ALL OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE VILLAGE OF HARRISON AND CALUMET COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 29th DAY OF June, 2020  
Robert F. Reider  
ROBERT F. REIDER, PLS-1261



### CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

EL SOUTHTOWNE, LLC, A LIMITED LIABILITY COMPANY ONLY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID LIMITED LIABILITY COMPANY CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS PLAT.

EL SOUTHTOWNE, LLC, DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S. 236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

DEPARTMENT OF ADMINISTRATION  
VILLAGE OF HARRISON  
CALUMET COUNTY

IN WITNESS WHEREOF, THE SAID LIMITED LIABILITY COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY MELISSA A. EYERS, ITS MANAGING MEMBER AND COUNTERSIGNED BY Robert F. Reider, WISCONSIN, AND ITS CORPORATE SEAL TO BE HERETOBY AFFIXED ON THIS 29th DAY OF June, 2020.

IN THE PRESENCE OF:

EL SOUTHTOWNE, LLC

SIGNED Melissa A. Eyers  
MELISSA A. EYERS, MANAGING MEMBER

STATE OF WISCONSIN  
CALUMET COUNTY

PERSONALLY CAME BEFORE ME THIS 29th DAY OF June, 2020, MANAGING MEMBER, AND MEMBER OF THE ABOVE NAMED LIMITED LIABILITY COMPANY, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE SUCH MANAGING MEMBER AND MEMBER OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH MEMBERS AS THE DEED OF SAID LIMITED LIABILITY COMPANY, BY ITS AUTHORITY.

Robert F. Reider  
NOTARY PUBLIC  
CALUMET COUNTY, WI  
MY COMMISSION EXPIRES: 11-15-2020



### CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN  
CALUMET COUNTY

I, JENNIFER WEYENBERG, BEING THE DULY APPOINTED, QUALIFIED AND ACTING VILLAGE TREASURER OF THE VILLAGE OF HARRISON, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF 7/6/20 ON ANY OF THE LAND INCLUDED IN THE PLAT OF "SOUTHTOWNE PLACE".

Jennifer Weyenberg 7/6/20  
JENNIFER WEYENBERG, VILLAGE TREASURER DATED

### CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN  
CALUMET COUNTY

I, MIKE SOKLAK, BEING THE DULY ELECTED, QUALIFIED AND ACTING TREASURER OF THE COUNTY OF CALUMET, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF July 7, 2020 AFFECTING THE LANDS INCLUDED IN THE PLAT OF "SOUTHTOWNE PLACE".

Mike Soklak 7-7-2020  
MIKE SOKLAK, COUNTY TREASURER DATED

### VILLAGE BOARD APPROVAL CERTIFICATE:

RESOLVED, THAT THE PLAT OF "SOUTHTOWNE PLACE" IN THE VILLAGE OF HARRISON, IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF HARRISON.

APPROVED Kevin M. Hetras 7-6-20  
KEVIN M. HETRAS, VILLAGE PRESIDENT DATED

SIGNED Kevin M. Hetras 7-6-20  
KEVIN M. HETRAS, VILLAGE PRESIDENT DATED

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE VILLAGE BOARD OF THE VILLAGE OF HARRISON.

Jennifer Weyenberg 7/6/20  
JENNIFER WEYENBERG, VILLAGE CLERK DATED

STATE OF WISCONSIN  
CALUMET COUNTY

I, JENNIFER WEYENBERG, BEING THE DULY ELECTED, QUALIFIED AND ACTING CLERK OF THE VILLAGE OF HARRISON, DO HEREBY CERTIFY THAT THE VILLAGE BOARD OF THE VILLAGE OF HARRISON PASSED A RESOLUTION NUMBER 116 ON 7/6/20, AUTHORIZING ME TO ISSUE A CERTIFICATE OF APPROVAL OF THE FINAL PLAT OF "SOUTHTOWNE PLACE", UPON SATISFACTION OF CERTAIN CONDITIONS, AND DO HEREBY CERTIFY THAT ALL CONDITIONS WERE SATISFIED AND THE APPROVAL WAS GRANTED AND EFFECTIVE ON THE 29th DAY OF June, 2020.

Jennifer Weyenberg 7/6/20  
JENNIFER WEYENBERG, CLERK DATED

DOCUMENT # 549828

RECEIVED FOR RECORDING THIS 7th DAY OF July, 2020, AT

131 AM, AND FILED IN CABINET 0 OF PLATS IN FILE NUMBER

131 DOCUMENT NUMBER 347,828 REGISTER OF DEEDS

CALUMET COUNTY,

TAMARA ALLEN  
REGISTER OF DEEDS  
CALUMET COUNTY, WI  
87/07/2020 09:26 AM  
VOL-D PAGE: 131  
RECORDING FEE: 50.00

### UTILITY EASEMENT PROVISIONS

AN EASEMENT FOR ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICE IS HEREBY GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN GAS, LLC, A WISCONSIN CORPORATION DOING BUSINESS AS THE ENERGIES, GRANTEE, AT THE, GRANTEE, AND SPECTRUM, GRANTEE, AND HARRISON UTILITIES, AND OTHER UTILITY PROVIDER, GRANTEE.

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND ELECTRIC ENERGY, NATURAL GAS, TELEPHONE AND CABLE TV FACILITIES FOR SUCH PURPOSES AS THE SAME IS NOW OR MAY HEREAFTER BE USED, ALL IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS ON THE PLAT DESIGNATED AS "UTILITY EASEMENT AREAS" AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS WITHIN AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS; ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. THE GRANTEE AGREES TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEE OR THEIR AGENTS. THIS RESTORATION, HOWEVER, DOES NOT APPLY TO THE INITIAL INSTALLATION OF SAID UNDERGROUND AND/OR ABOVE GROUND ELECTRIC FACILITIES, NATURAL GAS FACILITIES, OR TELEPHONE AND CABLE TV FACILITIES OR TO ANY TREES, BRUSH OR ROOTS WHICH MAY BE REMOVED AT ANY TIME PURSUANT TO THE RIGHTS HEREIN GRANTED. STRUCTURES SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "UTILITY EASEMENT AREAS" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED BY MORE THAN FOUR INCHES WITHOUT WRITTEN CONSENT OF GRANTEE.

THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS AND ASSIGNS OF ALL PARTIES HERETO.

### NOTES:

- NO UTILITY TRANSFORMER OR PEDESTALS ARE TO BE SET WITHIN 2 FEET OF A PROPERTY CORNER MONUMENT. NO CONDUCTORS ARE TO BE BURIED WITHIN 1 FOOT OF A LOT LINE CORNER MONUMENT.
- ANY AGRICULTURAL DRAIN TILE WHICH IS DISTURBED, CUT OR BROKEN AS PART OF THE DEVELOPMENT OF THE PLAT OR EXCAVATION FOR HOME CONSTRUCTION MUST BE REPAIRED AND/OR RELOCATED TO ALLOW FOR THE DRAIN TILE TO CONTINUE TO DRAIN AS ORIGINALLY DESIGNED. THE COST OF REPAIR AND/OR REPLACEMENT OF THE DRAIN TILE MUST BE BORNE BY THE PARTY DAMAGING THE DRAIN TILE.

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified June 24, 2020

Brenda Doney  
Department of Administration



State of Wisconsin )  
 )SS  
County of Calumet)

**AFFIDAVIT OF CORRECTION**

Return to:  
Carow Land Surveying Co., Inc.  
P.O. Box 1297  
Appleton, WI 54912-1297  
A1908.20-20

I, Robert F. Reider, Professional Land Surveyor No. 1251, of the State of Wisconsin, do hereby depose and say:

That I had surveyed, divided and mapped Southtowne Place as recorded in Cabinet D of Plats in File Number 131 as Document No. 549828.

That on Sheet 1 of 2 Sheets of said plat on Lot 15, I show a Drainage Easement along the East 20 feet and the South 20 feet of said Lot 15, when in fact the Drainage Easement on Lot 15 should have been as shown on the attached **Exhibit "A"**.

That this affidavit is made pursuant to S.236.295 of the Wisconsin statutes.

That this affidavit is given for the purpose of correcting said plat and for no other purpose.

Dated this 30th day of November, 2020.

  
Robert F. Reider



State of Wisconsin )  
 )SS  
County of Outagamie)

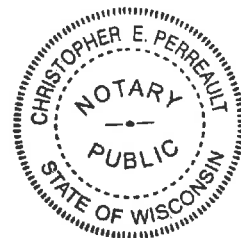
Personally came before me this 30th day of November, 2020. The above named person to me known to be the person who executed the foregoing and acknowledged the same.

Notary Public 

My commission expires: 12/10/23

This instrument drafted by Robert F. Reider

Sheet 1 of 3 Sheets



**VILLAGE OF HARRISON APPROVAL:**

THIS AFFIDAVIT WAS APPROVED BY THE VILLAGE OF HARRISON ON THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 20\_\_\_\_\_

\_\_\_\_\_  
VILLAGE CHAIRPERSON

\_\_\_\_\_  
VILLAGE CLERK

**OWNER'S CERTIFICATE:**

AS OWNER (S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THIS AFFIDAVIT TO BE  
DRAFTED AND RECORDED. I (WE) ALSO CERTIFY THAT THIS AFFIDAVIT IS REQUIRED BY S.  
236.10 OR 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR  
APPROVAL: VILLAGE OF HARRISON

WITNESS THE HAND AND SEAL OF SAID OWNER (S) THIS 9 DAY  
OF December, 2020.  
EL, SOUTHTOWNE, LLC

Melissa A. Evers  
MELISSA A. EVERS, MANAGING MEMBER

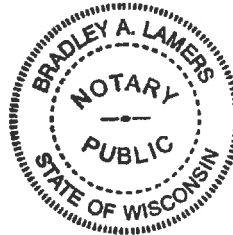
STATE OF WISCONSIN )

) SS.

COUNTY OF CALUMET)

PERSONALLY CAME BEFORE ME THIS 9 DAY OF December, 2020, THE  
ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE  
FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

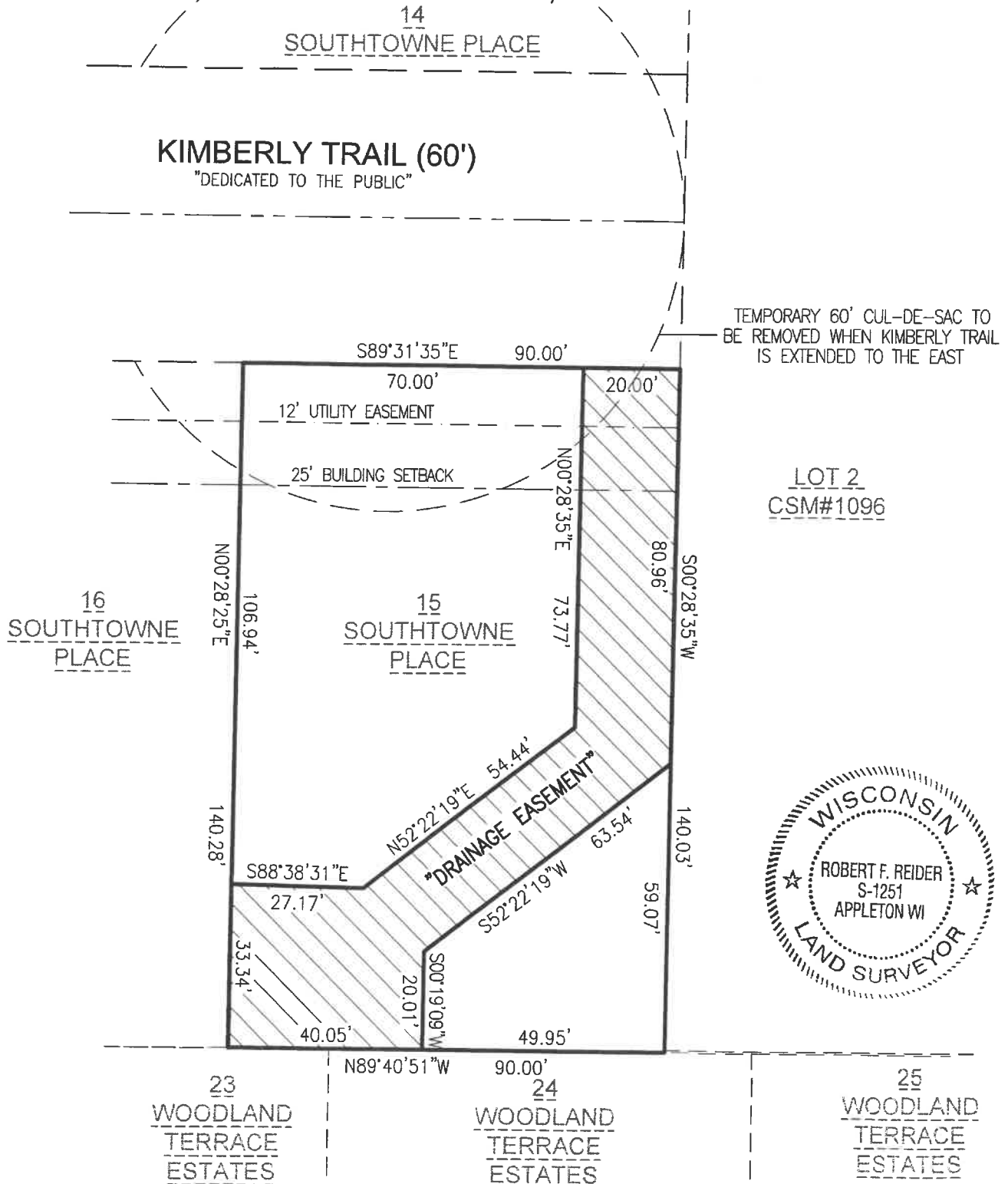
Bradley A. Lamers  
NOTARY PUBLIC Bradley A. Lamers  
Calumet CO., WISCONSIN  
MY COMMISSION EXPIRES 10/24/2024



SHEET 2 OF 3 SHEETS

# AFFIDAVIT EXHIBIT "A"

## LOT 15, "SOUTHTOWNE PLACE", VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



SHEET 3 OF 3 SHEETS



### CAROW LAND SURVEYING CO., INC.

615 N. LYNNDALE DRIVE, P.O. BOX 1297  
APPLETON, WISCONSIN 54912-1297  
PHONE: (920)731-4168 FAX: (920)731-5673

SCALE	1" = 30'
DRAWN BY	RDD
PROJECT NO.	A1908.20-20

---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

December 22, 2020

---

**Title:**

Preliminary Plat – Stargazer Estates

---

**Issue:**

Should the Plan Commission recommend approval of the Preliminary Plat of the Stargazer Estates subdivision to the Village Board?

---

**Background and Additional Information:**

The applicant is proposing a 48-lot preliminary plat for a new subdivision called Stargazer Estates. The subdivision is located along Midway Road, west of Lake Park Road. The property is currently zoned Single Family Residential (Traditional) [RS-2]. The subdivision is proposed to have roadway access to Midway Road, with connections to Ethan Drive, Mckayla Drive, and Woodendale Way. All roadways are proposed to be dedicated to the public. Lots are generally 10,500-12,000 square feet in area, the corner lots are generally 13,000 square feet. Sewer and water will be extended through the subdivision. Stormwater management will be accommodated in a stormwater pond north of proposed lots 26-30. The pond will be located on Outlot 1 of CSM #3890, which will be deeded to the Village for park and stormwater purposes.

---

**Findings of Fact:**

- Property owners within 300-feet of the subject property have been notified via first-class mail.

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**Recommended Action:**

Staff recommends approval of the Preliminary Plat for Stargazer Estates with the following conditions:

1. All road right-of-way to be 66-feet in width.
2. Erosion Control Silt Fence shall be installed, in accordance with State Specifications, along the right-of-way line of all streets prior to roadway acceptance.
3. All lots shall have a storm sewer lateral provided for sump pump discharge.
4. Consider creation of an outlot for the easement area on Lot 26 to be deeded to the Village.
5. All improvements, including but not limited to, utilities, curb & gutter, street paving, sidewalks, shall be installed prior to issuance of building permits or zoning permits, unless the Village Board approves a Subdivision Development Agreement to allow for improvements to be installed at a later date.
6. All comments from the Village engineer and staff shall be included in the Plan Commission discussion and decision.
7. A note shall be added to the plat indicating access control to County AP/Midway Road.

8. A grading/drainage stormwater management plan and erosion control plan shall be reviewed and approved by the Village engineer and Village staff.
9. Final utility and street plans shall be reviewed and approved by the Village Engineer and Village staff prior to approval of the Final Plat and prior to utility and street construction.
10. All environmental corridors shall be clearly identified and setback lines to be indicated.
11. Grading/Drainage Plan shall identify elevations of ground at the foundation.
12. All road names shall be approved by the Appleton Post Office, the Village of Harrison, and Calumet County E911.
13. Sidewalks and laterals shall be indicated on the infrastructure plans.
14. There shall be notes to be added to the face of the final plat in accordance with Section 115-12(d)(1)(f).
15. The final plat and final grading/drainage plans shall include benchmarks for all fire hydrants. Benchmarks shall refer to hydrant tag bolts.
16. Plans shall be sent to the appropriate utility entities for review (ie phone, cable, gas/electric, sewer/water).

---

**Attachments:**

- Aerial Map
- Preliminary Plat
- Stargazer Estates Plan Set



# STARGAZER ESTATES

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 3890, DOCUMENT NUMBER 554355, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, ALL IN SECTION 8, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

**OWNER**  
Lexington Homes, Inc.  
1300 N. Kings Ct.  
Green Bay, WI 54313

**SURVEYOR**  
Tony E. Hewitt  
Professional Land Surveyor 22831  
Robert E. Lee & Associates, Inc.  
1000 N. Sherman Blvd.  
Hobart, WI 54155

**PARCEL ID**  
43384 & 43389

**ZONING**  
R90 (2) Offroad/Recreational  
Planned Development District

**MINIMUM LOT AREA AS PLATED**  
10,640 Sq. Ft.

**NUMBER OF LOTS**  
46 lots

**PLATED AREA DEDICATED TO THE PUBLIC**  
48,646 Square Feet  
1.103 Acres

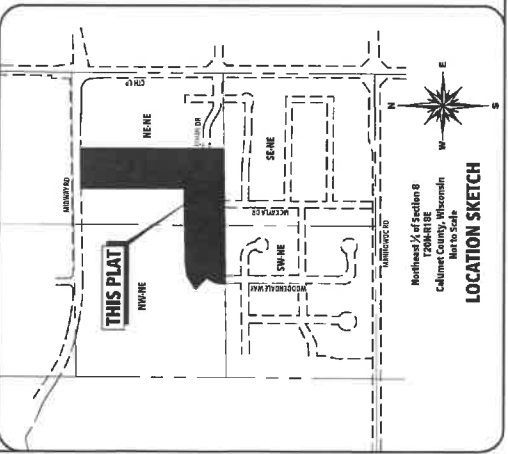
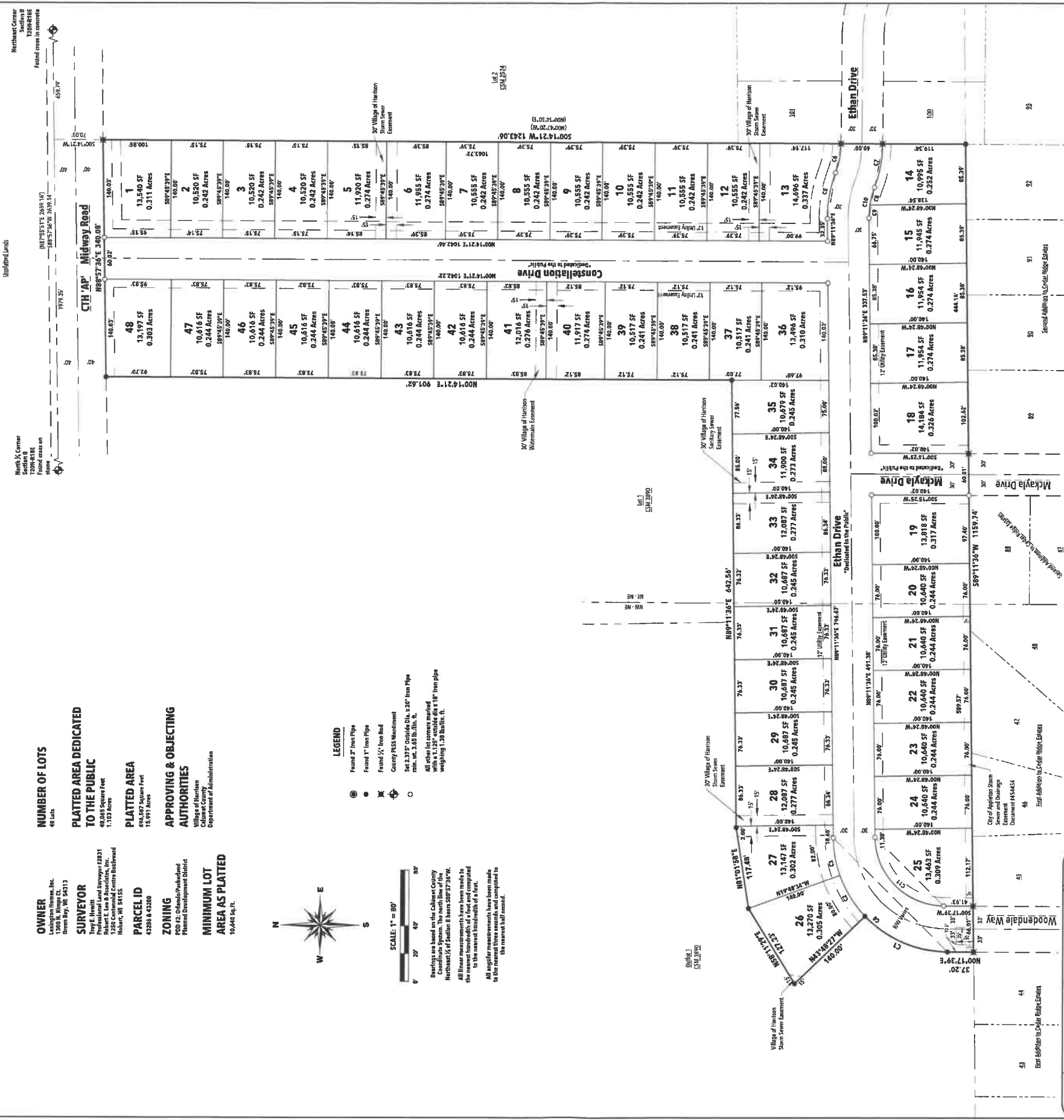
**PLATED AREA**  
676,897 Square Feet  
15.991 Acres

**APPROVING & OBJECTING AUTHORITIES**  
Village of Harrison  
Calumet County  
Department of Administration



- LEGEND**
- Found 2" Iron Pipe
  - Found 1" Iron Pipe
  - Found 1/2" Iron Rod
  - County PLS Measurement
  - 543.315" Outside Dia. 3.30" Iron Pipe
  - min. wt. 3.85 lb./lin. ft.
  - All other lot corners marked with a 1.125" outside dia x 1.18" iron pipe weighing 1.28 lb./lin. ft.

Bearings are based on the Calumet County Coordinate System. The north line of the Northwest 1/4 of Section 8 bears S89°27'39"W, 207.94'. All linear measurements have been made to the nearest hundredth of a foot. All angular measurements have been made to the nearest three seconds and computed to the nearest half second.



**Curve Table**

Curve #	Delta	Radius	Length	Chord	Direction	Tangent Bearing	Second Tangent Bearing
C1	48°53'48"	146.00'	132.90'	128.40'	S211°42'24"W	S89°17'39"W	S89°17'39"W
C2	23°59'53"	146.00'	66.53'	66.53'	S89°11'29"W	S70°11'29"W	S69°11'29"W
C3	19°00'10"	146.00'	51.00'	57°41'51"W	S89°11'29"W	S70°11'29"W	S70°11'29"W
C4	88°53'07"	146.00'	237.50'	544°44'38"W	S89°11'29"W	S89°11'29"W	S89°11'29"W
C5	21°26'52"	180.00'	67.26'	80°05'58"W	N69°23'32"W	S89°11'29"W	S89°11'29"W
C6	20°20'47"	120.00'	42.81'	57°53'54"E	S69°23'32"E	S89°44'46"E	S89°44'46"E
C7	20°21'13"	180.00'	63.94'	87°57'55"W	N69°23'32"W	N81°52'17"W	N81°52'17"W
C8	12°28'45"	120.00'	26.14'	86°52'21"W	N81°52'17"W	S89°11'29"W	S89°11'29"W
C9	8°50'07"	120.00'	18.71'	86°05'58"W	N81°52'17"W	S89°11'29"W	S89°11'29"W
C10	21°24'52"	120.00'	44.85'	54°44'38"W	N81°52'17"W	S89°11'29"W	S89°11'29"W
C11	88°52'57"	100.00'	155.16'	54°44'38"W	N81°52'17"W	S89°11'29"W	S89°11'29"W

**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1300 CENTINELA DRIVE, HOBART, WI 54155  
PH: (920) 246-2141  
FAX: (920) 246-2141  
WWW: www.rela.com

**RECEIVED**

DEC 04 2020

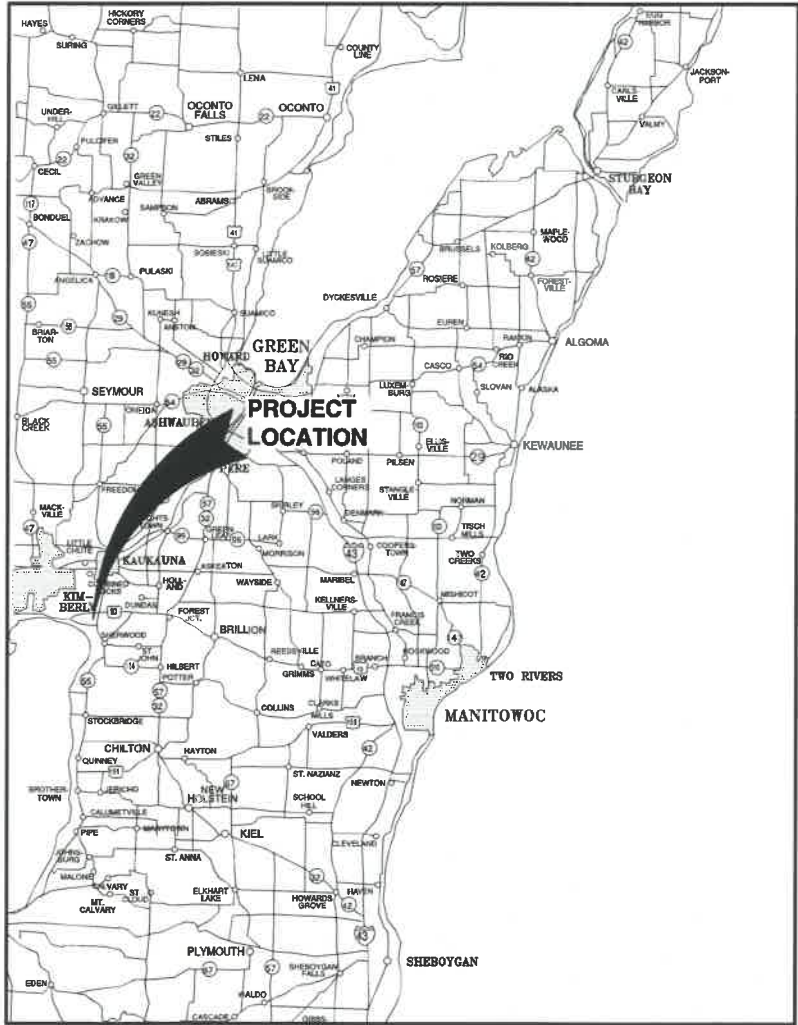
HARRISON PLANNING



# STARGAZER ESTATES VILLAGE OF HARRISON CALUMET COUNTY, WISCONSIN

CONTRACT NO. 4329-20-03

ATTENTION!  
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



VICINITY MAP

NOTE:  
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:  
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.



LOCATION MAP

FILE: P:\PROJECTS\4329-20-03\4329-20-03-01.dwg  
 PLOT: 08/20/20 11:51 AM 11/11/2020

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CONTRACT NO. 4329-20-03 STARGAZER ESTATES VILLAGE OF HARRISON CALUMET COUNTY, WISCONSIN	LOCATION MAPS	DATE	 <b>Robert E. Lee &amp; Associates, Inc.</b> ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-662-9641 www.releeinc.com	SHEET NO.
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					LLP			09/20/20		1
								CHECKED			FILE		
								JGS			4329121C		
								DESIGNED	JOB NO.				
								AJB	4329121				

CONFORMED PLAN



- PROPOSED**  
**EXISTING**
- FIRE HYDRANT
  - ⊙ WATER VALVE/CURB STOP
  - ⊙ WATER MANHOLE
  - ▽ REDUCER/INCREASER
  - SANITARY MANHOLE
  - LIFT STATION
  - TRACER WIRE SIGNAL CONNECTION BOX
  - AIR RELIEF MANHOLE
  - ⊙ STORM MANHOLE
  - ⊙ OPEN STORM MANHOLE
  - ⊙ STORM INLET
  - ⊙ STORM INLET MANHOLE
  - ⊙ YARD DRAIN

**LEGEND**

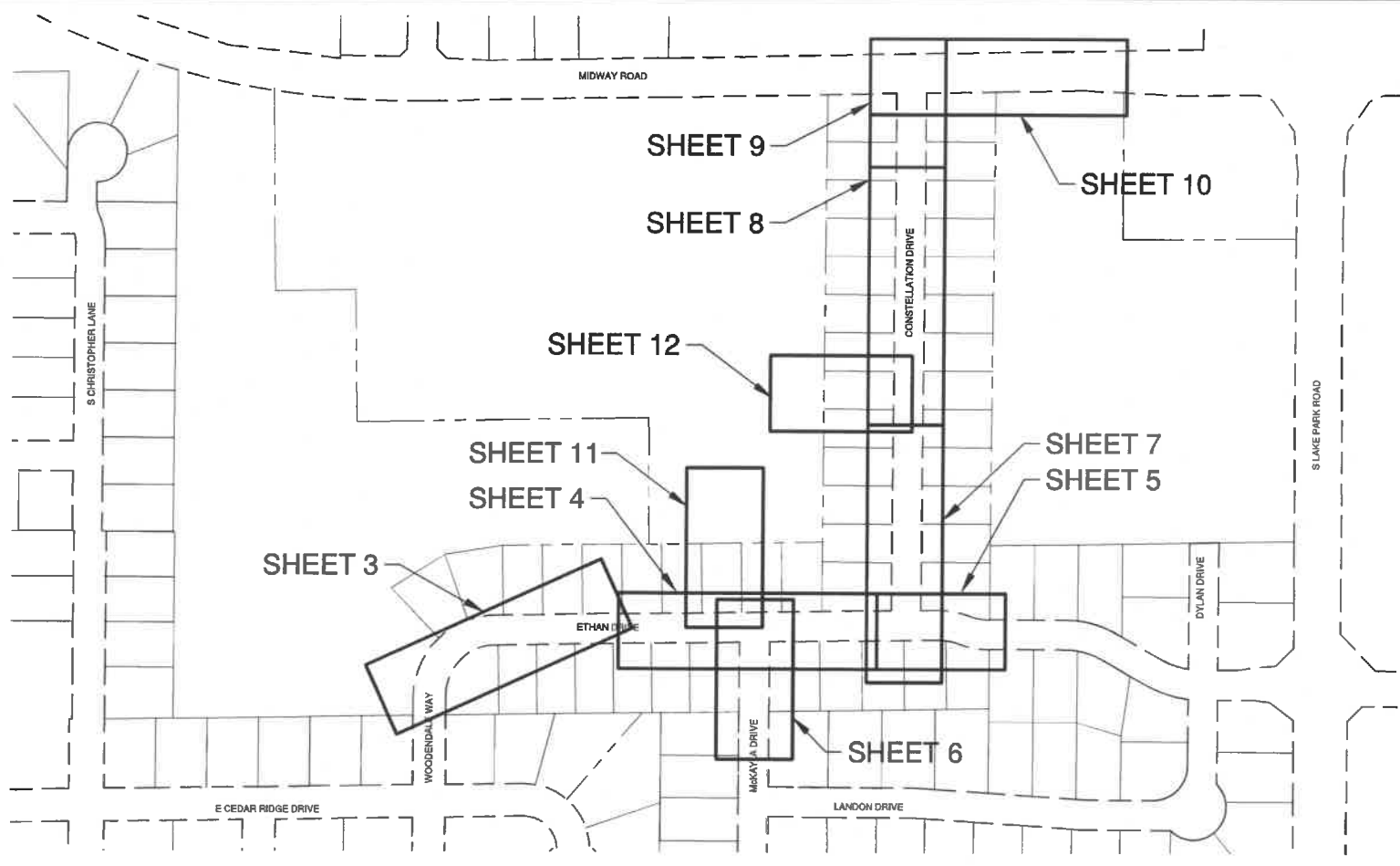
- ⊕ SOIL BORING
- ⊕ POWER POLE
- ⊕ LIGHT POLE
- ⊕ TRAFFIC SIGNAL POLE
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ CABLE TV MANHOLE
- ⊕ CABLE TV PEDESTAL
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ MAILBOX
- ⊕ SIGN
- ⊕ POST
- ⊕ IRON PIPE/ROD
- ⊕ PK NAIL
- ⊕ INLET PROTECTION
- ☀ DECIDUOUS TREE
- ☀ CONIFEROUS TREE
- ☀ BUSH
- ☀ BALE DITCH CHECK
- ☀ RIP RAP
- ☀ LATERAL LOCATION
- ☀ SPOT ELEVATION
- ☀ FIRST FLOOR/BASEMENT ELEVATION
- ☀ APPROXIMATE ROCK ELEVATION
- ☀ EXISTING CULVERT
- ☀ TRACKING PAD
- ☀ CUT AND PLUG

- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- TREE/BRUSH LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE
- SILT FENCE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER (SIZE NOTED)
- PROPOSED FORCEMAIN
- EXISTING FORCEMAIN (SIZE NOTED)
- PROPOSED STORM SEWER
- EXISTING STORM SEWER (SIZE NOTED)
- PROPOSED WATERMAIN
- EXISTING WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- FIBER OPTIC LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- UNDERGROUND CABLE TV LINE
- RW LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

- |                        |                    |                                    |                              |
|------------------------|--------------------|------------------------------------|------------------------------|
| GR. GRAVEL             | WM WATERMAIN       | VPC VERTICAL POINT OF CURVATURE    | R/W RIGHT OF WAY             |
| BIT. BITUMINOUS        | HYD. HYDRANT       | VPI VERTICAL POINT OF INTERSECTION | T/C TOP OF CURB              |
| ASPH. ASPHALT PAVEMENT | WV WATER VALVE     | VPT VERTICAL POINT OF TANGENCY     | F/L FLOW LINE                |
| CONC. CONCRETE         | SAN SANITARY SEWER | PC POINT OF CURVATURE              | C/L CENTERLINE               |
| SW SIDEWALK            | MH MANHOLE         | PI POINT OF INTERSECTION           | P/L PROPERTY LINE            |
| BLDG BUILDING          | ST STORM SEWER     | PT POINT OF TANGENCY               | R/L REFERENCE LINE           |
| HSE HOUSE              | CB CATCH BASIN     | R RADIUS                           | INV. INVERT                  |
| PED PEDESTAL           | TELE TELEPHONE     | EX EXISTING                        | CMP CORRUGATED METAL PIPE    |
| PP POWER POLE          | ELEC ELECTRIC      | PR PROPOSED                        | RCP REINFORCED CONCRETE PIPE |
| LP LIGHT POLE          | TV TELEVISION      | EOR END OF RADIUS                  | CULV. CULVERT                |
| BM BENCH MARK          | STA. STATION       | B-B BACK TO BACK (OF CURB)         |                              |

**DIGGERS HOTLINE**  
 Dial 811 or (800) 242-8511  
 www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



**INDEX TO DRAWINGS**

SHT. NO.	DESCRIPTION
1	LOCATION MAPS
2	LEGEND AND INDEX TO DRAWINGS
3	ETHAN DRIVE - STA. 100+00 TO STA. 105+00
4	ETHAN DRIVE - STA. 105+00 TO STA. 110+00
5	ETHAN DRIVE - STA. 110+00 TO STA. 113+50
6	MCKAYLA DRIVE - STA. 200+00 TO STA. 202+75
7	CONSTELLATION DRIVE - STA. 300+00 TO STA. 305+00
8	CONSTELLATION DRIVE - STA. 305+00 TO STA. 310+00
9	CONSTELLATION DRIVE - STA. 310+00 TO STA. 312+50
10	MIDWAY ROAD - STA. 600+00 TO STA. 603+25
11	SANITARY SEWER EASEMENT - STA. 400+00 TO STA. 405+00
12	WATERMAIN EASEMENT - STA. 500+00 TO STA. 505+00
13	MIDWAY ROAD/CONSTELLATION DRIVE INTERSECTION
14	POND PLAN AND DETAILS
15	OVERALL UTILITY PLAN
16	OVERALL GRADING PLAN
17	OVERALL EROSION CONTROL PLAN
18	MISCELLANEOUS DETAILS
19	MISCELLANEOUS DETAILS
20	MISCELLANEOUS DETAILS
21	MISCELLANEOUS DETAILS
22	MISCELLANEOUS DETAILS
23	MISCELLANEOUS DETAILS

P:\A\2020\2020-03\2020-03-03\2020-03-03.dwg  
 12/11/2020 10:00:00 AM  
 12/11/2020 10:00:00 AM

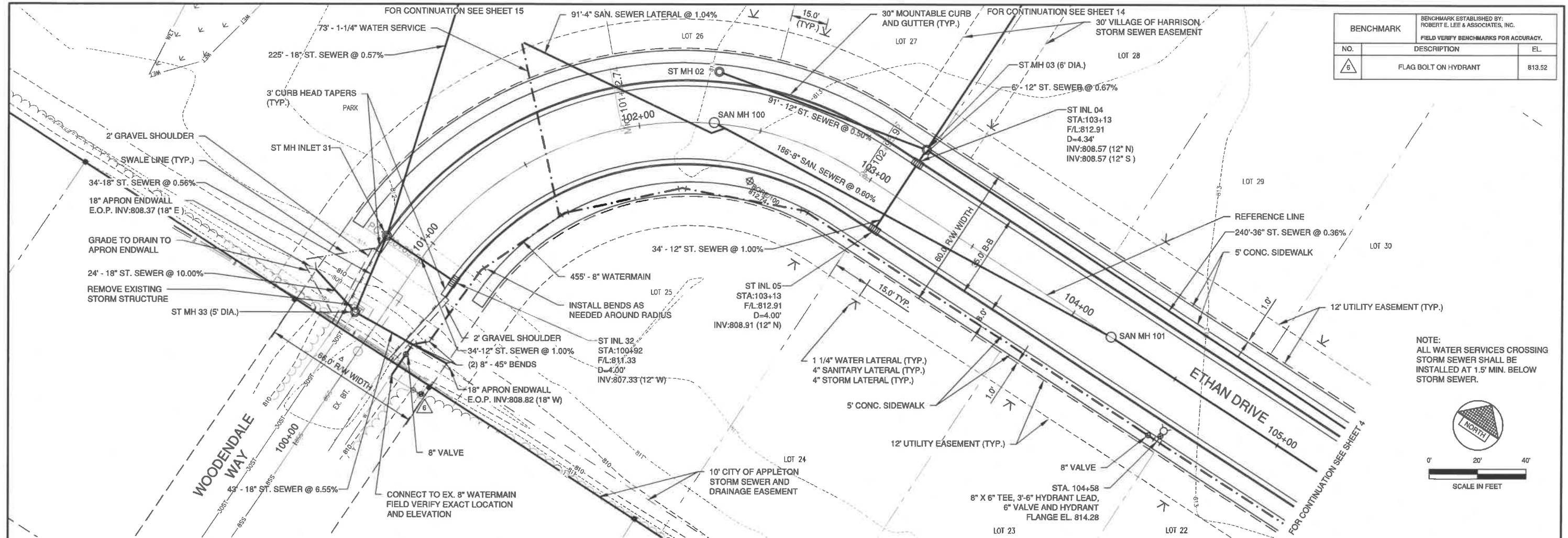
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1	12/04/2020	AJB	CONSTRUCTION PLAN SET					LLP/RLB	03/2020	4329121K	4329121	2

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

LEGEND AND INDEX TO DRAWINGS

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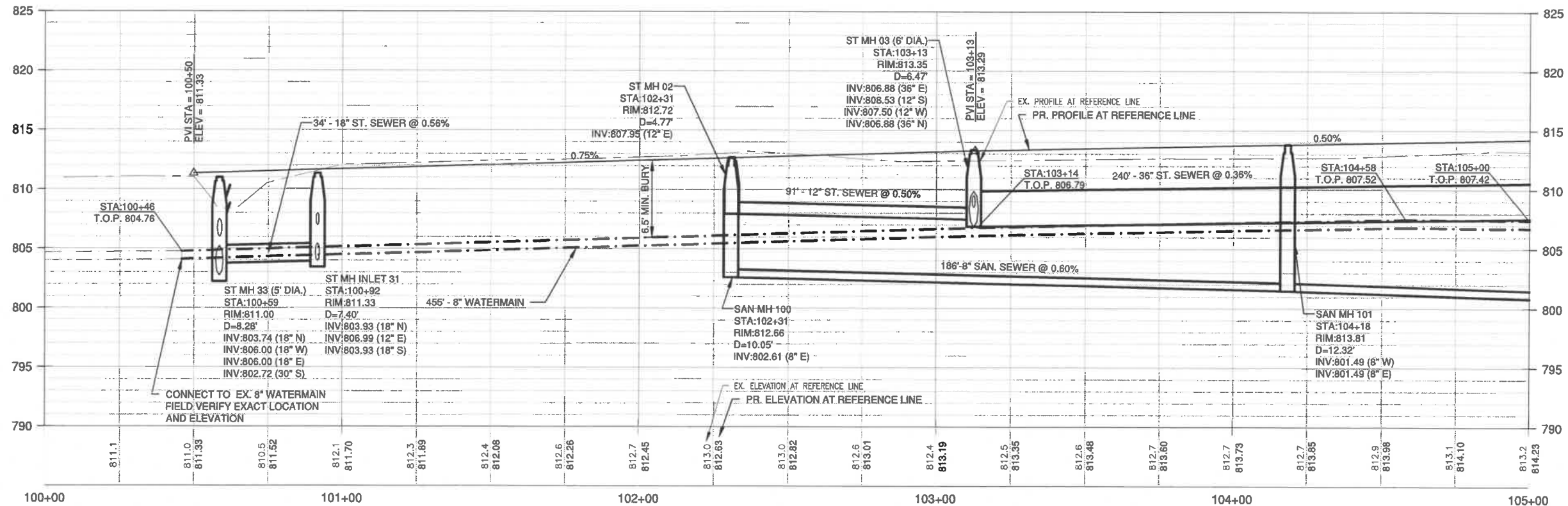
*CONFORMED PLAN*



BENCHMARK		NO.	DESCRIPTION	EL.
BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.		6	FLAG BOLT ON HYDRANT	813.52

NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.

SCALE IN FEET



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	11/18/2020	AJB	ADDENDUM NO. 1				
2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
STARGAZER ESTATES  
VILLAGE OF HARRISON  
CALUMET COUNTY, WISCONSIN

ETHAN DRIVE  
STA. 100+00 TO STA. 105+00

DATE 09/20/20	<b>Robert E. Lee &amp; Associates, Inc.</b> ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-662-8641 www.releeinc.com	SHEET NO. <b>3</b>
FILE A ETHAN		
JOB NO. 4329121		

R:\ASSETS\4329-20-03\STARGAZER\100-105\100-105.dwg  
 11/18/2020 10:00 AM  
 AJB

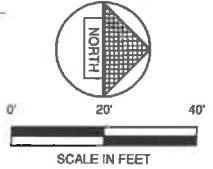
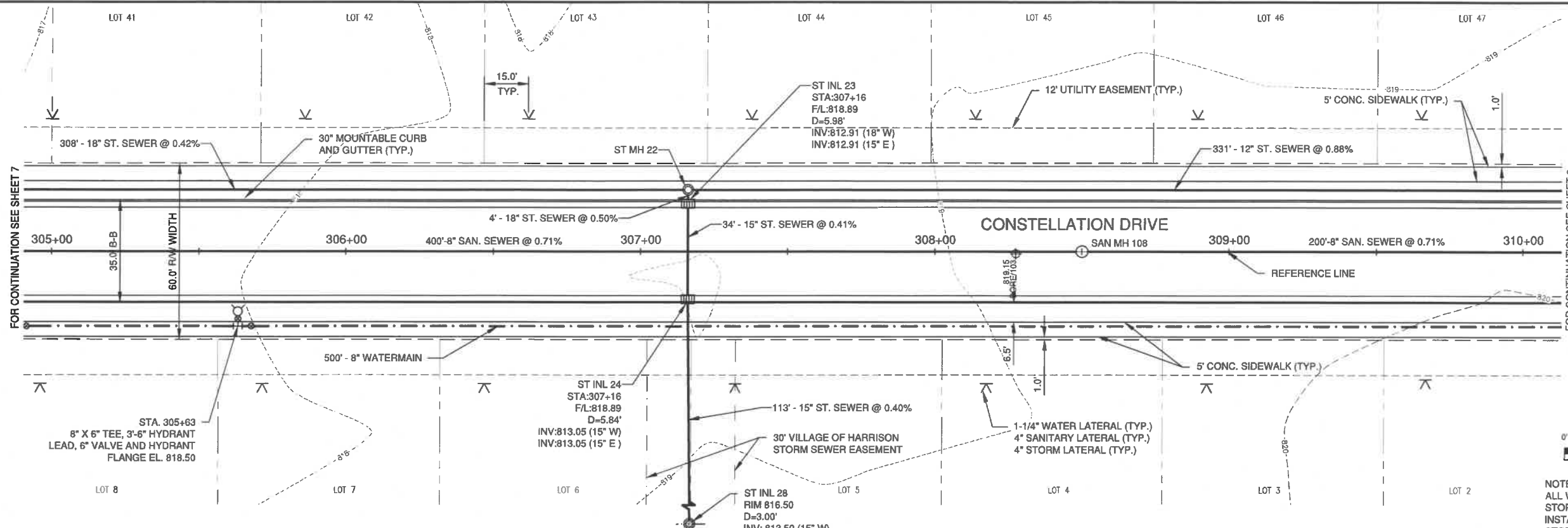




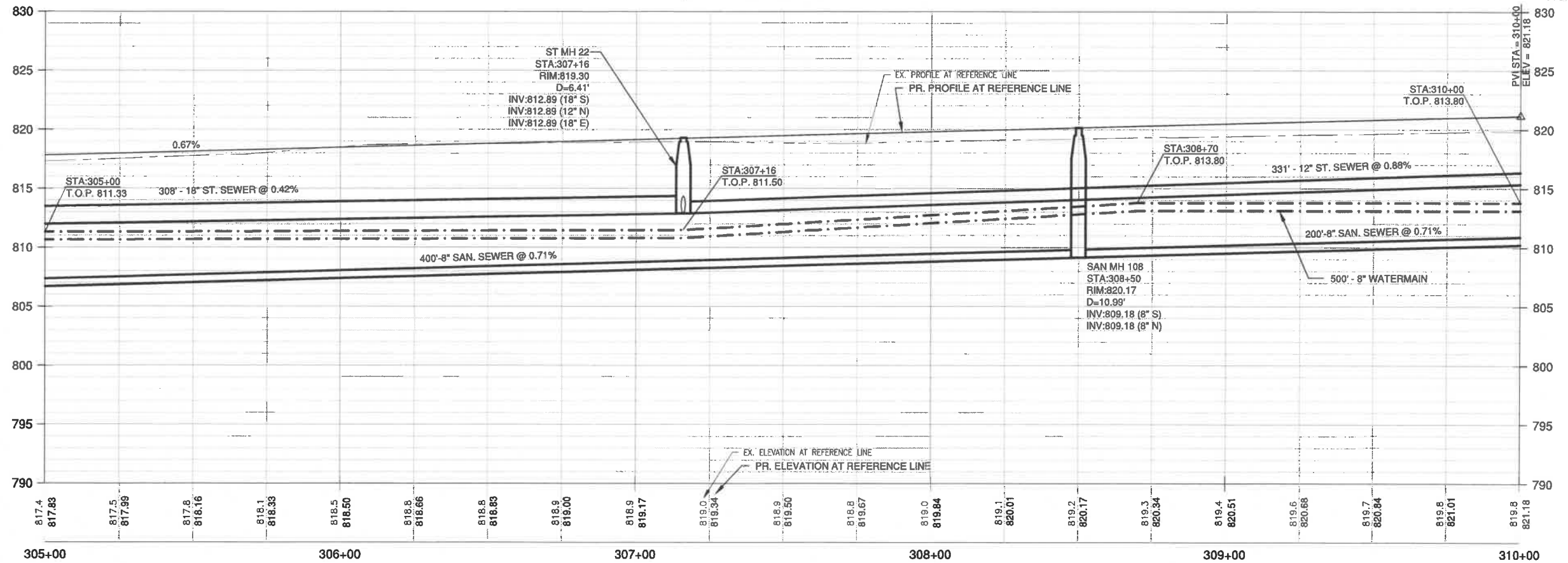








NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



FILE: \\NASR\DATA\PROJECTS\20\20\CONSTITUTION.dwg  
 PLOT DATE: 04/20/20  
 LAYOUT: CONST\_2

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2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

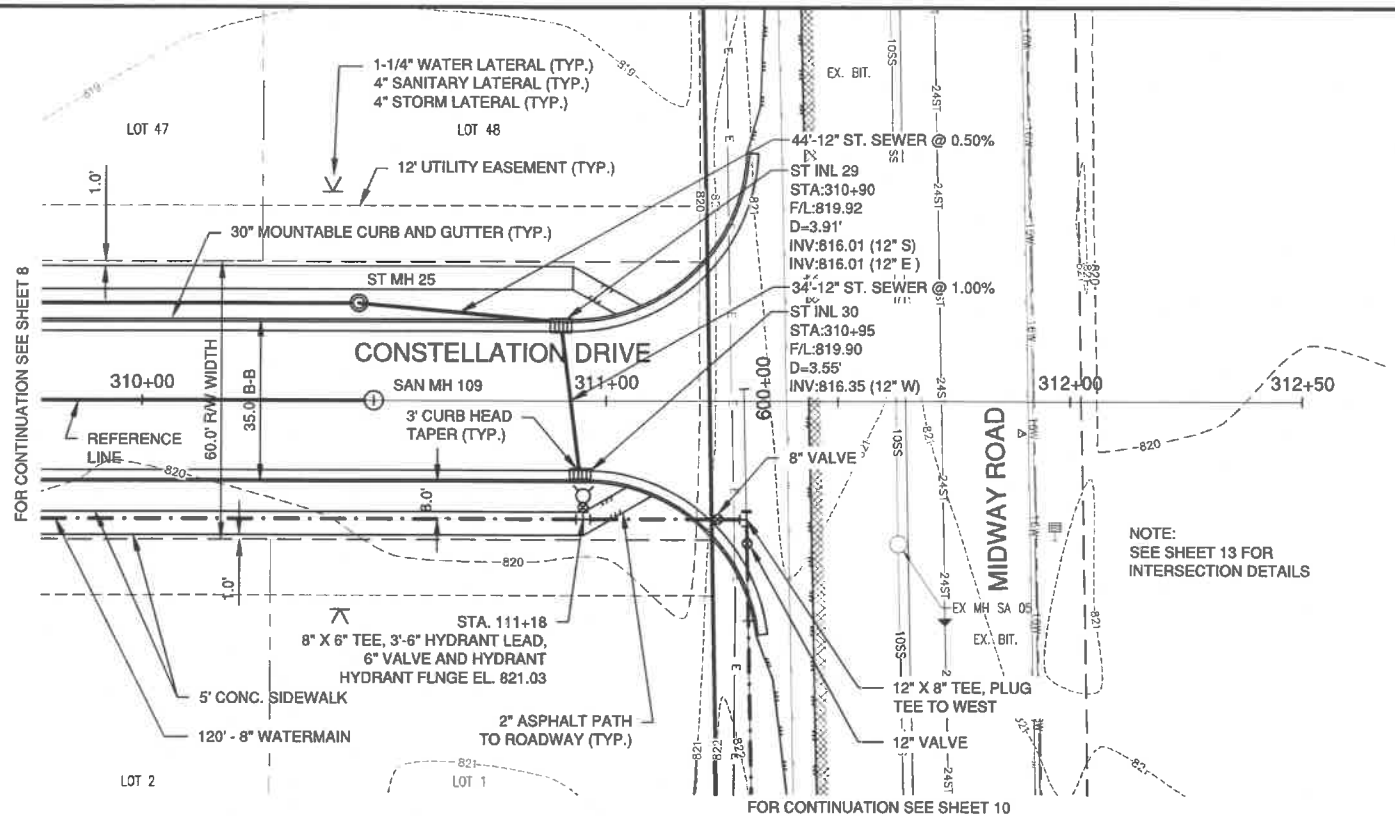
CONSTELLATION DRIVE  
 STA. 305+00 TO STA. 310+00

DATE: 09/20/20  
 FILE: A CONSTELLATION  
 JOB NO.: 4329121

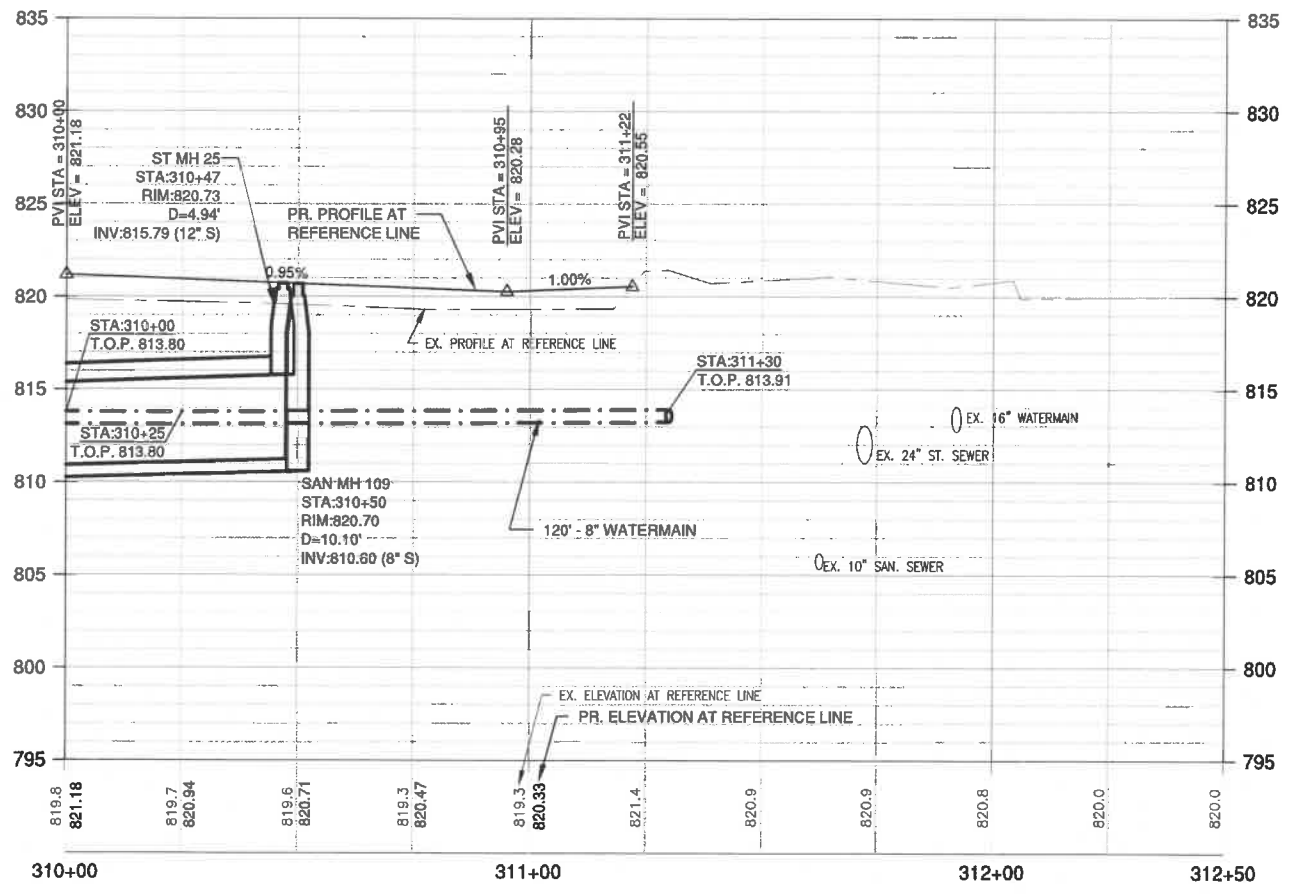
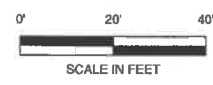
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SHEET NO.  
**8**

**CONFORMED PLAN**



NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



P:\Projects\2020\4329-20-03\Constellation.dwg  
 Plot Date: 09/20/20  
 Layout: CONST\_3

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
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2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

CONSTELLATION DRIVE  
 STA. 310+00 TO STA. 312+50

DATE  
 09/20/20  
 FILE  
 A CONSTELLATION  
 JOB NO.  
 4329121

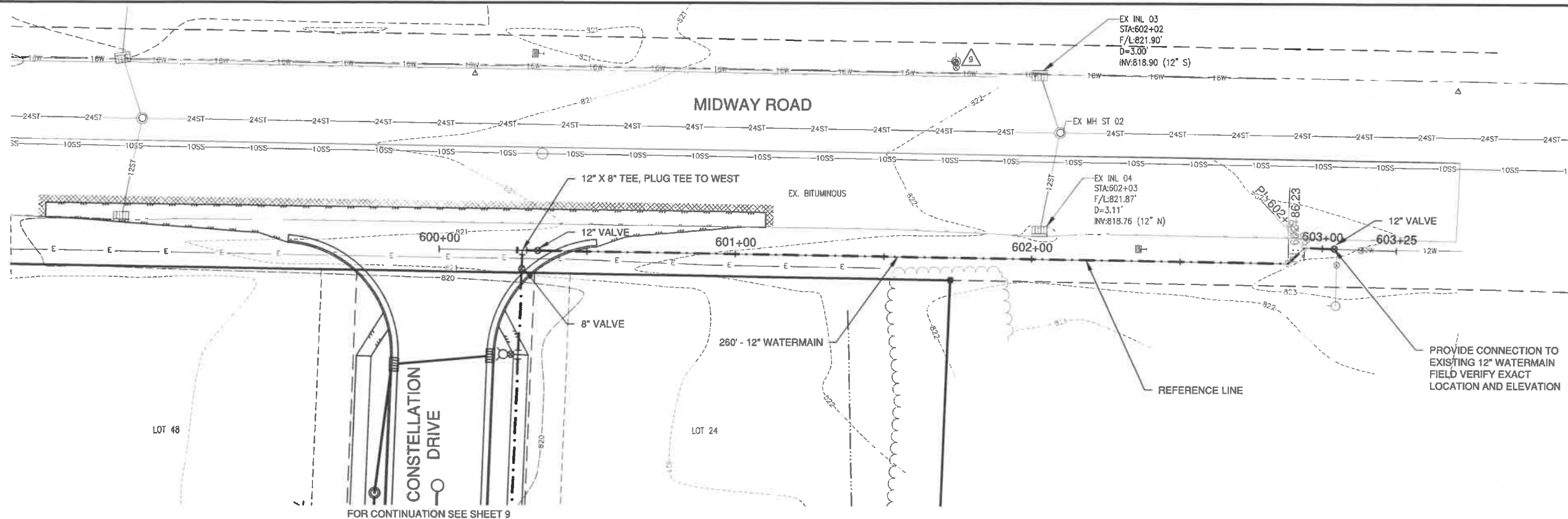


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SHEET NO.  
**9**

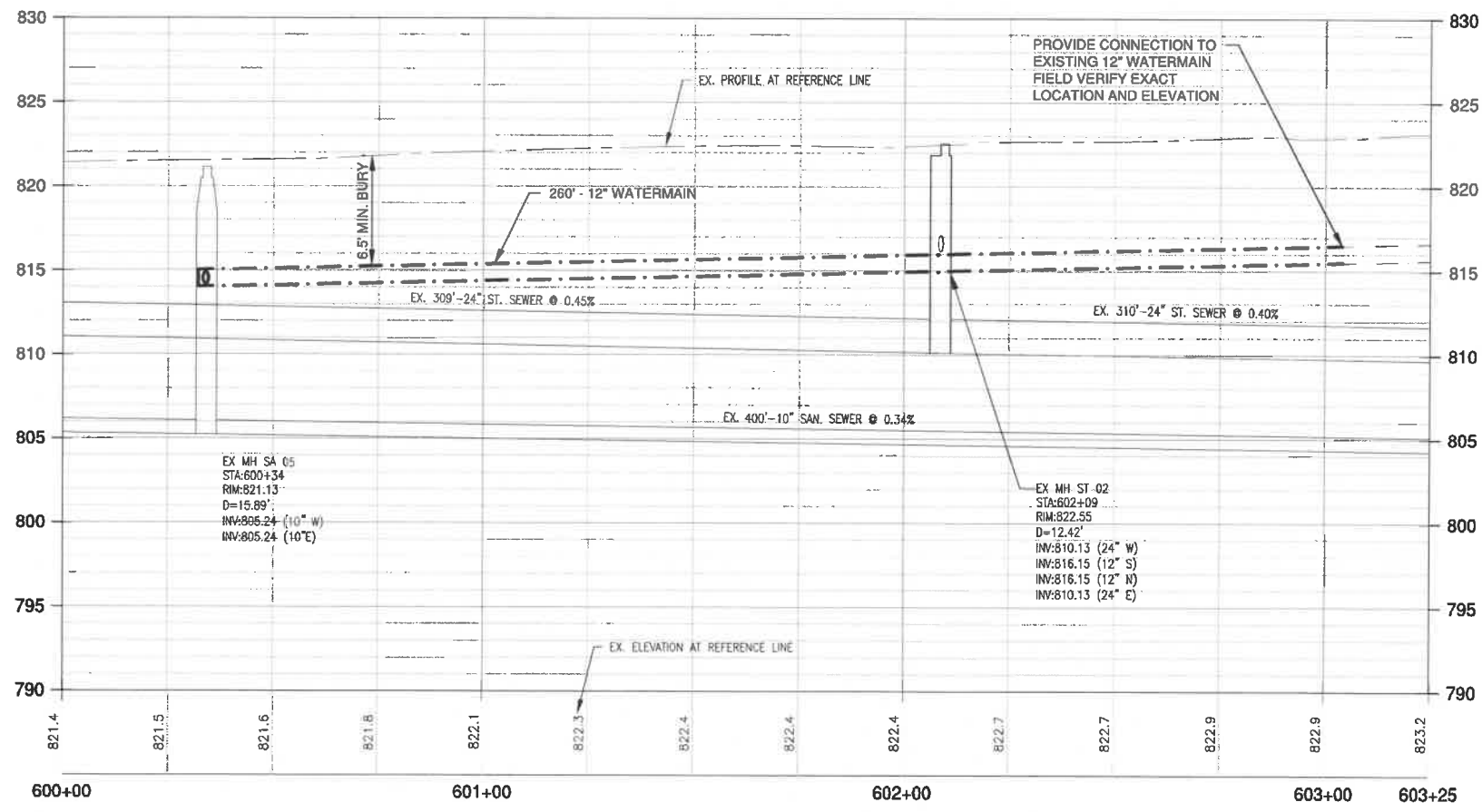
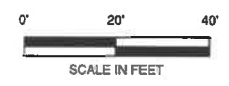
*CONFORMED PLAN*





BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.
NO.	DESCRIPTION	EL.
9	TAG BOLT ON FIRE HYDRANT	824.30

NOTE:  
ALL WATER SERVICES CROSSING  
STORM SEWER SHALL BE  
INSTALLED AT 1.5' MIN. BELOW  
STORM SEWER.



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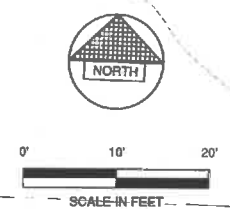
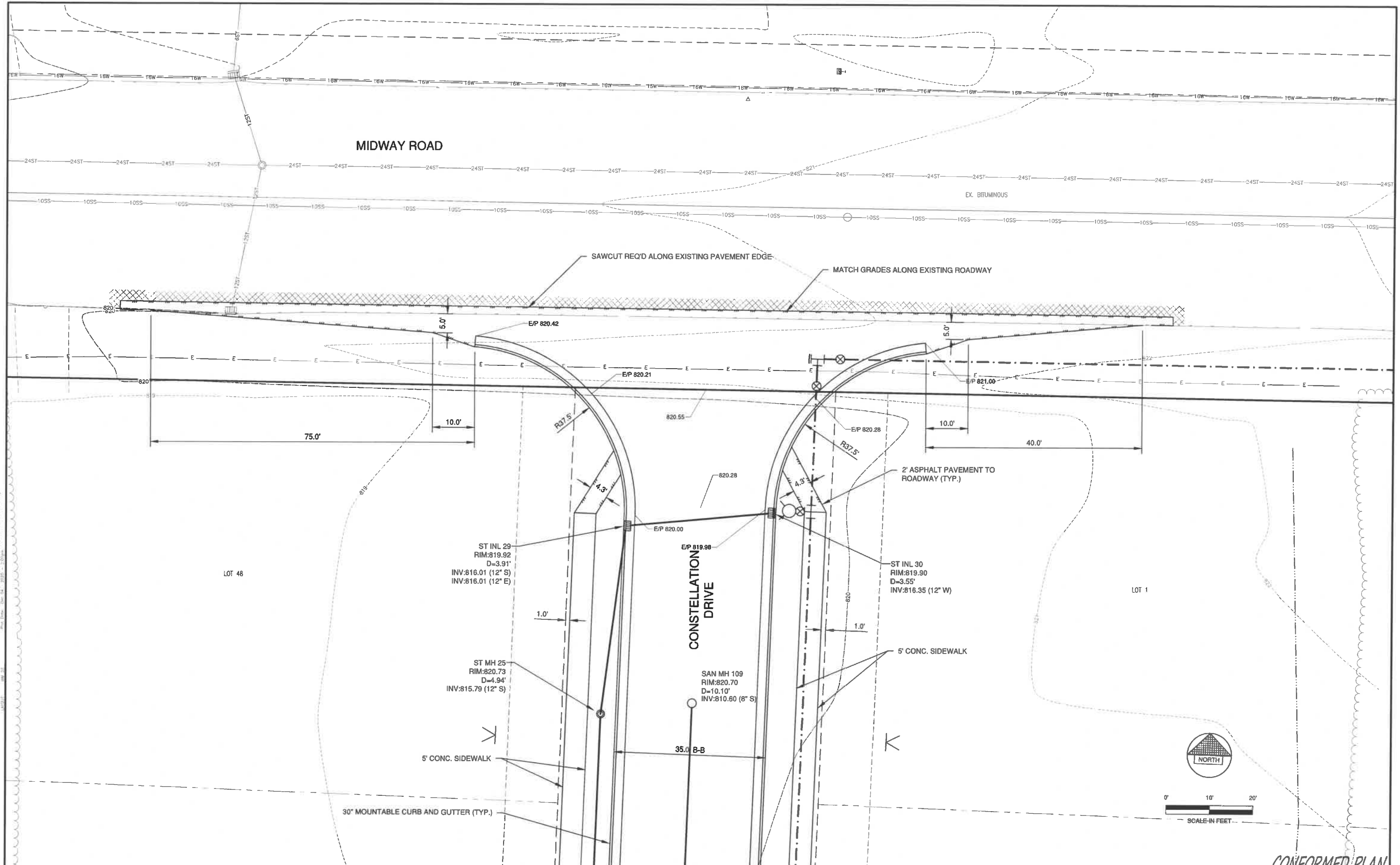
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2	12/04/2020	AJB	CONSTRUCTION PLAN SET					CHECKED	VILLAGE OF HARRISON	FILE	
								JGS	CALUMET COUNTY, WISCONSIN	A.W.M. MIDWAY	
								DESIGNED	MIDWAY ROAD	JOB NO.	
								AJB	STA. 600+00 TO STA. 603+25	4329121	

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CONFORMED PLAN







**CONFORMED PLAN**

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
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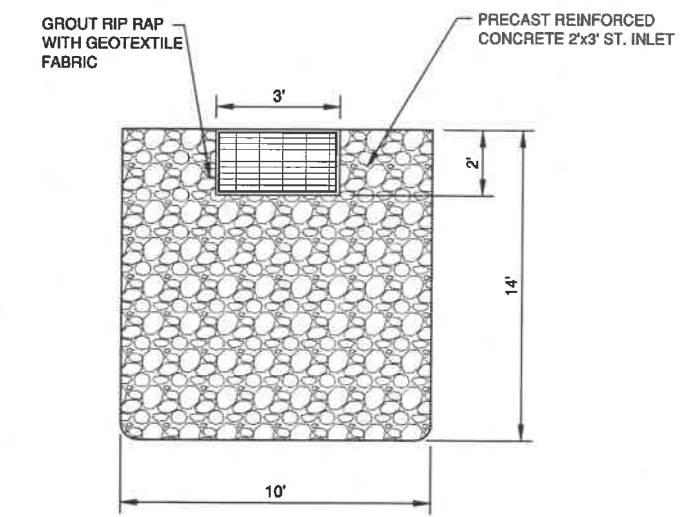
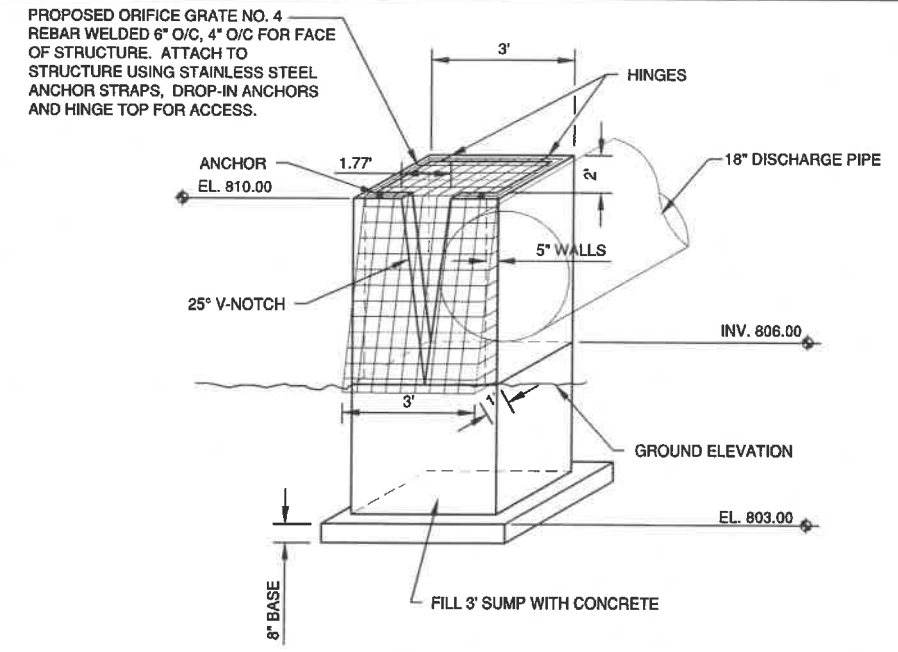
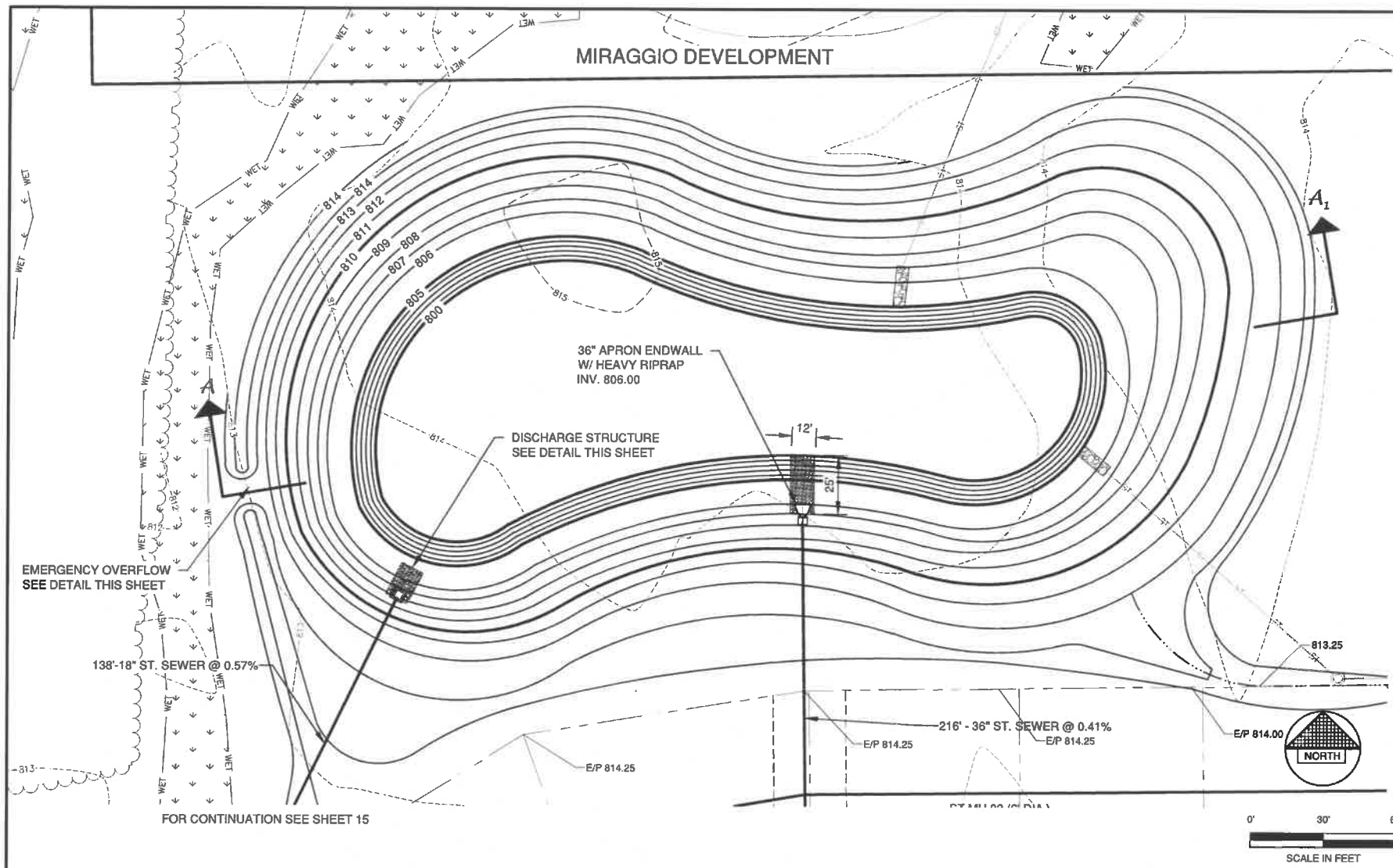
CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

MIDWAY ROAD/CONSTELLATION DRIVE  
 INTERSECTION

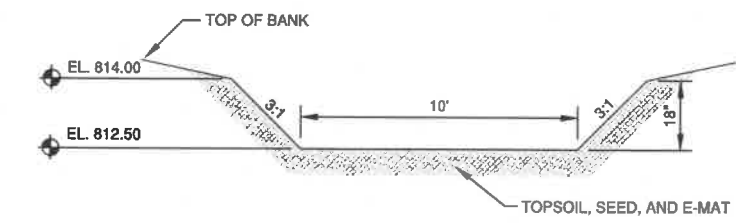
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10/20/20  
 FILE  
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 JOB NO.  
4329121

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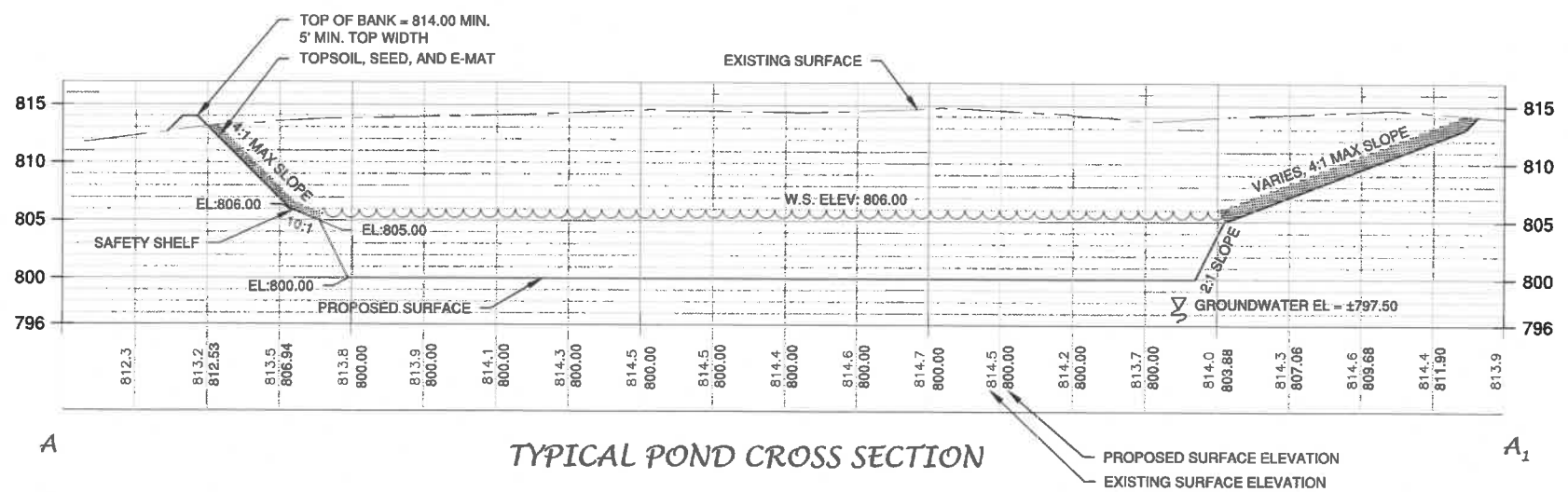
SHEET NO.  
**13**



DISCHARGE STRUCTURE DETAIL



EMERGENCY OVERFLOW STRUCTURE DETAIL



TYPICAL POND CROSS SECTION

**NOTE**

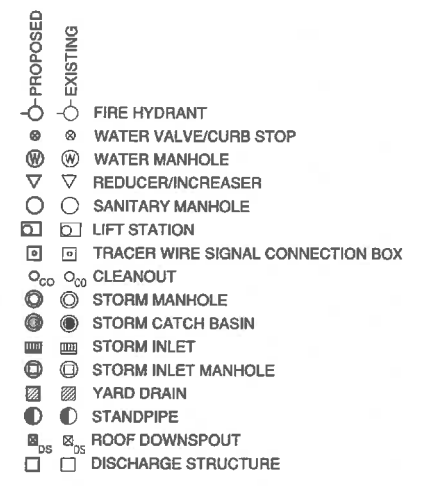
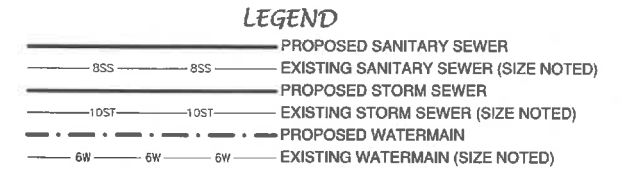
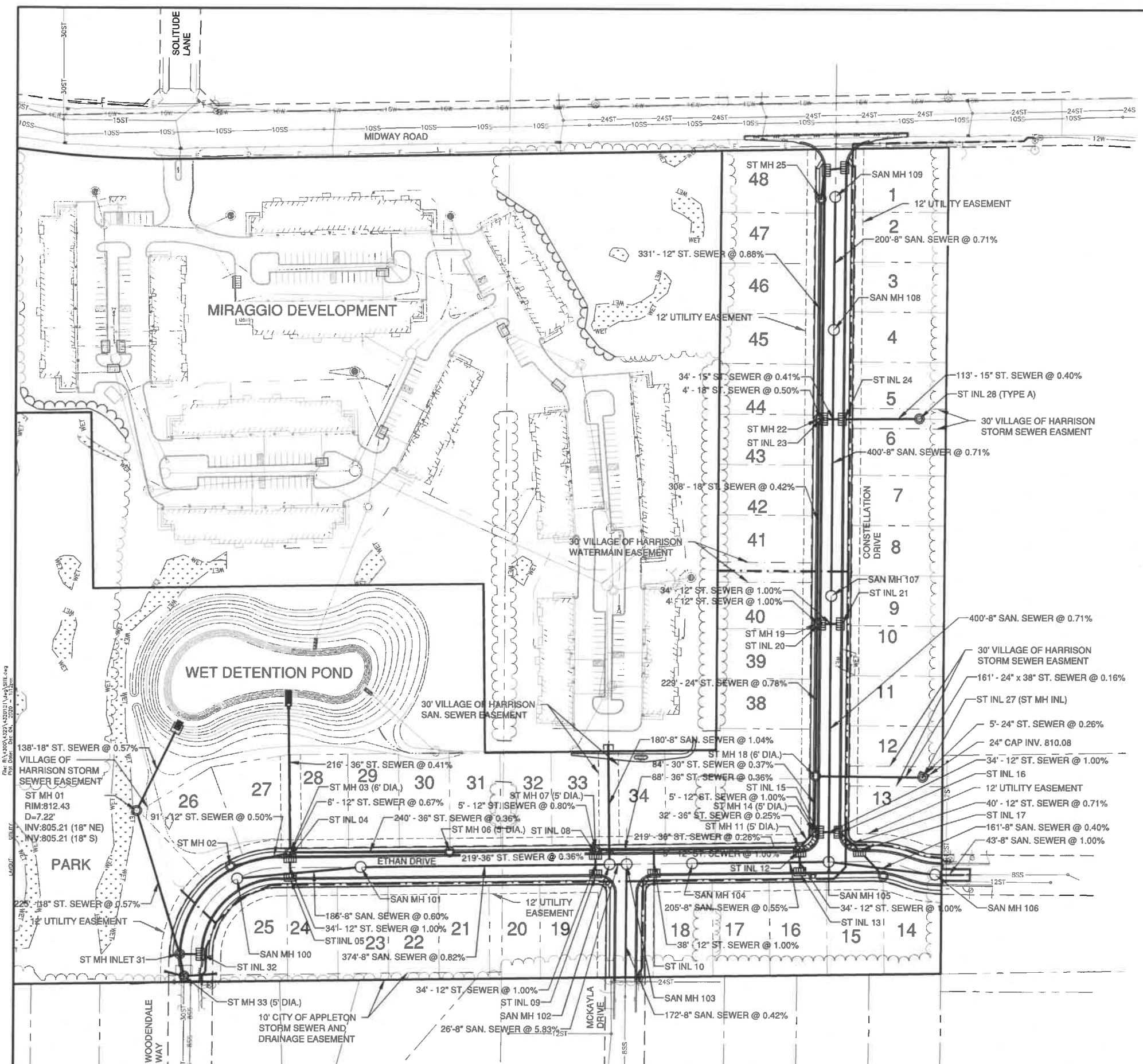
1. THE EARTHWORK CONTRACTOR FOR THE MIRAGGIO DEVELOPMENT WILL BE RESPONSIBLE FOR STRIPPING TOPSOIL FROM THE POND AREA, EXCAVATING, AND SHAPING THE PROPOSED POND TO FINAL SUB-GRADE ELEVATION. ENOUGH TOPSOIL TO TOPSOIL THE POND SHALL BE LEFT IN A STOCKPILE IMMEDIATELY EAST OF THE POND. EXCESS TOPSOIL SHALL BE STOCKPILED NEAR BUILDING 12 WITHIN THE MIRAGGIO DEVELOPMENT
2. THE STARGAZER ESTATES EARTHWORK CONTRACTOR SHALL RESTORE POND AREA BY SPREADING AND FINE GRADING STOCKPILED TOPSOIL TO FINAL POND GRADES AND SEEDING, FERTILIZING, AND INSTALLING EROSION MAT. STARGAZER ESTATES CONTRACTOR MAY OVER-EXCAVATE POND AS NEEDED TO ACQUIRE FILL FOR ROADWAY CONSTRUCTION.

YEAR STORM	PEAK WATER SURFACE ELEVATION
1-YEAR	808.10
2-YEAR	808.51
10-YEAR	809.95
100-YEAR	812.63

**POND CONSTRUCTION NOTE**

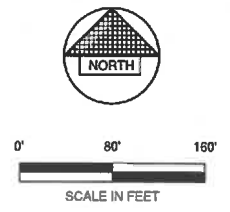
CONTRACTOR TO VERIFY EXISTING SOILS WITHIN POND EXCAVATION. IF SOILS OTHER THAN CLAY WITH A HYDRAULIC CONDUCTIVITY OF  $1 \times 10^{-7}$  cm/sec OR LESS ARE ENCOUNTERED, A TWO FOOT CLAY LINER WILL BE REQUIRED AND INSTALLED PER WDNR TECHNICAL STANDARD 1001.





**NOTE**

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	11/18/2020	AJB	ADDENDA NO. 1				
2	12/04/2020	AJB	CONSTRUCTION PLAN SET				

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

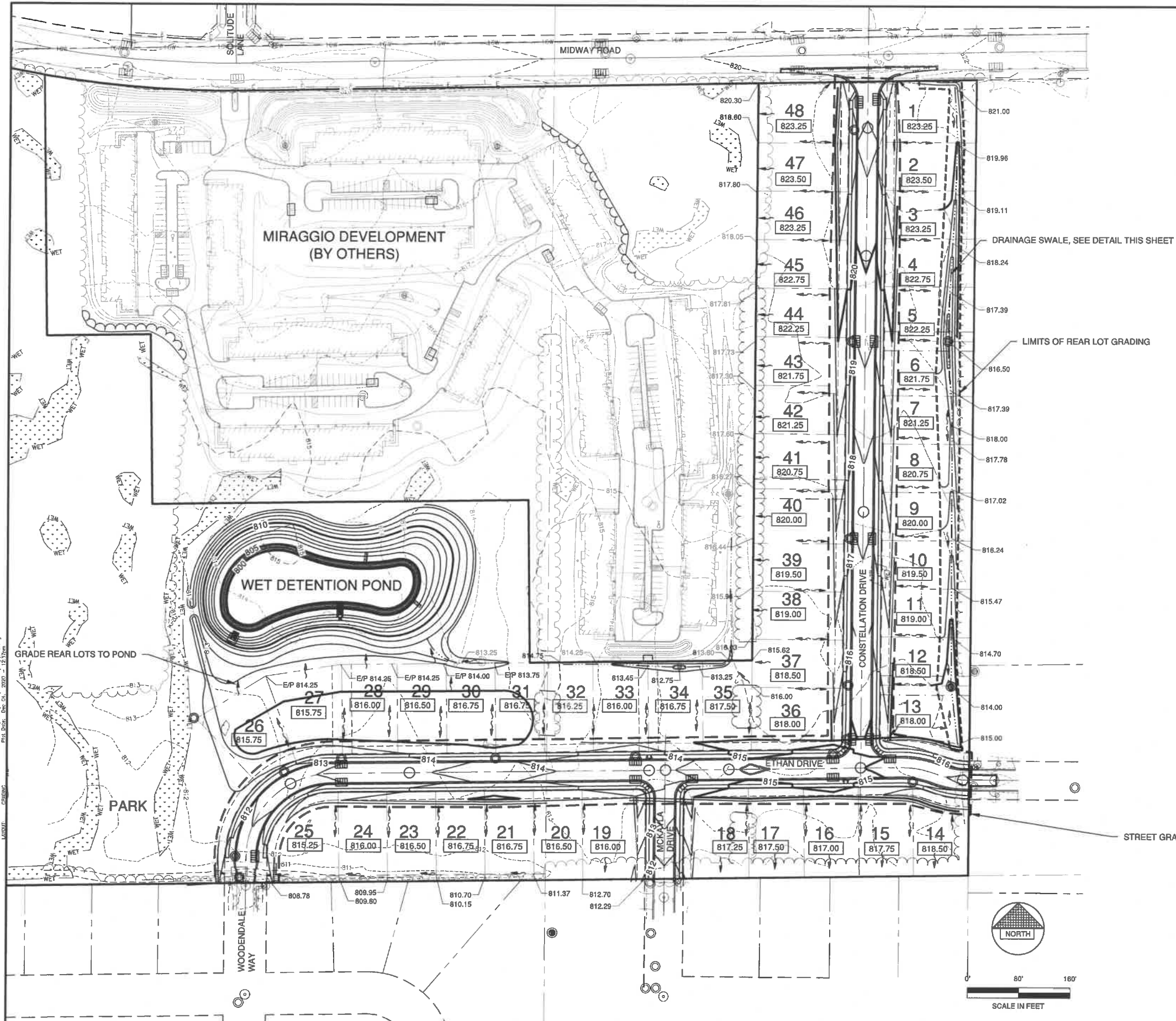
OVERALL UTILITY PLAN

DATE: 10/20/20  
 FILE:  
 SITE:  
 JOB NO.: 4329121

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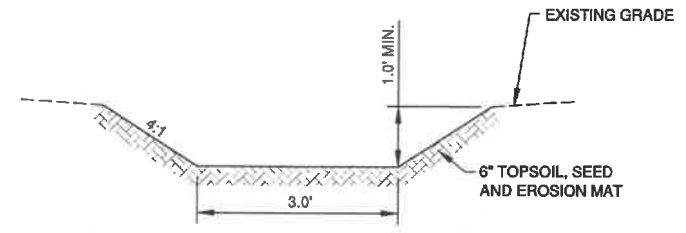
SHEET NO. **15**

CONFORMED PLAN



**LEGEND**

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW



**TYPICAL SWALE DETAIL**

NOTE:  
ALL PROPERTY OWNERS ARE REQUIRED TO MAINTAIN THE DITCH AND LOT CORNER ELEVATIONS AS SHOWN ON THIS PLAN, AS WELL AS MAINTAIN ALL DITCH VEGETATION.

File: B:\WORK\2020\STARGAZER\CONSTRUCTION PLAN SET.dwg  
 Plot Date: Dec 04, 2020 - 12:37pm  
 LAYOUT: PENDING

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
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								CHECKED
								JGS
								DESIGNED
								AJB

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

OVERALL GRADING PLAN

DATE	12/20/20
FILE	
SITE	
JOB NO.	4329121

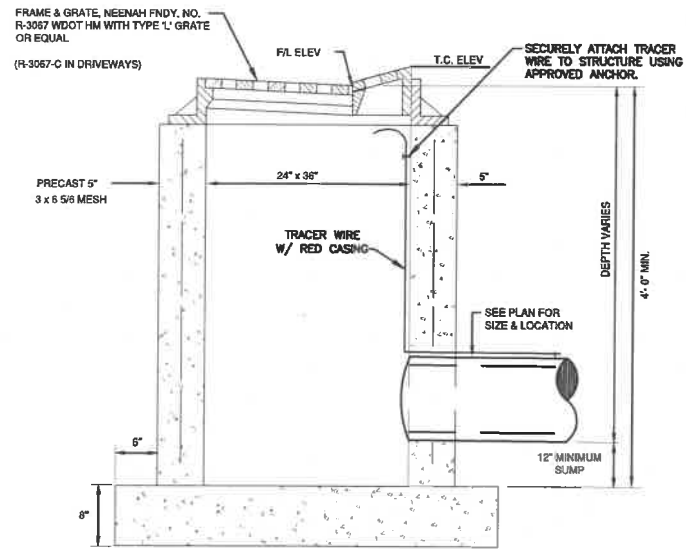
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SHEET NO.  
**16**

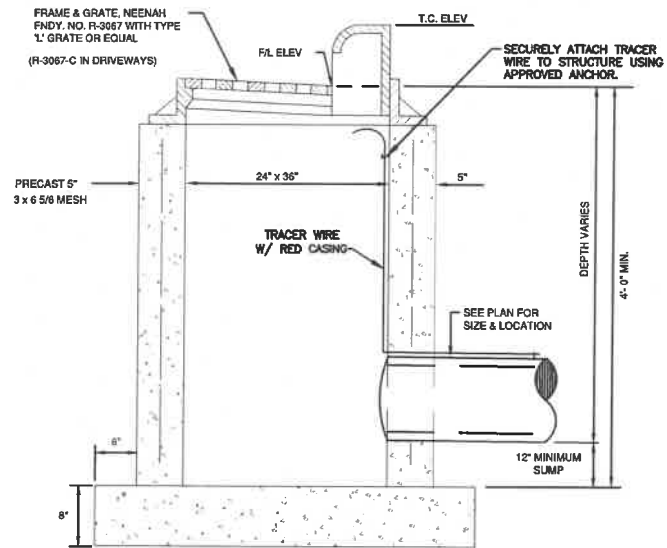
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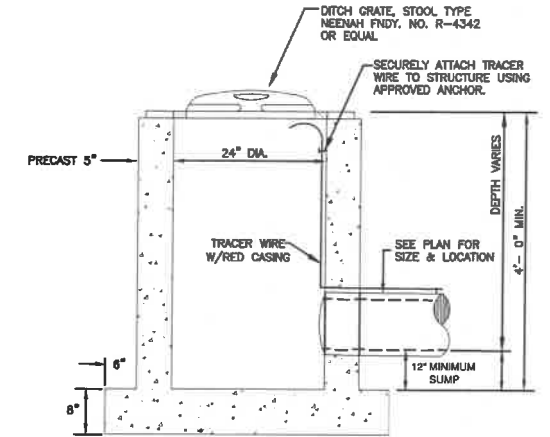




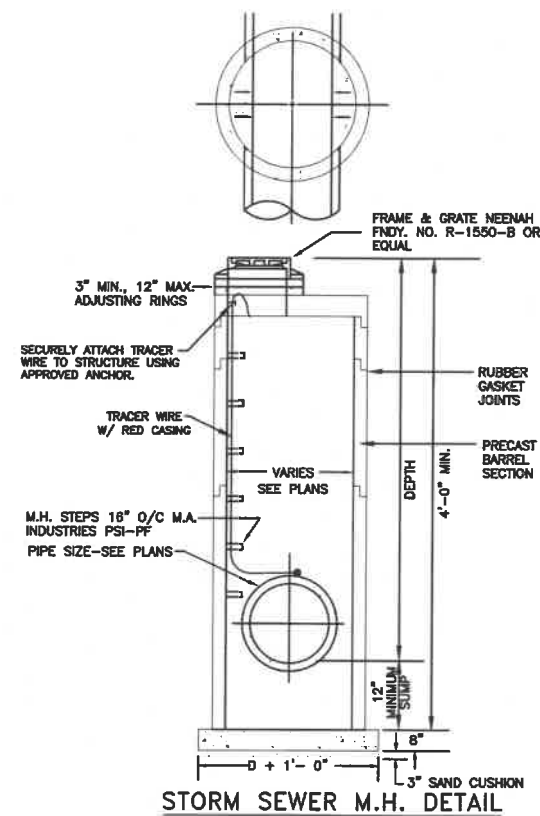
**STORM SEWER CATCH BASIN**  
(FOR 30" MOUNTABLE CURB & GUTTER)



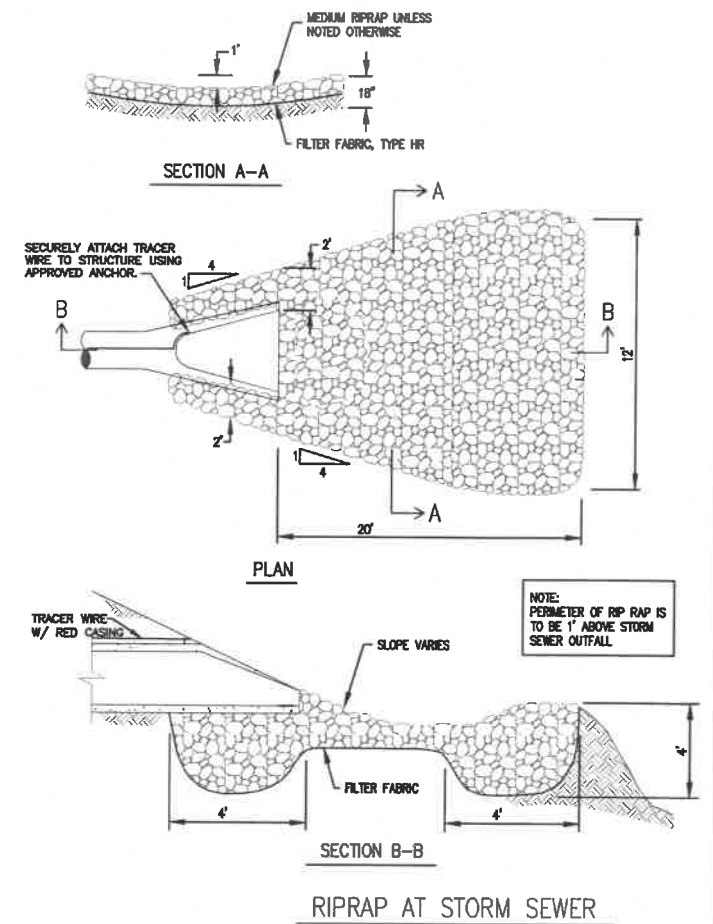
**STORM SEWER CATCH BASIN**  
(FOR 30" BARRIER CURB & GUTTER)



**DITCH INLET/YARD DRAIN**



**STORM SEWER M.H. DETAIL**



**RIPRAP AT STORM SEWER**

File: R:\ASSETS\2024\2024-03\2024-03-20\2024-03-20.dwg  
 Plot Date: 03/20/2024 10:30:00 AM  
 Layout: DETAILS - 11

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
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								CHECKED
								JGS
								DESIGNED
								AJB

CONTRACT NO. 4329-20-03  
 STARGAZER ESTATES  
 VILLAGE OF HARRISON  
 CALUMET COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

DATE  
 03/20/20  
 FILE  
 DETAILS  
 JOB NO.  
 4329121

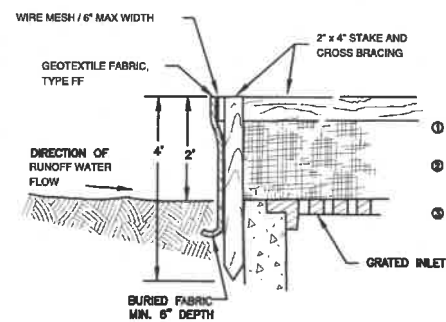
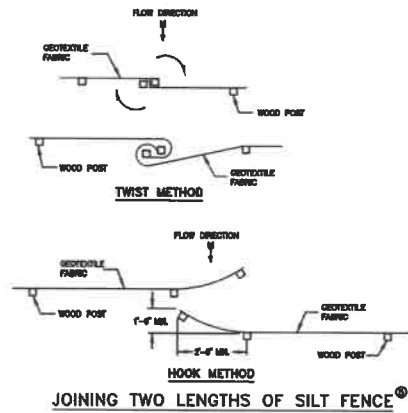
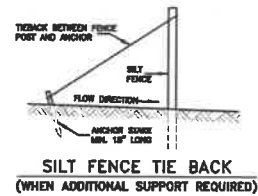
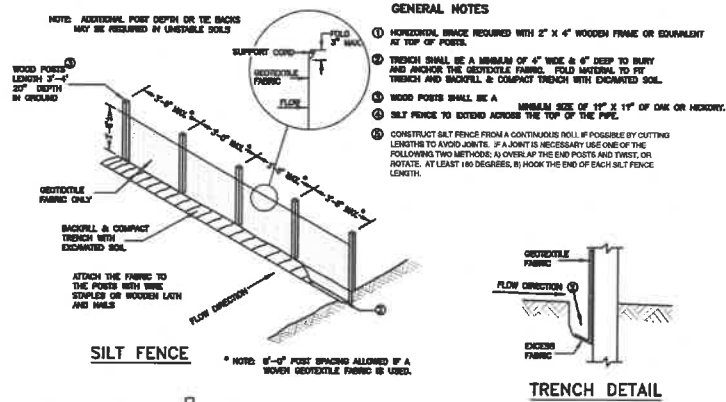

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SHEET NO.  
**18**

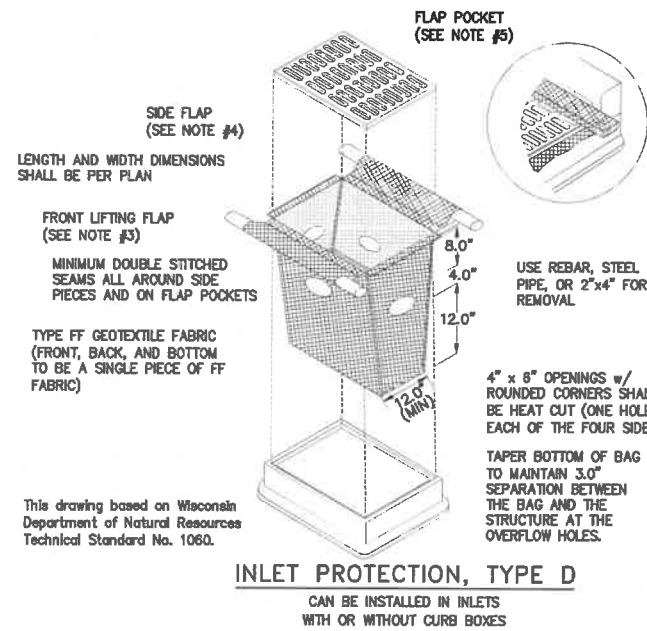
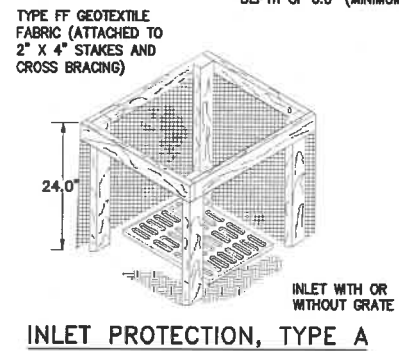
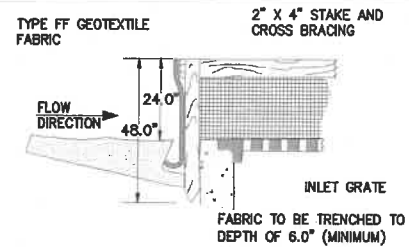
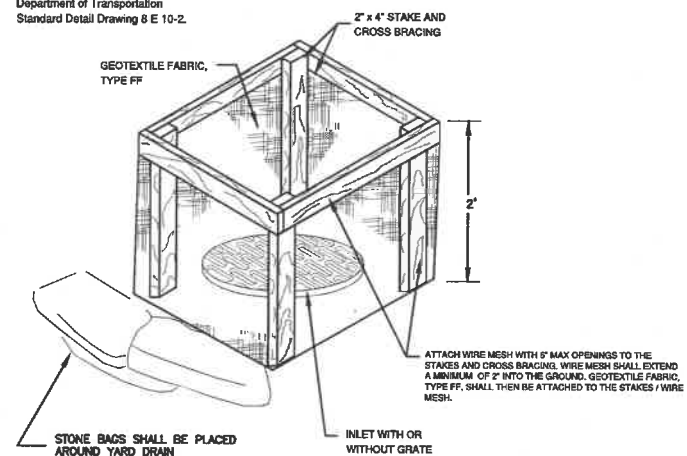
*CONFORMED PLAN*



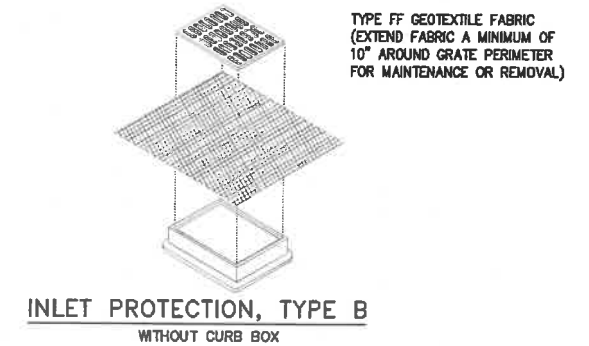
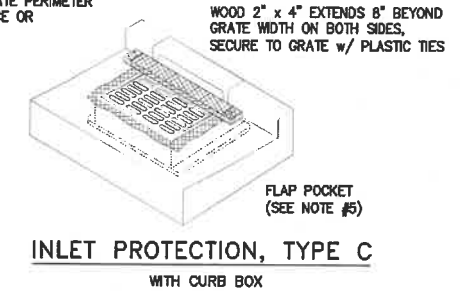




This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.



TYPE FF GEOTEXTILE FABRIC (EXTEND FABRIC A MINIMUM OF 10" AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL)



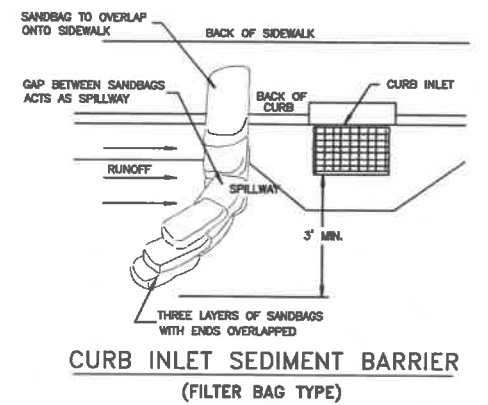
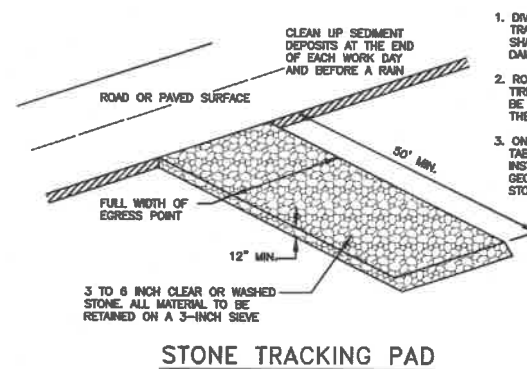
This drawing based on Wisconsin Department of Natural Resources Technical Standard No. 1060.

**MAINTENANCE NOTES**

- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.
- TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
- GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
- FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
- SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**GENERAL NOTES**

- DIVERT FLOW AWAY FROM TRACKING PAD USING CULVERTS, SHALLOW TRENCH OR DIVERSION DAM.
- ROCKS LODGED BETWEEN THE TIRES OF DUAL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE SITE.
- ON SITES WITH A HIGH WATER TABLE OR SATURATED SOILS, INSTALL A DOT TYPE R GEOTEXTILE FABRIC UNDER STONE TRACKING PAD.



The RANSON DATA STORED IN High Detail.dwg Plot Date: Dec 03, 2020 1:23pm

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/04/2020	AJB	CONSTRUCTION PLAN SET					RLB
								CHECKED
								JGS
								DESIGNED
								AJB

CONTRACT NO. 4329-20-03  
STARGAZER ESTATES  
VILLAGE OF HARRISON  
CALUMET COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

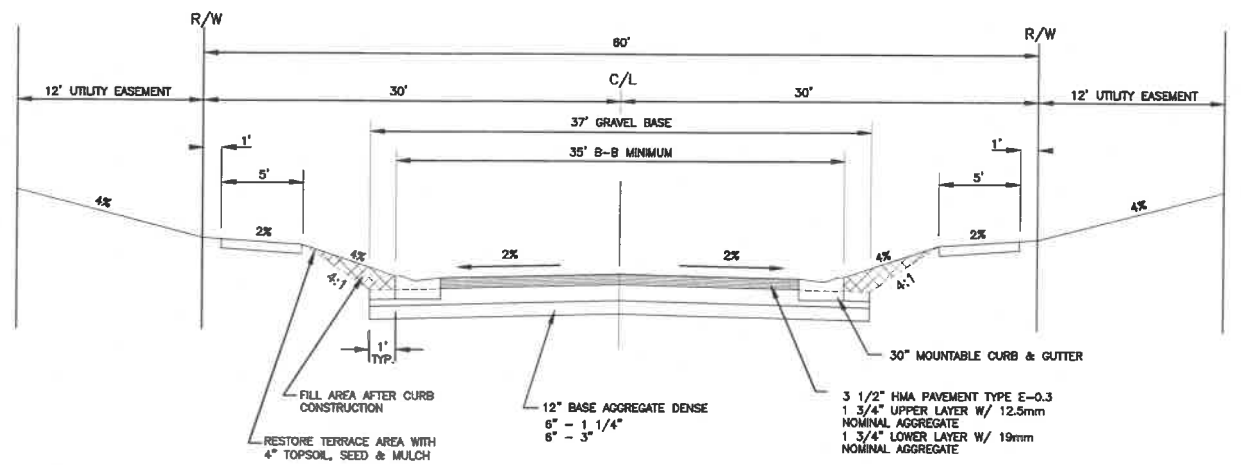
DATE 09/20/20  
FILE  
DETAILS  
JOB NO. 4329121

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SHEET NO. 21

CONFORMED PLAN





**HARRISON**  
**URBAN LOCAL STREET SECTION**  
(SANITARY DISTRICT DEVELOPMENTS)

P:\Projects\2020\4329-20-03\Drawings\4329-20-03-23.dwg  
 Plot Date: Dec 03, 2020 1:35:00pm  
 LAYOUT DETAILS

*CONFORMED PLAN*

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	12/04/2020	AJB	CONSTRUCTION PLAN SET				

DRAWN RLB CHECKED JGS DESIGNED AJB	CONTRACT NO. 4329-20-03 STARGAZER ESTATES VILLAGE OF HARRISON CALUMET COUNTY, WISCONSIN	MISCELLANEOUS DETAILS	DATE 06/29/20 FILE DETAILS JOB NO. 4329121	<b>Robert E. Lee &amp; Associates, Inc.</b> ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-662-9641 www.releeinc.com	SHEET NO. <span style="font-size: 1.5em; font-weight: bold;">23</span>
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**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

December 22, 2020

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**Title:**

Zoning Text Amendments – Climate/Temperature Controlled Storage Facilities

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**Issue:**

Should the Plan Commission recommend approval of an ordinance amendment to allow Climate/Temperature Controlled Storage Facilities as a conditional use in the Community Commercial [CC] zoning district?

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**Background and Additional Information:**

At the last Plan Commission meeting, the Commission heard a proposal regarding an indoor climate controlled storage facility to be located along County Road KK on property that is currently zoned Office & Retail Commercial [COR]. The current zoning classifies all storage facilities as mini-warehousing, which is only allowed as a conditional use in the General Agricultural [AG] and Industrial & Manufacturing [IM] zoning districts. As part of the discussion, the Plan Commission thought a distinction could be made between indoor access, climate-controlled storage and typical exterior access, non-controlled storage facilities. The Plan Commission asked staff to develop a zoning text amendment to allow for indoor access, climate-controlled storage facilities as a conditional use in the commercial zoning district.

Staff reviewed the information regarding the different types of storage facilities (climate-controlled, temperature-controlled, and mini-warehousing). Staff finds that the appropriate zoning district for indoor access, climate- or temperature-controlled storage is the Community Commercial [CC] zoning district which is intended to serve a large consumer population with a wide range of developments. The below language in underline italics is proposed.

*[Topic: Climate/Temperature Controlled Storage Facilities]*

*[Add]*

**Sec. 117-88. – Community Commercial District (CC).**

(d) Conditional Uses and Structures.

(22) *Storage, Climate Controlled or Temperature Controlled, indoor access only.*

*[Add]*

**Sec. 117-428. – Words and terms defined.**

*Storage, Climate Controlled. A self-storage facility with indoor storage units with interior access that manages both temperature and humidity levels, with a maintained temperature range of 55 to 80 degrees Fahrenheit with a max relative humidity of 55%.*

Storage, Temperature Controlled. A self-storage facility that manages only temperature of storage units. Typically provides heat only. Interior and exterior access.

Storage, mini-warehousing: A self-storage facility with storage space at ambient (outside) temperature with exterior access.

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**Recommended Action:**

Staff recommends the proposed zoning text changes be forwarded to the Village Board for approval and adoption into the zoning ordinance.

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**Attachments:** None



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**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

December 22, 2020

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**Title:**

Disc. Item – Mini-warehousing Storage

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**Issue:**

The Plan Commission is asked to provide feedback on a possible mini warehousing development.

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**Background and Additional Information:**

The developer is interested in developing a mini-warehousing development on a 9-acre parcel on the west side of Pigeon Road, north of the railroad tracks, Tax ID 40154. The property is currently zoned General Agricultural [AG]. Mini-warehousing is a conditional use in the AG zoning district provided the development is outside of the sewer service area. There is currently no access to public sewer & water to the site. There is a stream along the eastern portion of the property. A DNR permit for bridge crossing or disturbance is likely.

The developer is seeking input from the Plan Commission prior to property purchase and plan development. The developer is considering 100-units of building storage and 50-spaces for gated outdoor storage.

Items to consider:

1. Is mini-warehousing the best use of land at this location?
2. Any fencing along roadways or adjacent properties should be visually pleasing, wood or vinyl fencing.
3. Landscaping and screening along Roadways and property lines.
4. Lighting implications on surrounding neighborhoods.
5. Wetland/environmental analysis to determine buildable areas and driveway crossing/access.
6. Stormwater Management facilities and discharge.
7. Concern that businesses will be operated out of the storage buildings.
8. Parking and driveway locations, outdoor storage area size.
9. A Conditional Use Permit was granted in October for mini-warehousing and outdoor storage on a parcel on the south side of the railroad tracks on Pigeon Road.

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**Recommended Action:**

No Action Required. Informal input to the developer is requested.

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**Attachments:**

- Aerial Map
- Seller's Information (price sheet, example development plan, wetland indicator map)

# VACANT LAND FOR SALE

## Hwy 114 & Pigeon Rd.

Harrison, WI 54169



Development & Brokerage

### 54.81 Acres - Prime Hwy Land - Ready for Development

#### POTENTIAL MIXED USE DEVELOPMENT

OFFICE • COMMERCIAL RETAIL • CONVENIENCE • RESIDENTIAL • EDUCATIONAL • MEDICAL

Delaware Office  
Incl. Sherwood plant



- Prime, Vacant, Flat Land
- Excellent visibility on Hwy 114.
- Traffic counts - over 9,494 vehicles per day on Hwy 114.
- 1/2 mile to High Cliff State Park.
- Located in the Village of Harrison (Calumet County).

PRICE **\$24,900 /Acre**

ACRES **54.81 ACRES - CAN BE DIVIDED**

ZONED **A-1**

**GREEN BAY** • 111 N. Washington St. #4C0 Green Bay, WI 54301 (920) 434.7800

**FOX CITIES** • 100 W. Lawrence St #214 • Appleton, WI 54911 (920) 830.9646

**Mike Maedke (920) 360.7100**

**mmaedke@commercialhorizons.com**



# VACANT LAND FOR SALE

Hwy 114 & Pigeon Rd.

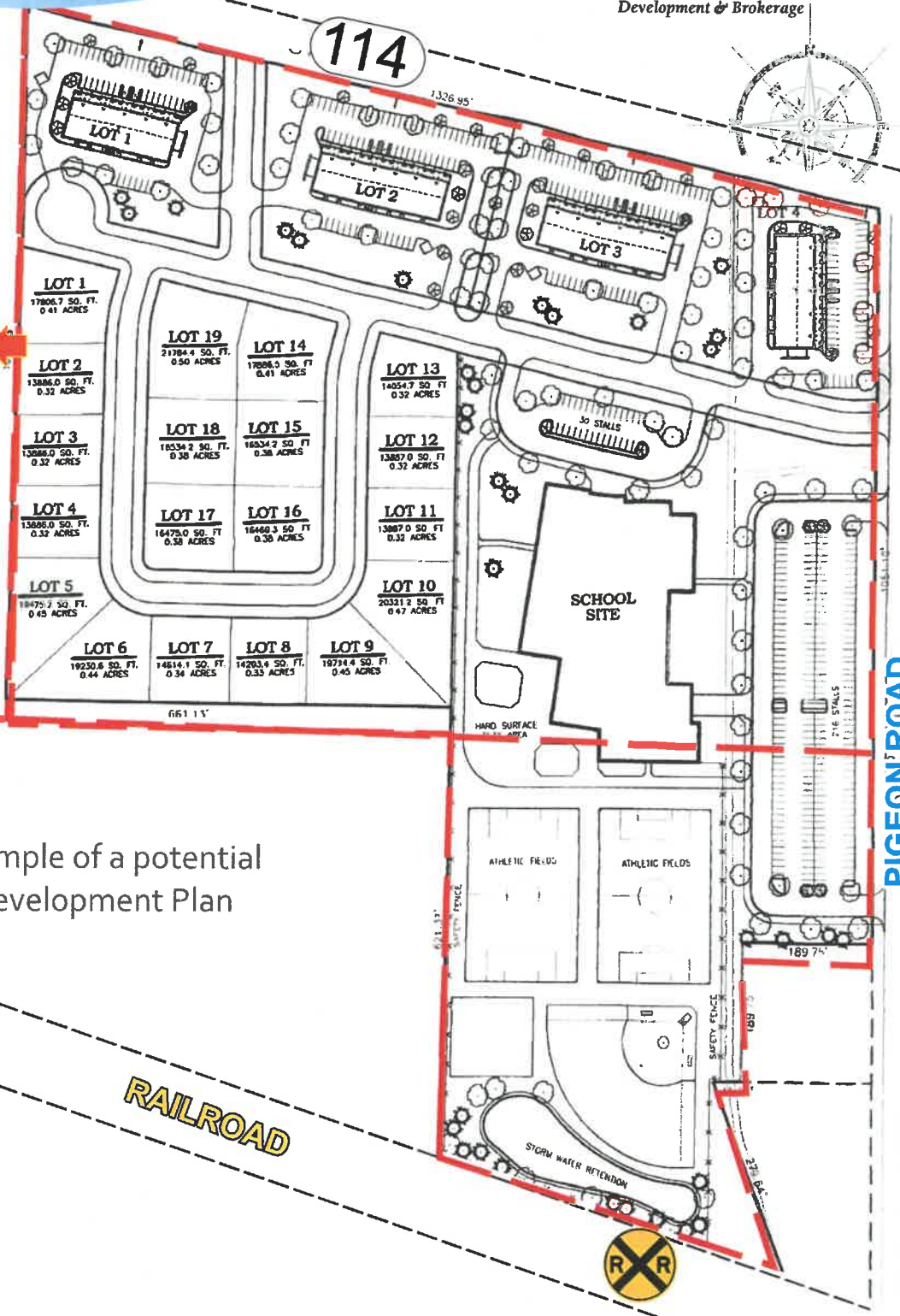
Harrison, WI 54169



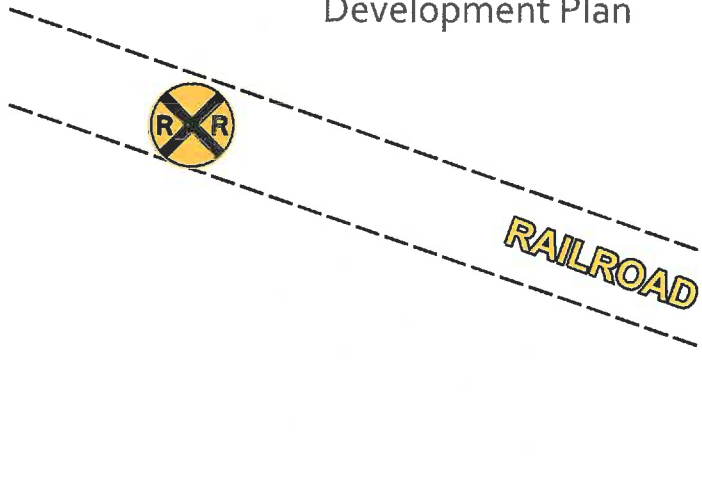
Development & Brokerage



ADDITIONAL  
16.24 AC



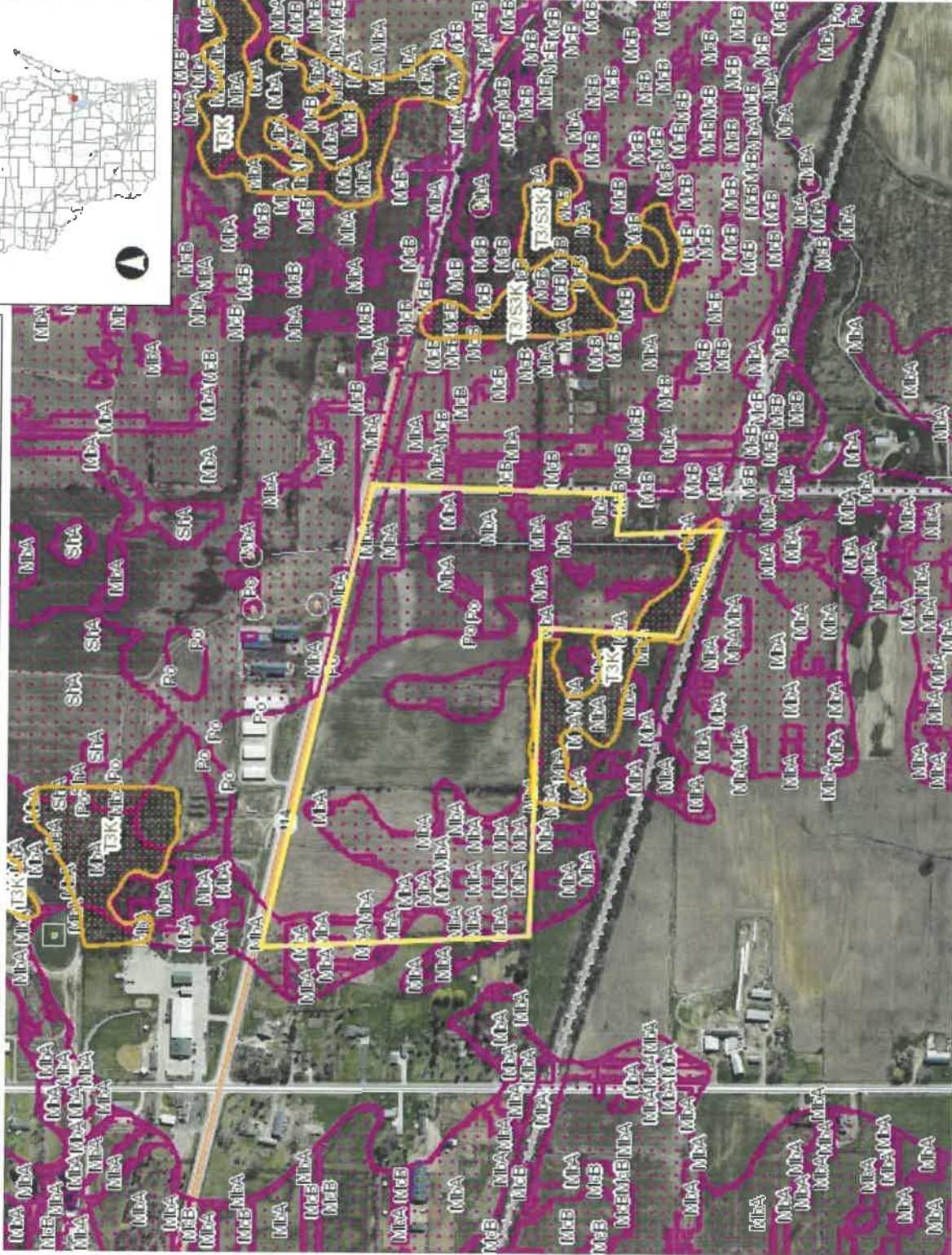
Example of a potential Development Plan







# Surface Water Data Viewer Map



- Legend**
- Wetland Identifications and Confirmations
  - Wetland Class Points
    - Dammed pond
    - Excavated pond
    - Filled excavated pond
    - Filled/draind wetland
    - Wetland too small to delineate
  - Filled Points
  - Wetland Class Areas
    - Wetland
    - Upland
  - Filled Areas
  - Wetland Class Points
    - Dammed pond
    - Excavated pond
    - Filled excavated pond
    - Filled/draind wetland
    - Wetland too small to delineate
  - Filled Points
  - Wetland Class Areas
    - Wetland
    - Upland
  - Filled Areas
  - NRCS Wetspots
  - Maximum Extent Wetland Indicators
  - County Boundary
  - Cities, Towns & Villages
    - City
    - Village
    - Civil Town
  - Municipality
  - State Boundaries
  - County Boundaries

**Notes**

DISCLAIMER: The information shown on these maps has been obtained from various sources, and are of varying age, reliability and resolution. These maps are not intended to be used for navigation, nor are these maps an authoritative source of information about legal land ownership or public access. No warranty, expressed or implied, is made regarding accuracy, applicability for a particular use, completeness, or legality of the information depicted on this map. For more information, see the DNR Legal Notices web page: <http://dnr.wi.gov/legal/>

0.3 Miles

0 0.13

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1: 7,920

NAD\_1983\_HARN\_Wisconsin\_TM

**Village of Harrison  
November-20 Zoning Permit Report**

	Permits	Current Year			
		YTD Permits	Estimated Value	YTD Estimate Value	
<b>Residential</b>					
Single Family	1	76	\$ 264,000	\$ 25,318,118	
Two Family (units)	0	( 0 )	\$ 0	\$ 650,000	
Multi Family (units)	0	( 0 )	\$ 0	\$ 31,500,000	
Additions	1	17	\$ 23,900	\$ 759,573	
Acc. Structures	1	42	\$ 300	\$ 530,550	
Miscellaneous	5	122	\$ 102,800	\$ 1,122,639	
<b>Total Residential</b>	<b>8</b>	<b>261</b>	<b>\$ 391,000</b>	<b>\$ 59,880,880</b>	
<b>Com./Ind.</b>					
New	0	1	\$ 0	\$ 350,000	
Additions	0	1	\$ 0	\$ 16,000	
Acc. Structures	0	2	\$ 0	\$ 51,500	
Miscellaneous	1	6	\$ 15,000	\$ 523,450	
<b>Total Com./Ind.</b>	<b>1</b>	<b>10</b>	<b>\$ 15,000</b>	<b>\$ 940,950</b>	
<b>Combined Total</b>	<b>9</b>	<b>271</b>	<b>\$ 406,000</b>	<b>\$ 60,821,830</b>	

Number of Vacant Lots Remaining  
**146**

	Permits	Previous Year			
		YTD Permits	Estimated Value	YTD Estimate Value	
	3	59	\$ 640,000	\$ 16,973,005	
	0	0	\$ 0	\$ 0	
	0	0	\$ 0	\$ 0	
	2	15	\$ 250,000	\$ 836,077	
	0	26	\$ 0	\$ 407,150	
	3	58	\$ 23,025	\$ 582,395	
	8	158	\$ 913,025	\$ 18,798,627	
	1	3	\$ 167,000	\$ 5,567,000	
	0	0	\$ 0	\$ 0	
	0	0	\$ 0	\$ 0	
	0	4	\$ 0	\$ 70,750	
	1	7	\$ 167,000	\$ 5,637,750	
	9	165	\$ 1,080,025	\$ 24,436,377	