

## PLAN COMMISSION AGENDA

Tuesday, October 29, 2019  
6:00 PM

- 1) Call to Order
- 2) Pledge of Allegiance
- 3) Roll Call
- 4) Public Participation (Non-Agenda Harrison Related Items)  
*Please be advised per State Statute Section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments.*
- 5) Approve Minutes
  - September 24, 2019
- 6) Convene Meeting and Enter Public Hearing: *Due to the larger number of items, the Chair may limit comments to 3 minutes per speaker.*
  - a. Comprehensive Plan Amendment – Premier Real Estate Management, LLC – Friendship Drive
  - b. Zoning Map Amendment – Premier Real Estate Management, LLC – Friendship Drive
  - c. Conditional Use Permit – Premier Real Estate Management, LLC – Friendship Drive
  - d. Comprehensive Plan Amendment – Southtowne Place – Manitowoc Road
  - e. Zoning Map Amendment – Southtowne Place – Manitowoc Road
  - f. Comprehensive Plan Amendment – Novotny/Sweere – County KK
  - g. Zoning Map Amendment – Novotny/Sweere – County KK
  - h. Official Map Amendment – Novotny/Sweere – County KK
  - i. Zoning Map Amendment – Kimberly Heights 4 – Schmidt Road
  - j. Conditional Use Permit – Bill’s Custom Conveying – Hwy 114
  - k. Zoning Text Amendment – Driveway Openings
  - l. Zoning Text Amendment – Drainage Easements
- 7) Close Public Hearing and Reconvene Regular Meeting
- 8) Items for Discussion and Possible Action
  - a. Certified Survey Map – Hopfensperger – W4958 Schmidt Road
  - b. Certified Survey Map – Mueller – Pigeon Road
  - c. Plan Commission Resolution 2019-02 – Premier Real Estate Management, LLC – Friendship Drive

- d. Zoning Map Amendment – Premier Real Estate Management, LLC – Friendship Drive
- e. Special Exception to Design Standards – Premier Real Estate Management, LLC – Friendship Drive
- f. Conditional Use Permit – Premier Real Estate Management, LLC – Friendship Drive
- g. Plan Commission Resolution 2019-03 – Southtowne Place – Manitowoc Road
- h. Zoning Map Amendment – Southtowne Place – Manitowoc Road
- i. Plan Commission Resolution 2019-04 – Novotny/Sweere – County KK
- j. Zoning Map Amendment – Novotny/Sweere – County KK
- k. Amy Avenue Extension – Novotny/Sweere – County KK
- l. Certified Survey Map – Novotny/Sweere – County KK
- m. Zoning Map Amendment – Kimberly Heights 4 – Schmidt Road
- n. Certified Survey Map – Kimberly Heights 4 – Schmidt Road
- o. Conditional Use Permit – Bill's Custom Conveying – Hwy 114
- p. Zoning Text Amendment – Driveway Openings
- q. Zoning Text Amendment – Drainage Easements

9) Items for Discussion

- a. Report: Zoning Permits

10) Set Next Meeting Date

- Tentatively November 26, 2019 at 6:00pm

11) Adjourn

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting. As such, a quorum of the Village Board, Zoning Board of Appeals, or Committees may be in attendance. However, the only business to be conducted is for the Plan Commission.

Posted: October 22, 2019

PLAN COMMISSION  
MEETING MINUTES – September 24 2019

- 1) Call to Order: The meeting was called to order in the Harrison Municipal Building by Chairman Hietpas at 6pm.
- 2) Pledge of Allegiance: The Pledge was recited.
- 3) Roll Call: Members present were: Jim Fochs, Jim Lincoln, Buddy Lisowe, Kevin Hietpas, Pat Hennessey, and Dennis Reed. Darlene Bartlein was excused.

Staff Present: Mark Mommaerts, Planner; Carie Krause, Deputy Clerk - Treasurer

- 4) Public Participation: None.
- 5) Approve Minutes: Motion (Lisowe/Fochs) to approve the minutes of August 27 2019.  
Motion carried 6-0.
- 6) Convene Meeting and Enter Public Hearing at 6:02pm
  - a) Conditional Use Permit – Uecker Investments – W4954 Highline Road: Planner Mommaerts introduced the item stating the applicant is proposing an 8-building, multi-tenant development for the property at W4954 Highline Road. The applicant currently operates a construction business out of the existing buildings on the site in the southwest corner of the property. The proposal calls for up to 8-buildings in 2 phases. Phase 1 is proposed to include 5-buildings on surrounding the existing buildings on the western portion of the property. Phase 2 includes 3-buildings on the eastern portion of the property along Hwy 55.

Each new building is proposed to be 60-feet by 200-feet, 12,000-square feet in area. Each building has the potential for 1-8 units, depending on the size needs of the tenant. The middle 2 buildings are proposed to be pull throughs, with overhead doors on each side. Access is proposed off Highline Road. Stormwater management is proposed along Highline Road. An extension of the existing vegetative buffer is proposed along the north side for screening. The applicant is proposing hours of operation from 7am-7pm Monday through Friday and 7am-3pm on Saturdays. The applicant is also requesting outside storage of licensed vehicles and trailers and outside storage of materials if they are screen from public view.

Currently, the site operates on a private sanitary system. The area is within the Darboy Sanitary District sewer service area, but public sewer and water is not currently adjacent to the property. Sewer and water are approximately 1,500 feet away near the Little Chicago restaurant. There is a development under consideration on Parcel Nos 38988 & 39024 that will bring sewer & water closer to this site. Additionally, Darboy Sanitary District has been working with property owners in the area to extend sewer & water to this site.

The applicant is requesting a zoning map amendment (rezoning) for this property so that light manufacturing uses can be permitted.

**Findings of Fact:**

According to Section 117-319 of the Harrison Zoning Ordinance, no Conditional Use Permit shall be recommended by the Plan Commission, or approved by the Village Board, unless it shall find all of the following criteria have been met. The applicant's failure to satisfy the criteria, or any other applicable requirement, shall be deemed grounds to deny the Conditional Use Permit.

1. Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of the zoning ordinance. *Staff finds that the proposal conforms to the BP zoning district being requested by the applicant via the zoning map amendment process.*
2. Plans. The proposed use conforms to the Harrison Comprehensive Plan and any other officially adopted town plan. *Staff finds that the proposed development of a mix of retail, trade and contractor offices, and light manufacturing uses comply with the commercial designation of the Comprehensive Plan's future land use map.*
3. Traffic. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. *Staff finds that all road access is from Highline Road and the number of driveways is minimized. Combining the existing driveway with the proposed driveway will further limit the number of access points. Highway 55 access is limited and controlled by WisDOT.*
4. Landscaping and screening. Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in Article VI, Access, Parking, and Loading and Article IX, Landscaping and Screening Standards of the zoning ordinance. *Staff finds that the plans illustrate a landscape buffer and appropriate green space. A berm with plantings may be more appropriate than the existing vegetative buffer.*
5. Neighborhood compatibility. The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust. *Staff finds that the proposed development complies with the commercial designation of the Comprehensive Plan's future land use map. The proposed development is similar in nature to other developments in the area. There are existing homes adjacent to the property so adequate buffer and screening needs to be provided.*
6. Services. Adequate facilities, access roads, drainage and/or necessary services have been or will be provided. *Staff finds that stormwater management facilities and roadway access are provided. Consideration of combining the existing driveway with the proposed access should be reviewed. Staff does not have information on sanitary sewer & water facilities. It is unknown if private systems will be installed or if the application will be working with the Darboy Sanitary District to extend public sewer and water facilities. If private systems are installed, approval of the conditional use permit shall be conditioned on all buildings/units hooking up to public sewer & water within 1 year of when available to the site.*



- Property owners within 300-feet of the subject property have been notified via first-class mail.

**Recommended Action:**

Staff recommends approval of the Conditional Use Permit request with the following conditions:

1. A detailed site plan review, pursuant to Article XIII of the zoning ordinance, shall be completed prior to issuance of a zoning permit.
  2. Building materials and design shall be as required in the applicable zoning district as part of the Zoning Ordinance. Deviations from the approved elevations shall require review and approval by the Plan Commission.
  3. No outside storage, including but not limited to materials, equipment, or products, shall be allowed for any business within the development.
  4. A planting landscape buffer, or berm, shall be provided to screen the development from adjacent properties.
  5. All mechanical equipment (ground or roof-mounted) shall be screened from view from a public road.
  6. Access to the development shall be from Highline Road. The existing driveway should be combined with the proposed access or abandoned once the proposed access is built.
  7. The hours of operation for any business within the development shall be limited to 7:00am to 7:00pm Monday through Friday and 7:00am and 3:00pm on Saturdays. The Plan Commission may approve alternate hours upon request from the business.
  8. Only those uses permitted in the applicable zoning district shall be allowed within the development.
  9. A Zoning Certificate of Occupancy shall be required for initial occupancy of a unit or a change of occupancy for each unit to ensure compliance with the zoning ordinance.
  10. Light manufacturing uses may be allowed after a map amendment (rezoning) to an appropriate zoning district has been approved.
  11. All exterior lighting shall be direct cut-off fixtures.
  12. All buildings and all units shall connect to public sewer & water within one year of public sewer & water being available to the site. Connections shall be in accordance with Darboy Sanitary District standards.
  13. All applicable local, County, and State rules, regulations, and ordinances shall be met.
- b) Zoning Map Amendment – Uecker Investments – W4954 Highline Road: Planner Mommaerts introduced the item stating that the applicant is requesting a zoning map amendment (rezoning) to rezone their property from Office & Retail Commercial [COR] to Business Park [BP]. The proposed rezoning complies with the Comprehensive Plan and the future land use map designation of commercial. The purpose of the rezoning is to allow for light manufacturing and trade/contractor storage offices.

**Findings of Fact:**

Staff finds that the proposed rezoning complies with the Comprehensive Plan Future Land Use Map designation of commercial.

**Recommended Action:**

Staff recommends approval of the zoning map amendment from Office & Retail Commercial [COR] to Business Park [BP] for the property described in the public hearing notice.

A few area residents spoke regarding concerns about stormwater management, the design of the structures, sewer/water, timeline, mixed use and light pollution.

7) Close Public Hearing and Reconvene Regular Meeting at 6:26pm

8) Items for Discussion and Possible Action:

- a) Conditional Use Permit – Uecker Investments – W4954 Highline Road  
Motion (Lisowe/Fochs) to approve the Conditional Use Permit for Uecker Investments to allow trade & contractor multi-tenant buildings with all conditions including an additional #14 Sewer/Water easements for Darboy Sanitary maintenance purposes.  
Motion carried 6-0.
- b) Zoning Map Amendment – Uecker Investments – W4954 Highline Road  
Motion (Fochs/Lisowe) to approve the Zoning Map Amendment for Uecker Investments to rezone from Office & Retail Commercial [COR] to Business Park [BP].  
Motion carried 6-0.
- c) Certified Survey Map – Hopfensperger – W4958 Schmidt Rd  
Motion (Lisowe/Lincoln) Postpone action to next meeting to allow for staff to reach out to applicant.  
Motion carried 6-0.

9) Items for Discussion:

- a) Concept Plan for Southtowne Place – Lamers Realty – W6359 Manitowoc Rd: Planner Mommaerts introduced the item stating that the applicant is proposing a new residential subdivision for the property located at W6359 Manitowoc Road, Tax ID 33412. The property is 10-acres in size and is currently zoned General Agricultural [AG]. A zoning map amendment (rezone) will be required as part of the new subdivision review process. There is an existing house and accessory building on the property. The existing house is planned to be kept and will be developed into a saleable lot. The existing accessory building will be removed. The proposed subdivision is adjacent to the new Hidden Pines subdivision currently under construction. Public sewer and water is available.

The concept plan identifies a road access from Manitowoc Road south then curving to the east to align with the extension of Kimberly Trail. Roadway access to the west to the Hidden Pines subdivision is also proposed. The applicant is proposing a mix of housing types within the subdivision. Lot 1 and Lots 10-21 are proposed to be single-family detached lots (typical subdivision lots). Lots 2-9 and Lots 22-31 are proposed to be two-

family lots (either single-family attached townhomes or zero lot line buildings). This section (area north of Wildflower Trail) is intended to be a mix of 1- & 2-family buildings, similar to the development on Spring Valley Road. However, the 1-family lots will have to be a min of 65-feet wide and 7,500-square feet in area. The 2-family lots can be 50-feet and 6,000-square feet per unit. This section will have to be rezoned to Two-family Residential [RT] while the south section, Lots 10-21, will be rezoned to Single-Family Residential [RS-1].

The Plan Commission is asked to comment on the proposed residential uses and whether a mix of single-family and two-family buildings are appropriate in this area. The Comprehensive Plan identifies this area as Single-Family Residential.

Al Lamers spoke regarding the concept plan stating that:

- 1) The development proposal includes 2 phases.
- 2) The “Southtowne Place” is a preliminary name.
- 3) The lots will be zero lot line/attached single family homes (which allow each person to own their own individual lots) and smaller single-family homes.
- 4) The market research shows no age barrier to this type of ownership with the advantage for a more affordable brand-new home.
- 5) There is a possibility of a snow/grass association.
- 6) The existing house will stay with half an acre of land.

Commissioner Lincoln stated that he likes the plan and that it is affordable and utilizes space. He commented that Al Lamers has done his research.

Commissioner Hennessey believes in this plan and has seen the coming trend.

Commissioner Fochs said it makes a lot of sense, is a trend we recognize and is a good fit for those looking for a lower cost option in the Kimberly School District.

Planner Mommaerts stated that the comp plan amendment is the next step.

- b) Zoning Ordinance – Fence in Drainage Easement Requirements: Planner Mommaerts introduced the item stating that currently an applicant wishing to construct a fence within a drainage easement must get written permission from the easement holder prior to issuance of a permit. If it is a utility easement, then an “encroachment letter” from We Energies is typically all that is required. If it is a larger utility easement, then approval from ATC is required. These approvals are relatively quick, We Energies can respond within a few days.

Drainage easements require approval from the Village. Currently, a request is made to the Village Board and is placed on the agenda for the Board to review. The Board has developed a “Permission to Occupy Drainage Easement” form that states that the fence may be removed if drainage issues occur. This form is recorded as part of the deed for future property owners. This issue with this process is time. Many times the applicant must wait 2-3 weeks for approval, or more depending on Board meeting schedule.

At the last meeting the Plan Commission recommended the following changes highlighted in red text...

The zoning ordinance language is as follows:

**Sec. 117-54. - Accessory uses, buildings and structures.**

- (a) *General regulations for accessory uses, buildings and structures. All accessory uses, buildings and/or structures shall abide by the following general regulations:*
- (1) *No accessory use, building and/or structure shall be constructed or established on a lot prior to the principal use or building being present or under construction, except temporary construction trailers.*
  - (2) *When attached to the principal building, accessory buildings and/or structures shall comply with all requirements of this chapter applicable to the principal building, unless otherwise stated, including, but not limited to setback requirements, building height limits, and maximum lot coverage standards.*
  - (3) *When not attached to the principal building, accessory buildings and/or structures shall comply with all requirements of this chapter applicable to the accessory buildings and/or structures in the zoning district including, but not limited to setback requirements, building height limits, and maximum lot coverage standards.*
  - (4) *Accessory buildings or structures in the RS-1, RS-2, and RT zoning districts shall not be located closer to the front lot line than is the principal structure, except those properties located adjacent to the shoreline of Lake Winnebago.*
  - (5) *Accessory buildings or structures shall not be located within any recorded easement (utility, drainage, or other) without written consent of the entity controlling the easement. **The Zoning Administrator may authorize fences provided all the following are met:***
    - a. *The fence does not restrict stormwater runoff flow, as determined by the Zoning Administrator.*
    - b. *The fence is not located within a storm sewer easement or drainage easement with storm sewer pipe, inlets, or other infrastructure improvements.*

*c. The property owner signs a “Permission to Occupy Drainage Easement Agreement” document.*

- (6) The following, including but not limited to, truck, truck tractor, truck trailer, canopy or bus, or portion thereof, shall not be used for, storage purposes, as a principal use and/or structure or an accessory use and/or structure in any zoning district, unless otherwise stated in this chapter.*
- (7) Any detached accessory use, building and/or structure with a water closet (toilet facility) shall require a conditional use permit, pursuant to article XI, Conditional Use Permits.*
- (8) Accessory uses, buildings and/or structures shall be located on the same lot as the principal use, structure or building.*
- (9) Detached accessory buildings shall not be used as a secondary dwelling.*

All Commissioners agree that the changes listed look good.

- c) Zoning Ordinance – Driveway Opening Requirements: Planner Mommaerts introduced the item stating that a property owner on Sumac Lane spoke to the Board about a driveway to their shed. The property owner constructed a shed with permit approval. The permit applicant did not include any information for a driveway. Staff was notified that a driveway out to Handle Drive was in the process of being constructed. Staff contacted the property owner to inform them that a second driveway was in violation of the zoning ordinance. The property owner decided to stop the paving at the property line. The property is on the southeast corner of Sumac Lane and Handle Drive. The house has an existing driveway out to Sumac Lane.

The Village Board has interest in amending the ordinance to allow for a second driveway. The Board is asking the Plan Commission to review the ordinance and make a recommendation to the Board for proposed changes, if any.

At the last meeting, the Plan Commission recommend the following changes highlighted in red text...

The zoning ordinance language is as follows:

*Sec. 117-157. - Access.*

*All driveways installed, altered, changed, replaced or extended after the effective date of this chapter shall meet the following requirements.*

- (1) Openings. Openings for vehicular ingress and egress shall not exceed 36 feet for single-family and two-family developments and 42 feet for agricultural, multiple-family, commercial, and industrial developments as measured at the street right-of-way line unless a greater distance is approved by the plan commission.*

- (2) *Location. Vehicular entrance or exit shall not be less than 50 feet from a street intersection. Commercial and industrial vehicular entrances and exits shall not be less than 150 feet from any adjoining residential district.*
  - (3) *Number. Only one vehicular opening is permitted per lot for single-family lots. The Plan Commission may authorize a second opening for a corner lot on a case by case basis determined by the size of the corner lot. Two vehicular openings may be permitted per lot for two-family lots. Multiple-family, commercial, and industrial developments are permitted one vehicular opening per lot frontage unless a greater number is approved by the plan commission.*
  - (4) *When roadways exit to adjacent property rather than directly to a public street, permanent cross easement agreements shall be recorded which adequately guarantee that such exit may not be closed and that such roadways will not become a future liability for the town.*
- (Ord. No. 10-147, § 6.0(2), 7-27-2010; Ord. No. 11-162, 11-29-2011)*

d) Report: Zoning Permits: No Current Report

10) Next Meeting Date: Tentative October 29 2019 at 6:00pm.

11) Adjourn: Motion (Lisowe/Fochs) to adjourn the meeting at 6:59pm.

Motion carried 6-0.

Prepared by: Carie Krause, Deputy Clerk – Treasurer  
Dated: September 30 2019

---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

CSM - Hopfensperger

---

**Issue:**

Should the Plan Commission recommend approval of the CSM to the Village Board?

---

**Background and Additional Information:**

This item was postponed from the September meeting in order for the application to revise the CSM or apply for a lot size variance. The applicant submitted a revised CSM. The applicant is proposing a 1-lot Certified Survey Map (CSM) for the property located at W4958 Schmidt Road (Tax ID 39070). There is an existing house that is proposed to be divided from the remaining lands. The house is currently served with private septic and well. The proposed lot is approximately 267-feet by 162-feet and 43,560-square feet in area. The property is currently zoned General Agricultural [AG]. The AG zoning district requires a minimum of 150-feet of road frontage and a minimum of 1-acre (43,560-square feet) area for new lots.

As proposed, the lot does meet the minimum area requirement of the zoning district. The remnant parcel will have approximately 70-feet of road frontage along Schmidt Road. This could serve as a future road access to the property.

---

**Recommended Action:**

Staff recommends approval of the Certified Survey Map received October 9, 2019.

---

**Attachments:**

- CSM (revised)
- Aerial Map



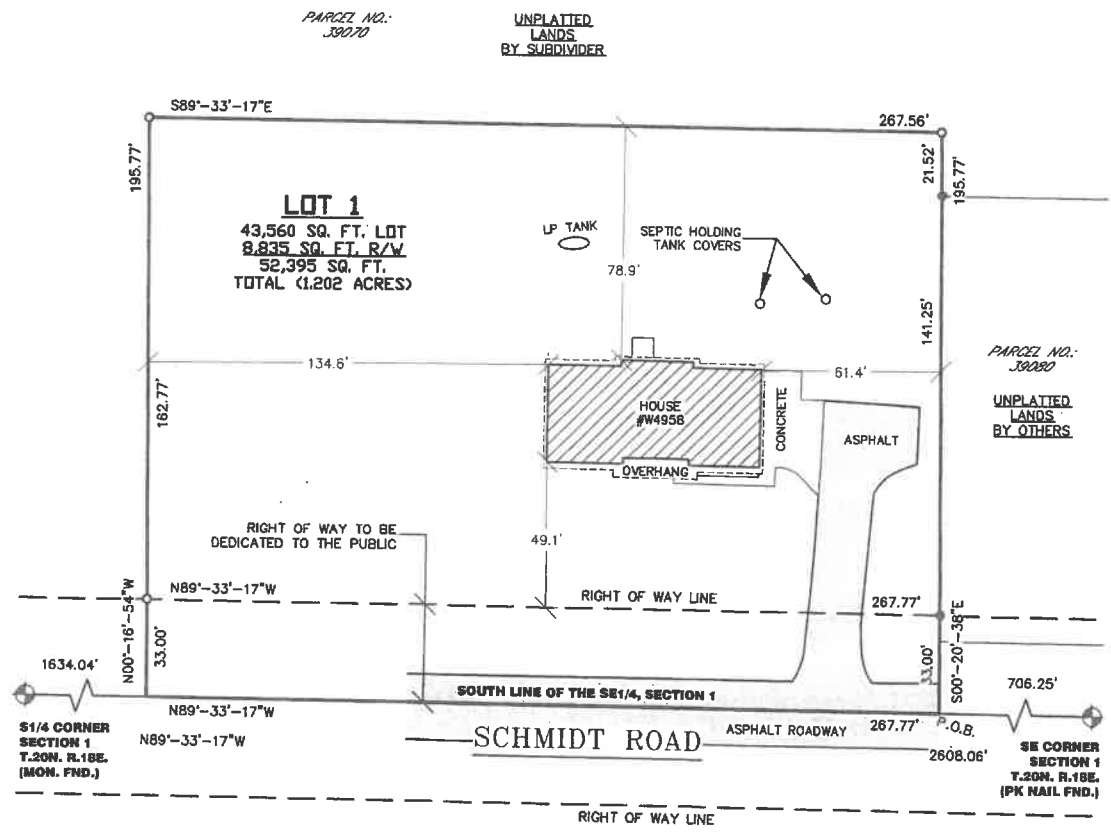




**RECEIVED**  
 OCT 09 2019  
 HARRISON PLANNING

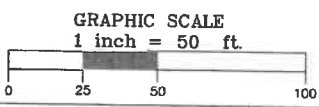
**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E.,  
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN



BEARINGS REFERENCED TO THE  
 CALLUMET COUNTY COORDINATE SYSTEM  
 AND THE SOUTH LINE OF THE SE1/4  
 OF SECTION 1, T.20N., R.18E., WHICH  
 BEARS N89°-33'-17"W

**SURVEY NOTES:**  
 -PARCEL ID NO.: 39070  
 -SITE ADDRESS: W4958 SCHMIDT RD.  
 KAUKAUNA, WI 54130



**--LEGEND--**

- = 1" X 18" IRON PIPE SET (1.130 LB./FT.)
- = 3/4" REBAR FOUND
- ⊙ = COUNTY MONUMENT FOUND
- P.O.B. = POINT OF BEGINNING

<b>MERIDIAN</b> <b>SURVEYING, LLC</b> N9637 Friendship Drive Kaukauna, WI 54130 Office: 920-993-0881 Fax: 920-273-6037	DRAWN BY: J.B.	FIELD WORK DATE: 8-27-19	SURVEYED FOR: RALPH HOPFENSPERGER N9227 HWY 55 KAUKAUNA, WI 54130
	CHECKED BY: S.C.D.	FIELD BOOK: N/A	
	JOB NO.: 11515	SHEET 1 OF 6	

STATE OF WISCONSIN)  
CALUMET COUNTY ) SS

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,  
CALUMET COUNTY, WISCONSIN  
(Sheet 2 of 6)

**SURVEYOR'S CERTIFICATE**

I, Steven C. De Jong, Wisconsin Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed, divided, monumented and mapped under the direction of Ralph Hopfensperger, a part of the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, Village of Harrison, Calumet County, Wisconsin containing 52,395 square feet (1.202 acres) of land and being described by:

Commencing at the Southeast Corner of said Section 1; thence N89°-33'-17"W 706.25 feet along the south line of the SE1/4 of said Section 1 to the point of beginning; thence continue N89°-33'-17"W 267.77 feet along said south line of the SE1/4 of said Section 1; thence N00°-16'-54"W 195.77 feet; thence S89°-33'-17"E 267.56 feet; thence S00°-20'-38"E 195.77 feet to the point of beginning; being subject to any and all easements and restrictions of record.

That such is a correct representation of all exterior boundaries of the land surveyed.  
That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Land Subdivision Ordinance of the Village of Harrison in surveying, dividing, monumenting, dedicating and mapping the same.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Wisconsin Professional Land Surveyor  
Steven C. De Jong, S-2791

**Survey Notes:**

- This survey is wholly contained within Document No. 305740
- This survey is wholly contained within Calumet County Parcel No. 131-0000-0000000-000-0-201801-00-440A (Tax ID 39070)
- Property Owners of Record: Ralph M. Hopfensberger, John P. Hopfensperger, James D. Steger and Geraldine A. Steger Joint Revocable Trust, Martha L. Vanevenhoven, Marilyn R. Portman, and Suzanne M. Weyers

STATE OF WISCONSIN)  
CALUMET COUNTY) SS

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,  
CALUMET COUNTY, WISCONSIN  
(Sheet 3 of 6)

**VILLAGE OF HARRISON CERTIFICATE**

This Certified Survey Map in Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, is hereby approved.

\_\_\_\_\_  
Village of Harrison - President

\_\_\_\_\_  
Date

\_\_\_\_\_  
Village of Harrison - Clerk

\_\_\_\_\_  
Date

**VILLAGE TREASURER'S CERTIFICATE**

I being the duly elected qualified and acting treasurer of the Village of Harrison, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid assessments as of this \_\_\_\_\_ day of \_\_\_\_\_, 2019 on any lands included in this Certified Survey Map.

\_\_\_\_\_  
Village of Harrison -- Treasurer

\_\_\_\_\_  
Date

**COUNTY TREASURER'S CERTIFICATE:**

I hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this minor subdivision as of this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
County Treasurer: Calumet County

\_\_\_\_\_  
Date

STATE OF WISCONSIN  
CALUMET COUNTY) SS

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,  
CALUMET COUNTY, WISCONSIN  
(Sheet 4 of 6)

**OWNER'S CERTIFICATE**

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

\_\_\_\_\_  
Ralph M. Hopfensberger

\_\_\_\_\_  
Date

**NOTARY CERTIFICATE**

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Notary Public \_\_\_\_\_ County, Wisconsin.

My Commission Expires \_\_\_\_\_

**OWNER'S CERTIFICATE**

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

\_\_\_\_\_  
John P. Hopfensperger

\_\_\_\_\_  
Date

**NOTARY CERTIFICATE**

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Notary Public \_\_\_\_\_ County, Wisconsin.

My Commission Expires \_\_\_\_\_

STATE OF WISCONSIN)  
CALUMET COUNTY) SS

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,  
CALUMET COUNTY, WISCONSIN  
(Sheet 5 of 6)

**OWNER'S CERTIFICATE**

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

\_\_\_\_\_  
Martha L. Vanevenhoven

\_\_\_\_\_  
Date

**NOTARY CERTIFICATE**

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Notary Public \_\_\_\_\_ County, Wisconsin.

My Commission Expires \_\_\_\_\_

**OWNER'S CERTIFICATE**

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

\_\_\_\_\_  
Marilyn R. Portman

\_\_\_\_\_  
Date

**NOTARY CERTIFICATE**

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Notary Public \_\_\_\_\_ County, Wisconsin.

My Commission Expires \_\_\_\_\_

STATE OF WISCONSIN)  
CALUMET COUNTY) SS

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

A PART OF THE SE1/4 OF THE SE1/4, SECTION 1, T.20N., R.18E., VILLAGE OF HARRISON,  
CALUMET COUNTY, WISCONSIN  
(Sheet 6 of 6)

**OWNER'S CERTIFICATE**

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

\_\_\_\_\_  
Suzanne M. Weyers

\_\_\_\_\_  
Date

**NOTARY CERTIFICATE**

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Notary Public \_\_\_\_\_ County, Wisconsin.

My Commission Expires \_\_\_\_\_

**OWNER'S CERTIFICATE**

As owner's we hereby certify that we caused the land on this Certified Survey Map to be surveyed, divided, monumented, dedicated & mapped as represented on this map. We also certify that this map is required by S. 236.34 to be submitted to the following for approval or rejection: Village of Harrison

\_\_\_\_\_  
Trustee – James D. Steger and  
Geraldine A. Steger Joint  
Revocable Trust

\_\_\_\_\_  
Date

**NOTARY CERTIFICATE**

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

The above owner's to me known to be the person's who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Notary Public \_\_\_\_\_ County, Wisconsin.

My Commission Expires \_\_\_\_\_

---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

CSM - Mueller

---

**Issue:**

Should the Plan Commission recommend approval of the CSM to the Village Board?

---

**Background and Additional Information:**

The applicant is proposing a 1-lot Certified Survey Map (CSM) for a parcel on Pigeon Road, Tax ID 43380. The property is approximately 5.05-acres. The property will have a 33-foot access out to Pigeon Road. This 33-foot strip was identified when parcel Tax ID 40180 was created a few years ago via CSM #3578.

---

**Recommended Action:**

Staff recommends approval of the Certified Survey Map.

---

**Attachments:**

- CSM
- CSM #3578
- Aerial Map

# Calumet County, WI

## Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad
- Color 2018
- Rec. Band 1
- Green Band 2
- Blue Band 3



**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author:	
Date Printed:	10/27/18 11:40 AM
Sources:	

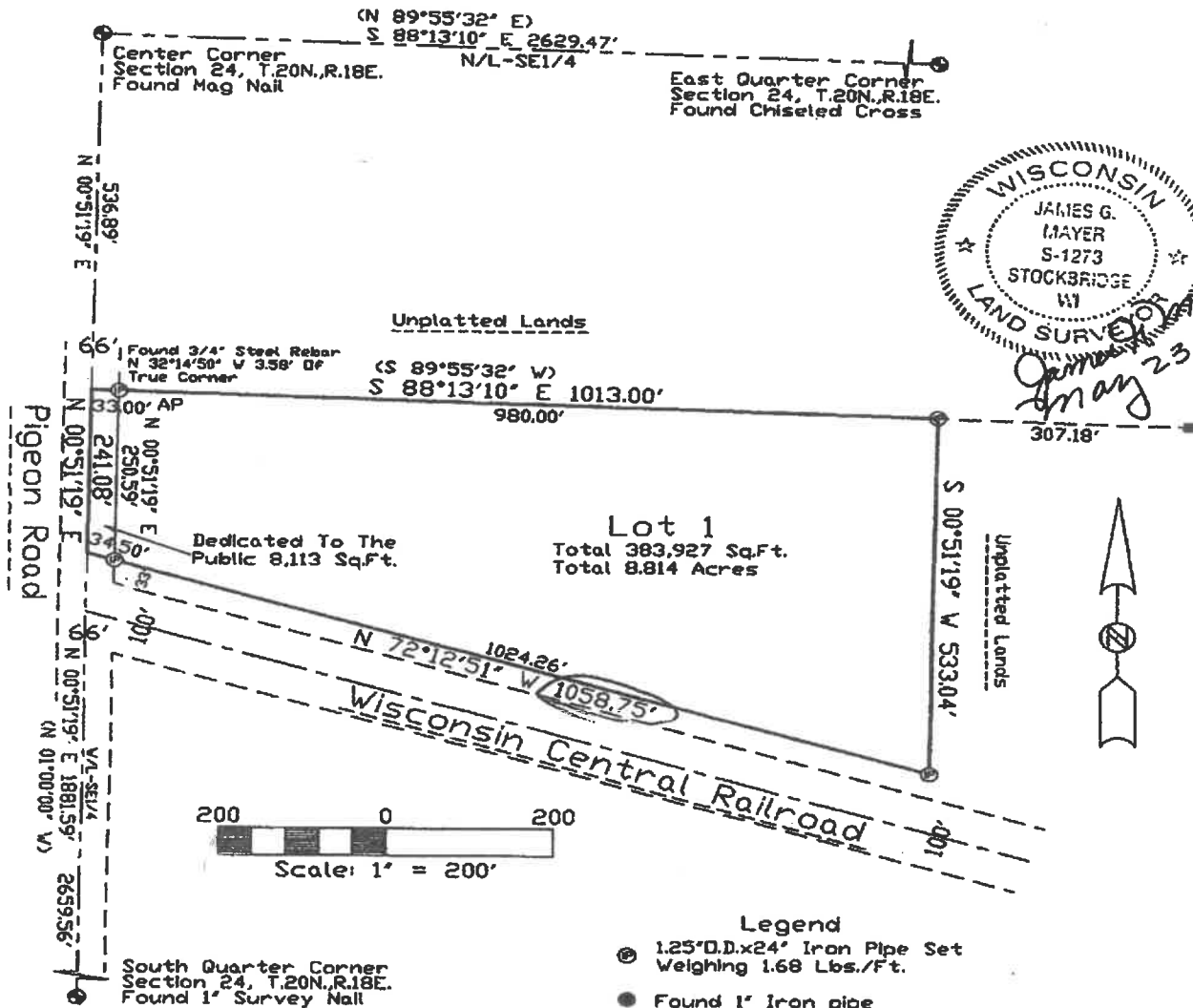




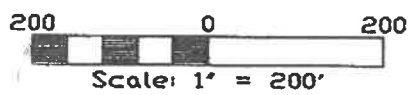
**CERTIFIED SURVEY MAP NO. 3578**

Sheet 1 of 3

**PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 24,  
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, (FORMERLY TOWN OF  
HARRISON), CALUMET COUNTY, WISCONSIN.**



**WISCONSIN**  
 JAMES G. MAYER  
 S-1273  
 STOCKBRIDGE WI  
 LAND SURVEYOR  
*James G. Mayer*  
 May 23, 2016



- Legend**
- ⊙ 1.25" O.D. x 24" Iron Pipe Set Weighing 1.68 Lbs./Ft.
  - Found 1" Iron pipe
  - Found 3/4" Steel Rebar
  - < > Recorded As
  - AP Access Point

C:\Projects\MielkeDon16\esm.dwg  
 BEARINGS REFERENCED TO COUNTY  
 DATUM WEST LINE OF THE SOUTHEAST  
 QUARTER BEARS NORTH 00°51'19" WEST.  
 THIS INSTRUMENT DRAFTED BY J.G. MAYER"  
 NOTEBOOK NO.44 PAGE 13.

**MAYER LAND SURVEYING**  
 N 5698 LAKE SHORE DRIVE  
 HILBERT, WI. 920-439-1761

**SURVEYED FOR**  
 DONALD MIELKE  
 N8127 STATE PARK ROAD  
 MENASHA, WI



**SURVEYOR'S CERTIFICATE**

I, James G. Mayer, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed, divided, and mapped under the direction of Troy Mueller, part of Northwest Quarter of the Southeast Quarter of Section 24, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin containing 221,240 square feet or 5.079 acres of land and described as follows.

Commencing at the South Quarter Corner of Section 24, thence North 00°51'19" East a distance of 1,847.10 feet along the west line of the southeast quarter to the north right-of-way line of the Wisconsin Central Railroad and the point of beginning; thence continuing North 00°51'19" East a distance of 34.50 feet along the west line to the south line of Lot 1, Certified Survey Map No. 3578; thence South 72°12'51" East a distance of 1,024.26 feet along the south line to the east line of Lot 1; thence North 00°51'19" East a distance of 533.04 feet along the east line; thence South 88°13'10" East a distance of 303.59 feet to the east line of the northwest quarter of the southeast quarter; thence South 00°39'26" West a distance of 655.73 feet along the north right-of-way line of the Wisconsin Central Railroad; thence North 72°12'51" West a distance of 1,378.43 feet along the north right-of-way line to the point of beginning. Subject to all easements and restrictions of record. Liability hereunder is expressly limited to the cost of this survey.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division made thereof. That I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the Village of Harrison in surveying, dividing and mapping such lands.

Dated this 12th day of September, 2019.

James G. Mayer  
James G. Mayer, S-1273  
Wis. Professional Land Surveyor



**OWNER'S CERTIFICATE**

As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided mapped and dedicated as represented on the plat. I (we) also certify that this plat is required by s. 236.10 or s. 236.12 to be submitted to the following for approval or objection: Village of Harrison.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2019

\_\_\_\_\_  
Troy Mueller, Owner

\_\_\_\_\_  
Molly Mueller, Owner

\_\_\_\_\_  
Jason Clark, Owner

\_\_\_\_\_  
Nicole Clark, Owner

State of Wisconsin)  
Calumet County )ss

Personally came before me on the \_\_\_\_\_ day of \_\_\_\_\_, 2019, the above named owners to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires: \_\_\_\_\_

\_\_\_\_\_  
Notary Public, Calumet County, Wisconsin

**VILLAGE BOARD CERTIFICATE**

Resolved that the above certified survey map in the Village of Harrison was approved by the Village Board on this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Village President

\_\_\_\_\_  
Village Clerk

**VILLAGE TREASURER'S CERTIFICATE**

I being the duly elected qualified and acting village treasurer of the Village of Harrison, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of \_\_\_\_\_, 2019 on any of the lands included in this Certified Survey Map.

\_\_\_\_\_  
Village Treasurer

\_\_\_\_\_  
Date

**COUNTY TREASURER'S CERTIFICATE**

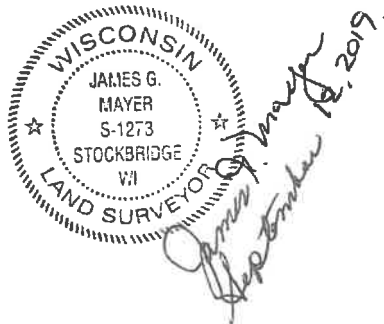
I being the duly elected qualified and acting treasurer of the County of Calumet, do hereby certify the records in my office show unredeemed tax sales and no unpaid taxes or special assessments as of \_\_\_\_\_, 2019 affecting the lands included in this Certified Survey Map.

\_\_\_\_\_  
County Treasurer

\_\_\_\_\_  
Date

Notes:

This CSM is all of tax parcel no. 43380. This CSM is contained wholly within the property described in the following recorded instrument: Doc. No. 541179. The property owners of record are Troy Mueller, Molly Mueller, Jason Clark and Nicole Clark, N7847 State Park Road, Sherwood WI 54169.



---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

Comprehensive Plan Amendment – Premier Real Estate Management  
Zoning Map Amendment – Premier Real Estate Management  
Special Exception to Design Standards – Premier Real Estate Management  
Conditional Use Permit – Premier Real Estate Management

---

**Issue:**

Should the Plan Commission recommend approval of a Comprehensive Plan Amendment from commercial to multiple-family residential, a Zoning Map Amendment from AG to MF, a special exception to design standards, and Conditional Use Permit to the Village Board?

---

**Background and Additional Information:**

The applicant is proposing a multi-family residential development on property located along Friendship Drive between County KK and Hwy 55, Tax IDs 38988 & 39024. The development consists of ten (10) 12-unit buildings, all two-bedroom units with attached garages, outside parking areas, office/garage, and mailroom. Phase 1 will consist of 4 12-unit buildings (48-units total), office/garage, mailroom, boulevard entrance off Friendship Drive, associated driveways and parking areas, and a wet detention pond. Phase 2 will consist of 6 12-unit buildings (72-units total), driveway off Highline Road, associated driveways and parking areas, and a second wet detention pond. The applicant is requesting a Comprehensive Plan Amendment, Zoning Map Amendment, exterior building material waiver, and a Conditional Use Permit.

**Comprehensive Plan Amendment:**

The applicant is proposing to amend the future land use map in the Comprehensive Plan to allow for multiple-family residential. Currently, the future land use map identifies this area as commercial. When the Village updated the Comprehensive Plan several years ago, this site received much discussion as to whether it should be commercial or multi-family residential. At the time, it was decided to keep it as commercial until a development project was proposed, either commercial or multi-family. There are commercial uses on the north, south and east side of the property and residential uses on the west and south sides. Multi-family residential can be a buffer between the commercial and residential uses.

**Zoning Map Amendment:**

The applicant is proposing to rezone from General Agricultural [AG] to Multiple-Family Residential [RM] the area for the development.

**Special Exception to Design Standards:**

The applicant is requesting a special exception to the design standards for the building exteriors. Current ordinance requires brick, block, or other masonry material on 75% of the exterior walls facing a public street. The applicant is proposing 50% brick on all sides of the buildings. Although the street view will not have as much brick, the 50% brick on all sides will make for a more attractive view to adjacent properties and will allow the development to be more cohesive.

**Conditional Use Permit:**

The zoning ordinance requires a Conditional Use Permit for any multiple-family developer greater than 3-buildings or greater than 24-units. The applicant is proposing a 10-building development with 120-units total. Landscaping and buffering should be provided along the single-family residential uses to the west and south. Potentially relocating the dumpster enclosure in the southwest corner of the site to a different area to reduce noise and nuisance issues with the adjacent properties.

**Basis for Approval: (from the Zoning Ordinance Section 117-319)**

1. *Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of this chapter. Where there is an existing nonconforming structure, the design standards of the underlying zoning district may be waived by the plan commission and town board.* If the Comprehensive Plan and Zoning Map amendments are approved, then the proposed multi-family development is an allowable use in the MF zoning district.
2. *Plans. The proposed use conforms to the comprehensive plan and any other officially adopted plan.* If the Comprehensive Plan and Zoning Map amendments are approved, then the proposed multi-family development conforms to the Comprehensive Plan.
3. *Traffic. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.* The main entrance is anticipated to connect with Friendship Drive, which has connections to Hwy 55 and County KK.
4. *Landscaping and screening. Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in article VI, Access, Parking, and Loading and article IX, Landscaping and Screening Standards.* The development plans indicate a line of plantings along the south and west sides. Additional landscaping may be required to meet buffering requirements.
5. *Neighborhood compatibility. The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust.* The multi-family residential proposed will be a buffer between the commercial development to the north and east and the single-family homes to the south and west. Landscape screening and buffering should be utilized to further reduce potential light nuisance.
6. *Services. Adequate facilities, access roads, drainage and/or necessary services have been or will be provided.* Sanitary sewer and water can be provided to the site. Stormwater management is proposed on-site.

---

**Findings of Fact:**

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan if the Comprehensive Plan Amendment is approved.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

---

**Recommended Action:**

Staff recommends approval of Plan Commission Resolution PC2019-02, recommending the Village Board amend the comprehensive plan.

Staff recommends approval of the Zoning Map Amendment from General Agricultural [AG] to Multiple-Family Residential [RM].

Staff recommends approval of the special exception to the design standards with brick on approximately 50% of all sides of all buildings as submitted on the plan set.

Staff recommends approval the Conditional Use Permit with the following conditions:

1. The applicant works with the Darboy Sanitary District and Village of Harrison on sanitary sewer and water main routing to ensure adjacent properties can be adequately served with water and sanitary sewer.
2. A 20-foot wide berm and landscape area be provided along the south and west sides of the development. The berm should be approximately 5-feet in height with evergreen and other plantings. Care should be taken to design the berm and plantings to shield vehicle headlights shining into adjacent properties.
3. The dumpster enclosure in the southwest corner of the site shall be relocated between buildings 5/8 or 8/9.
4. All exterior parking area lighting shall be direct cut-off fixtures to reduce/eliminate any glare.
5. All provisions of the zoning ordinance and all other Village ordinances shall be met.
6. Any comments or revisions from Village staff during the site plan review process shall be incorporated as conditions of approval.
7. All necessary permits shall be obtained prior to construction.

---

**Attachments:**

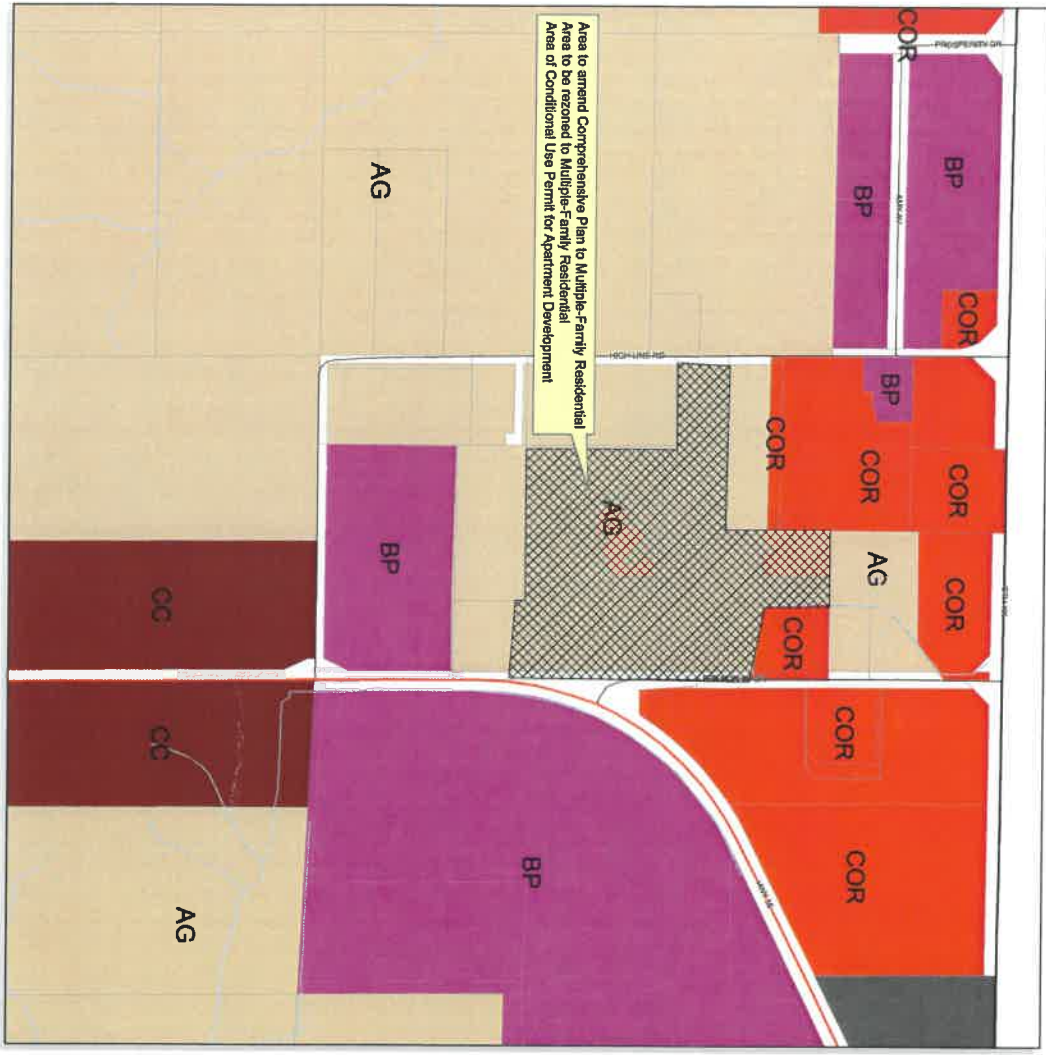
- Aerial Map
- Future Land Use Map
- Zoning Map
- Project Narrative
- Plan Set
- Plan Commission Resolution PC2019-02











# Zoning Map

## Village of Harrison

### Calumet & Outagamie Counties Wisconsin

#### Legend

**Zoning Districts**

- AG | General Agriculture
- BP | Single-Family Residential (Suburban)
- COR | Single-Family Residential (Traditional)
- CC | Two-Family Residential
- RM | Multiple-Family Residential
- CN | Neighborhood Commercial
- COR | Office & Retail Commercial
- CC | Community Commercial
- BP | Business Park
- IM | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- POD | Planned Development Overlay
- SHQ | Shoreland Overlay\*
- SWO | Shoreland-Wetland Overlay\*

**Road Centerline**

- Local Roads
- County Highway
- State Highway
- US Highway
- Parcels

**Town of Harrison**

- Railroads
- Streams

**Other:**

- Water
- Wetland
- Shoreland
- Wetland

**Scale:** 0, 0.125, 0.25 Miles

**Map Information:**

This map was created by:  
 Village of Harrison  
 W5298 Hwy 114  
 Harrison, WI 54852  
 920.986.1062

Adopted: July 27, 2010  
 Effective: November 1, 2010  
 Current as of: September 26, 2018

**Village of Harrison**  
 WHERE OPPORTUNITY LIVES

\* Please note that the SHQ & SWO boundaries are subject to change based on determinations of navigable waterways.

This map is neither a highly accurate map nor a survey and is not intended to be used as such. The Town of Harrison does not guarantee the accuracy, current status, or completeness of the material contained herein and is not responsible for any reliance on the information contained herein. The user of this data for any purpose other than that intended by the Town of Harrison assumes all liability for any errors or omissions. The user of this data for any purpose other than that intended by the Town of Harrison assumes all liability for any errors or omissions. The user of this data for any purpose other than that intended by the Town of Harrison assumes all liability for any errors or omissions. The user of this data for any purpose other than that intended by the Town of Harrison assumes all liability for any errors or omissions.

Calumet County shall maintain the exclusive owner of all rights, title, and interest in all proprietary copyrighted information.

**DETAILED PROJECT NARRATIVE  
PREMIER FREINDSHIP DRIVE ESTATES  
OFF FRIENDSHIP DRIVE AND HIGH LINE ROAD  
VILLAGE OF HARRISON, WISCONSIN**

**Prepared by: JMM Consulting, LLC  
Prepared date: September 27, 2019**

*JMM  
9/30/19*

**Purpose:**

This Detailed Project Narrative has been prepared to provide a clear understanding of the proposed project to aid the Village's Staff, members of the Planning Commission and members of the Village Board during their review of the proposed project.

We are providing the detailed project narrative in the following paragraphs and exhibits attached hereto.

**Perspective Land Owner/Developer:**

Premier Real Estate Management, LLC  
3120 Gateway Road  
Brookfield, WI 53045  
Attn: Mr. Chris Slater, President  
(262) 790-4560

**Consultant:**

John M. Maas, P.E.  
— JMM Consulting, LLC  
840 Challenger Drive – Suite 140  
Green Bay, WI 54311  
(920) 592-9606

**General Contractor:**

Nicolet Lumber Company  
4050 Nicolet Drive  
Green Bay, WI 54311  
Attn: Mr. Jon Hermans  
(920) 866-2629

### **Current Legal Description, Owner & Existing Conditions of the Subject Property:**

The Northern portion of the subject property is all of Lot 1 of CSM #3615 (Parcel ID #38988) and the Southern portion of the subject property is unplatted lands (Parcel ID #39024). The subject property is currently owned by Haen Enterprises/Verhagen Thomas & Judith JT Revoc Trust. The subject property is currently undeveloped farmlands and wetlands that is gently sloping to the North/Northeast. The subject property consists of approximately 22.267 acres of land, more or less. The subject property has frontage on Friendship Drive on the East and High Line Road on the West. Refer to the map provided in Exhibit "A" which shows the location of the subject property in the Village of Harrison ("Village").

The subject property is currently shown on the Village's Comprehensive Plan to be developed as commercial and is currently zoned General Agriculture. As such, in order to have the project proceed as planned, we have requested that an amendment be made to the Village's Comprehensive Plan to show the subject property to be residential and that the parcels be rezoned from General Agriculture to Multi-Family (RM).

### **Proposed Development/CSM:**

The proposed development is planned to be constructed in two (2) Phases. Phase I will consist of the construction of four (4) 12-unit all two bedroom apartment buildings for a total of 48 units, an office/garage & mailroom on a boulevard entrance off Friendship Drive and associated drive aisles, parking lots and a wet detention pond.

Phase II will consist of the construction of an additional six (6) 12-unit all two bedroom apartment buildings for a total of 72 units, a driveway off of High Line Road and associated drive aisles, parking lots and an additional wet detention pond. Construction of Phase II is dependent on the demand for market rate rentals in this area of the Village.

Phase I and Phase II will be constructed on Lot 1 and Lot 2 of a proposed 2-Lot CSM that will be prepared for the subject property to create the lots, confirm the property boundaries of the unplatted lands and simplify the legal description.

For details on Phase I and Phase II refer to the Phasing Plan provided in Exhibit "B".

### **Request for an Amendment to the Village's Comprehensive Plan**

The Village's Comprehensive Plan was adopted in February 2017 apparently when the Village of Harrison was incorporated. The Comprehensive Plan is intended to be a guide for the future land uses in the Village. It provides the frame work for the development of over 19,000 acres (approximately 30 square miles). The Comprehensive Plan is very well crafted but, like any other planning tool, its needs to be amended over time to reflect an ever-changing society and its needs and demands.

The comprehensive plan directs the C.T.H. "KK" and S.T.H. "55" corridors in the Village to be developed in the future as Commercial/Business. The Comprehensive Plan also recognizes the need for transition residential uses to buffer the Commercial/Business uses along those corridors from the future single family housing development proposed outside those corridors/areas of the Village.

Although the subject property is shown in the Comprehensive Plan to be developed as commercial/business it does not have direct access to either C.T.H. "KK" or S.T.H. "55" and, as such, it is better suited to be developed as a transitional buffer to the future single family residential land uses further away from the designated commercial/business corridors.

The proposed development of the subject property is a perfect fit to provide that transitional buffer from the future Commercial/Business land and provide quality affordable rental housing for the employees of those businesses.

#### **Request to Rezone the Land from General Agricultural to Residential Multi-Family (RM)**

As previously mentioned, in order to construct the proposed project as planned, the two (2) parcels of property have to be rezoned from General Agriculture to Multi-Family Residential (RM). Based on review of the Village's Zoning Map, it appears that the vast majority of the undeveloped land in the Village is zoned General Agriculture. As such, any development of the land would require a rezoning from General Agriculture to something else.

As previously indicated, the proposed development is a perfect fit to provide a transitional buffer from the proposed Commercial/Business uses in the C.T.H. "KK" and S.T.H. "55" corridors and to provide quality affordable rental housing, so it is without question the greatest and best use of the subject property.

#### **Request for a Conditional Use Permit ("CUP")**

According to Mr. Mark Mommaerts, the Village Planner, in order to construct a multi-family housing project of more than 24 units the Village must approve a CUP.

To comply with Mr. Mommaerts' instructions, we have submitted a request for a CUP. According to the Application for a CUP, we are providing herein the following drawings.

Site Plan  
Phasing Plan  
On-Site Utility Plan  
Grading and Drainage Plan  
Lighting Plan  
Landscaping Plan  
1<sup>st</sup> Floor Plan  
2<sup>nd</sup> Floor Plan  
Building Elevation Views

A copy of these drawings are provided in Exhibit "C".

We will provide a very brief summary of how the aforementioned plans provide the information required by the Application for a CUP in the following paragraphs.

The Site Plan shows the construction of ten (10) 12 unit all two bedroom units with attached garages, outside parking areas, the office/garage and a mailroom. The proposed development will operate 24 hours a day seven days a week. There will be one part-time employee being the On-Site Manager. Traffic is estimated at between 720 – 800 vehicular movements a day when it completely built out. There are two means of ingress/egress for the tenants to use that will disburse the traffic to C.T.H. "KK" and S.T.H. "55".

The Phasing Plan shows the project being constructed in two (2) Phases with the second Phase being dependent on sufficient demand for the additional market rate rental units.

The On-Site Utility Plan shows the intended construction of a totally private sanitary sewer, water and storm sewer system being constructed on the subject property. The storm sewer system will route the runoff from the proposed development to one of the proposed wet detention ponds for detention and treatment of the runoff to comply with the Village's SWM ordinance.

The Grading and Drainage Plan details the existing and proposed elevations of the land at 1 foot intervals.

The Lighting Plan shows that the proposed development uses a combination of recessed lights and lantern fixtures to tastefully light the traveled routes of the tenants. There will be 0 foot-candles of light at the property lines.

The Landscaping Plan has been prepared to comply with Section 117-256 of the Village's Zoning Ordinance which, among other things, requires a buffer of plantings to provide a "living fence" along the property lines that abut residential uses and to provide a scattering of plantings throughout the site to enhance the overall appeal of the project and to be compatible with the surrounding areas.

There will be at least two dumpster enclosures with wood board fences on three sides. Each dumpster enclosure will have two dumpsters (one for trash and one for recyclables).

**Proposed Building/Exterior Colors:**

As previously mentioned, the proposed buildings are two story with 12 all two bedroom units with attached garages for a total of 48 units in Phase I and 72 units in Phase II. Each unit has a garage space and access to the units through a private access hallway.

For details on proposed buildings interiors, please refer to the 1<sup>st</sup> and 2<sup>nd</sup> floor plans, provided in Exhibit "D".

The proposed exterior colors have not been chosen but they will consist of a mixture of earth-tone siding colors with accent shutters and entrance doors, grey/black roof, reddish grey brick and white garage doors, soffit, gutters and trim.

In lieu of providing brick, block or some other type of masonry material on “75% of the exterior walls that face a public street”, Premier is proposing to provide approximately 50% brick on all sides of the proposed buildings. If the goal of that zoning code requirement is to have more durable exterior facades, then the proposed buildings will provide substantially more square feet of durable materials on the exteriors of the proposed buildings than what is required.

For details on proposed buildings exteriors, please refer to the Elevations Views, provided in Exhibit “C”. It is our plan to have the colors chosen by Premier before the October 29, 2019 meeting, that a colored rendering of the proposed building exterior be prepared and be presented at that meeting.

**Construction Schedule:**

The work on Phase I is anticipated to start on, or around, April 1, 2020 with the installation of the erosion control BMPs, the stripping of the topsoil and the grading of the pond as a temporary sedimentation basin. Once that is completed, the on-site utilities will be installed. The foundations are expected to be poured by May 15, 2020. The buildings will be framed in summer of 2020 with the 1<sup>st</sup> building being ready for occupancy by September of 2020.

The site will be bare ground until around August 1, 2020 when the site will be top soiled and sodded/seeded. The entire area of Phase I will be seeded/sodded and blacktopped next year.



Outagamie

City of Kaukauna

Village of Harrison



SUBJECT SITE

PROSPERITY DR

ARMY AV

FOOTLINE RD

BIES RD

TYLER LN

KK

KK

KK

KK

STATE PARK RD

ARMY AV

TABLE DR

HARTFORD LN

HUNTER ST

EVANS ST

WAB ISLAND DR

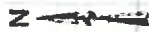
TANNERY LN

SCHMIDT RD

12



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.



KK

KK

KK

KK

1

2

6

5

7

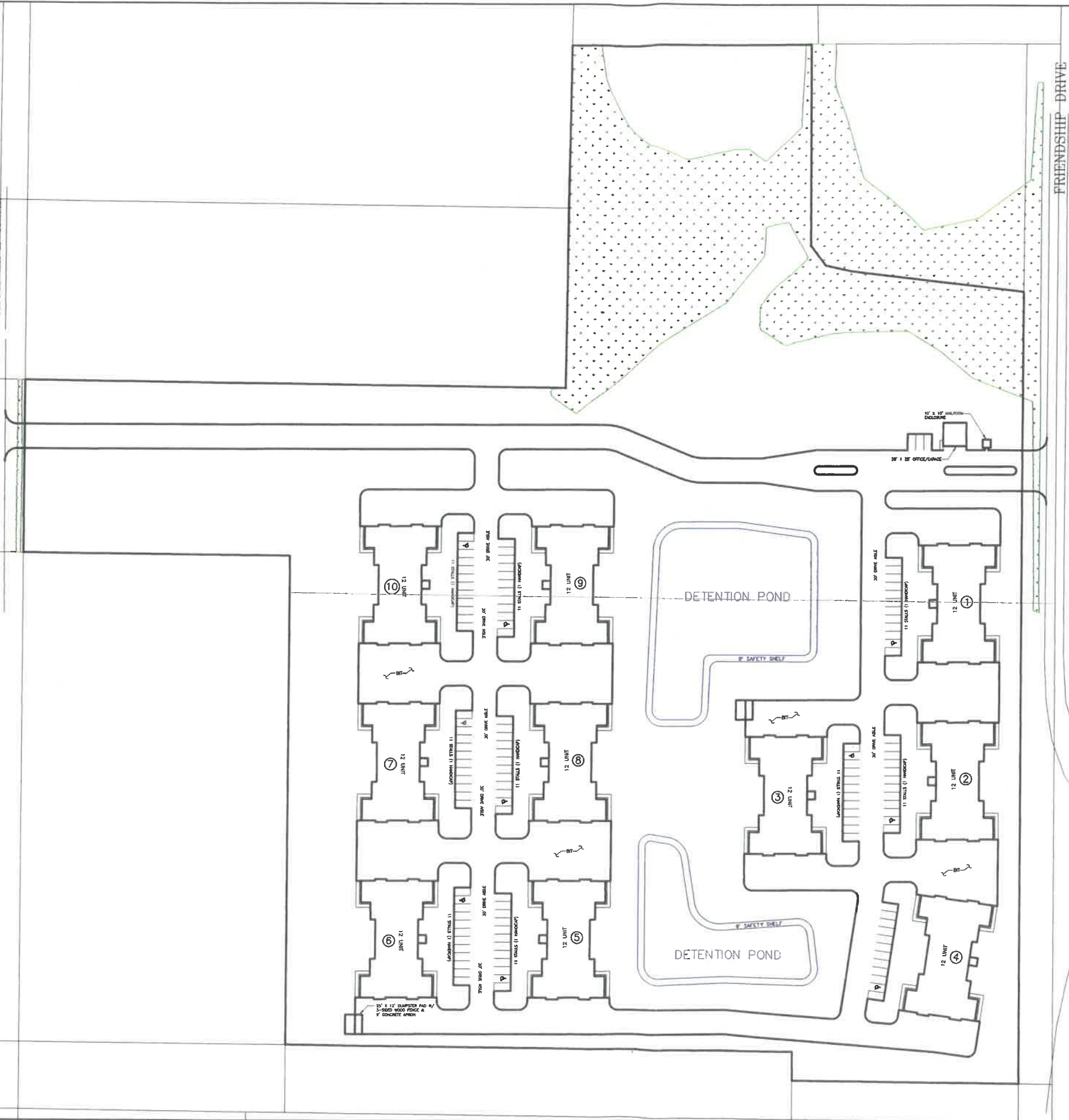
8



10/27/2019 10:27:10 AM J:\Projects\2019\2019-09-27\2019-09-27.dwg

HIGH LINE ROAD

FRIENDSHIP DRIVE



- LEGEND**
- PROPERTY CORNER (THEORETICAL)
  - ⊕ REBAR FOUND
  - ⊙ MONUMENT FOUND
  - SITE PROPERTY LINE
  - PROPERTY OR RIGHT-OF-WAY LINE
  - FUTURE RIGHT-OF-WAY LINE
  - BUILDING SETBACK
  - EASEMENT
  - EXISTING FENCE
  - EXISTING RAILROAD
  - GRAVEL
  - CURB & GUTTER (ALL C & G 18" REVERSE SLOPE)
  - TREE LINE
  - EXISTING OVERHEAD ELECTRIC
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - EXISTING WATERMAIN
  - EXISTING UNDERGROUND GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING UNDERGROUND PHONE LINE
  - EXISTING CATCH BASIN MANHOLE
  - EXISTING CATCH BASIN INLET
  - EXISTING STORM OR SANITARY MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING HYDRANT
  - EXISTING WATER VALVE
  - EXISTING PEDESTAL
  - POWER POLE
  - EXISTING LIGHT POLE
  - GAS VALVE
  - PAD MOUNTED TRANSFORMER
  - EXISTING CULVERT

**RECEIVED**  
**OCT 03 2019**  
**HARRISON PLANNING**

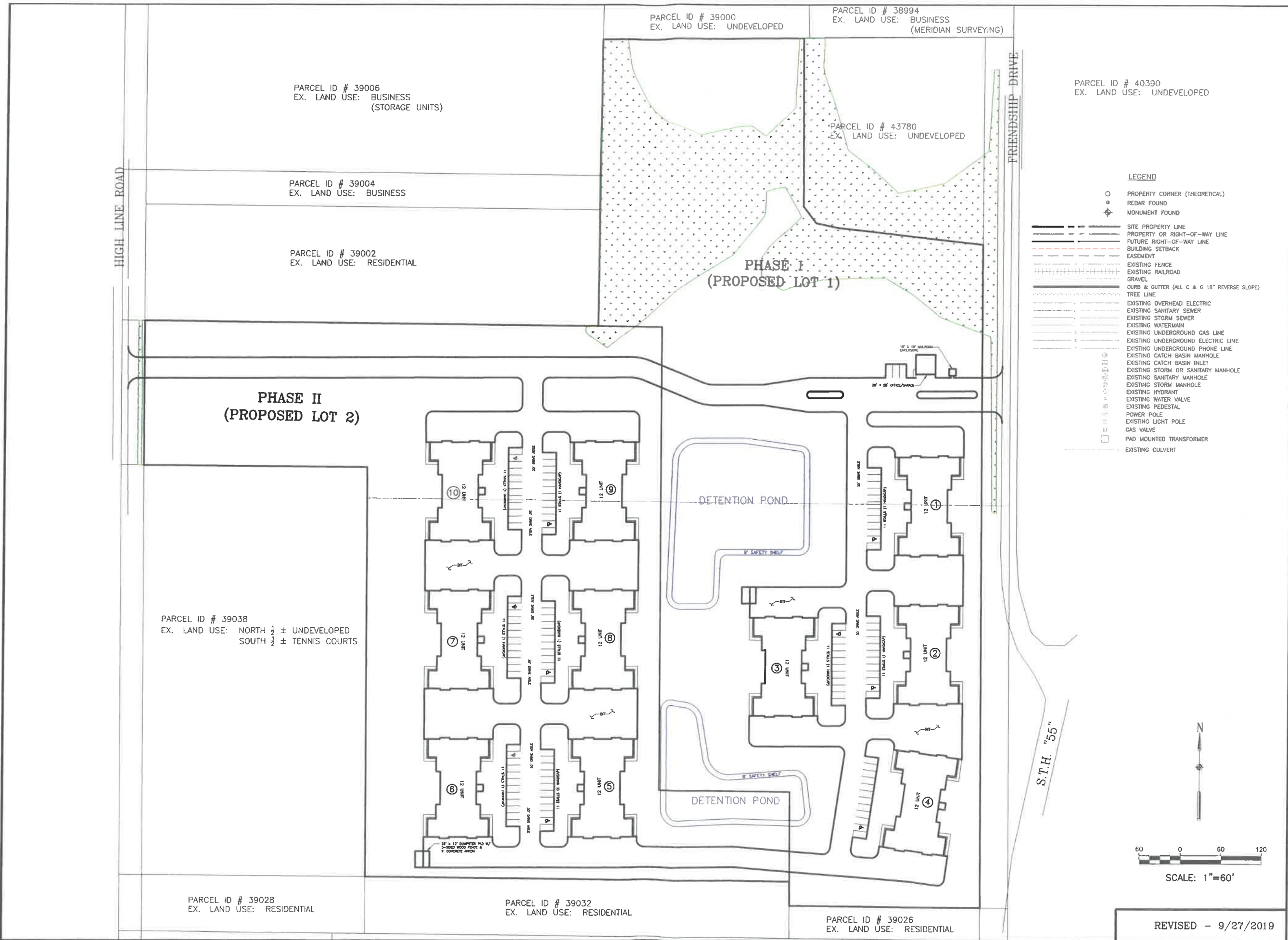


SCALE: 1"=60'

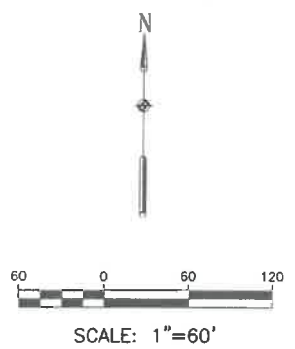
REVISED - 9/27/2019

RELEASE	DATE:	BY:	
Project Review			
NO.	DATE:	BY:	
DESCRIPTION			
REVISIONS			
<b>NICOLET LUMBER CO.</b> 4050 NICOLET DRIVE GREEN BAY, WI 54311			
<b>JMM CONSULTING, LLC</b> CONSULTING ENGINEERS		840 CHALLENGER DRIVE - SUITE 140 Green Bay, WI 54311-8951 Phone: 920/592-9806 Fax: 920/592-9813	
<b>SITE PLAN</b>			
PROPOSED MULTI-FAMILY DEVELOPMENT VILLAGE OF HARRISON, WISCONSIN			
DRAWN BY: MJE		DATE: 9/27/2019	
SCALE: 1" = 60'		DRAWING NO.	
		1	

14. Nicolet Lumber 2019 Wisconsin 11/27/19 10:54:11 AM



- LEGEND**
- PROPERTY CORNER (THEORETICAL)
  - REBAR FOUND
  - ⊕ MONUMENT FOUND
  - SITE PROPERTY LINE
  - - - PROPERTY OR RIGHT-OF-WAY LINE
  - FUTURE RIGHT-OF-WAY LINE
  - BUILDING SETBACK
  - EASEMENT
  - EXISTING FENCE
  - EXISTING RAILROAD
  - GRAVEL
  - CURB & GUTTER (ALL C & C 18" REVERSE SLOPE)
  - TREE LINE
  - EXISTING OVERHEAD ELECTRIC
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - EXISTING WATERMAIN
  - EXISTING UNDERGROUND GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING UNDERGROUND PHONE LINE
  - EXISTING CATCH BASIN MANHOLE
  - EXISTING CATCH BASIN INLET
  - EXISTING STORM OR SANITARY MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING HYDRANT
  - EXISTING WATER VALVE
  - EXISTING PEDESTAL
  - POWER POLE
  - EXISTING LIGHT POLE
  - GAS VALVE
  - PAD MOUNTED TRANSFORMER
  - EXISTING CULVERT



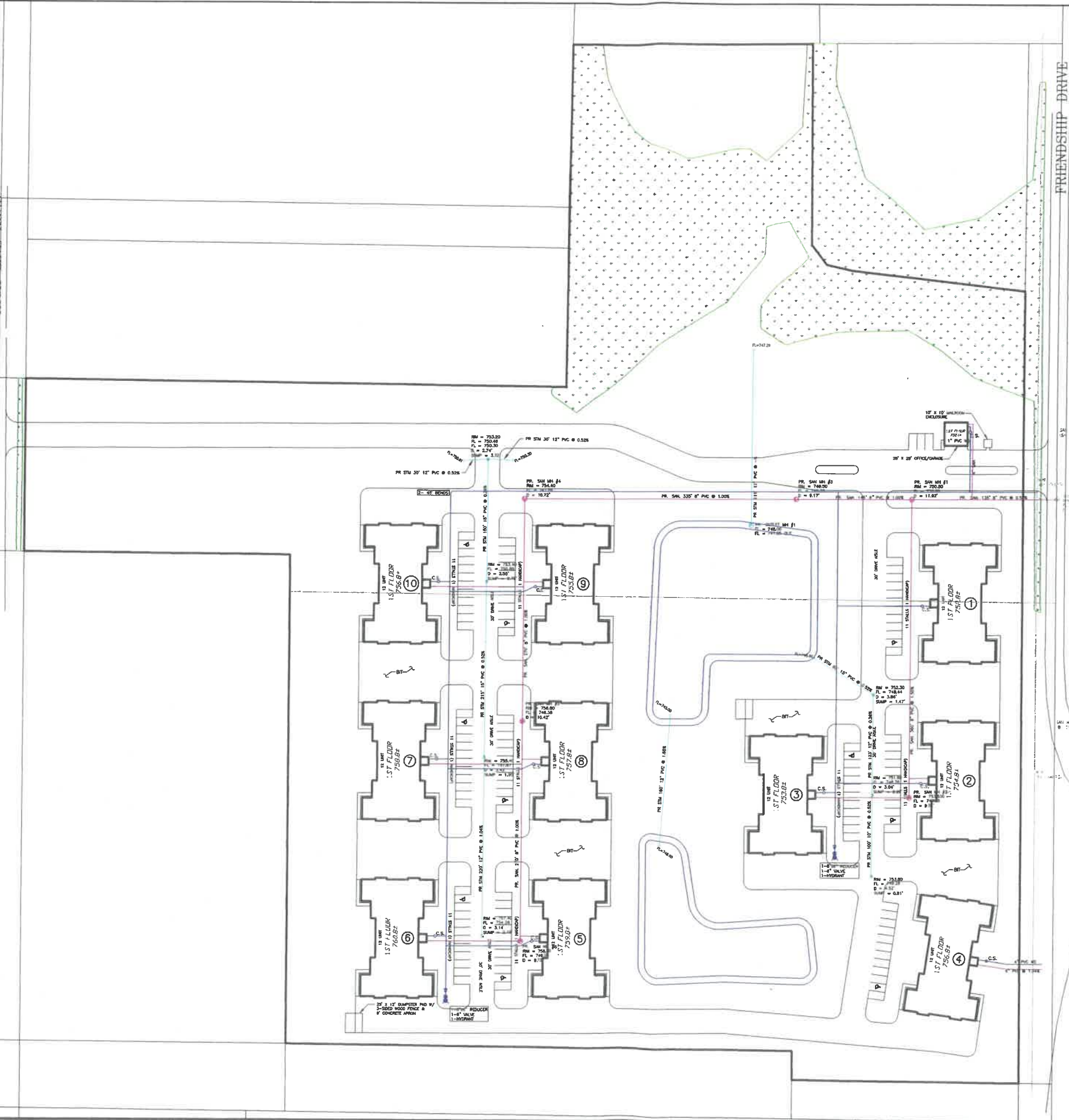
<b>RELEASE</b>	<b>DATE:</b>	<b>BY:</b>	<b>Project Review</b>	
<b>NO.</b>	<b>DATE:</b>	<b>BY:</b>	<b>REVISIONS</b>	
<b>REVISIONS</b>			<b>NICOLET LUMBER CO.</b> 4050 NICOLET DRIVE GREEN BAY, WI 54311	
<b>JAM CONSULTING, LLC</b> 840 CHALLENGER DRIVE - SUITE 140 GREEN BAY, WI 54311-8951 Phone: 820/592-8608 Fax: 820/592-9613				
<b>PHASING PLAN</b>			<b>PROPOSED MULTI-FAMILY DEVELOPMENT</b> VILLAGE OF HARRISON, WISCONSIN	
<b>DRAWN BY: MJE</b> <b>DATE: 8/27/2019</b> <b>SCALE: 1" = 60'</b> <b>DRAWING NO.</b>				
<b>REVISED - 9/27/2019</b>			2	



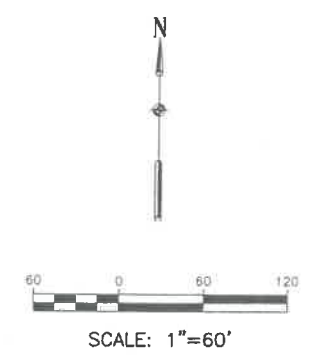
11/20/19 11:58:57 AM J:\Projects\2019\2019-09-10\2019-09-10.dwg 4/25/19 11:58:57 AM

HIGH LINE ROAD

FRIENDSHIP DRIVE



S.T.H. "55"



REVISED - 9/26/2019

RELEASE DATE:	BY:	
Project Review		
6		
4		
3		
2		
1		
NO.	DATE:	BY:
DESCRIPTION		
REVISIONS		

**NICOLET LUMBER CO.**  
 4060 NICOLET DRIVE  
 GREEN BAY, WI 54911

**JJM CONSULTING, LLC**  
 CONSULTING ENGINEERS  
 840 CHALLENGER DRIVE - SUITE 140  
 Green Bay, WI 54911-8565  
 Phone: 920/592-9806 Fax: 920/592-9813

**ON-SITE UTILITY PLAN**

PROPOSED MULTI-FAMILY  
 DEVELOPMENT  
 VILLAGE OF HARRISON, WISCONSIN

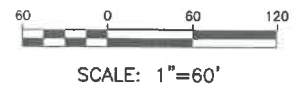
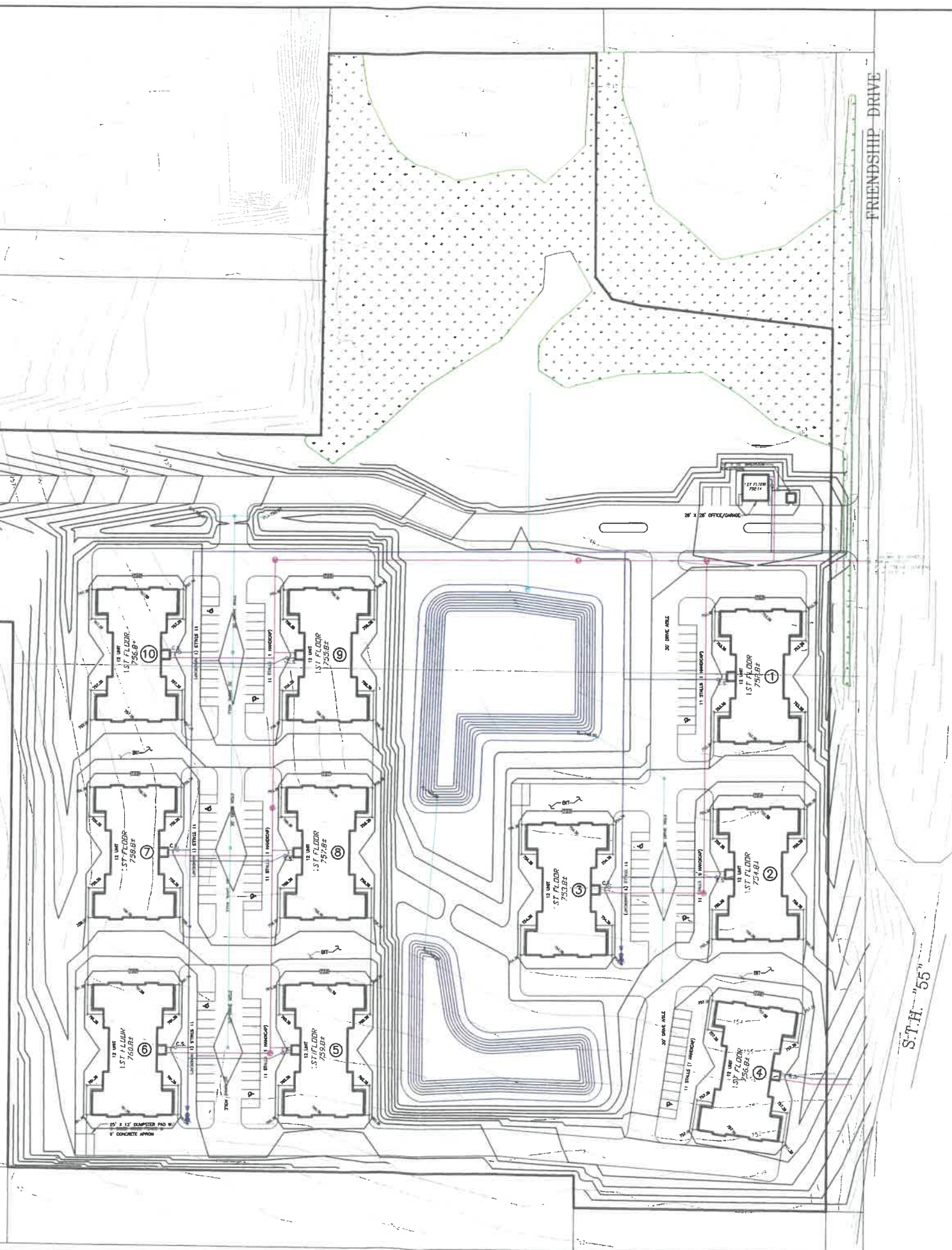
DRAWN BY: MJE  
 DATE: 9/26/2019  
 SCALE: 1" = 60'  
 DRAWING NO.

**3**

18 - 101 - lumber - 2019 - 10/26/2019 - 10/26/2019 - 10/26/2019 - 10/26/2019

HIGH LINE ROAD

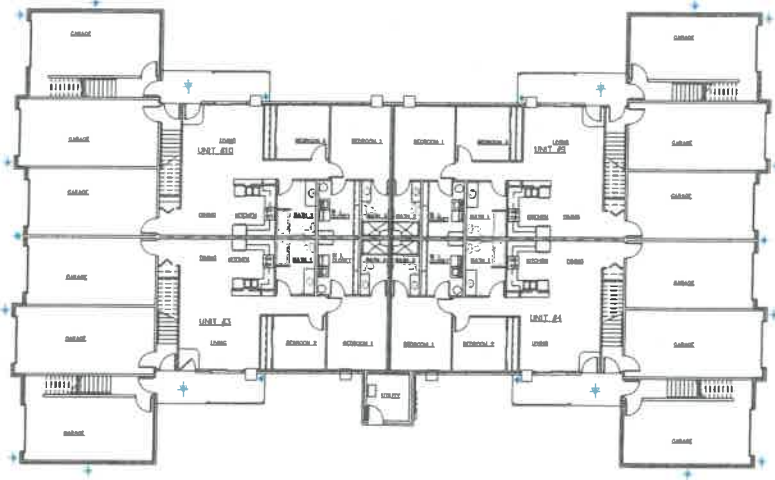
FRIENDSHIP DRIVE



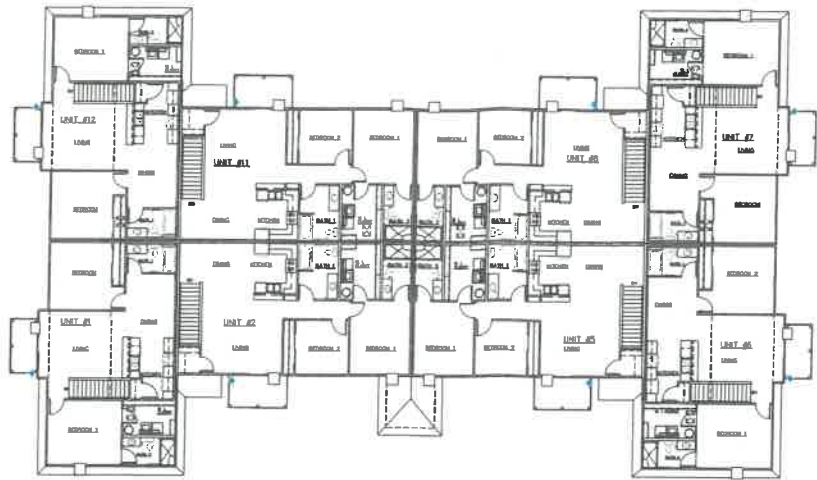
REVISED - 9/26/2019

RELEASE DATE:	BY:	
Project Review		
1		
2		
3		
4		
NO.	DATE:	BY:
DESCRIPTION		
REVISIONS		
<b>NICOLET LUMBER CO.</b> 4050 NICOLET DRIVE GREEN BAY, WI 54311		
<b>JJM CONSULTING, LLC</b> CONSULTING ENGINEERS 640 CHALLENGER DRIVE - SUITE 140 Green Bay, WI 54311-8951 Phone: 920/592-9606 Fax: 920/592-9613		
<b>GRADING &amp; DRAINAGE PLAN</b>		
<b>PROPOSED MULTI-FAMILY DEVELOPMENT</b> VILLAGE OF HARRISON, WISCONSIN		
DRAWN BY:	MJE	
DATE:	9/26/2019	
SCALE:	1" = 60'	
DRAWING NO.	4	

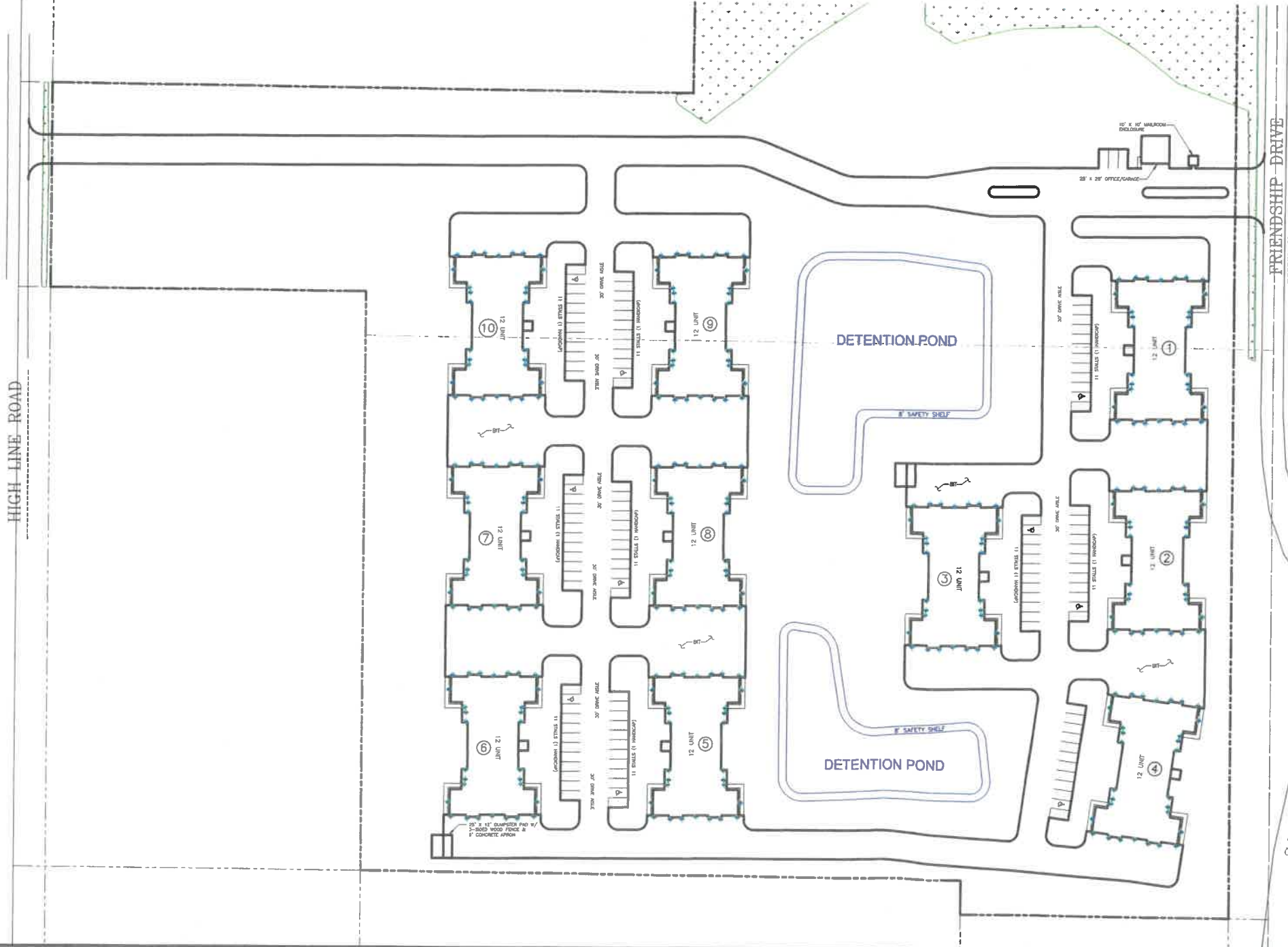




FIRST FLOOR PLAN  
NOT TO SCALE



SECOND FLOOR PLAN  
NOT TO SCALE



HIGH LINE ROAD

FRIENDSHIP DRIVE

S.T.H. "55"



**Patriot Lighting® Manor 16" Royal Bronze Transitional 1-Light Outdoor Wall Light**  
Model Number: ow4817tzc 1 Menard® SKU: 3564817

Hardware or Plug-in: Hardwire  
Fixture Color / Finish: Royal Bronze  
Shade / Diffuser Color / Finish: Clear  
Energy Star Compliant: No  
Filter Size: N/A

Includes: Mounting Hardware, Instructions, Fixture, (1) 1 light outdoor wall light, installation instructions, hardware kit

Fixture Color / Finish: Royal Bronze  
Warranty: 5 year  
Total Wattage: 100 Watt  
Power Source: 120V AC Input  
Maximum Wattage Per Socket: 100 Watt  
Bulb Base: E26  
Light Color Temperature: N/A  
Material: Steel  
Style: Transitional  
Location Rating: Wet Location  
Manufacturer Warranty: 5 year



**Patriot Lighting® Manor 10" Royal Bronze 1-Light Outdoor Wall Light**  
Model Number: ow4820tzc 1 Menard® SKU: 3564820

Hardware or Plug-in: Hardwire  
Fixture Color / Finish: Royal Bronze  
Shade / Diffuser Color / Finish: Clear, Clear Seeded  
Energy Star Compliant: No  
Filter Size: N/A

Includes: Mounting Hardware, Instructions, Fixture, (1) 1 light outdoor wall light, installation instructions, hardware kit

Fixture Color / Finish: Royal Bronze  
Warranty: 5 year  
Total Wattage: 100 Watt  
Power Source: 120V AC Input  
Maximum Wattage Per Socket: 100 Watt  
Bulb Base: E26  
Light Color Temperature: N/A  
Material: Aluminum  
Style: Transitional  
Location Rating: Wet Location  
Manufacturer Warranty: 5 year

NOTE: 2 DENOTES 2ND FLOOR

**E26 Screw Base IC Housing**  
H7ICAT

**6 INCH**



**H7ICAT**  
6" IC, Air-Tite, New Construction, 120V

The H7 recessed housing is the standard in the industry for both light recessed and non-recessed applications. H7 series housings feature full frame design, robust construction, lead-through wiring, Gull-Nail bar hangers, and may support use of higher wattage lamps. A wide variety of trims allows a number of different lighting effects to be created with one basic housing. H7ICAT is for installations where the housing will be in direct contact with insulation, and its Air-Tite design will also meet restrictive air flow code requirements. May be retrofit with compatible Halo LED lighting systems.

Model	IC	IC	IC	IC	IC
26	300	400	500	610	810
26	310	410	510	620	820
26	312	412	512	622	822
26	314	414	514	624	824
170	308	408	508	618	818
170	318	418	518	628	828
172	316	416	516	626	826
172	326	426	526	636	836

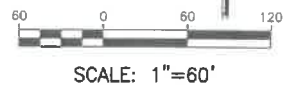
Compatible Trims: Gull-Nail™ bar hangers, Channel bars with Pass-N-Tite™, Side-N-Side™ junction box, Gull-Nail™ junction box, Air-Tite™ code compliant.

UL LISTED: There are UL listed housings. Select trim are checked for use in other housings, see www.halo.com/lighting for details.

- Features**
- Housing: Single wall aluminum housing, Standard construction for general applications, Full frame design, robust construction, lead-through wiring, Gull-Nail bar hangers, and may support use of higher wattage lamps. A wide variety of trims allows a number of different lighting effects to be created with one basic housing. H7ICAT is for installations where the housing will be in direct contact with insulation, and its Air-Tite design will also meet restrictive air flow code requirements. May be retrofit with compatible Halo LED lighting systems.
  - Socket: Right hand side socket and left hand side socket for use with E26 and E27 lamps, Socket is made of high quality plastic and is designed to hold the lamp in place, and is designed to hold the lamp in place, and is designed to hold the lamp in place.
  - Plaster Frame: Housing is made of plastic frame to accommodate up to 1/2" of plaster, Gull-Nail bar hangers, and may support use of higher wattage lamps. A wide variety of trims allows a number of different lighting effects to be created with one basic housing. H7ICAT is for installations where the housing will be in direct contact with insulation, and its Air-Tite design will also meet restrictive air flow code requirements. May be retrofit with compatible Halo LED lighting systems.
  - Thermal Protector: Self-heating thermal protector deactivates if a fire is detected, and is designed to hold the lamp in place, and is designed to hold the lamp in place.
  - Trims: H7ICAT concept allows multiple trim options in a variety of sizes, colors, and finishes. H7ICAT is designed to hold the lamp in place, and is designed to hold the lamp in place.
- Compliance**
- UL listed E26 housing
  - UL listed E27 housing
  - UL listed for use with standard control ballasts, and is listed for use with standard control ballasts, and is listed for use with standard control ballasts.
  - UL listed for use with standard control ballasts, and is listed for use with standard control ballasts.

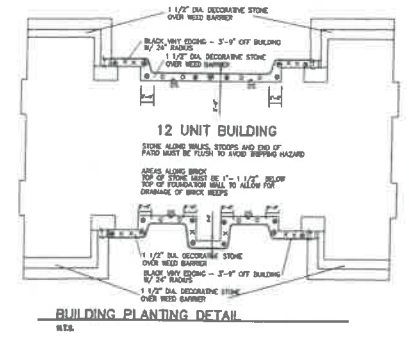
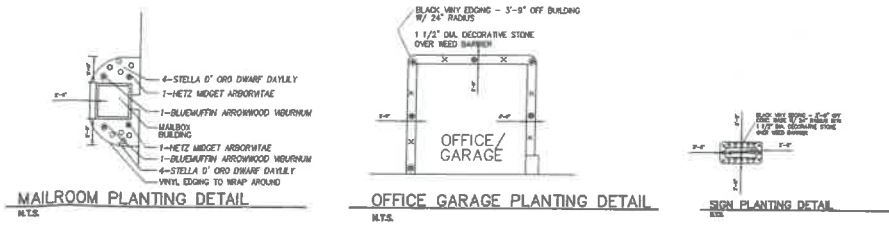
TYPICAL FIXTURE DETAIL  
NOT TO SCALE

NOTE: ALL LAMPS ARE 9 WATT LED.



SCALE: 1"=60'

RELEASE DATE: BY:	Project Review
NO. DATE: BY:	
DESCRIPTION	
REVISIONS	
<b>NICOLET LUMBER CO.</b>	
4050 NICOLET DRIVE GREEN BAY, WI 54311	
840 CHALLENGER DRIVE - SUITE 140 Green Bay, WI 54311-8561 Phone: 920/582-0606 Fax: 920/582-0613	<b>LIGHTING PLAN</b>
<b>JMI CONSULTING, LLC</b> CONSULTING ENGINEERS	
<b>PROPOSED MULTI-FAMILY DEVELOPMENT</b> VILLAGE OF HARRISON, WISCONSIN	
DRAWN BY: MJE	
DATE: 9/24/2019	
SCALE: 1" = 60'	
DRAWING NO. 5	



**PLANT SCHEDULE**

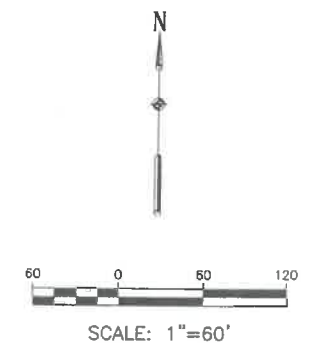
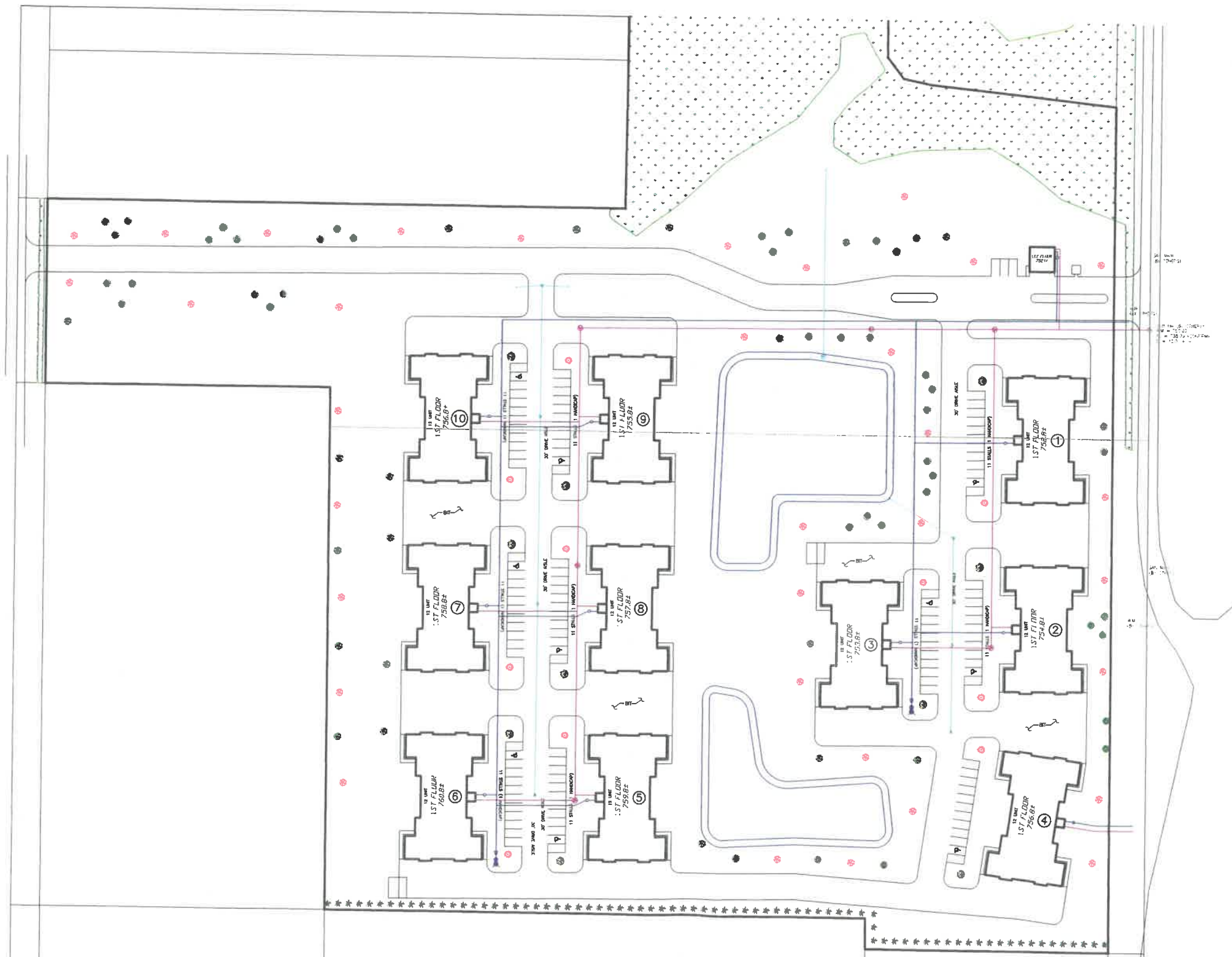
KEY	PLANT NAME	PLANT SIZE	QUANTITY PER BUILDING	POINTS	POINT TOTAL
O	PIRELLA FRAXINOSA VULPINOX	3 GAL	8	4	32
●	PIRELLA FRAXINOSA VULPINOX	3 GAL	14	4	56
●	PIRELLA FRAXINOSA VULPINOX	3 GAL	5	4	20
X	PIRELLA FRAXINOSA VULPINOX	3 GAL	10	4	40
SD	PIRELLA FRAXINOSA VULPINOX	1 GAL	8	4	32
<b>TOTALS</b>			<b>45</b>		<b>180</b>

3 ROLLS 4'X100' 3.2 OZ. WEED BARRIER

**PLANT SCHEDULE**

KEY	PLANT NAME	PLANT SIZE	QUANTITY	POINTS	POINT TOTAL
○	ACER GREEN	2" CALIPER	18	50	450
●	ACER RUBRA	2" CALIPER	34	50	550
●	PIRELLA FRAXINOSA VULPINOX	5" TALL	44	30	1,320
●	PIRELLA FRAXINOSA VULPINOX	3 GAL	77	30	2,310
●	PURPLE PRINCE ORB	2" CALIPER	10	20	200
●	SPRING SHOW ORB	2" CALIPER	10	20	200
<b>TOTALS</b>			<b>171</b>		<b>5,330</b>

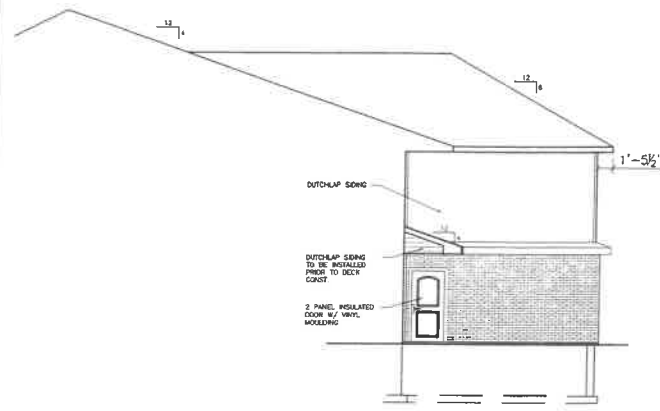
PERSUANT TO SEC. 117-256  
 TOTAL IMPERVIOUS AREA = 337,484 SF ±  
 x 20 POINTS / 1,000 SF = 6,750 POINTS REQUIRED



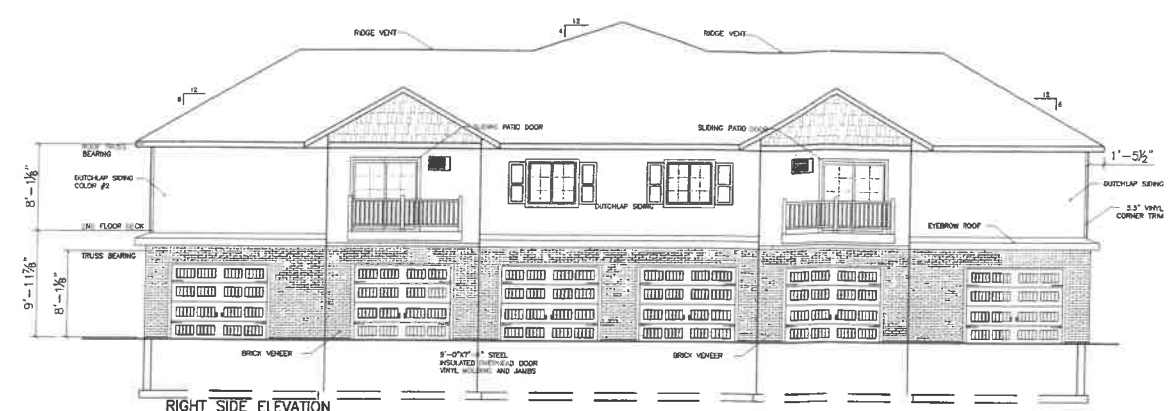
RELEASE DATE: BY:	Project Review
NO. DATE: BY:	
DESCRIPTION	
REVISIONS	
<b>NICOLETT LUMBER CO.</b> 4050 NICOLETT DRIVE GREEN BAY, WI 54311	
<b>JAM CONSULTING, LLC</b> 840 CHALLENGER DRIVE - SUITE 140 GREEN BAY, WI 54311-8351 Phone: 920/582-8606 Fax: 920/582-8613	<b>LANDSCAPING PLAN</b>
PROPOSED MULTI-FAMILY DEVELOPMENT VILLAGE OF HARRISON, WISCONSIN	
DRAWN BY: MJE	
DATE: 9/25/2019	
SCALE: 1" = 60'	
DRAWING NO.	6

REVISED - 9/25/2019





FRONT & REAR RIGHT SIDE GARAGE ELEVATION  
SCALE: 1/8" = 1'-0"



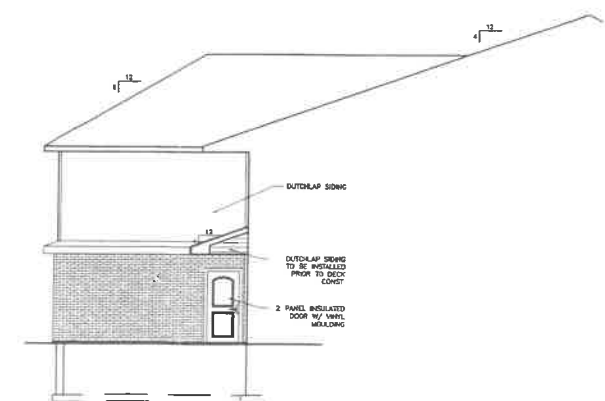
RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



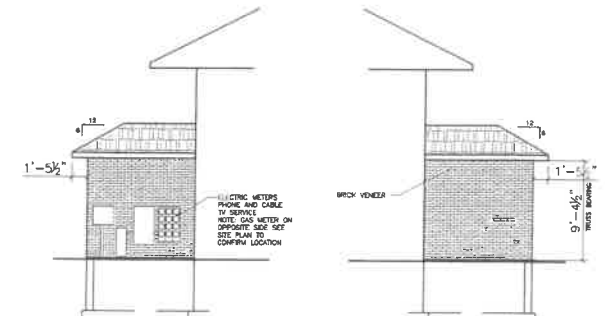
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



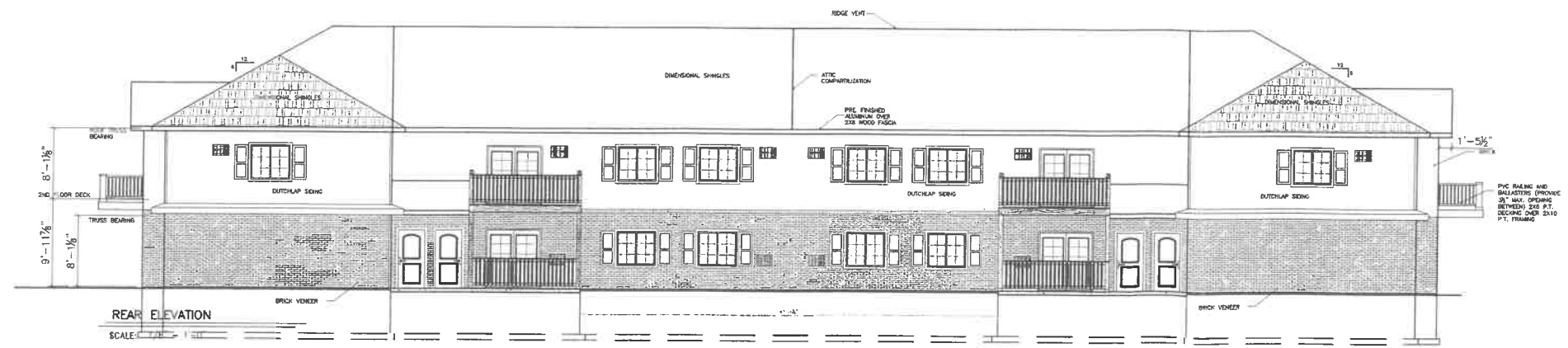
LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT & REAR LEFT SIDE GARAGE ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT & LEFT SIDE UTILITY ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

24 LIGHT FIXTURES AROUND BUILDING AND STANDARD (6X6) J-BLOCK FOR RECEPTACLES (12)  
NOTE: SIDING INSTALLER TO PROVIDE HOODED STYLE 4" DRYER DUCT VENTS W/ FLAPPER (8) AND HOODED STYLE 4" BATH EXHAUST VENTS W/ FLAPPER (6) TO MATCH SIDING COLOR AND DEFLECT-0 SOFFIT STYLE DRYER EXHAUST VENTS W/ FLAPPER (4) WHITE COLOR TRIM OUT GRILLES PER MANF. INSTRUCTION FOR DRYERS.  
NOTE: SIDING INSTALLER TO CONNECT TO BATH EXHAUST DUCT AND INSTALL SOFFIT GRILLE WITH MID AMERICA MASTER EXHAUST VENT WHITE COLOR. (16)  
NOTE: SIDING INSTALLER TO PROVIDE CLEAR EXTERIOR GRADE SEALANT AND CAULK ALONG STONE, AC SLEEVES, DOOR MOLDINGS, DECK JOIST AND RAILINGS, J-TRIM.  
TAPE OFF VENTED SOFFIT WITH TYVEK LIKE TAPE 24" EACH SIDE OF SOFFIT EXHAUST VENT.

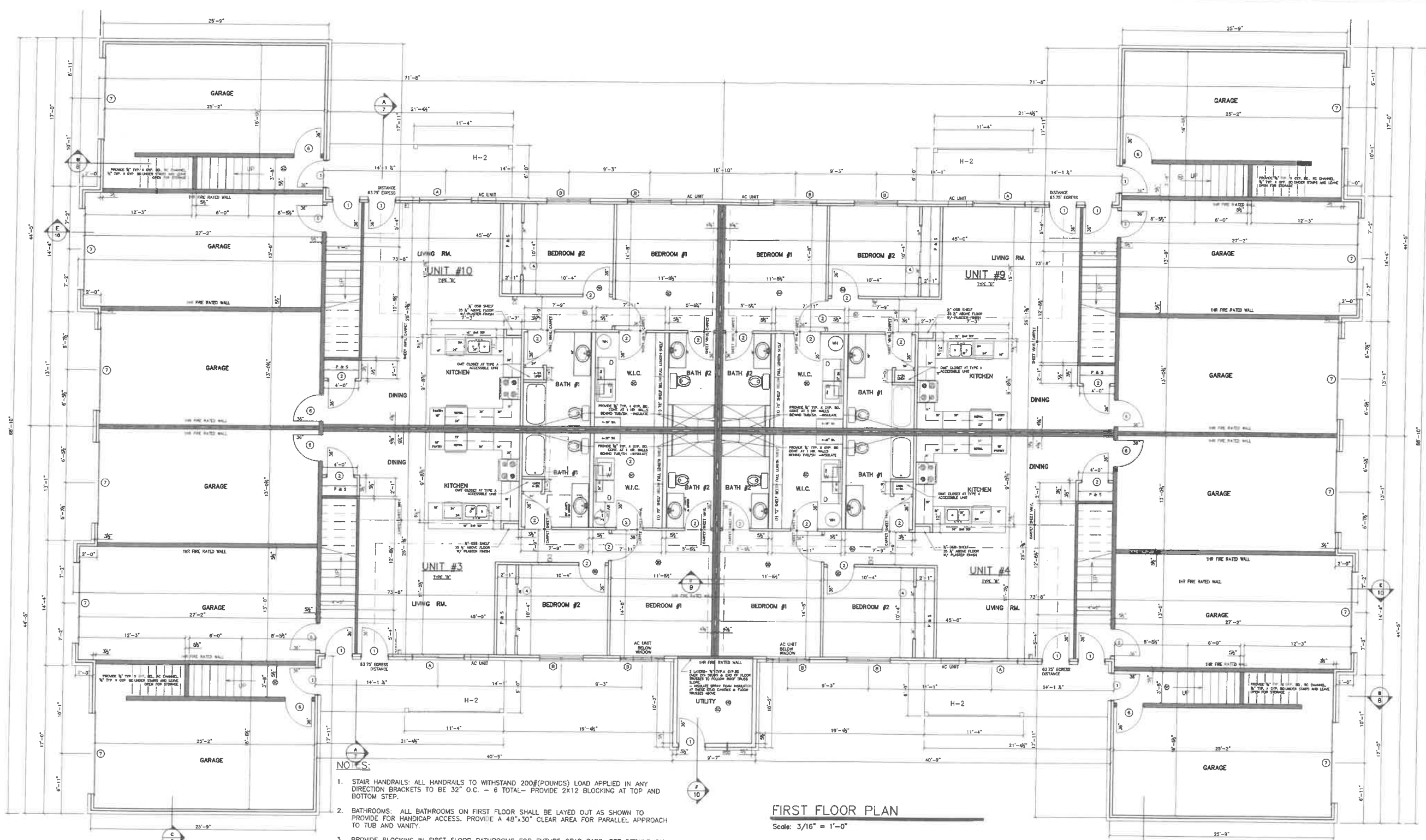
NOTE: THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS, & CONDITIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

DATE: \_\_\_\_\_  
FILE: 3  
JOB: \_\_\_\_\_  
SHEET: 5

**PROPOSED 12 UNIT APARTMENT**  
**NICOLET LUMBER CO.**  
**HARRISON, WI.**

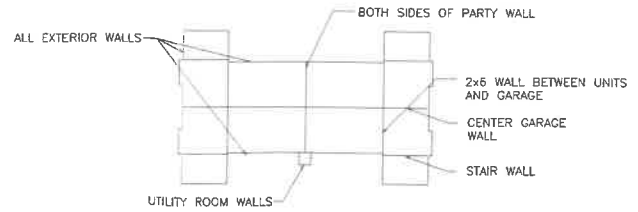
LLOYD CARPENTER-ARCHITECT, LLC  
2665 MAPLE HILLS DRIVE, GREEN BAY, WI, 54313  
(920) 655-3829  
CARPARCH@GMAIL.COM





**FIRST FLOOR PLAN**

Scale: 3/16" = 1'-0"



**NOTES: FIRE ALARM SYSTEM**

1. EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT AND A HORN LOCATED IN THE HALL BY THE BEDROOMS.
2. ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
3. SMOKE DETECTORS SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
4. SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT WITH EMERGENCY POWER BACKUP.

- SMOKE ALARM
- FIRE ALARM HORN
- FIRE ALARM PULL STATION
- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- FIRE DEPT. CONNECTION

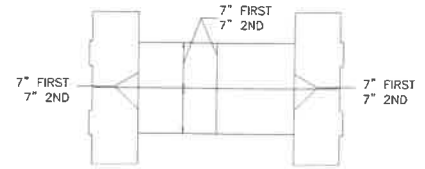
**NOTES:**

1. STAIR HANDRAILS: ALL HANDRAILS TO WITHSTAND 200#(POUNDS) LOAD APPLIED IN ANY DIRECTION BRACKETS TO BE 32" O.C. - 6 TOTAL- PROVIDE 2X12 BLOCKING AT TOP AND BOTTOM STEP.
2. BATHROOMS: ALL BATHROOMS ON FIRST FLOOR SHALL BE LAYED OUT AS SHOWN TO PROVIDE FOR HANDICAP ACCESS. PROVIDE A 48"x30" CLEAR AREA FOR PARALLEL APPROACH TO TUB AND VANITY.
3. PROVIDE BLOCKING IN FIRST FLOOR BATHROOMS FOR FUTURE GRAB BARS. SEE DETAILS ON SHEET 6.
4. DOORS: ALL FIRST FLOOR DOORS SHALL BE A MINIMUM OF 3'-0" TO PROVIDE A NOMINAL CLEAR OPENING OF 34".
5. LUMBER FOR JOISTS, HEADERS, RAFTERS, AND OTHER STRUCTURAL FRAMING, SPF #1/#2 OR BETTER. ALL TOP PLATES FOR ROOF TRUSS BEARING TO BE SPF #1/#2 EXCEPT AT LOWER GARAGE ROOF GIRDER BEARING AND SECOND FLOOR BUMPUPT GIRDER BEARING S. YELLOW PINE ALL OTHER LUMBER - SPF STUD GRADE OR BETTER.
6. ALL WALLS BETWEEN UNITS SHALL BE ONE HOUR FIRE RATED.
7. EXTERIOR SHEATHING TO BE DOW BRAND 1" EXTRUDED POLYSTYRENE TYPE IV. PER ASTM C578
8. AT ALL FIRST FLOOR WINDOWS ONLY INSTALL 2X4 PLATE BOTTOM OF HEADERS
9. HEADERS MADE UP OF MULTIPLE PLIES OF LUMBER SHALL BE FULL LENGTH CONTINUOUS BETWEEN POSTS. SPLICES OF PLIES BETWEEN POSTS ARE NOT PERMITTED.
10. PROVIDE MINIMUM DOUBLE STUD POST AT EACH END OF ALL WINDOW HEADERS AND GIRDER TRUSS BEARING PROVIDE MIN. 3 STUD POSTS
11. PROVIDE SOLID BLOCKING IN THE FIRST FLOOR TRUSS SPACE BETWEEN POSTS ON THE SECOND FLOOR AND POSTS ON THE FIRST FLOOR
12. UNDER TUBS AND SHOWERS AT RSECOND FLOOR INSTALL 1/2" APA RATED OSB SHEATHING PER APA SPEC PR-108 PER UL550 SYSTEM 1
13. AC SLEEVES ARE 26 1/4"x16 1/4" IN. BEDROOM S ARE 42" ABOVE FLOOR TO SILL. LIVING ROOM IS 3" BELOW WINDOW TO TOP.
14. FRAMER TO ATTACH EXTERIOR TREATED WALL BASE PLATES WITH DRILLED IN ANCHOR BOLTS LOCATED 48" O.C. AND 12" FROM EACH END. WITH 1/2" DIA x 5" SILL BOLTS (2 1/4" MIN. EMBEDMENT INTO CONCRETE) ATTACH INTERIOR TREATED WALL BASE PLATES AT SHORT PARTY WALLS (SHEAR WALLS) WITH ANCHOR BOLTS 48" O.C. AND 12" FROM EACH END. WITH 1/2" DIA. x 5" SILL BOLTS (2 1/4" MIN. EMBEDMENT INTO CONCRETE). MINIMUM TWO ANCHOR BOLTS PER ANY LENGTH OF PLATE.

15. THE FOLLOWING IS A SCHEDULE FOR FASTENING GYPSUM BOARD AT SUPPORTED PANEL EDGES AND FIELD OF PANELS:

FIRST FLOOR CEILINGS 8" O.C. OVER CHANNELS @ 12" O.C.  
2ND FLOOR CEILINGS 10" O.C.

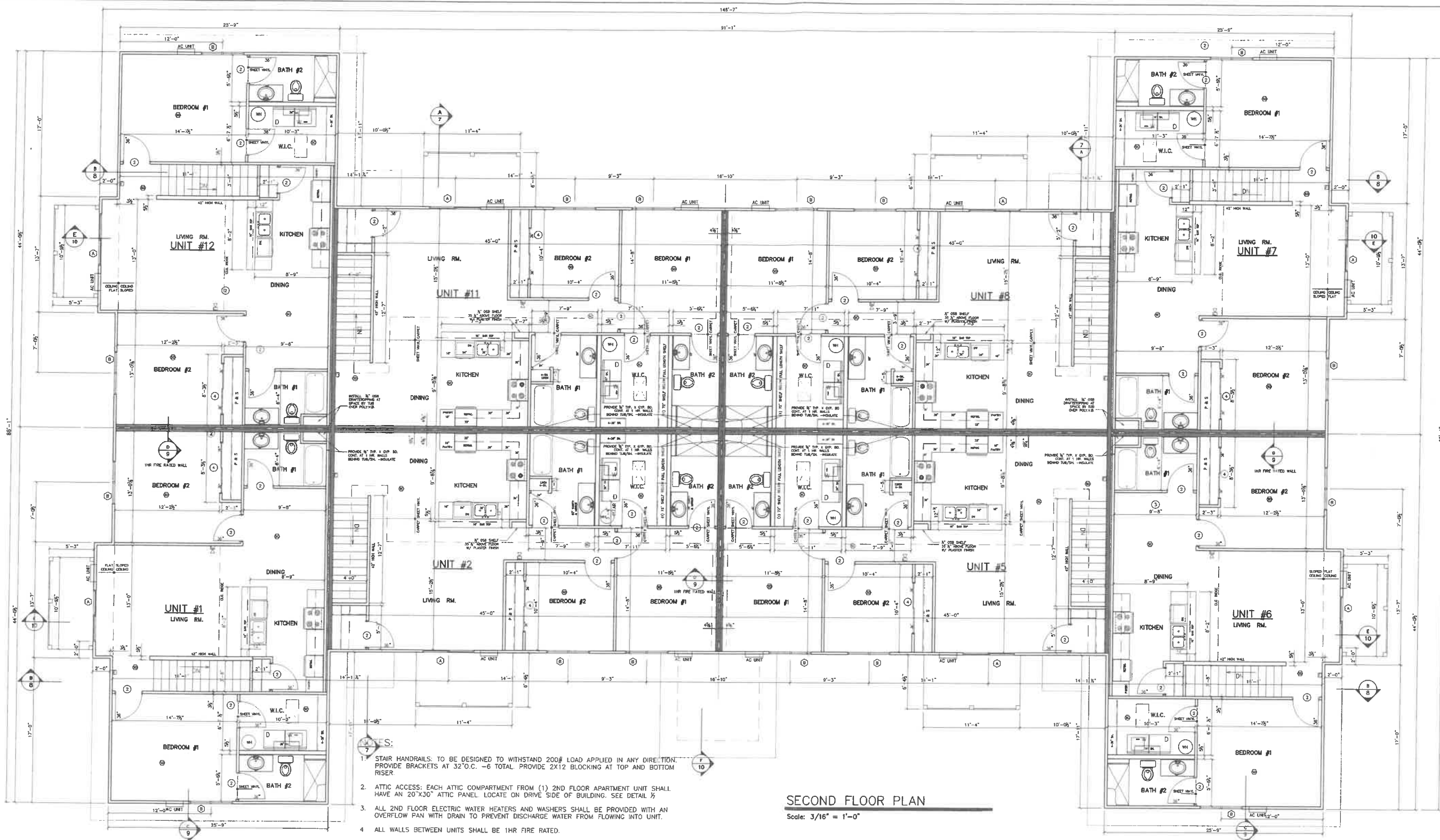
WALL FASTENER SPACING SHALL BE AS SHOWN BELOW



NOTE: THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS, & CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION

**PROPOSED 12 UNIT**  
**NICOLET LUMBER CO.**  
**HARRISON, WISCONSIN**  
LLOYD CARPENTER-ARCHITECT, LLC  
2663 MAPLE HILLS DRIVE, GREEN BAY, WI, 54313  
(920) 655-3829  
CARPARCH@GMAIL.COM

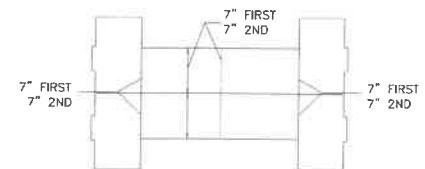
DATE: \_\_\_\_\_  
FILE: 3  
JOB: \_\_\_\_\_  
SHEET: 2



**SECOND FLOOR PLAN**

Scale: 3/16" = 1'-0"

11. THE FOLLOWING IS A SCHEDULE FOR FASTENING GYPSUM BOARD AT SUPPORTED PANEL EDGES AND FIELD OF PANELS:  
 FIRST FLOOR CEILINGS 8" O.C. OVER CHANNELS @ 12" O.C.  
 2ND FLOOR CEILINGS 10" O.C.  
 WALL FASTENER SPACING SHALL BE AS SHOWN BELOW



- NOTES:**
- STAIR HANDRAILS: TO BE DESIGNED TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. PROVIDE BRACKETS AT 32" O.C. - 6 TOTAL PROVIDE 2X12 BLOCKING AT TOP AND BOTTOM RISER.
  - ATTIC ACCESS: EACH ATTIC COMPARTMENT FROM (1) 2ND FLOOR APARTMENT UNIT SHALL HAVE AN 20"X30" ATTIC PANEL LOCATE ON DRIVE SIDE OF BUILDING. SEE DETAIL 3/.
  - ALL 2ND FLOOR ELECTRIC WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM FLOWING INTO UNIT.
  - ALL WALLS BETWEEN UNITS SHALL BE 1HR FIRE RATED.
  - PLUMBER TO INSTALL 5/8" TYPE X GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB/SH. BEFORE RUNNING DRAIN LINE THRU FLOOR AND FIRE CAULK OPENING.
  - PORCHES: ALL LUMBER USED IN THE CONSTRUCTION OF THE 2ND FLOOR DECKS SHALL BE TREATED .DECAY RESISTANT LUMBER. DECK CONSTRUCTION SHALL HAVE MIN. LIVE LOAD OF 100#PSF.. ALL PORCH RAILINGS SHALL HAVE A HEIGHT OF 42" FROM DECK. RAILINGS SHALL BE CONSTRUCTED SO AN 4" OBJECT CANNOT PASS THRU RAILINGS. HANDRAILS AND GUARDRAILS TO BE DESIGNED FOR 200# LOAD APPLIED IN ANY DIRECTION.
  - AC SLEEVES TO BE 26 1/2" X 16 1/4" H.R.O. 1ST FLOOR ARE 42" A.F.F.. 2ND FLOOR TOP OF SLEEVE IS WINDOW HEADER HT.
  - BEFORE INSTALLING 3/4" GYP. BD. BEHIND TUB SHOWERS INSTALL 3 1/2" BATT INSUL. AT SHOWERS AT CORNER UNITS INSTALL R-13 BATTS & 4MIL V.B..
  - UNDER TUBS AND SHOWERS AT 2ND FLOOR INSTALL 1/2" APA RATED OSB SHEATHING PER APA SPEC PR-108 PER UL L550 SYSTEM 1
  - FIRE WALL PENETRATIONS: NO OPENINGS AROUND PIPE, ELECTRICAL BOXES, CONDUITS, DUCTS, OR OTHER PENETRATING ITEMS THROUGH A FIRE PROTECTIVE MEMBRANE ( WHICH IS GYP. BD. OR FLOOR SHEATHING) SHALL BE MORE THAN 3/8", IF MORE THAN 3/8" ALL OPENINGS MUST BE SEALED WITH FIRE STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. IN FIRE WALLS ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESIST. OR METALLIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LAB. BOXES MUST NOT BE MORE THAN 16 SQ. INCHES, DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE 24" MIN. HORIZ. . TOTAL AGGREGATE WIDTH OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ.IN IN 100 SQ.FT. DUCT OPENING LARGER THAN 20 SQ.IN. SHALL BE PROTECTED WITH FIRE DAMPER OR 6" OF CONT. STEEL DUCTWORK FROM THE MEMBRANE PENETRATION TOWARD THE AIR HANDLING UNIT.

**NOTES: FIRE ALARM SYSTEM**

- EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT AND A HORN LOCATED IN THE HALL BY THE BEDROOMS.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
- SMOKE DETECTORS SHALL BE LOCATED IN HALL 6'-0" FROM BEDROOM DOOR AND IN EACH BEDROOM.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT WITH EMERGENCY POWER BACKUP.

- SMOKE ALARM
- FIRE ALARM HORN
- FIRE ALARM PULL STATION
- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- FIRE DEPT. CONNECTION

NOTE: EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY. THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS & CONDITIONS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

**PROPOSED 12 UNIT APARTMENT**  
**NICOLET LUMBER CO.**  
**HARRISON, WISCONSIN**  
 LLOYD CARPENTER-ARCHITECT, LLC  
 2663 MAPLE HILLS DRIVE, GREEN BAY, WI. 54313  
 (920) 655-3829  
 CARPARCH@GMAIL.COM

DATE: \_\_\_\_\_  
 FILE: 3  
 JOB: \_\_\_\_\_  
 SHEET: 3

**PLAN COMMISSION RESOLUTION 2019-02**

**TO RECOMMEND TO THE VILLAGE BOARD AN AMENDMENT TO THE HARRISON COMPREHENSIVE PLAN (Premier Real Estate Management, LLC)**

WHEREAS, the Harrison Plan Commission received an application from Premier Real Estate Management, LLC to amend the Comprehensive Plan Future Land Use Map from Commercial to Multi-Family Residential; and

WHEREAS, the proposed amendment is attached to the Resolution as “Exhibit A”; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on these amendments on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

NOW, THEREFORE BE IT RESOLVED, the Harrison Plan Commission recommends to the Village Board the adoption of the amendment from Commercial to Multi-Family Residential for the property described as:

PARCEL I - ID NO. 131-0000-0000000-000-0-201801-00-110A (ALT. ID #38988)

Lot One (1) of Certified Survey Map Number 3615, said Certified Survey Map having been recorded on December 22, 2016 in Volume 32 of Survey Maps on page 92, as Document No.519102 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the Northeast Quarter (NE 1/4) of the Fractional Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin. Said parcel contains 467,091 square feet (10.723 acres), more or less.

PARCEL II - ID NO. 131-0000-0000000-000-0-201801-00-140A (ALT. ID #39024)

Note: The following legal description was obtained, in part, from the Warranty Deed, recorded as Document #530374, recorded in the Register of Deeds Office, Calumet County, Wisconsin. It was corrected to reflect the recording of CSM #3615 and the sale of Lot 2 of CSM #3615 to Meridian Investments, LLC (Doc. 519575).

The North Sixty-three and 60/100ths (63.60) acres of the East Half of the Northeast Quarter (E ½ of NE ¼) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Excepting therefrom the following parcel: A parcel of land in the North Sixty-three and sixty hundredths (63.60) acres of the East one-half (E ½) of the Northeast in one-quarter (NE ¼) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, more fully described as follows: Beginning at the Southeast (SE) corner of above mentioned lands; thence North 140.0 feet; thence West 241.25 feet; thence South 140.0 feet; thence East 241.25 feet to the point of beginning, less the East 41.25 feet reserved for road purposes.

Also excepting therefrom the following parcel, to-wit: A parcel of land in the North Sixty-three and sixty hundredths (63.60) acres of the East one-half (E ½) of the Northeast in one-quarter (NE ¼) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East,

more fully described as follows: Beginning at the Southwest (SW) corner of above mentioned lands; thence North 140.0 feet; thence East 311.1 feet; thence South 140.0 feet; thence West 311.1 feet to the point of beginning.

Also excepting therefrom the following parcel, to-wit: Part of the Northeast Quarter of the Northeast Quarter (NE  $\frac{1}{4}$  NE  $\frac{1}{4}$ ) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, being described as: Commencing at the Northeast Corner, Section 1; thence West along the N/L Section 1 (C/L C.T.H. "KK") 590.24 feet to the point of beginning; thence continue West 338.54 feet, thence South 386.01 feet to an iron pin; thence East 338.54 feet to an iron pin; thence North 386.01 feet to the point of beginning. Reserving the North 40.00 feet for highway purposes. NOW KNOWN and described as Certified Survey Map No.460 recorded in the office of the Register of Deeds for Calumet County, Wisconsin on August 16, 1976 In Volume 3 of Survey Maps on page 152, as Document No.140471.

Also excepting therefrom the following parcel, to-wit: Lots One (1), Two (2) and Three (3) of Certified Survey Map Number 700, said Certified Survey Map having been recorded on June 14, 1979 in Volume 5 of Survey Maps on page 94, as Document No.152540 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the East Half (E  $\frac{1}{2}$ ) of the Northeast Quarter (NE  $\frac{1}{4}$ ), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: A parcel of land located in the East Half (E  $\frac{1}{2}$ ) of the Northeast Quarter (NE  $\frac{1}{4}$ ), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, and described as follows: Commencing at the East  $\frac{1}{4}$  corner of Section One (1); thence North 746.65 feet along the East line of Section 1 to the point of beginning; thence continue North 48.00 feet; thence N 89°11'54" W, 319.04 feet to a  $\frac{3}{4}$ " rebar set; thence South 48.00 feet to a  $\frac{3}{4}$ " rebar set; thence S 89°11'54" E, 319.04 feet to the point of beginning. Said parcel in addition to 98R625, 159R33 and Lot 3, Certified Survey Map No. 700, reserving a portion on the East for highway purposes.

Also excepting therefrom the following parcel, to-wit: A parcel of land located in the Southeast  $\frac{1}{4}$  of the fractional Northeast  $\frac{1}{4}$  of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin, more fully described as follows: Commencing at the East  $\frac{1}{4}$  Corner of said Section 1; thence N 89°25'00" W, 130.15 feet along the East-West  $\frac{1}{4}$  line of said Section 1 to the Southwest Corner of the East  $\frac{1}{2}$ , fractional Northeast  $\frac{1}{4}$ ; thence N 0°02'56" E, 835.19 feet along the West line of the East  $\frac{1}{2}$  fractional Northeast  $\frac{1}{4}$  of said Section 1; thence S 89°11'54" E, 359.16 feet to the point of beginning; thence continuing S 89°11'54" E, 622.30 feet; thence S 0°00'00" W, 83.59 feet to the Northeast Corner of Lot 2 of Certified survey Map No. 700; thence N 89°11'54" W, 622.30 feet along the North Line of said Lot 2 to the Northeast Corner of Lot 1 of Certified Survey Map No. 700; thence N 0°00'00" E, 83.59 feet to the point of beginning.

Also excepting therefrom the following parcel, to-wit: All of Lot One (1) of Certified Survey Map 966, recorded April 27, 1983 at 2:33 P.M. in Volume 6 of Certified Survey Maps on Page 422, Document No. 168069 in the Calumet County Registry, Chilton, Wisconsin. Being a part of the East One-half (E  $\frac{1}{2}$ ) of the Northeast Quarter (NE  $\frac{1}{4}$ ) of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1) of Certified Survey Map No. 1099 filed February 25, 1985 at 3:50 p.m. in Volume 7 of Survey Maps, Page 352, as Document No. 176523 in the Calumet County Registry, being a part of the Northeast  $\frac{1}{4}$  of

the fractional Northeast ¼, Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1), of Certified Survey Map No. 1344 recorded in Volume 9 of Certified Survey Maps on Page 256 as Document No. 200843, being a part of the Northeast ¼ of the fractional Northeast ¼ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Lot One (1), of Certified Survey Map No. 1885 filed in the office of the Register of Deeds for Calumet County, Wisconsin, in Volume 13 of Certified Survey Maps on page 240 as Document No. 256361, being part of the Northeast ¼ of the Fractional Northeast ¼ of Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: All of Certified Survey Map Number 2089, filed on May 4, 1998 in Volume 15 of Survey Maps on page 80, as Document No.277455 In the Office of the Register of Deeds Calumet County, Wisconsin being a part of the East ½ of the Northeast ¼, Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel: All of Certified Survey Map Number 2275, filed on April 17, 2000 in Volume 17 of Survey Maps on page 47, as Document No.302595 in the Office of the Register of Deeds Calumet County, Wisconsin being a part of the Northeast ¼ of the Northeast ¼ Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel: All of Certified Survey Map Number 2307, filed on August 28, 2000 in Volume 17 of Survey Maps on page 136, as Document No.306750 in the Office of the Register of Deeds Calumet County, Wisconsin being a part of the Northeast ¼ of the Northeast 1/4 Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin.

Also excepting therefrom the following parcel, to-wit: Premises convey to Calumet County by Warranty Deed recorded in Jacket 2248, Image 29, as Document No. 228017.

Also excepting therefrom the following parcel, to-wit: Lot One (1) and Lot Two (2) of Certified Survey Map Number 3615, said Certified Survey Map having been recorded on December 22, 2016 in Volume 32 of Survey Maps on page 92, as Document No.519102 In the Office of the Register of Deeds for Calumet County, Wisconsin, being a part of the Northeast Quarter (NE 1/4) of the Fractional Northeast Quarter (NE ¼), Section One (1), Township Twenty (20) North, Range Eighteen (18) East, in the Village of Harrison, Calumet County, Wisconsin. Said parcel contains 502,856 square feet (11.544 acres), more or less.

Approved this 29<sup>th</sup> day of October, 2019.

Motion for adoption by: \_\_\_\_\_

Seconded by: \_\_\_\_\_

Vote Aye: \_\_\_\_ Nay: \_\_\_\_

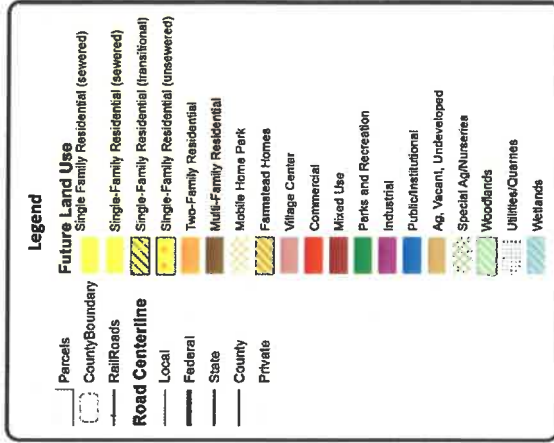
\_\_\_\_\_  
Kevin Hietpas, Plan Commission Chair

\_\_\_\_\_  
Attest: Mark J. Mommaerts, AICP, Harrison Planner

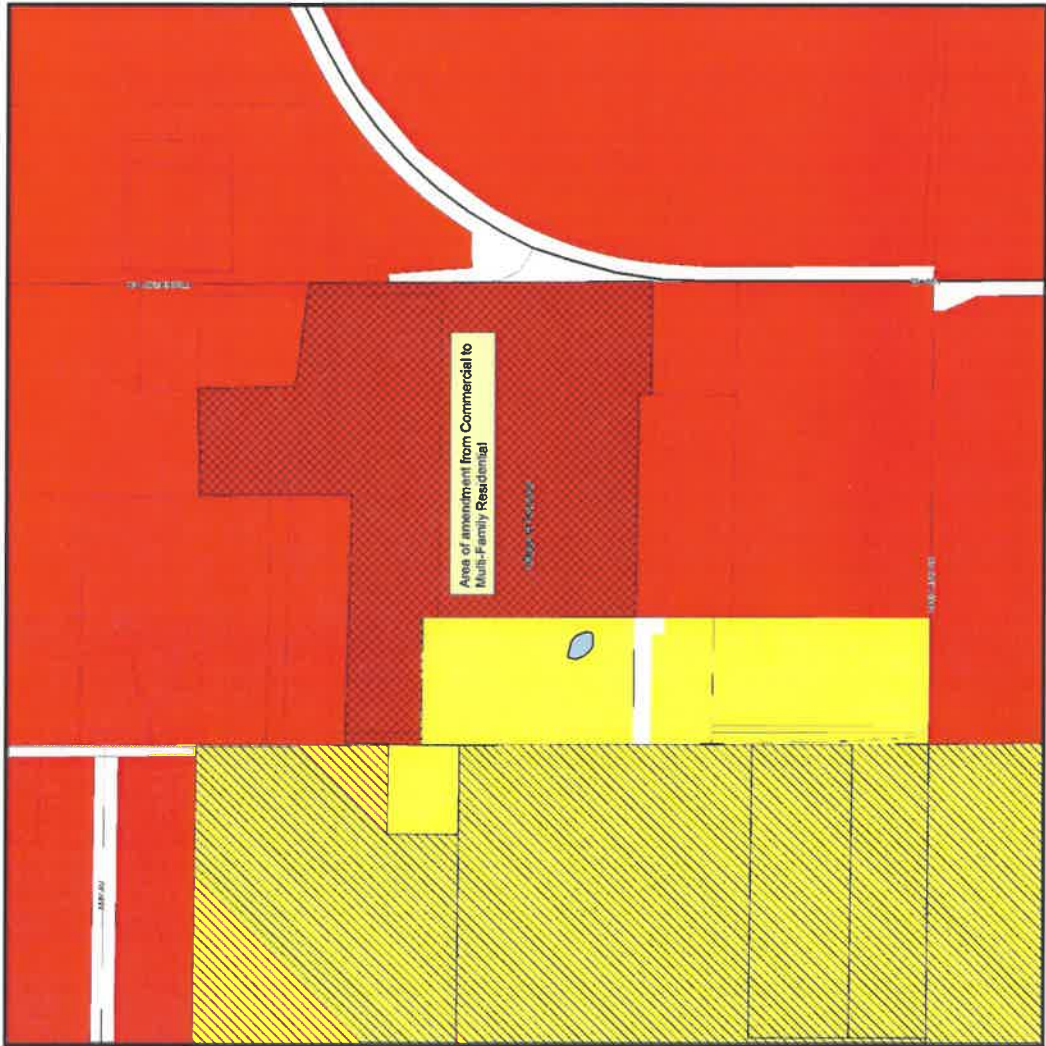


# Harrison Future Land Use Map 2004-2023

## Exhibit A



This map was prepared by the Village of Harrison and is based on information provided by the Michigan Department of Transportation, the Michigan Department of Natural Resources, and the Michigan Department of Environmental Quality. The Village of Harrison is not responsible for any errors or omissions on this map. The Village of Harrison is not responsible for any errors or omissions on this map. The Village of Harrison is not responsible for any errors or omissions on this map.



---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

Comprehensive Plan Amendment – Southtowne Place  
Zoning Map Amendment – Southtowne Place

---

**Issue:**

Should the Plan Commission recommend approval of a Comprehensive Plan Amendment from single-family to two-family and a Zoning Map Amendment from AG to RS-1 and RT to the Village Board?

---

**Background and Additional Information:**

This item was discussed at the last meeting as part of the Southtowne Place subdivision review. Southtowne Place is proposed subdivision of mixed single-family and two-family (single-family attached or zero-lot line) homes. There are two issues to review and consider, 1) a Comprehensive Plan Amendment to identify portions of the property from single-family residential (sewered) to two-family residential, and 2) a Zoning Map Amendment (Rezoning) from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] and Two-Family Residential [RT]. The property is located at W6359 Manitowoc Road and currently has an existing house and accessory building that sit on 10-acres.

**Comprehensive Plan Amendment:**

The applicant is proposing to amend the future land use map in the Comprehensive Plan to allow for two-family residential on the northern portion of the property. Currently, the future land use map identifies this area as only single-family. The applicant wishes to create a slightly higher density residential area via zero lot line homes in order to reduce infrastructure costs per unit to create a more affordable development. The applicant is proposing 16-lots for single-family attached housing (8 zero lot line buildings). The remaining 13-lots will be for single-family detached homes.

**Zoning Map Amendment:**

The applicant is proposing to rezone from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] the area for single-family detached lots and the existing house lot, and from General Agricultural [AG] to Two-Family Residential [RT] that area for single-family attached or zero lot line.

---

**Findings of Fact:**

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan if the Comprehensive Plan Amendment is approved.



- Property owners within 300-feet of the subject property have been notified via first-class mail.

---

**Recommended Action:**

Staff recommends approval of Plan Commission Resolution PC2019-03, recommending the Village Board amend the comprehensive plan.

Staff recommends approval of the Zoning Map Amendment from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1] and Two-Family Residential [RT].

---

**Attachments:**

- Aerial Map
- Future Land Use Map
- Zoning Map
- Concept Plan
- Plan Commission Resolution PC2019-03

# Calumet County, WI

## Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad

Color 2018

Red: Band\_1

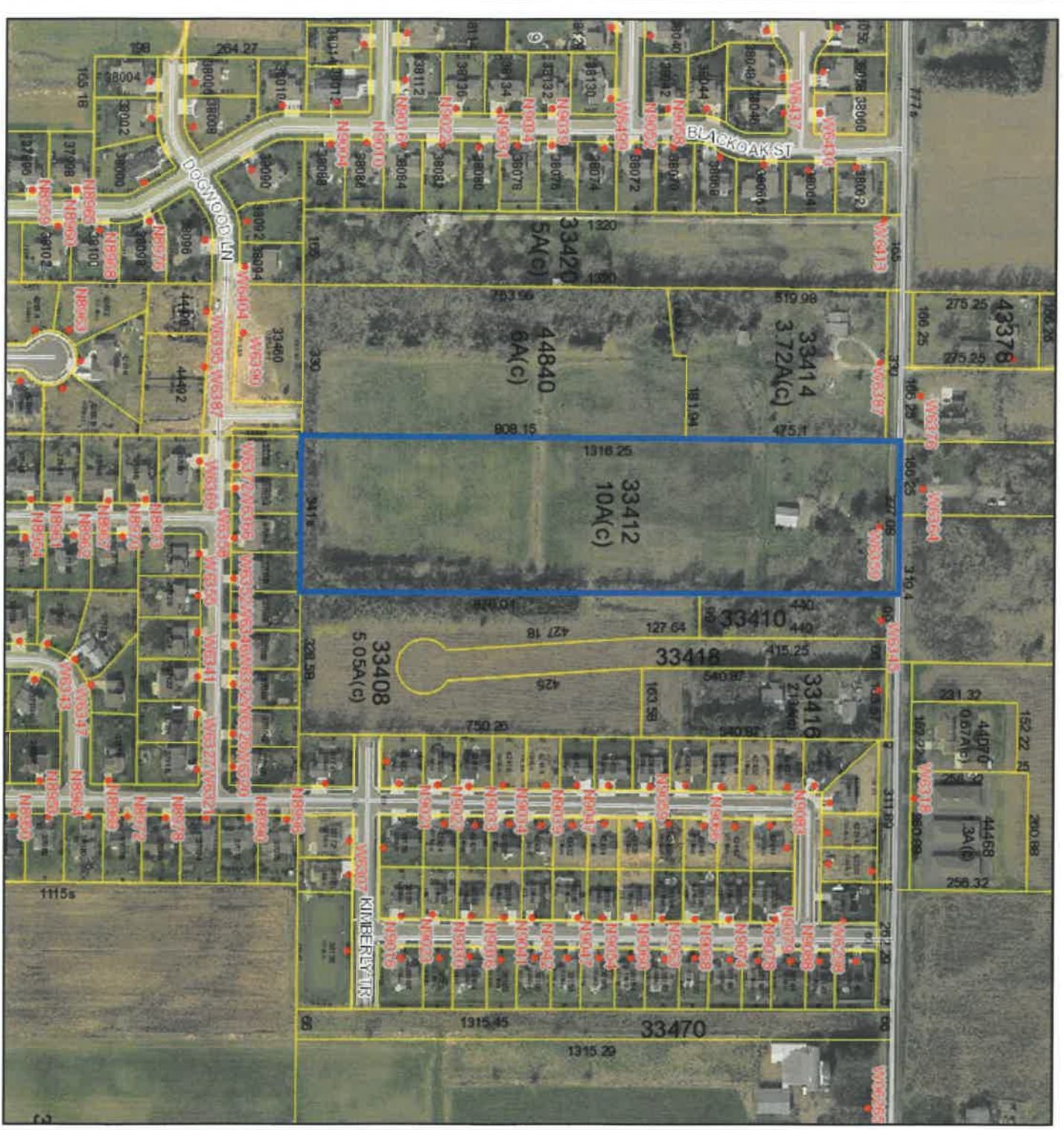
Green: Band\_2

Blue: Band\_3



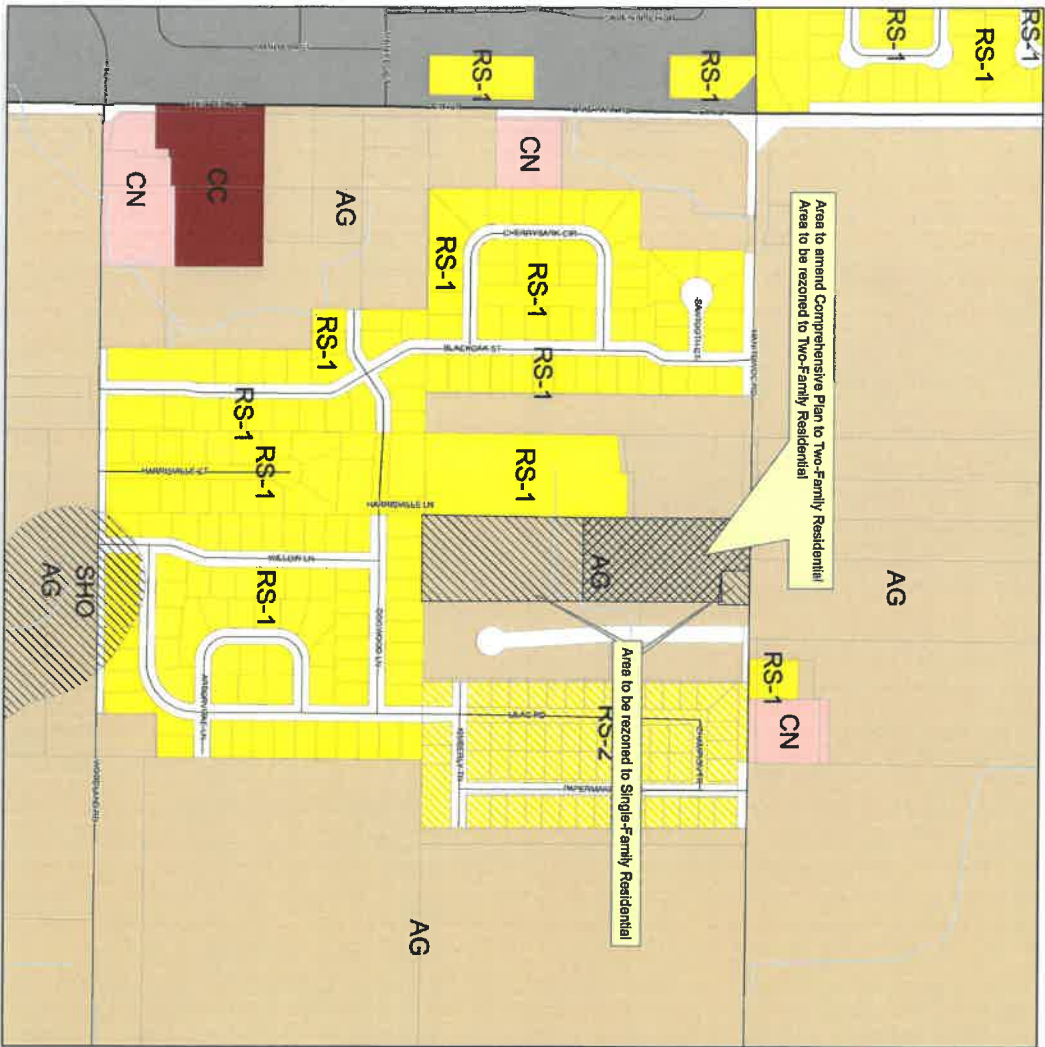
**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author	
Date Printed	10/18/18 1:18 PM
Sources	









# Zoning Map

## Village of Harrison

Calumet & Outagamie Counties  
Wisconsin

### Legend

**Zoning Districts**

- AG | General Agriculture
- RS-1 | Single-Family Residential (Suburban)
- RS-2 | Single-Family Residential (Traditional)
- RT1 | Two-Family Residential
- RM | Multiple-Family Residential
- CN | Neighborhood Commercial
- COR1 | Office & Retail Commercial
- CC | Community Commercial
- BP | Business Park
- MI | Industrial & Manufacturing
- NC | Natural & Conservancy
- MHO | Mobile Home Overlay
- PD0 | Planned Development Overlay
- SHO | Shoreland Overlay\*
- SWO | Shoreland-Wetland Overlay\*

**Road/Centerline**

- Town of Harrison
- Railroads
- Streams
- Local Roads
- County Highway
- State Highway
- US Highway
- Parcels

**Scale:** 0, 0.125, 0.25 Miles

**North Arrow:** N, W, E, S

**Map Information:**  
 Adopted: July 27, 2010  
 Effective: September 24, 2010  
 Current as of: September 24, 2019

**Village of Harrison**  
 820-989-1092  
 WHERE OPPORTUNITY LIVES

This map was created using data obtained from Calumet County. The map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not warrant the accuracy or completeness of this information or its derivatives. In no event shall Calumet County or the Town of Harrison be liable to anyone for any loss arising from the use or misuse of these maps and data. The only copies of the information required to be maintained by Calumet County are those contained in the original records. Original records versus documents obtained from the county archives should be used for legal or survey purposes. Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.



**PLAN COMMISSION RESOLUTION 2019-03**

**TO RECOMMEND TO THE VILLAGE BOARD AN AMENDMENT TO THE  
HARRISON COMPREHENSIVE PLAN (Southtowne Place)**

WHEREAS, the Harrison Plan Commission received an application from Al Lamers to amend the Comprehensive Plan Future Land Use Map from Single-Family Residential (Sewered) to Two-Family Residential; and

WHEREAS, the proposed amendment is attached to the Resolution as “Exhibit A”; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on these amendments on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

NOW, THEREFORE BE IT RESOLVED, the Harrison Plan Commission recommends to the Village Board the adoption of the amendment from Single-Family Residential (Sewered) to Two-Family Residential for the property described as:

All that part of the West ½ of the Northeast ¼ of the Southwest ¼ of Section 9, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, bounded and described as follows: beginning at the northeast corner of the above described parcel; thence south, 651.68 feet along the east line of said described lands; thence west, 330 feet more or less to a point on the west line of the above described parcel that is located 651.10 feet south of the northwest corner of the above described parcel; thence north, 651.10 feet along said west line to the north line of the Southwest ¼ of Section 9; thence east, 330 feet more or less to the point of beginning. Said described parcel contains 4.89 acres of land more or less. Subject to all easements and restrictions of record. Reserving that part presently used for road purposes.

Approved this 29<sup>th</sup> day of October, 2019.

Motion for adoption by: \_\_\_\_\_

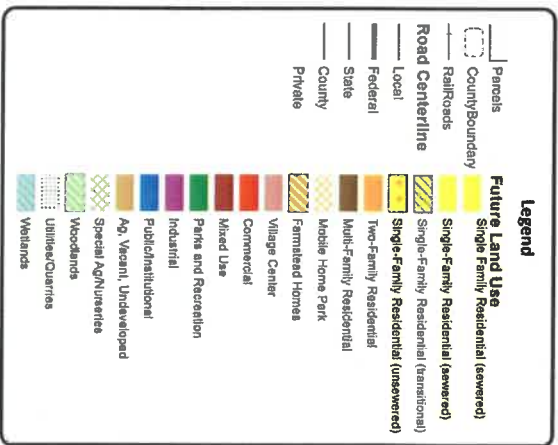
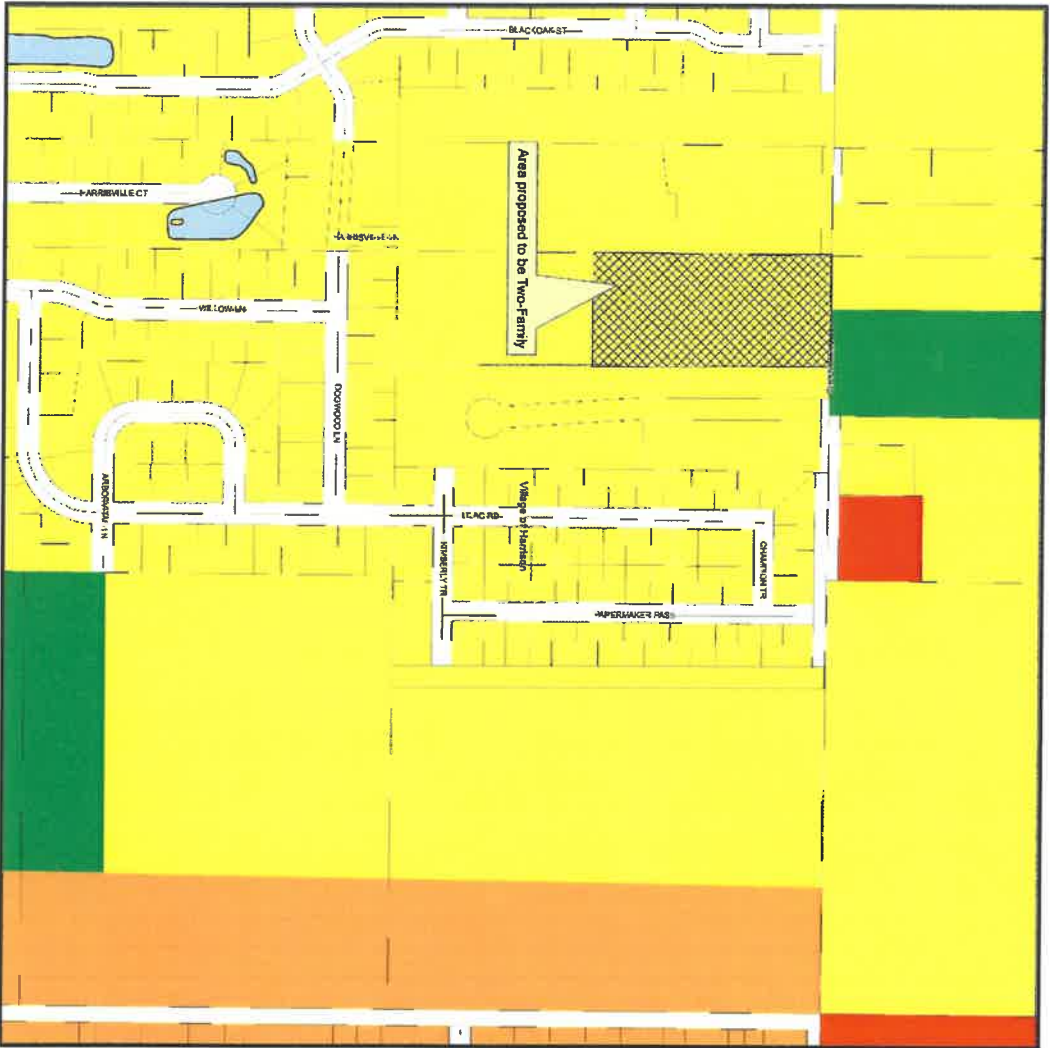
Seconded by: \_\_\_\_\_

Vote Aye: \_\_\_\_ Nay: \_\_\_\_

\_\_\_\_\_  
Kevin Hietpas, Plan Commission Chair

\_\_\_\_\_  
Attest: Mark J. Mommaerts, AICP, Harrison Planner

# Harrison Future Land Use Map 2004-2023



**Village of Harrison**  
 100 Parkville Street  
 Harrison, MO 64643  
 660-241-1000



---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

Comprehensive Plan Amendment – Novotny/Sweere  
Zoning Map Amendment – Novotny/Sweere  
Amy Avenue Extension – Novotny/Sweere  
Certified Survey Map – Novotny/Sweere

---

**Issue:**

Should the Plan Commission recommend approval of a Comprehensive Plan Amendment from commercial to multiple-family residential, a Zoning Map Amendment from COR to MF, a future street amendment, and a Certified Survey Map to the Village Board?

---

**Background and Additional Information:**

The applicant is proposing a mixed used development for an 11-acre parcel they own along County KK, between State Park Road and Prosperity Drive, Tax ID 33114. The property is bounded by County KK on the north, a regional stormwater pond on the south, and commercial or future commercial development on the east and west sides. The property is currently identified on the future land use map in the Comprehensive Plan as Commercial and is currently zoned Office & Retail Commercial [COR]. The applicant is proposing multi-tenant commercial buildings on the norther portion of the property and multiple-family residential, townhome style units, on the southern portion of the property. The extension of Amy Avenue is also planned to go through the property and will follow the route of the existing sanitary sewer and water mains. The applicant is requesting a Comprehensive Plan Amendment, Zoning Map Amendment, elimination of the Amy Avenue street extension, and a Certified Survey Map.

**Comprehensive Plan Amendment:**

The applicant is proposing to amend the future land use map in the Comprehensive Plan to allow for multiple-family residential on the southern portion of the property. Currently, the future land use map identifies this area as commercial. The applicant wishes to create a higher density residential area via townhomes (single-family attached dwellings) in order to reduce infrastructure costs per unit to create a more affordable development. The applicant feels that the area adjacent to the stormwater pond will create attractive views for residential development.

**Zoning Map Amendment:**

The applicant is proposing to rezone from Office & Retail Commercial [COR] to Multiple-Family Residential [RM] the area for townhome development.

**Amy Avenue Extension:**

The applicant is requesting that the extension of Amy Avenue be eliminated. There is a temporary cul-de-sac at the end of Amy Avenue on the west side the property for access and a driveway access out to County KK. The applicant is proposing emergency vehicle access between the residential and commercial developments as secondary access points. Staff has concerns about stopping Amy Avenue at each end of this property. The intent was for Amy Avenue to extend from State Park Road to Highline Road. The missing component of Amy Avenue is on this property and a small stretch along the adjacent property. In addition, Darboy Sanitary District has a sanitary sewer & water easement over the land where Amy Avenue is mapped for their existing sewer & water mains.

**Certified Survey Map:**

The applicant is proposing a 2-lot Certified Survey Map (CSM) in order to create separate parcels for the proposed development. Lot 1 would be for the commercial development. Lot 2 would be for the residential development. Staff recommends that the right-of-way be dedicated for the extension of Amy Avenue as part of the CSM.

---

**Findings of Fact:**

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan if the Comprehensive Plan Amendment is approved.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

---

**Recommended Action:**

Staff recommends approval of Plan Commission Resolution PC2019-04, recommending the Village Board amend the comprehensive plan.

Staff recommends approval of the Zoning Map Amendment from Office & Retail Commercial [COR] to Multiple-Family Residential [RM].

Staff recommends denial of the request to eliminate Amy Avenue through the property.

Staff recommends approval the Certified Survey Map will the condition that the right-of-way for future Amy Avenue be dedicated to the public for roadway purposes.

---

**Attachments:**

- Aerial Map
- Future Land Use Map
- Zoning Map
- Rezone & Legal Map prepared by McMahon Associates
- Plan Commission Resolution PC2019-04

























# Zoning Map

## Village of Harrison

### Calumet & Outagamie Counties Wisconsin

#### Legend

 AG   General Agriculture	 Town of Harrison
 RS-1   Single-Family Residential (Suburban)	 Streams
 RS-2   Single-Family Residential (Traditional)	 Local Roads
 RT-1   Two-Family Residential	 County Highway
 RM-1   Multiple-Family Residential	 State Highway
 CN   Neighborhood Commercial	 US Highway
 CCR   Office & Retail Commercial	 Parcel
 CC   Community Commercial	
 BP   Business Park	
 IM   Industrial & Manufacturing	
 NC   Natural & Conservancy	
 WHO   Mobile Home Overlay	
 PDO   Planned Development Overlay	
 SHO   Shoreland Overlay*	
 SWO   Shoreland-Wetland Overlay*	

\* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

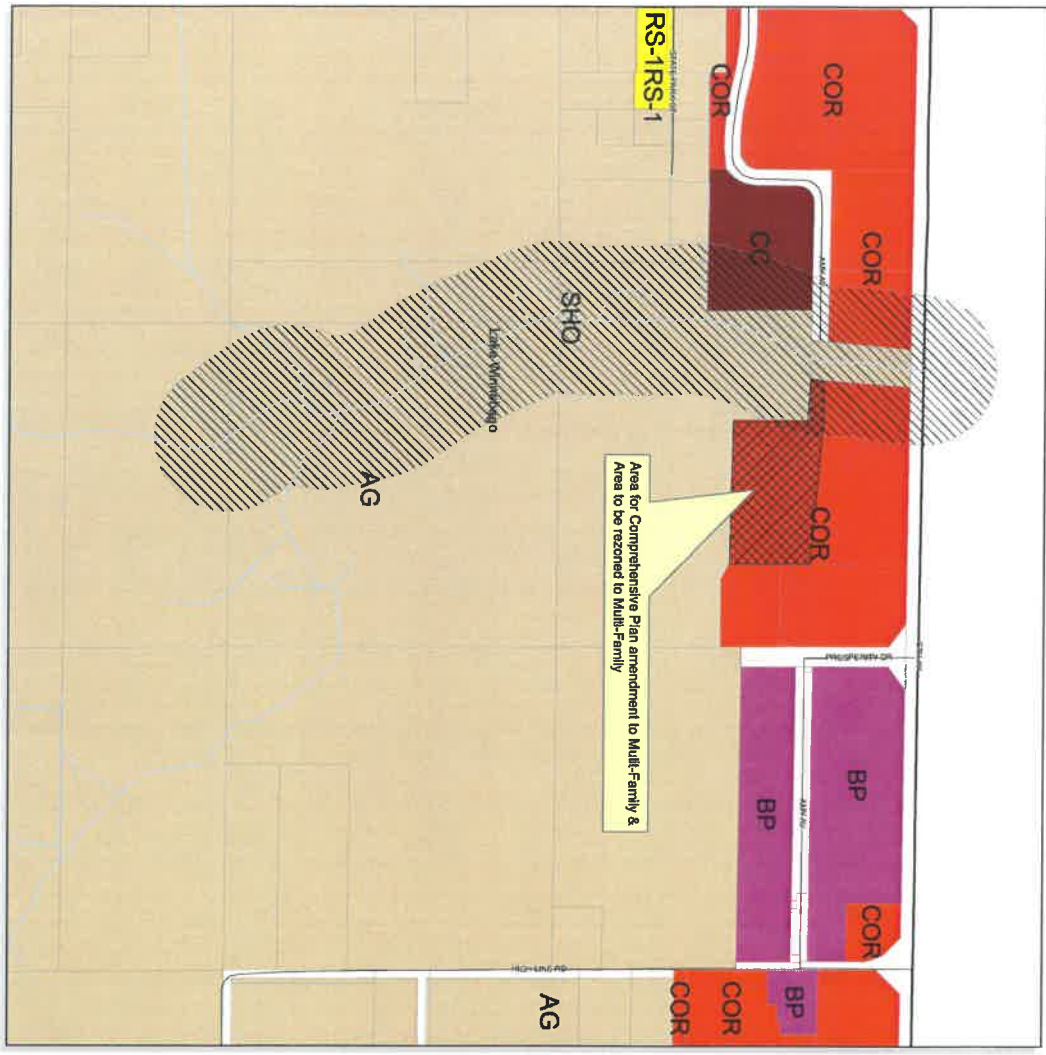
This map was created by:  
 Village of Harrison  
 400 N. Harrison Ave.  
 Harrison, WI 54901  
 920-988-1002

Adopted: July 27, 2010  
 Effective: November 1, 2010  
 Current as of: September 24, 2019



This map was created using data obtained from Calumet County. The map is neither a legally recorded map nor a survey and is not intended to be used as such. The Town of Harrison does not warrant the accuracy or completeness of the information or the representation of the information on this map. It is the responsibility of the user of this map to verify the accuracy and completeness of the data for any use, including but not limited to, the use of the map for any legal or financial purpose. The Town of Harrison and Calumet County assume no liability for any errors or omissions on this map. Original recorded source documents located in the county computer should be used for legal or survey purposes.

Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.





# Calumet County, WI

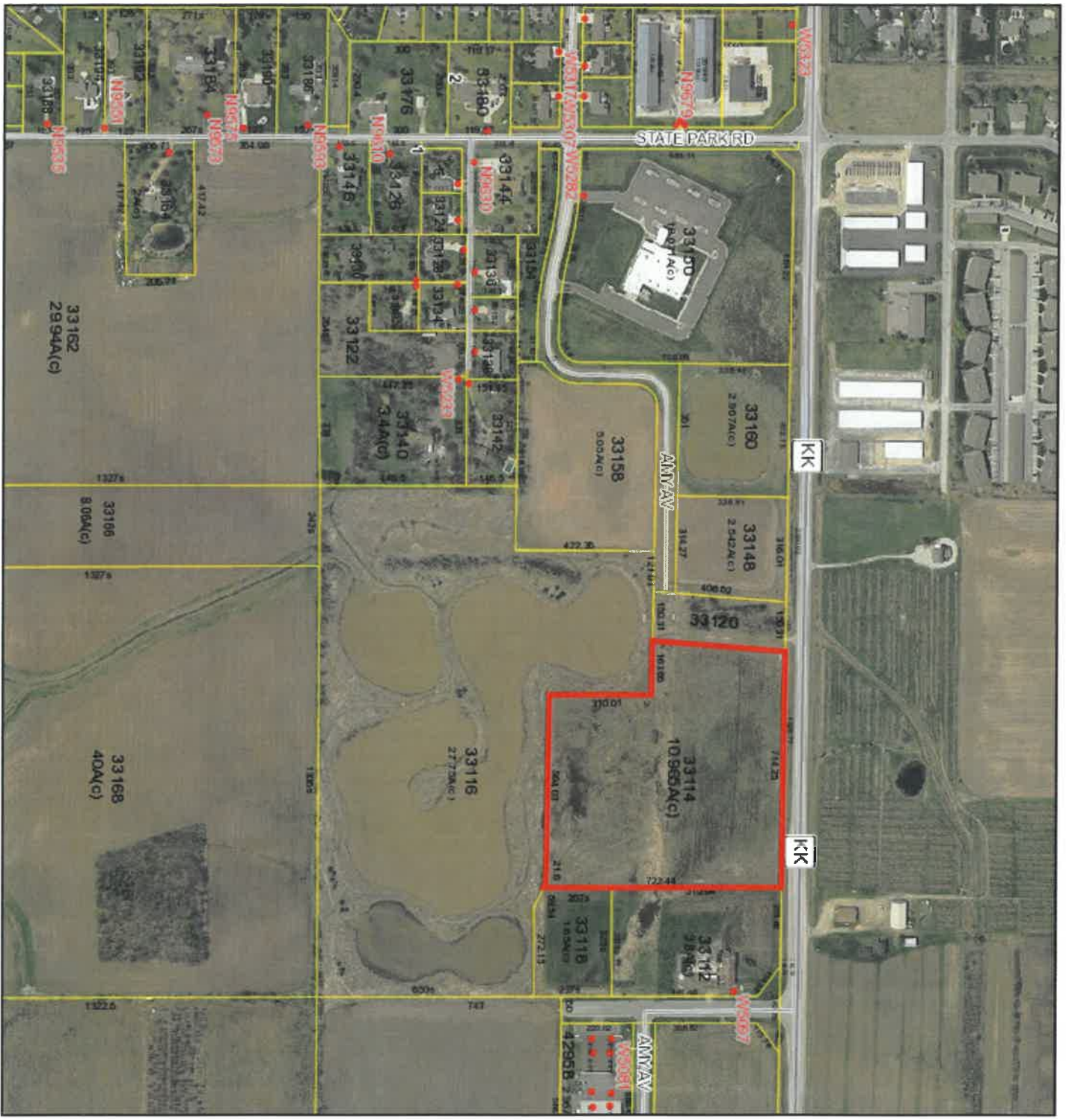
## Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- River and Stream
- Major Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad

- Color 2018
- Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3



**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.



Author Date Printed 10/21/19 11:58 AM Sources	
--	--

# REZONE MAP & LEGAL

- LEGEND**
- CERTIFIED LAND CORNER
  - CALUMET COUNTY
  - ( ) — RECORDED BEARING AND/OR DISTANCE
  - SQUARE FEET

CURVE DATA			
CURVE RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1 233.00	51°8'45"	N72°01'56"W	21.60
			21.60

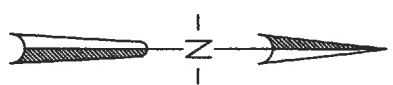


SOUTH 1/4 CORNER  
SEC 34-21-18  
MAG NAIL WITH  
BRASS WASHER

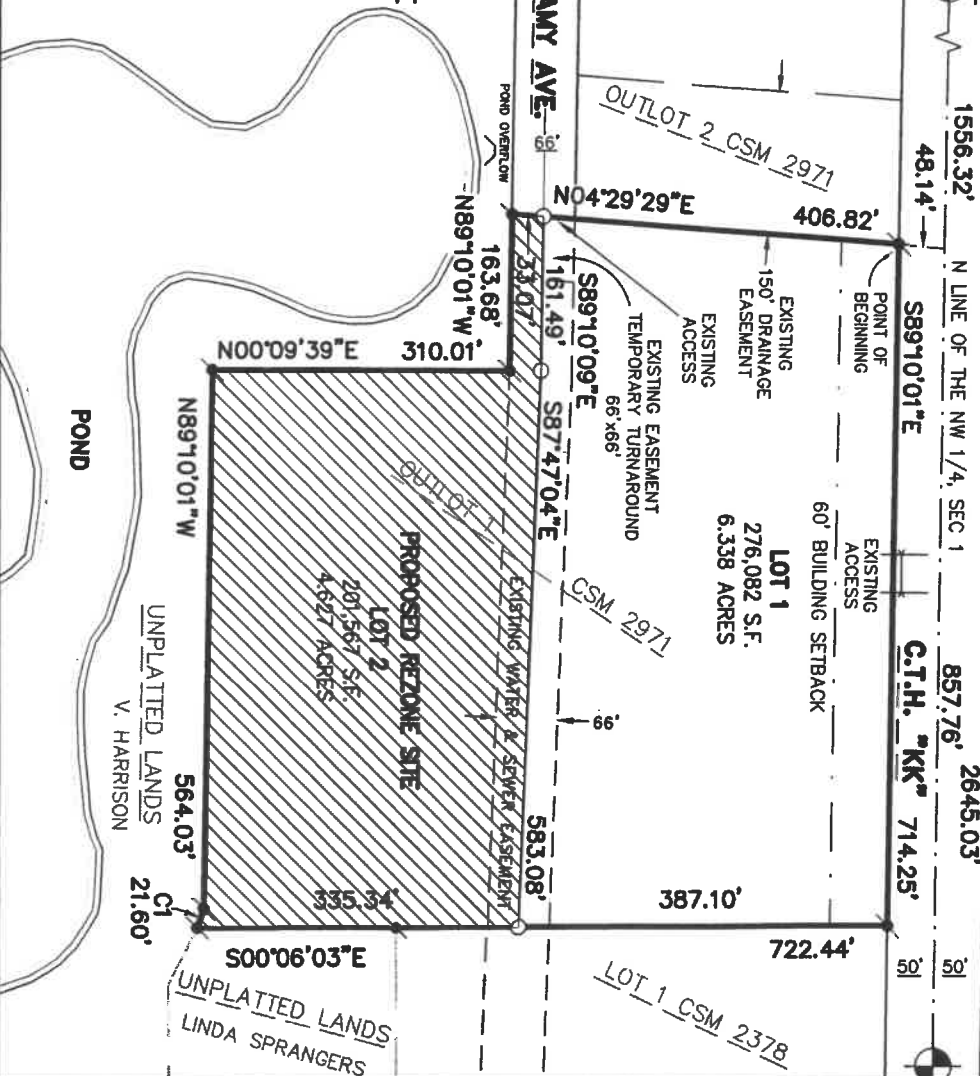
NORTHWEST CORNER  
SEC 1-20-18  
PK NAIL N00D28'39"W  
.12 FEET FROM SEC. LINE

SOUTHEAST CORNER  
SEC 34-21-18  
MAG NAIL WITH  
BRASS WASHER

FOR: — RICK SWEERE & TRENT NOVOTNY  
— W6483 DESIGN DR. UNIT A  
— GREENVILLE, WI 54942  
— PHONE: (800) 261-5554



**PROPERTY DESCRIPTION FOR REZONE SITE.**  
PART OF OUTLOT 1 OF CSM 2971 RECORDED IN VOL. 24 OF CSM'S ON PAGE 246 AS DOC. NO. 413406, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, CONTAINING 4.627 ACRES DESCRIBED AS FOLLOWS:  
BEGINNING AT A SOUTHWESTERLY CORNER OF OUTLOT 1 OF CSM 2971;  
THENCE N04°29'29"E 33.07 FEET, ALONG THE WEST LINE OF SAID OUTLOT 1 TO THE CENTER OF AMY AVENUE;  
THENCE S89°10'09"E 161.49 FEET;  
THENCE S87°47'04"E 583.08 FEET, TO THE EAST LINE OF SAID OUTLOT 1;  
THENCE S00°06'03"E 335.34 FEET, ALONG SAID LINE TO THE SOUTHEASTERLY CORNER OF OUTLOT 1;  
THENCE 21.60 FEET ALONG AN ARC WITH A 233.00 FOOT RADIUS CURVE TO THE LEFT HAVING A CHORD OF N72°01'56"W ALONG THE SOUTHERLY LINE OF OUTLOT 1;  
THENCE N89°10'01"W 564.03 FEET, ALONG SAID SOUTHERLY LINE TO THE WEST LINE OF OUTLOT 1;  
THENCE N00°09'39"E 310.01 FEET, ALONG SAID WESTERLY LINE TO A SOUTHERLY LINE OF SAID OUTLOT 1;  
THENCE N89°10'01"W 163.68 FEET, ALONG SAID LINE TO THE WESTERLY LINE OF OUTLOT 1 AND THE POINT OF BEGINNING.



Project No. S0644 91900516 Date Sept., 2019 Scale 1"=200'

Drawn By DWJ Field Book \_\_\_\_\_ Page \_\_\_\_\_

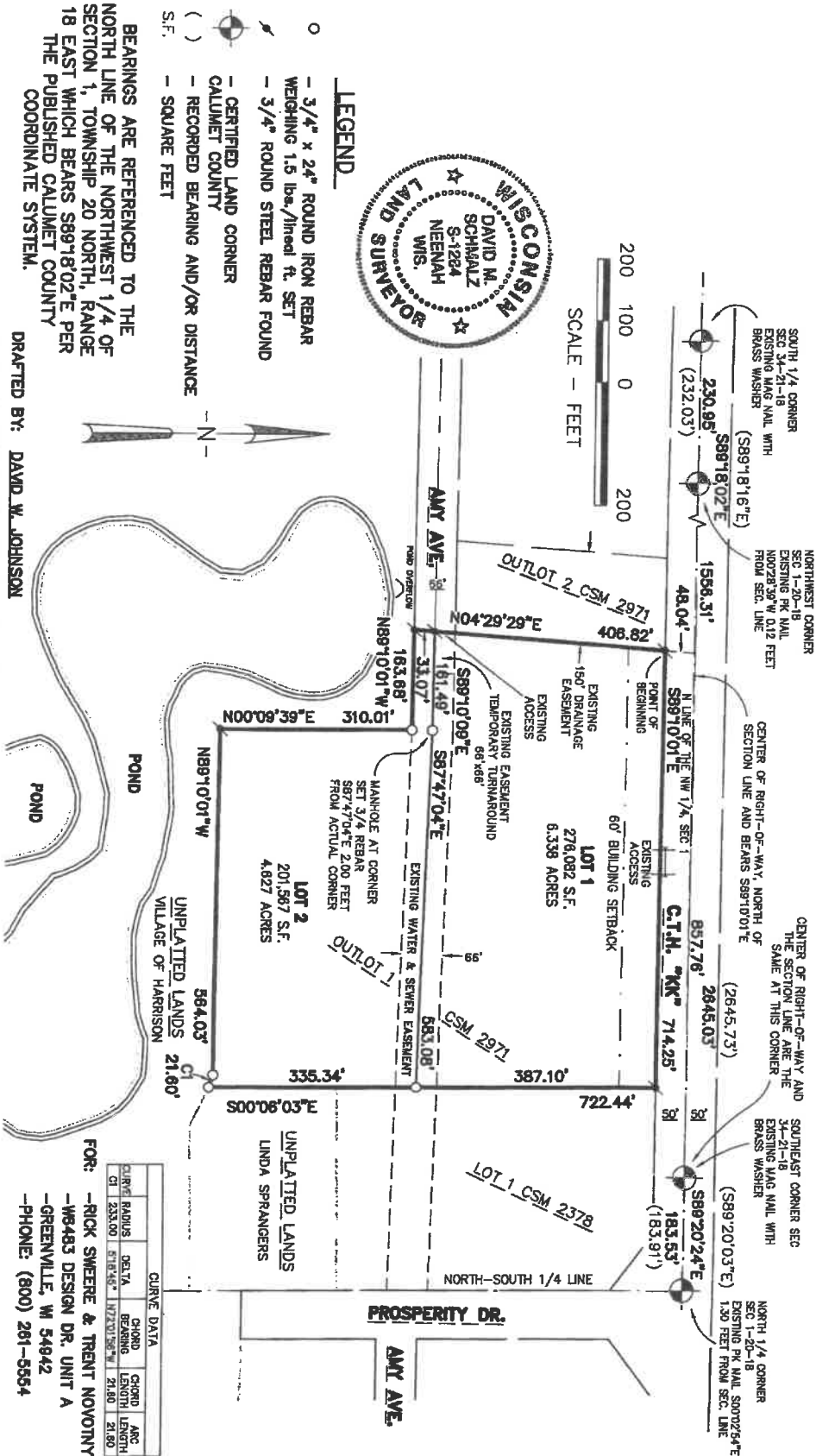
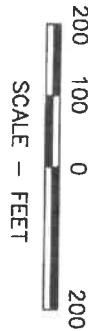
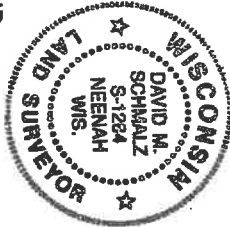
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
Tel: (920) 751-4200 Fax: (920) 751-4284



RECEIVED  
OCT 16 2019  
HARRISON PLANNING

ALL OF OUTLOT 1 OF CERTIFIED SURVEY MAP 2971 AS RECORDED IN VOLUME 24 OF CERTIFIED SURVEY MAPS ON PAGE 246 AS DOCUMENT 413406, LOCATED IN NORTHEAST 1/4 OF THE FRACTIONAL NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. \_\_\_\_\_ SHEET 1 OF 4



**LEGEND**

- — 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 lbs./lineal ft. SET
- 3/4" ROUND STEEL REBAR FOUND
- CERTIFIED LAND CORNER CALUMET COUNTY
- ( ) — RECORDED BEARING AND/OR DISTANCE
- S.F. — SQUARE FEET

BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST WHICH BEARS S89°18'02"E PER THE PUBLISHED CALUMET COUNTY COORDINATE SYSTEM.

DRAFTED BY: **DAVID W. JOHNSON**

d:\projects\50644\91800516\CADD\CAD\3D\Survey Documents\CSM 2 LOT CSM.dwg, sheet\legd.csm-landscape, Plot Date: 10/15/2019 11:45 AM, xref:none

FOR: — RICK SWEENE & TRENT NOVOTNY  
— GREENVILLE, WI 54942  
— PHONE: (800) 261-5554

CURVE DATA			
CURVE RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
233.00	57.842°	N72°01'58"W	21.80
			21.80



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

SHEET 2 OF 4

ALL OF OUTLOT 1 OF CERTIFIED SURVEY MAP 2971 AS RECORDED IN VOLUME 24 OF CERTIFIED SURVEY MAPS ON PAGE 246 AS DOCUMENT 413406, LOCATED IN NORTHEAST 1/4 OF THE FRACTIONAL NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

**SURVEYOR'S CERTIFICATE**

I, David M. Schmalz, Wisconsin Professional Land Surveyor S-1284, certify that I have surveyed, divided and mapped all of OutLot 1 of Certified Survey Map 2971 as recorded in Volume 24 of Certified Survey Maps on page 246 as document 413406, located in the Northeast 1/4 of the Fractional Northwest 1/4 of Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin containing 477,649 square feet (10.965 acres) of land.

That I have made this survey by the direction of the Owners of said Land.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes and the Village of Harrison Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this 16th day of October, 2019.

*David M. Schmalz*

David M. Schmalz, Professional WI land Surveyor S-1284



**NOTES**

- THIS CSM IS ALL OF TAX PARCEL No. 33114.
  
- THE PROPERTY OWNERS OF RECORD ARE TRENT T. NOVOTNY and RICHARD J. SWEERE.
  
- THIS PROPERTY IS CONTAINED WHOLLY WITHIN LANDS DESCRIBED IN DOCUMENT No. 410947.
  
- THE OUTLOT 1 STATUS IS NOW CHANGED TO LOT 1 AND 2 BECAUSE THERE IS PUBLIC ACCESS, SANITARY SEWER AND MUNICIPAL WATER TO THE PROPERTY.

**McMAHON**  
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.  
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

SHEET 4 OF 4

ALL OF OUTLOT 1 OF CERTIFIED SURVEY MAP 2971 AS RECORDED IN VOLUME 24 OF  
CERTIFIED SURVEY MAPS ON PAGE 246 AS DOCUMENT 413406, LOCATED IN NORTHEAST  
1/4 OF THE FRACTIONAL NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 20 NORTH, RANGE 18  
EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

OWNER'S CERTIFICATE

Trent T. Novotny and Richard J. Sweere As Owner(s), I/We hereby certify that I/we caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I/We also certify that this Certified Survey Map is required by s. 236.10 or 236.12 of the Wisconsin Statutes to be submitted to the following for approval.

Village of Harrison

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Trent T. Novotny

\_\_\_\_\_  
Richard J. Sweere

State of Wisconsin) )ss  
\_\_\_\_\_ County)

Personally appeared before me on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_ County, \_\_\_\_\_

My commission expires \_\_\_\_\_



*David M. Schaalz*  
Oct 16, 2019

**PLAN COMMISSION RESOLUTION 2019-04**

**TO RECOMMEND TO THE VILLAGE BOARD AN AMENDMENT TO THE  
HARRISON COMPREHENSIVE PLAN (Novotny/Sweere)**

WHEREAS, the Harrison Plan Commission received an application from Trent Novotny & Rick Sweere to amend the Comprehensive Plan Future Land Use Map from Commercial to Multi-Family Residential; and

WHEREAS, the proposed amendment is attached to the Resolution as “Exhibit A”; and

WHEREAS, Harrison has invited comments and suggestions from surrounding communities, East Central Wisconsin Regional Plan Commission, and Darboy and Waverly Sanitary Districts; and

WHEREAS, the amendments have resulted in a Plan that is compliant with the requirements of Section 66.1001(2) Wis. Stats; and

WHEREAS, the Plan Commission has held a least one public hearing on these amendments on October 29, 2019, in compliance with the requirements of Section 66.1001(4)(d) Wis. Stats.

NOW, THEREFORE BE IT RESOLVED, the Harrison Plan Commission recommends to the Village Board the adoption of the amendment from Commercial to Multi-Family Residential for the property described as:

Part of Outlot 1 of CSM 2971 recorded in Vol. 24 of CSM’s on page 246 as Doc. No. 413406 located in the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 4.627 acres described as follows: Beginning at a Southwesterly corner of Outlot 1 of CSM 2971; Thence N04°29’29”E 33.07 feet, along the West line of said Outlot 1 to the center of Amy Avenue; Thence S89°10’09”E 161.49 feet; Thence S87°47’04”E 583.08 feet, to the east line of said Outlot 1; Thence S00°06’03”E 335.34 feet, along said line to the Southeasterly corner of Outlot 1; Thence 21.60 feet along an arc with a 233.00 foot radius curve to the left having a chord of N72°01’56”W along the Southerly line of Outlot 1; Thence N89°10’01”W 564.03 feet, along said Southerly line to the West line of Outlot 1; Thence N00°09’39”E 310.01 feet, along said Westerly line to a Southerly line of said Outlot 1; Thence N89°10’01”W 163.68 feet, along said line to the Westerly line of Outlot 1 and the Point of Beginning.

Approved this 29<sup>th</sup> day of October, 2019.

Motion for adoption by: \_\_\_\_\_

Seconded by: \_\_\_\_\_

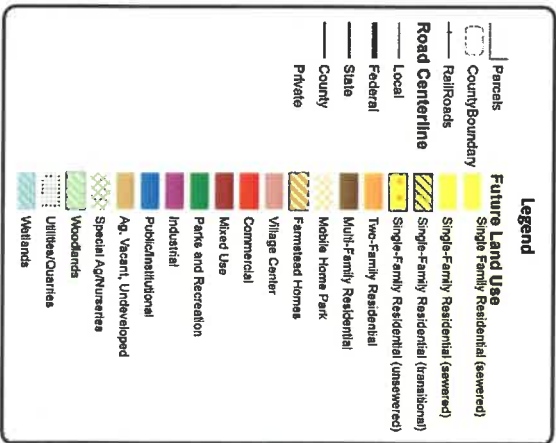
Vote Aye: \_\_\_\_ Nay: \_\_\_\_

\_\_\_\_\_  
Kevin Hietpas, Plan Commission Chair

\_\_\_\_\_  
Attest: Mark J. Mommaerts, AICP, Harrison Planner



# Harrison Future Land Use Map 2004-2023



**HARRISON**  
TOWN OF HARRISON  
PLANNING DEPARTMENT  
1000 W. 10TH ST.  
HARRISON, MO 64645  
PH: 660-241-1000  
WWW.HARRISONMO.GOV

---

**PLAN COMMISSION MEETING**

**From:**

Mark J. Mommaerts, AICP, Planner

---

**VILLAGE OF HARRISON**

**Meeting Date:**

October 29, 2019

---

**Title:**

Zoning Map Amendment – Kimberly Heights 4

---

**Issue:**

Should the Plan Commission recommend approval of the Zoning Map Amendment from AG to RS-1 to the Village Board?

---

**Background and Additional Information:**

The applicant is proposing a zoning map amendment (rezoning) for the property located along Schmidt Road (Tax IDs 33246 & part of 33250) in preparation for phase 4 of the Kimberly Heights subdivision. The property is currently zoned General Agricultural [AG]. The applicant wishes to rezone it to Single-Family Residential (Suburban) [RS-1]. The Future Land Use Map as part of the Comprehensive Plan identifies this area as Single-Family Residential (Sewered). Public sewer and water will be available to the subdivision.

---

**Findings of Fact:**

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

---

**Recommended Action:**

Staff recommends approval of the Zoning Map Amendment from General Agricultural [AG] to Single-Family Residential (Suburban) [RS-1].

---

**Attachments:**

- Aerial Map
- Zoning Map



# Zoning Map

## Village of Harrison

### Calumet & Outagamie Counties

#### Wisconsin

### Legend

Town of Harrison

Railroads

Streams

Local Roads

County Highway

State Highway

US Highway

Parcels

### Zoning Districts

AG | General Agriculture

RS-1 | Single-Family Residential (Suburban)

RS-2 | Single-Family Residential (Traditional) **RoadCenterline**

RT | Two-Family Residential

RM | Multiple-Family Residential

CN | Neighborhood Commercial

COR | Office & Retail Commercial

CC | Community Commercial

BP | Business Park

IM | Industrial & Manufacturing

NC | Natural & Conservancy

MHO | Mobile Home Overlay

PDC | Planned Development Overlay

SHO | Shoreland Overlay\*

SWO | Shoreland/Wetland Overlay\*

\* Please note that the SHO & SWO boundaries are subject to change based on determinations of navigable waterways.

This map was created by:

Village of Harrison  
 45208 Hwy 114  
 Harrison, WI 54852  
 920-989-1002

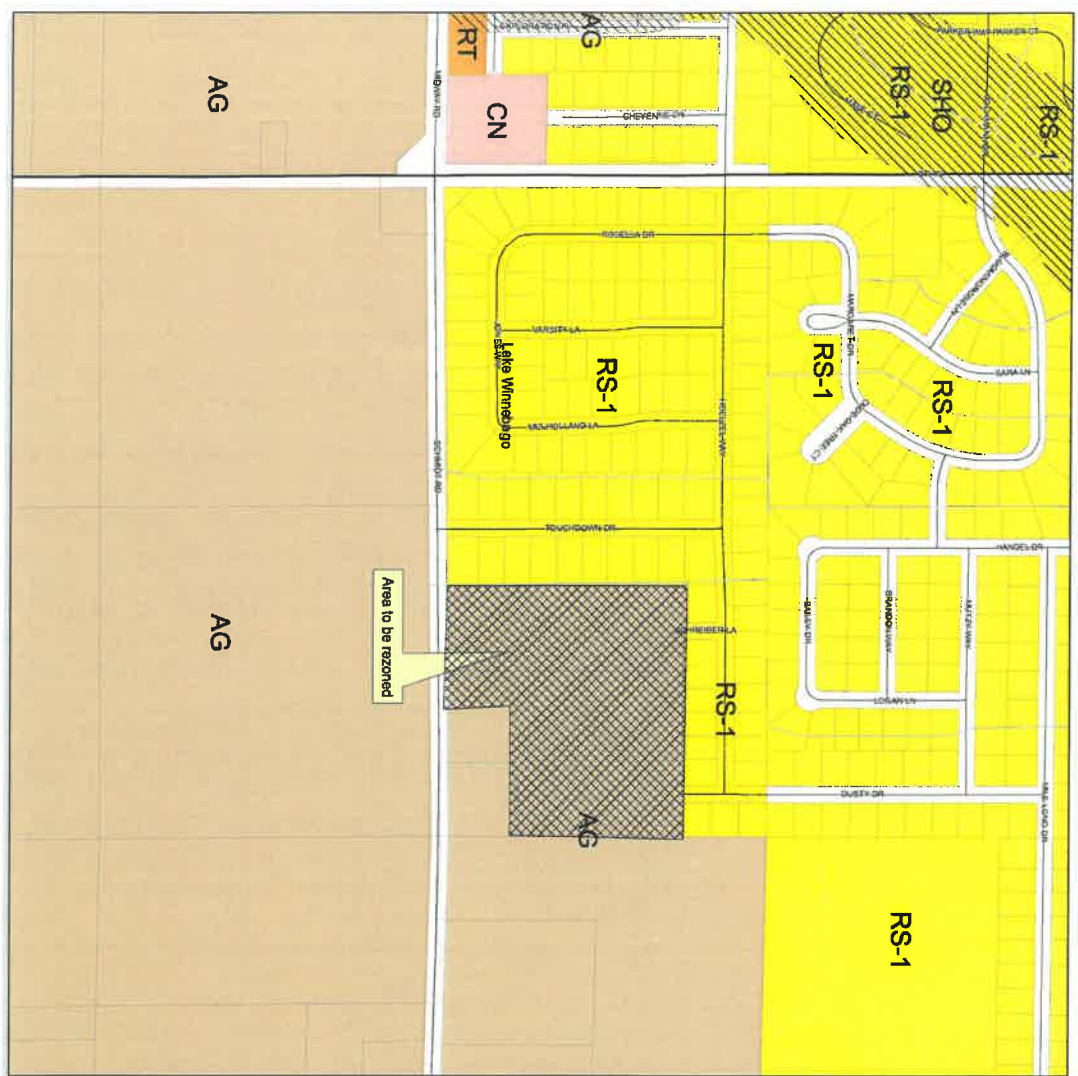
Adopted: July 27, 2010  
 Effective: November 1, 2010  
 Current as of: September 24, 2018



This map was created using data obtained from Calumet County.

This map is either a legally recorded map or a survey not as yet recorded to be used as such. The Town of Harrison does not make any representation or warranty as to the accuracy or reliability of the information or its derivatives. In no event shall Calumet County or the Town of Harrison become liable to any person for any claim arising from the use or misuse of these maps and data. This map and data are provided as a public service and are not intended to constitute an offer of any financial product or service. Original recorded source documents located in the county courthouse should be used for legal or survey purposes.

Calumet County shall remain the exclusive owner of all rights, title, and interest in all specifically copyrighted information.





---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

CSM – Kimberly Heights 4

---

**Issue:**

Should the Plan Commission recommend approval of the CSM to the Village Board?

---

**Background and Additional Information:**

The applicant is proposing a 2-lot Certified Survey Map (CSM) for the property located at W5506 Schmidt Road (Tax IDs 33248 & 33250). The property is currently zoned General Agricultural [AG]. There is an existing house and accessory building that will remain on Lot 1. The house is currently served with private septic and well. The proposed lot is approximately 2.84-acres. Lot 2 is proposed to be approximately 10.95-acres. Lot 2 is intended to be further subdivided as part of phase 4 of the Kimberly Heights subdivision (along with Tax ID 33246). Lot 2 is proposed to be rezoned to single-family residential. A portion of the Schmidt Road ROW was previously dedicated by CSM #3685. This CSM will dedicate additional ROW adjacent to Tax ID 33248.

---

**Recommended Action:**

Staff recommends approval of the Certified Survey Map.

---

**Attachments:**

- CSM
- Aerial Map



# Calumet County, WI

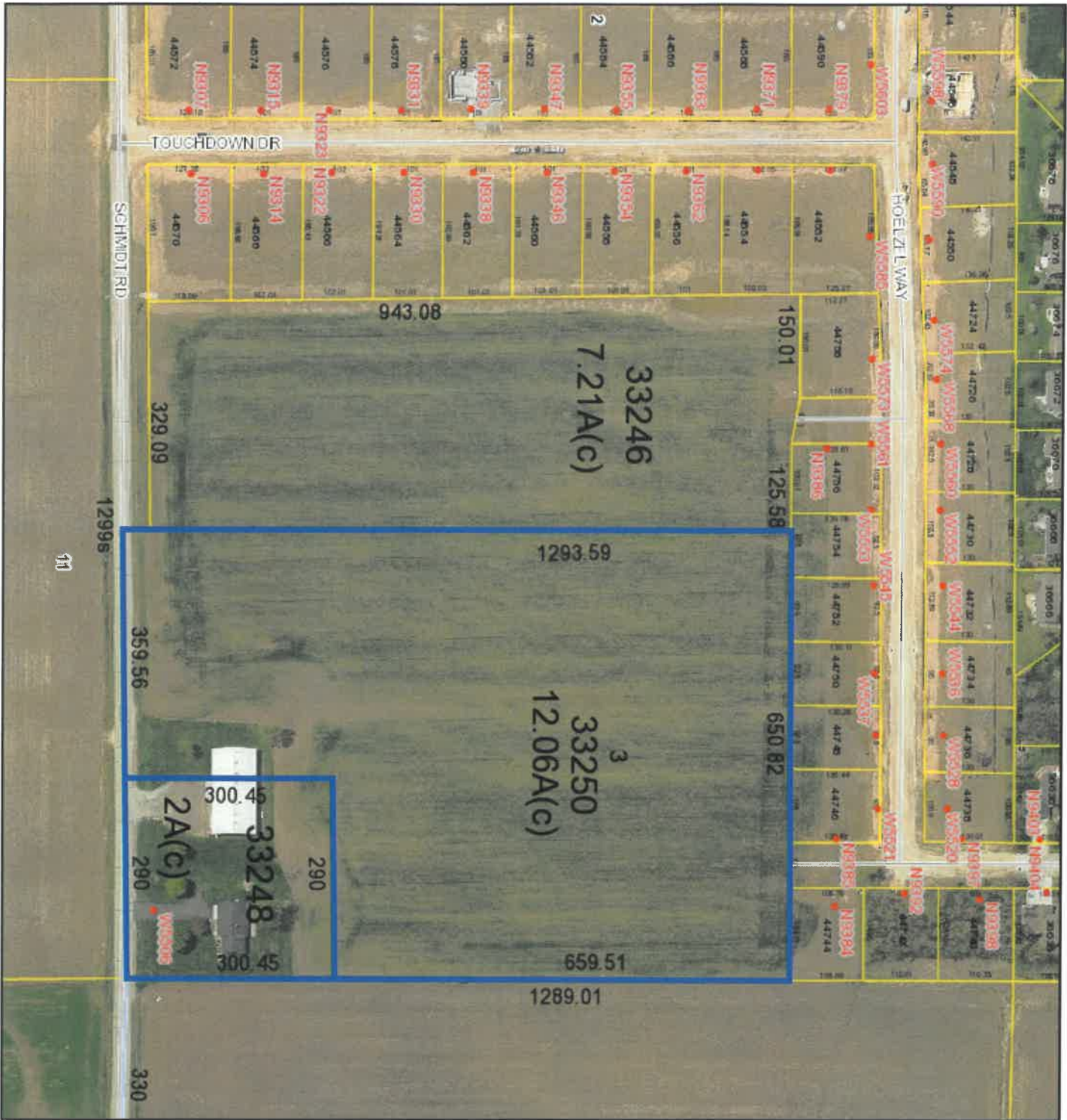
## Legend

- Address Point
- County Boundary
- Wisconsin Water
- ★ Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad
- Color 2018
  - Red: Band\_1
  - Green: Band\_2
  - Blue: River\_Band\_3



**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

AIRNET Data Point: 10/19/19 12:32 PM Services	
--	--



**RECEIVED**  
**OCT 08 2019**  
 HARRISON PLANNING

**Certified Survey Map No. \_\_\_\_\_**

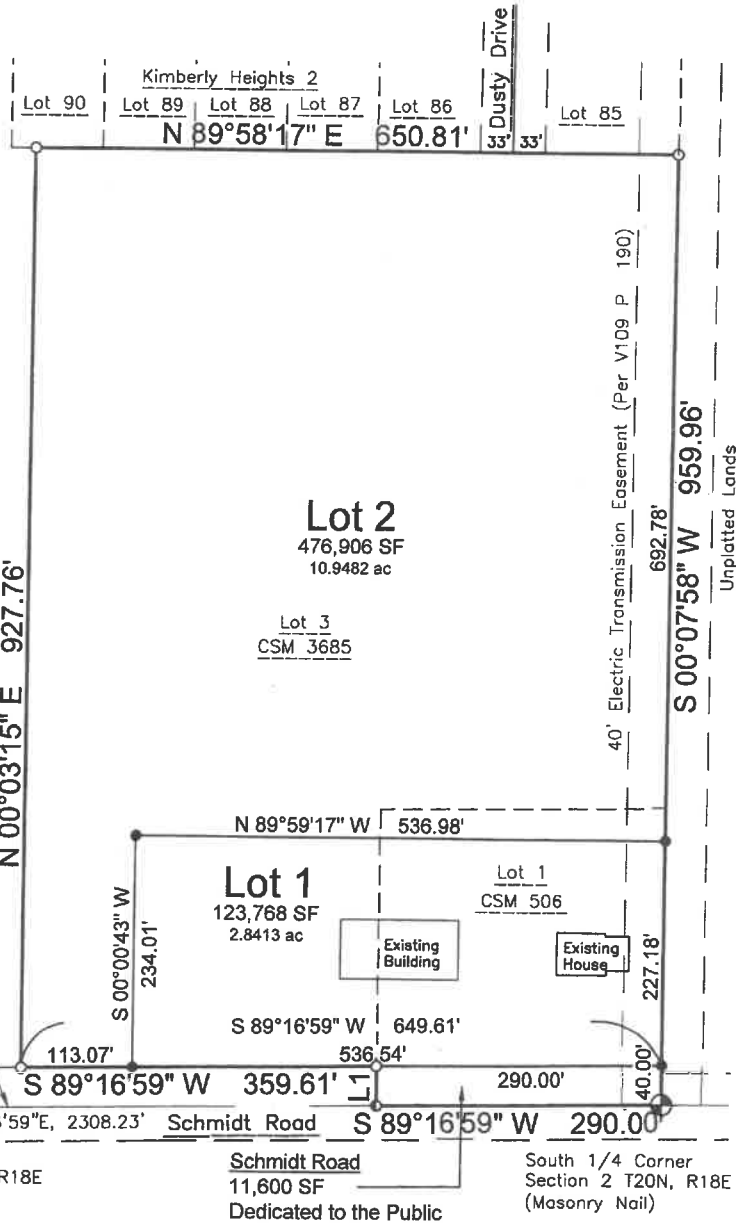
All of Lot 1 of Certified Survey Map 506, and all of Lot 3 of Certified Survey Map 3685 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

Survey for:  
 Dercks-Dewitt, LLC  
 W857 County Road ZZ  
 Kaukauna, WI 54130

LINE TABLE		
Line	Bearing	Length
L1	N 00°07'58" E	40.00'

**LEGEND**

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- Masonry (PK) Nail SET
- 3/4" Rebar Found
- ⊕ Government Corner



Bearings are referenced to the S/L of the SW 1/4 Section 2 T20N, R18E assumed to bear N89°16'59"E based on the Calumet County Coordinate System

**Davel Engineering & Environmental, Inc.**  
 Civil Engineers and Land Surveyors  
 1811 Racine Street  
 Menasha, Wisconsin  
 Ph. 920-991-1866, Fax 920-830-9595

WISCONSIN  
 JAMES R. SEHLOFF  
 S-2692  
 APPLETON  
 WI  
 PROFESSIONAL LAND SURVEYOR

James R. Sehloff Professional Land Surveyor No. S-2692 Date **8 OCT 2019**

File: 5646CSM.dwg  
 Date: 10/08/2019  
 Drafted By: jim  
 Sheet: 1 of 3

Certified Survey Map No. \_\_\_\_\_

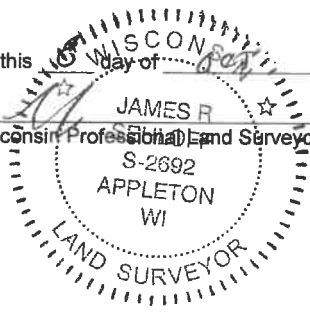
All of Lot 1 of Certified Survey Map 506, and all of Lot 3 of Certified Survey Map 3685 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Harrison and Calumet County, and under the direction of David L. and Jacquelyn J Weiland Living Trust, the property owners of said land, I have surveyed divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 1 of Certified Survey Map 506, and all of Lot 3 of Certified Survey Map 3685 all located in part of the Southeast 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 612,274 Square Feet (14.056 Acres) of land, subject to all easements, and restrictions of record.

Given under my hand this 10 day of Oct, 2019.

James R. Sehloff, Wisconsin Professional Land Surveyor No. S-2692



Owner's Certificate

As the representatives of the David L. and Jacquelyn J. Weiland Living Trust, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided, mapped, and dedicated all as shown and represented on this map.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

David L. Weiland

Jacquelyn J. Weiland

State of Wisconsin )
)ss
\_\_\_\_\_ County )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

the above named, Trustee of said Living Trust, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public, Wisconsin My commission expires: \_\_\_\_\_



Certified Survey Map No. \_\_\_\_\_

All of Lot 1 of Certified Survey Map 506, and all of Lot 3 of Certified Survey Map 3685 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin.

Village Board Approval Certificate

Resolved, that this certified survey map in the Village of Harrison, Calumet County, David L. and Jacquelyn J Weiland Living Trust, the property owners, is hereby approved by the Village Board of the Village of Harrison.

\_\_\_\_\_  
Chairman Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Harrison.

\_\_\_\_\_  
Clerk Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers' of the Village of Harrison and Calumet County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this certified survey map.

\_\_\_\_\_  
Village Treasurer Date

\_\_\_\_\_  
County Treasurer Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

the property owners of record:	Recording Information:	Parcel Number(s):
David L. and Jacquelyn J Weiland Living Trust	Doc No. 502074	33250
	Doc No. 502075	33248



James R. Sehloff Professional Land Surveyor No. S-2692 Date \_\_\_\_\_

---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

Conditional Use Permit – Bill’s Custom Conveying

---

**Issue:**

Should the Plan Commission recommend approval of a Conditional Use Permit for a contractor business and mini-warehousing to the Village Board?

---

**Background and Additional Information:**

The applicant is proposing a two-phase development for a property along Hwy 114, between Pigeon Road and Hwy 55, Tax ID 40088. The property is 11.15-acres in size and is zoned General Agricultural [AG]. The property includes 3-acre of wetlands. A wetland crossing is proposed for Phase 1.

Phase 1 is a 10,800-square foot contractor business with offices and indoor storage areas and an 18,000-square foot parking area. The business has 7 employees. Hours of operation are proposed to be 7:00am-5:00pm. Outside storage of excavation equipment (semi trailer, excavator, and dump truck) is proposed. The applicant wishes to start Phase 1 as soon as possible.

Phase 2 of the development includes 2 mini-warehousing buildings. It is unknown when Phase 2 is anticipated to be built.

---

**Basis for Approval:** *(from the Zoning Ordinance Section 117-319)*

1. *Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of this chapter. Where there is an existing nonconforming structure, the design standards of the underlying zoning district may be waived by the plan commission and town board. Contractor offices and storage are a conditional use in the AG zoning district.*
2. *Plans. The proposed use conforms to the comprehensive plan and any other officially adopted plan. The Comprehensive Plan identifies commercial land uses along major highways.*
3. *Traffic. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. The proposed use should not negatively affect the traffic on Hwy 55.*
4. *Landscaping and screening. Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in article VI, Access, Parking,*

*and Loading and article IX, Landscaping and Screening Standards.* There is an existing tree line on the north property line. Additional landscaping may be required to meet buffering requirements.

5. *Neighborhood compatibility. The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust.* There will be limited construction activity on site as the business operation typically occurs off site. Majority of materials and equipment to be stored inside. Properties ¼ mile away have similar uses.
6. *Services. Adequate facilities, access roads, drainage and/or necessary services have been or will be provided.* There is no sanitary sewer or water service in this area. Roadway access must be granted by WisDOT.

---

**Findings of Fact:**

- Property owners within 300-feet of the subject property have been notified via first-class mail.

---

**Recommended Action:**

Staff recommends approval the Conditional Use Permit with the following conditions:

1. All provisions of the zoning ordinance and all other Village ordinances shall be met.
2. Any comments or revisions from Village staff during the site plan review process shall be incorporated as conditions of approval.
3. All exterior parking area lighting shall be direct cut-off fixtures to reduce/eliminate any glare.
4. All equipment, materials, and other items related to the business shall be stored inside. No outside storage of business related items shall be allowed. Vehicles stored outside of the building shall be screened from view from the roadway and adjacent properties by a fence, plantings, or a combination thereof.
5. All required permits shall be obtained prior to construction and copies provided to the Village.
6. A copy of WI Dept. of Transportation access permit shall be submitted to the Village.
7. A copy of the WI Dept. of Natural Resources wetland permit shall be submitted to the Village.
8. A copy of the Calumet County Sanitary Permit shall be submitted to the Village.
9. Zoning permits, which meet the requirements of the zoning ordinance, shall be obtained for all building construction.
10. A stormwater management and erosion control permit shall be reviewed and approved by the Village.
11. The Building Inspector shall be consulted regarding building permits, including state permits if needed.
12. All signage shall require a separate permit and shall meet the requirements of the zoning ordinance.
13. Parking and loading areas of Phase II shall be screened from adjacent properties either through a solid fence (wood, vinyl or other similar aesthetic material) or plantings.
14. Failure to comply with these conditions may cause for the Conditional Use Permit to be revoked.

---

**Attachments:**

- Aerial Map
- Project Narrative
- Plan Set

# Calumet County, WI



## Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Hook
- PLS Section
- State Parks
- County Parks
- River and Stream
- Major Roads
- Local Roads
- Municipal Streets
- Trail
- Railroad

- Color 2018
- Red: Band 1
  - Green: Band 2
  - Blue: Band 3



**DISCLAIMER:** This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Author Date Printed 10/22/19 1:49 PM Sources	
---	--

**Larson Engineering, Inc.**  
2801 E. Enterprise Avenue, Suite 200  
Appleton, WI 54913-7889  
920.734.9867 Fax: 920.734.9880  
www.larsonengr.com



October 3, 2019

Mr. Mark Mommaerts, AICP, Planner  
Village of Harrison  
W5298 State Road 114  
Harrison, WI 54952

Re: Bill's Custom Conveying  
Conditional Use Permit and Site Plan Application  
LEI Project No: 32190016.000

Dear Mr. Mommaerts,

Please find enclosed the applications and submittal documents for the Conditional Use Permit, Site Plan Application and Erosion Control and Stormwater Management Application for Bill's Custom Conveying located just east of the Village Hall on Highway 114.

The proposed building is an industrial shop with 7 employees. The hours of operation are 7 am to 5 pm. The only equipment that will be stored outside is the excavation equipment (semi tractor and trailer, excavator and a dump truck.) A floor plan and building elevations is included with the submittal. It will be a metal building, and will be either beige or gray in color.

The proposed project includes two phases of proposed development. The first phase is a new shop and storage building for Bill's Custom Conveying. This phase of the project includes the construction of a new 10,800 square foot building with an associated 18,000 square foot parking/ vehicular circulation area.

Phase 2 of the proposed development (shown as "future" on the provided plans) includes the construction of two mini-storage facilities including the associated access along State Road 114, however, only the phase 1 developments are being submitted for review at this time. The stormwater management devices are sized for the future development shown.

The project site is approximately 11.15 acres in total, and includes over 3 acres of wetland area. The primary wetland area bisects the site requiring the filling of a small portion to construct a driveway to access the northern portion of the property. Currently a majority of the property is being farmed with the farmer typically driving across the wet area at the narrowest point (the same location we are proposing to construct the new driveway). There is a portion of the site that is unable to be farmed due to the wetness, but a significant portion of the delineated wetlands on the property are still able to be farmed. Wetland fill permits have been submitted to the WDNR for their approval. We will forward the permit to the Village when it is received.



Village of Harrison  
Conditional Use Permit and Site Plan Application  
October 3, 2019

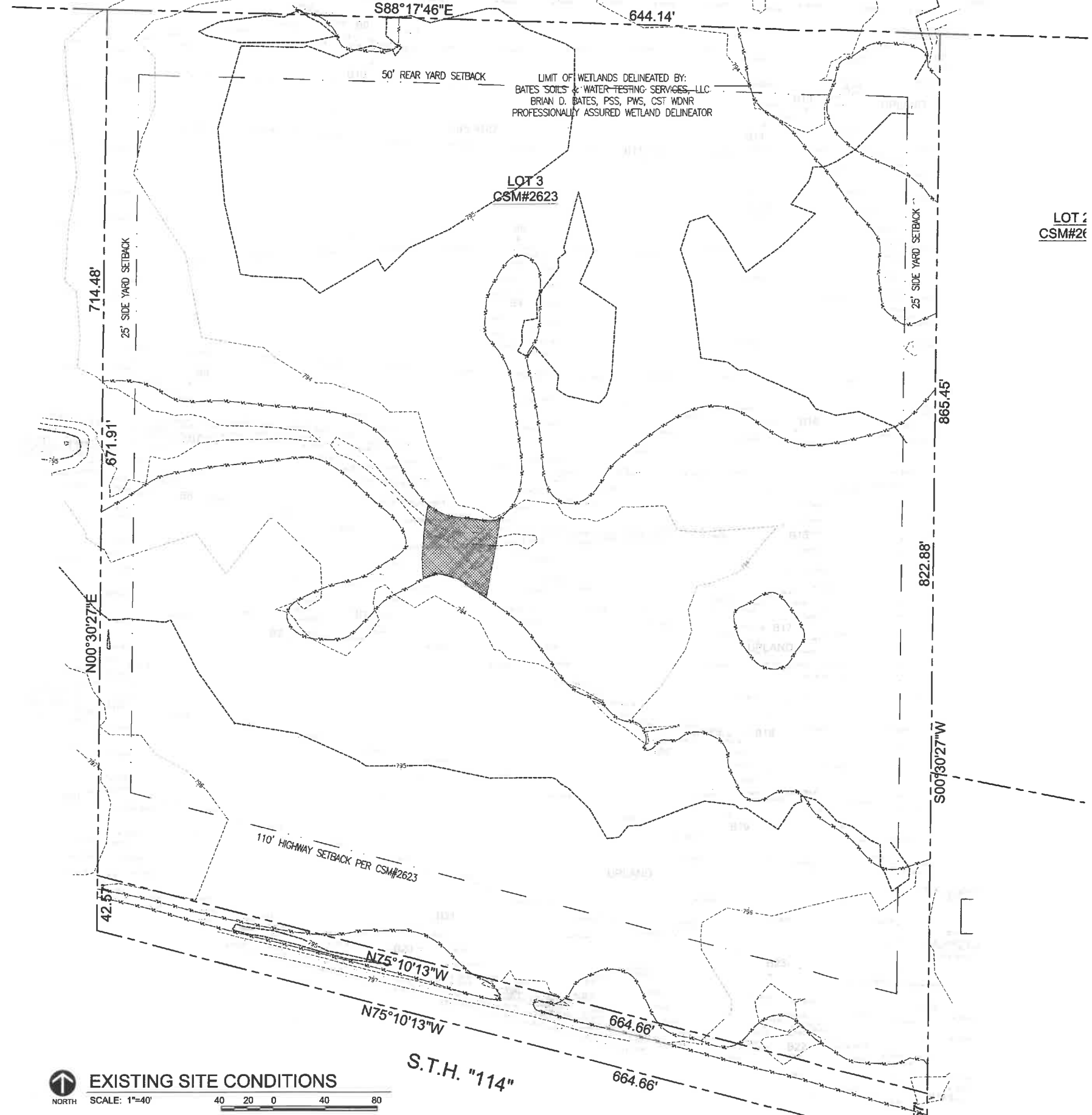
If you have any additional questions or concerns please do not hesitate to contact me.

Sincerely,  
**Larson Engineering, Inc.**

A handwritten signature in black ink, appearing to read 'S. L. McClaine', written in a cursive style.

Sandra L. McClaine, P.E.  
Project Manager





**PROPERTY DESCRIPTION**  
 LOT 3 OF CERTIFIED SURVEY MAP NUMBER 2623 AS RECORDED IN VOLUME 20 OF CERTIFIED SURVEY MAPS ON PAGE 350 AS DOCUMENT NUMBER 368422, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.  
 TAX PARCEL ID: 40088

NORTH IS REFERENCED TO THOSE BEARINGS SHOWN ON CERTIFIED SURVEY MAP NUMBER 2623 AS RECORDED IN VOLUME 20 OF CERTIFIED SURVEY MAPS ON PAGE 350 AS DOCUMENT NUMBER 368422, LOCATED IN THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

- LEGEND:**
- = BERTSEN MONUMENT FOUND
  - = 3/4" X 18" SOLID ROUND IRON REBAR SET, WEIGHING 1,500 LBS. PER LIN. FT.
  - = 3/4" SOLID ROUND IRON REBAR FOUND
  - = 1" D.D. ROUND IRON PIPE FOUND
  - = P.K. NAIL SET
  - = NAIL FOUND
  - = RAILROAD SPIKE FOUND
  - = CULVERT
  - = POWER POLE
  - = PRIVATE LIGHT POLE
  - = DOWN GUY
  - = ELECTRICAL PEDESTAL
  - = COMMUNICATION PEDESTAL
  - = UNDERGROUND GAS WARNING POST
  - ( ) = RECORDED AS BEARING/DISTANCE
  - OE = OVERHEAD ELECTRICAL
  - CEC = OVERHEAD ELECTRICAL & COMMUNICATIONS
  - UC = UNDERGROUND COMMUNICATIONS
- LIMIT OF WETLANDS AS DELINEATED BY BATES SOIL & WATER TESTING SERVICES, LLC. REPORT DATED: JUNE 21, 2019  
 WETLAND TO BE FILLED PER WDNR PERMIT #\*\*\*\*\*

**Larson Engineering, Inc.**  
 2801 E. Enterprise Avenue, Suite 200  
 Appleton, WI 54913-8569  
 Phone: 920.734.9867  
 www.larsonengr.com

**BILL'S CUSTOM CONVEYING**  
 CLIENT:  
 55774 Turnberry Drive  
 Menasha WI 54952  
 920-856-3991  
 ATTN: Bill and Dierdra Porretto

**BILL'S CUSTOM CONVEYING**  
 HWY 114  
 Harrison, WI 54129

SEAL  
 Date:  
 Design Firm#

Revision Schedule		
No.	Date	Description
1	06/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 20190016.000  
 Drawn by: SLM  
 Checked by: SEK

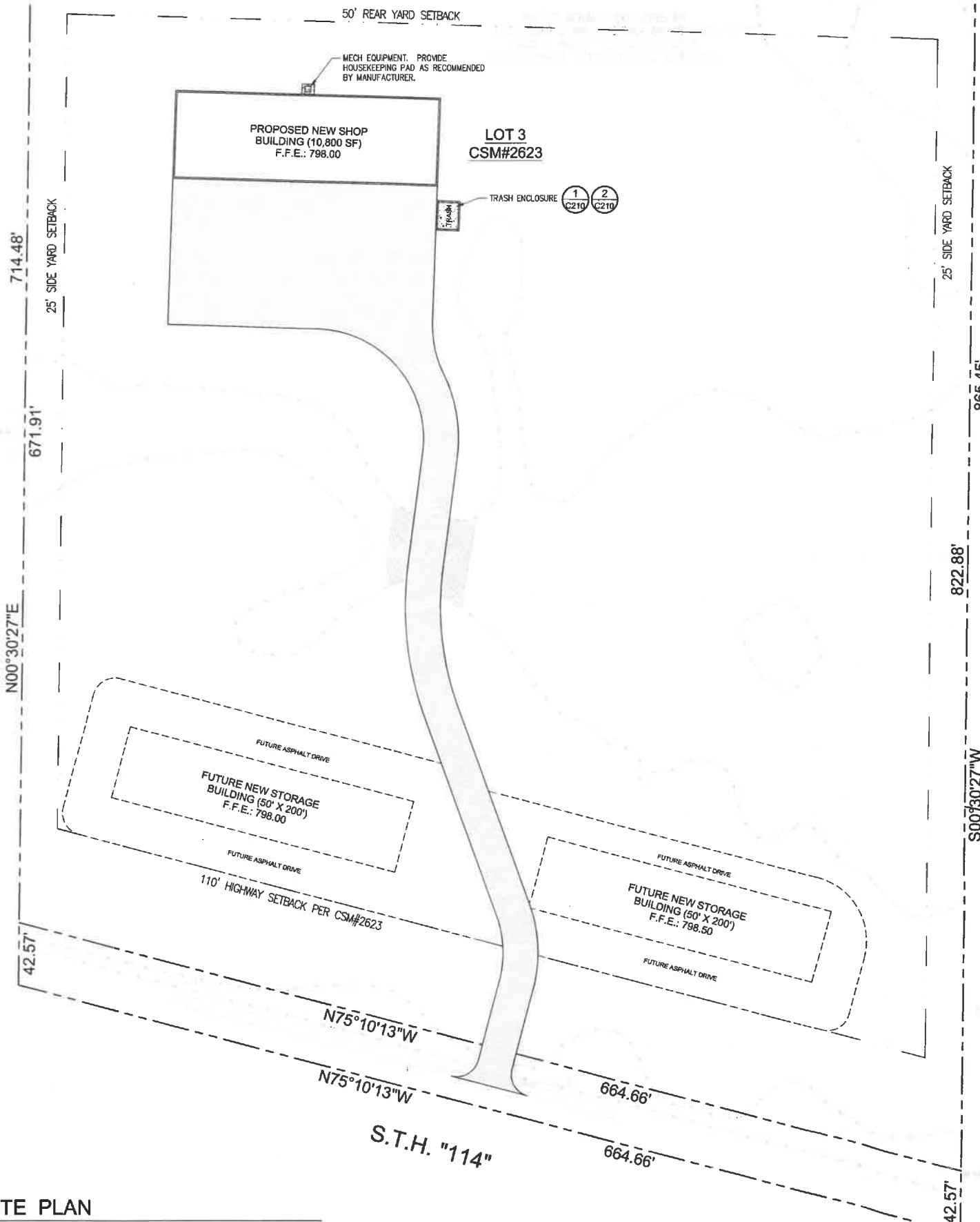
Sheet Title:  
**EXISTING SITE CONDITIONS**

**C100**



**CAROW LAND SURVEYING CO., INC.**  
 615 N. LYNDALE DRIVE  
 APPLETON, WISCONSIN 54912-1297  
 PHONE: (920)731-4168 FAX: (920)731-5673





SITE NOTES:

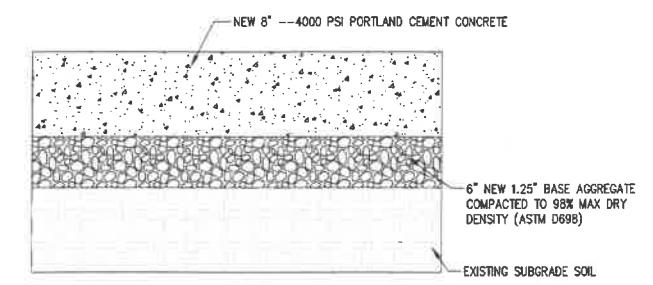
TOTAL SITE AREA: 481,120 SF (11.05 ACRES)  
 TOTAL DISTURBED AREA: 129,106 SF (2.96 ACRES)  
 TOTAL AREA EXISTING PAVEMENT: 0 SF (0 ACRES)  
 TOTAL AREA EXISTING BUILDING: 0 SF (0 ACRES)  
 TOTAL EXISTING IMPERVIOUS: 0 SF (0 ACRES)---00%  
 TOTAL PAVEMENT (GRAVEL) FOLLOWING DEVELOPMENT: 31,352 SF (0.72 ACRES)  
 TOTAL BUILDING AREA FOLLOWING DEVELOPMENT: 10,800 SF (0.25 ACRES)  
 TOTAL IMPERVIOUS FOLLOWING DEVELOPMENT: 42,152 SF (0.97 ACRES) 8.8 %  
 FUTURE TOTAL PAVEMENT (GRAVEL) FOLLOWING DEVELOPMENT: 65,854 SF (1.5 ACRES)  
 FUTURE TOTAL BUILDING AREA FOLLOWING DEVELOPMENT: 30,800 SF (0.70 ACRES)  
 FUTURE TOTAL IMPERVIOUS FOLLOWING DEVELOPMENT: 96,664 SF (2.22 ACRES) 20 %

\*\*NOTE: FUTURE ADDITIONS ARE SHOWN FOR REFERENCE ONLY, AND ARE NOT INCLUDED IN THE SCOPE OF WORK FOR THIS PROJECT.

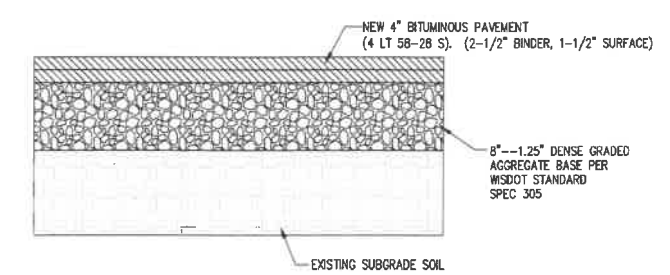
LOT 2 CSM#2623

SYMBOL LEGEND

- NEW ASPHALT DRIVE (2/C200)
- NEW CONCRETE PAVEMENT (1/C200)



**CONCRETE CONSTRUCTION DETAIL**  
 NOT TO SCALE



**HEAVY DUTY BITUMINOUS CONSTRUCTION DETAIL**  
 NOT TO SCALE

**Larson Engineering, Inc.**  
 2801 E. Enterprise Avenue, Suite 200  
 Appleton, WI 54913-8559  
 Phone: 920.734.9857  
 www.larsoneng.com

**BILL'S CUSTOM CONVEYING**  
 CLIENT:  
 W5774 Turnberry Drive  
 Menasha WI 54952  
 920-856-3991  
 ATTN: Bill and Dierdra Porretto

**BILL'S CUSTOM CONVEYING**  
 HWY 114  
 Harrison, WI 54129

SEAL

Date: \_\_\_\_\_  
 Design Firm# \_\_\_\_\_

Revision Schedule		
No.	Date	Description
1	08/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

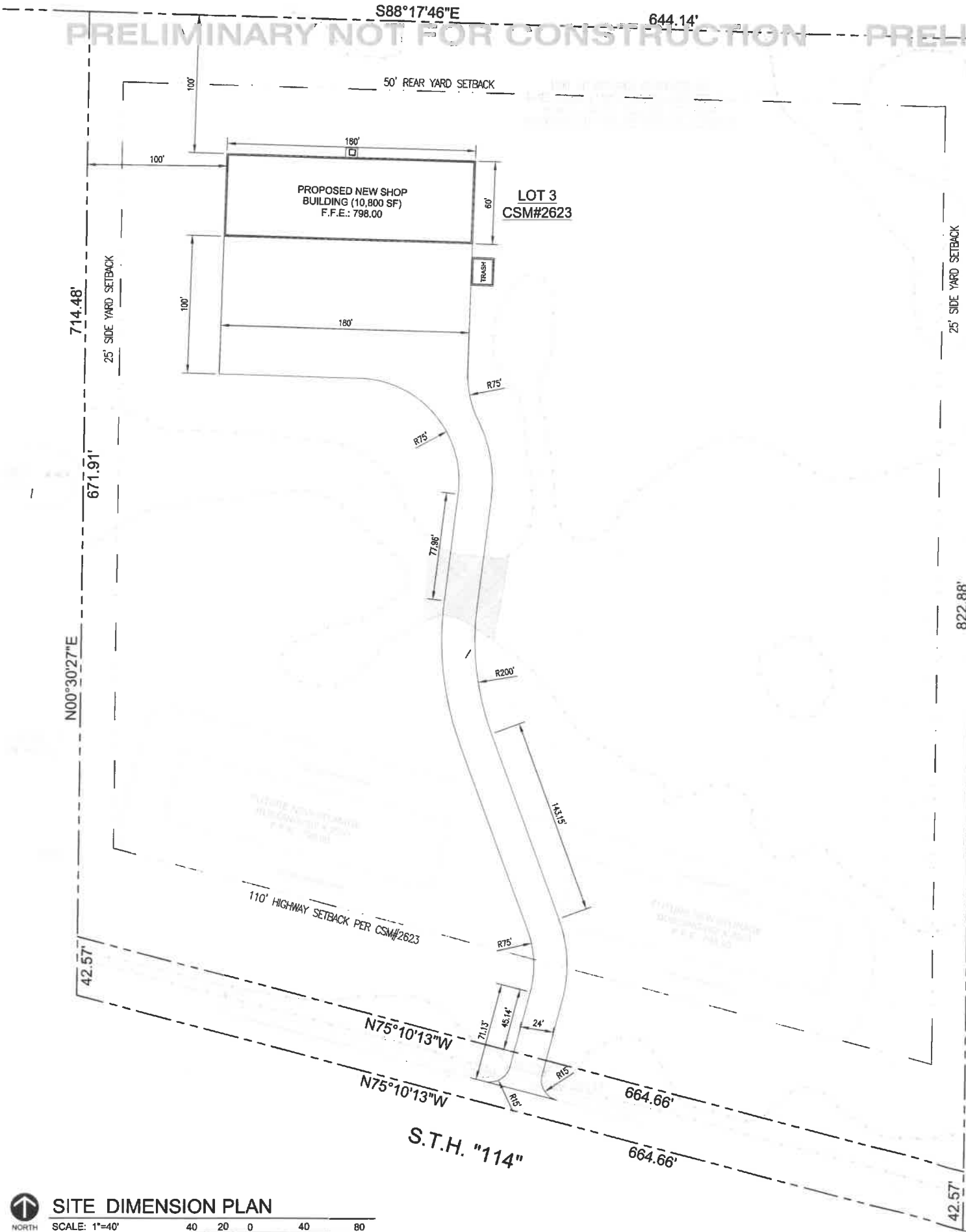
Project#: 20190016.000  
 Drawn by: SLM  
 Checked by: SEK  
 Sheet Title:

SITE DEVELOPMENT PLAN

**C200**

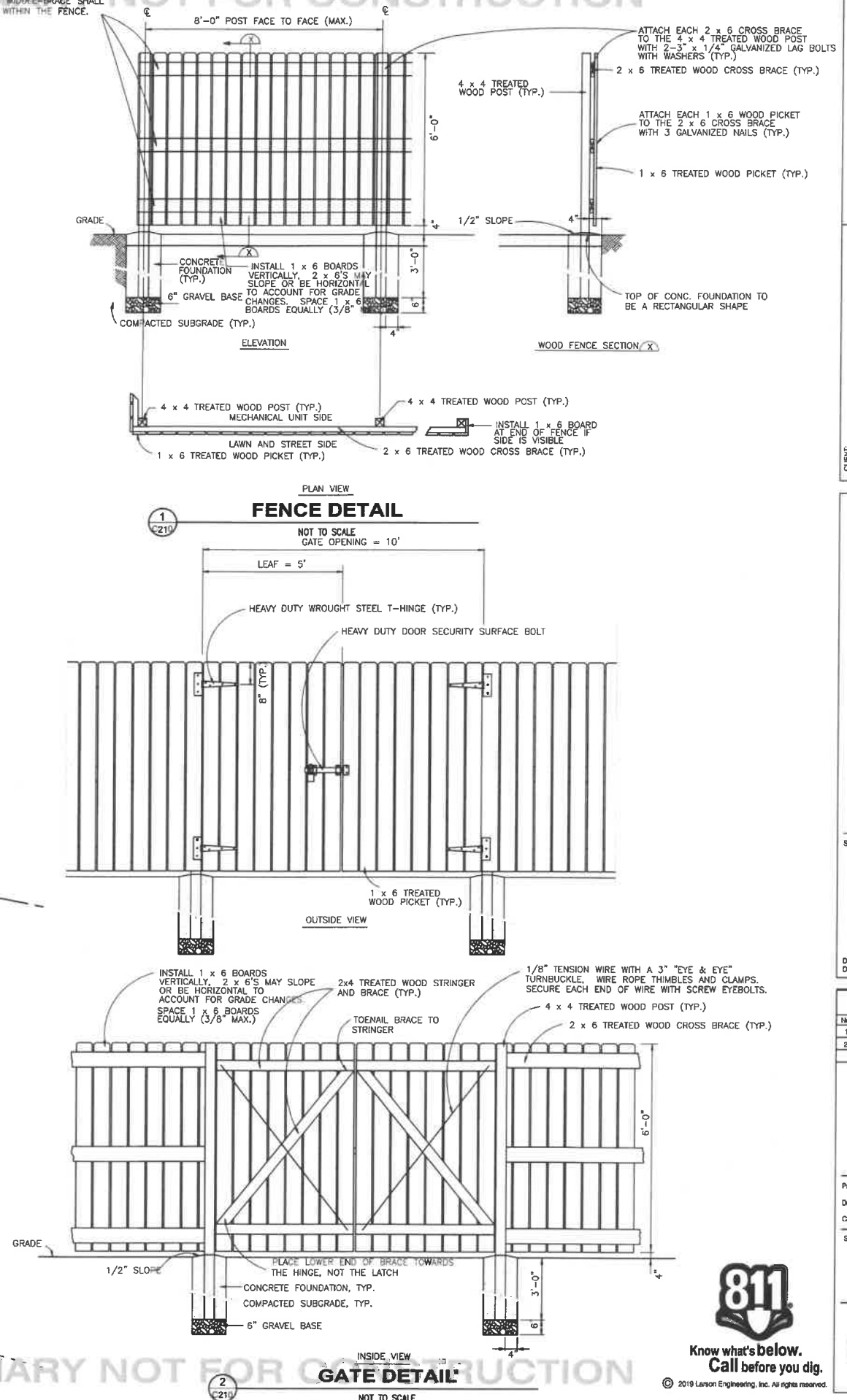
**SITE PLAN**  
 SCALE: 1"=40'  
 40 20 0 40 80

**811**  
 Know what's below.  
 Call before you dig.  
 © 2019 Larson Engineering, Inc. All rights reserved.



THE TOP AND BOTTOM WOOD CROSS BRACES SHALL BE PLACED 6" FROM THE END OF THE WOOD PICKETS. THE MIDDLE BRACE SHALL BE CENTERED WITHIN THE FENCE.

**PRELIMINARY NOT FOR CONSTRUCTION**



**SITE DIMENSION PLAN**  
SCALE: 1"=40'

40 20 0 40 80

**Larson Engineering, Inc.**  
2801 E. Enterprise Avenue, Suite 200  
Appleton, WI 54913-5659  
Phone: 920.734.9857  
www.larsonengr.com

**BILL'S CUSTOM CONVEYING**  
CLIENT:  
W5774 Turnberry Drive  
Menasha WI 54952  
920-858-3991  
ATTN: Bill and Dierdra Porretto

**BILL'S CUSTOM CONVEYING**  
HWY 114  
Harrison, WI 54129

SEAL

Date:  
Design Firm#

Revision Schedule		
No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190018.000  
Drawn by: SLM  
Checked by: SEK

Sheet Title:

**SITE DIMENSION PLAN**

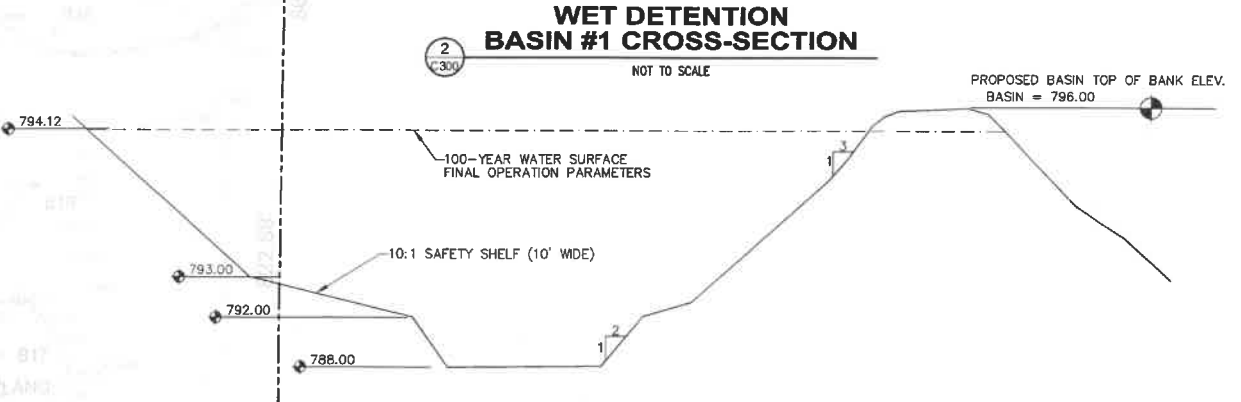
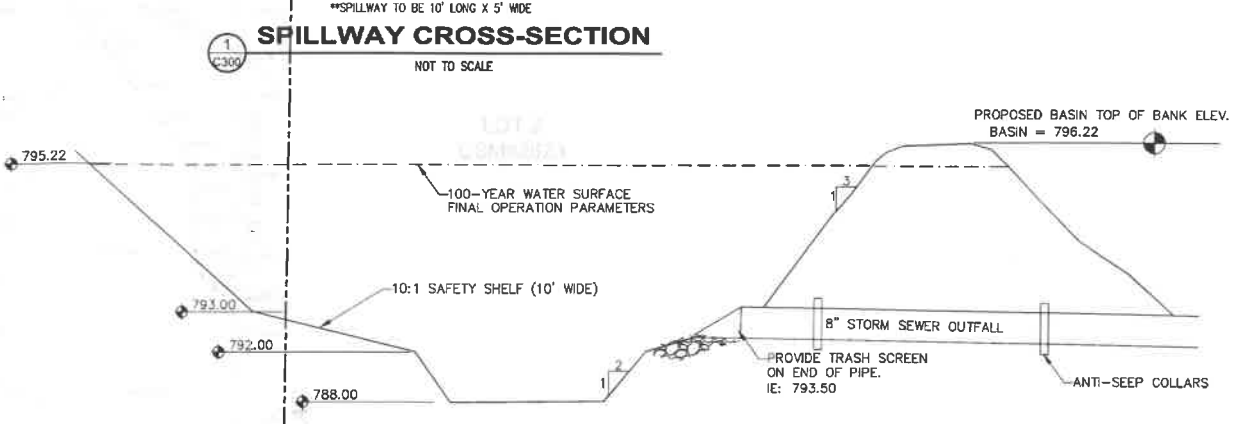
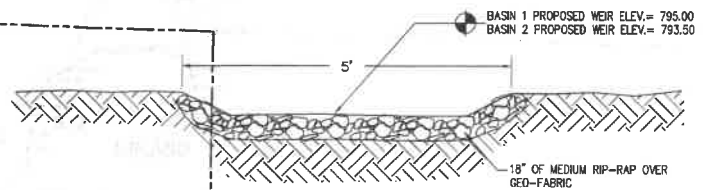
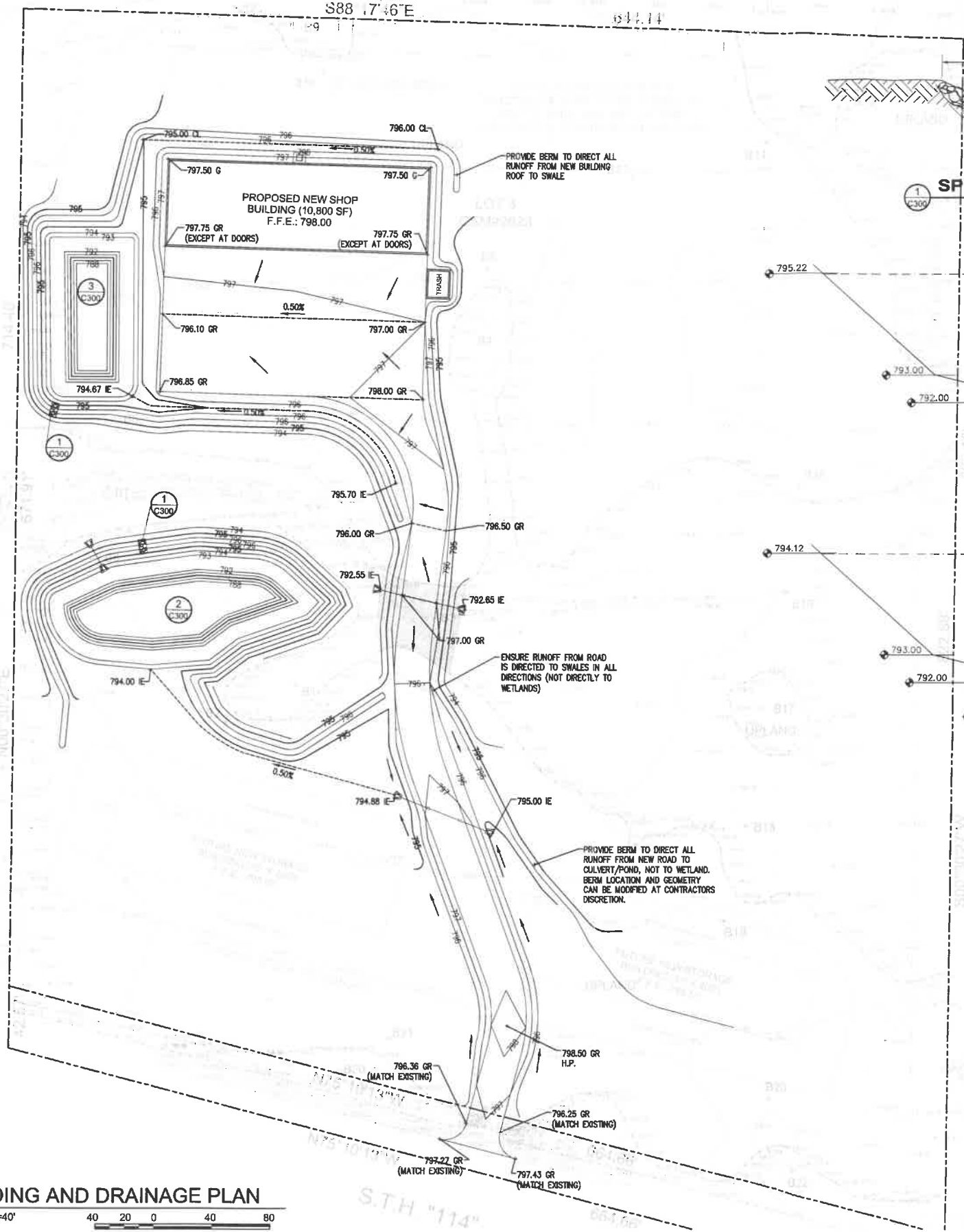
**C210**



Know what's below.  
Call before you dig.

© 2019 Larson Engineering, Inc. All rights reserved.





**LEGEND**

***.## C	CONCRETE ELEVATION
***.## P	ASPHALT PAVEMENT ELEVATION
***.## G	GROUND (GRASS/LANDSCAPING/ETC...) ELEVATION
***.## TC	TOP CURB/CONCRETE
***.## EP	EDGE PAVEMENT
***.## FL	FLOWLINE CURB
***.## GR	GRAVEL
***.## CL	SWALE CENTERLINE

**STORMWATER NOTES**

-TOTAL CURRENT DISTURBED AREA: 3 ACRES

-AREAS (EXISTING):  
 IMPERVIOUS: 0 SF (0 ACRES) (0%)  
 PERVIOUS: 481,120 SF (11.05 ACRES)

-AREAS (PROPOSED):  
 IMPERVIOUS: 42,152 SF (0.97 ACRES) (8.8%)  
 PERVIOUS: 438,968 SF (7.72 ACRES)

-AREAS (TOTAL FUTURE):  
 IMPERVIOUS: 96,664 SF (2.22 ACRES) (20%)  
 PERVIOUS: 384,456 SF (8.5 ACRES)

\*NOTE: ALL STORM WATER DEVICES ARE SIZED FOR ALL FUTURE DEVELOPMENT SHOWN WITH TOTAL ULTIMATE IMPERVIOUS AREAS AS SHOWN ABOVE.

**STORMWATER FLOW EXISTING:**  
 1-YEAR: 5.53 CFS  
 2-YEAR: 7.57 CFS  
 10-YEAR: 17.64 CFS  
 100-YEAR: 30.66 CFS

**STORMWATER FLOW PROPOSED (FOLLOWING DETENTION):**  
 1-YEAR: 5.48 CFS  
 2-YEAR: 7.40 CFS  
 10-YEAR: 16.19 CFS  
 100-YEAR: 26.99 CFS

TSS REDUCTION:  
 80% REDUCTION REQUIRED  
 TSS REDUCTION PROVIDED: 89.49%

**WET DETENTION BASIN #1 OPERATION PARAMETERS:**  
 1-YEAR OUTFLOWS: 0.72 CFS  
 PEAK WATER SURFACE: 794.09  
 2-YEAR OUTFLOWS: 0.94 CFS  
 PEAK WATER SURFACE: 794.22  
 10-YEAR OUTFLOWS: 1.51 CFS  
 PEAK WATER SURFACE: 794.75  
 100-YEAR OUTFLOWS: 3.25 CFS  
 PEAK WATER SURFACE: 795.22

**WET DETENTION BASIN #2 OPERATION PARAMETERS:**  
 1-YEAR OUTFLOWS: 1.56 CFS  
 PEAK WATER SURFACE: 793.75  
 2-YEAR OUTFLOWS: 1.99 CFS  
 PEAK WATER SURFACE: 793.79  
 10-YEAR OUTFLOWS: 4.05 CFS  
 PEAK WATER SURFACE: 793.96  
 100-YEAR OUTFLOWS: 6.65 CFS  
 PEAK WATER SURFACE: 794.12

**Larson Engineering, Inc.**  
 2801 E. Enterprise Avenue, Suite 200  
 Appleton, WI 54913-5659  
 Phone: 920.734.9887  
 www.larsonengr.com

CLIENT: **BILL'S CUSTOM CONVEYING**  
 56774 Turnberry Drive  
 Menasha WI 54952  
 920-858-3991  
 ATTN: Bill and Diarcia Porretto

**BILL'S CUSTOM CONVEYING**  
 HWY 114  
 Harrison, WI 54129

SEAL

Date: Design Firm#

Revision Schedule		
No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190016.000  
 Drawn by: SJM  
 Checked by: SEK












Sheet Title:  
**GRADING PLAN**

**C300**



Know what's below.  
 Call before you dig.

**SYMBOL LEGEND**

-  NEW GAS SERVICE (PIPE MATERIAL AS REQUIRED BY SERVICE PROVIDER)
-  NEW SANITARY SEWER (PVC-SDR 35 UNLESS OTHERWISE NOTED)
-  NEW WATER LATERAL (PVC-SDR 18 UNLESS OTHERWISE NOTED)
-  NEW STORM SEWER (HDPE OR PVC-SDR 35 UNLESS OTHERWISE NOTED)
-  NEW SEWER MANHOLE OR CATCH BASIN
-  NEW SEWER CLEANOUT
-  NEW CURB INLET
-  NEW FLARED END SECTION
-  NEW GATE VALVE
-  NEW FIRE HYDRANT
-  IRRIGATION SLEEVES. SIZE AND QUANTITY BY DESIGN-BUILD IRRIGATION CONTRACTOR-TO BE INSTALLED BY SITE CONTRACTOR

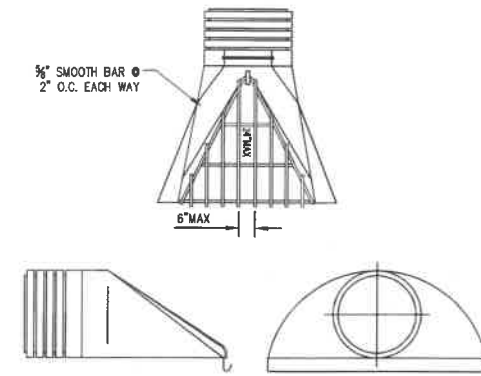
**UTILITY NOTES**

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM OR COORDINATE ALL NECESSARY UTILITY CONNECTIONS AND RELOCATIONS FROM EXISTING UTILITY LOCATIONS TO THE PROPOSED BUILDING, AS WELL AS TO ALL ONSITE AMENITIES. THESE CONNECTIONS INCLUDE BUT ARE NOT LIMITED TO WATER, SANITARY SEWER, CABLE TV, TELEPHONE, GAS, ELECTRIC, SITE LIGHTING, ETC.
2. ALL SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. UTILITY CONNECTIONS (SANITARY SEWER, WATERMAIN, AND STORM SEWER).
3. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE ENGINEERING DEPARTMENTS AND UTILITY COMPANIES 72 HOURS PRIOR TO CONSTRUCTION. ALL NECESSARY PRECAUTIONS SHALL BE MADE TO AVOID DAMAGE TO EXISTING UTILITIES.
4. ABANDONED UTILITY LINES SHALL BE FILLED WITH BLOWN SAND OR FLOWABLE FILL PRIOR TO CAPPING, OR THEY SHALL BE REMOVED COMPLETELY. ABANDONED LINES WITHIN THE RIGHT-OF-WAY SHALL BE ABANDONED IN ACCORDANCE WITH TOWN OF ALGOMA SPECIFICATIONS.
5. INSTALL TRACER WIRE WITH ALL NON-METALLIC PIPING WITH ADEQUATE TERMINATION AT CLEANOUTS, RISERS, AND VALVE BOXES.
6. ALL SANITARY SEWER AND STORM SEWER LATERALS SHALL BE PROVIDED WITH 3M SCOTCHMARK MODEL 1404-XR WASTEWATER AND 1408-XR MARKERBALLS OR EQUAL TO PROVIDE LOCATION OF THE SANITARY SEWER AND STORM LATERAL. ONE BALL SHALL BE PROVIDED AT THE CONNECTION TO THE MAIN, ONE BALL 2' OFF THE ROW INTO THE ROW, AND ONE BALL AT ALL HORIZONTAL AND VERTICAL BENDS. MAXIMUM DEPTH OF BURY OF THE MARKER BALL IS 5 FEET.
7. MAINTAIN MINIMUM 6" COVER OVER ALL WATERMAIN PIPING.

**STORM SEWER SIZING DATA**

PIPE 1:  
5,000 SF LAWN @ 104 SF/GPM + 5,000 SF ROOF @ 26 SF/GPM + 15,000 SF PVMT @ 32.5 SF/GPM = 701 GPM (1.6 CFS)  
\*\*CAPACITY OF 18" PIPE @ 0.20% = 5.09 CFS (VELOCITY = 2.88 FT/S)

\*\*STORM SEWER PEAK FLOW CALCULATION BASED ON SPS 382.36 (S)  
ROOFS=26 SF/GPM  
PAVEMENT= 32.5 SF/GPM  
LAWN=104 SF/GPM



PROVIDE 3 CLIPS TO FASTEN TRASH GUARD TO F.E.S.  
HOT DIP GALVANIZE AFTER FABRICATION.

**FLARED END SECTION DETAIL**

NOT TO SCALE

**STORM SEWER PLAN**

NORTH SCALE: 1"=40'



**Larson Engineering, Inc.**  
2801 E. Enterprise Avenue, Suite 200  
Appleton, WI 54913-9559  
Phone: 920-734-9867  
www.larsoneng.com



**BILL'S CUSTOM CONVEYING**

W5774 Turnberry Drive  
Menasha WI 54952  
920-858-3991

ATTN: Bill and Dierdra Porretto

**BILL'S CUSTOM CONVEYING**

HWY 114  
Harrison, WI 54129

SEAL

Date:  
Design Firm#

**Revision Schedule**

No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190016.000

Drawn by: SLM

Checked by: SEK

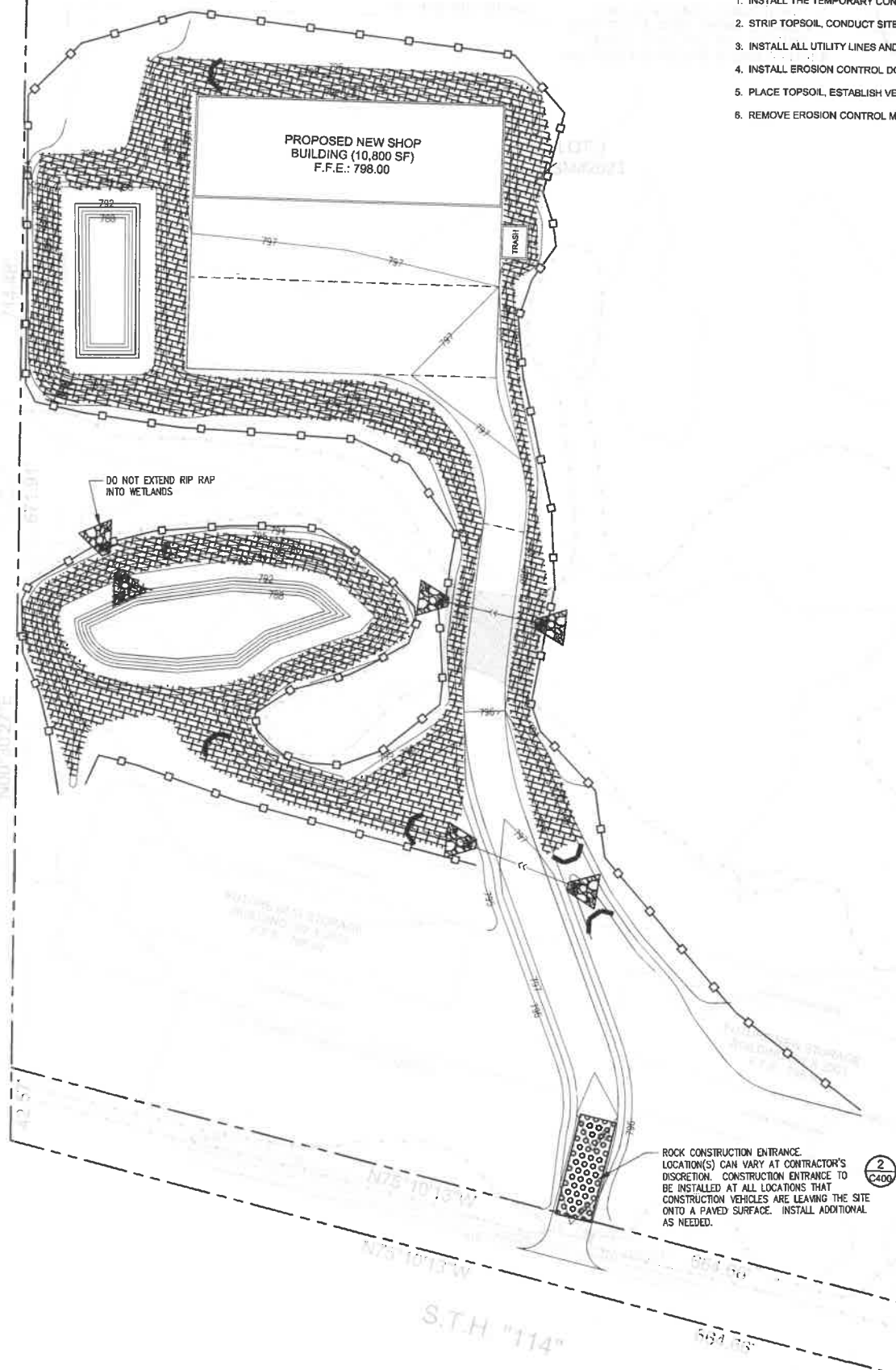
Sheet Title:

**SITE UTILITY PLAN**

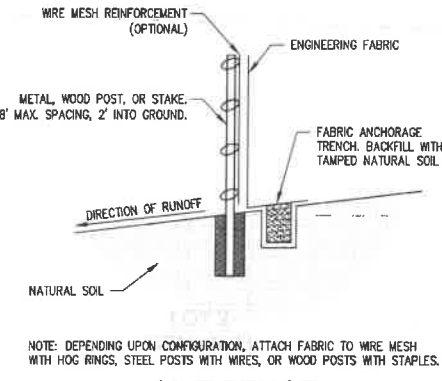
**C400**



Know what's below.  
Call before you dig.

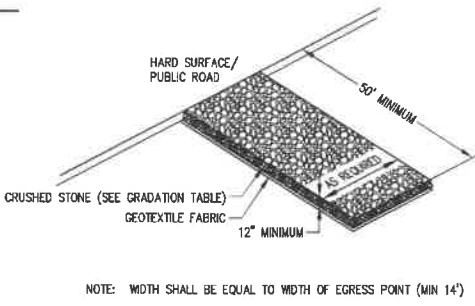


- CONSTRUCTION SITE SEQUENCING:**
1. INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE.
  2. STRIP TOPSOIL, CONDUCT SITE GRADING
  3. INSTALL ALL UTILITY LINES AND PIPING
  4. INSTALL EROSION CONTROL DOWNSTREAM OF ANY STOCKPILES.
  5. PLACE TOPSOIL, ESTABLISH VEGETATION
  6. REMOVE EROSION CONTROL MEASURES



SEIVE SIZE	PERCENT PASSING
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5

- SYMBOL LEGEND**
- INLET PROTECTION
  - TRACKING MAT (PROVIDE AT ALL ENTRANCES AND EXITS FROM THE CONSTRUCTION SITE ONTO A PAVED SURFACE.) (2/C400)
  - EROSION MATTING (INSTALL ON ALL SLOPES 4:1 OR STEEPER) (3/C501)
  - SEDIMENT LOGS (2/C501)
  - SILT FENCE (1/C400)
  - RIP RAP (1/C501)



- EROSION CONTROL NOTES**
1. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
  2. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All erosion control devices shall be installed in compliance with all WDNR Technical Standards.
  3. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
  4. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
  5. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
  6. All exposed soil areas must have temporary protection cover according to the following:
 

Type of Slope	Time (Maximum time an area can remain open when the area is not actively being worked)
Slopes steeper than 3:1	within 7 days
Slopes between 10:1 and 3:1	within 14 days
Slopes flatter than 10:1	within 21 days

These areas include constructed storm water management pond side slopes, and any exposed soil areas with a positive slope to a storm water conveyance system, such as a curb and gutter system, storm sewer inlet, temporary or permanent drainage ditch, or other natural or man made systems that discharge to a surface water.
  7. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
  8. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be protected per the appropriate detail.
  9. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
  10. All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access.
  11. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
  12. All soils tracked onto pavement shall be removed daily.
  13. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
  14. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
  15. Restore all disturbed turf areas with 6" topsoil and seed.
    - a) Provide 22-5-10 fertilizer, applied at a rate of 350 pounds per acre (or as recommended by manufacturer)
    - b) Seed should be spread at a rate of 6-7 lbs./1000 sq feet

ROCK CONSTRUCTION ENTRANCE LOCATION(S) CAN VARY AT CONTRACTOR'S DISCRETION. CONSTRUCTION ENTRANCE TO BE INSTALLED AT ALL LOCATIONS THAT CONSTRUCTION VEHICLES ARE LEAVING THE SITE ONTO A PAVED SURFACE. INSTALL ADDITIONAL AS NEEDED.



Know what's below.  
Call before you dig.

**Larson Engineering, Inc.**  
2801 E. Enterprise Avenue, Suite 200  
Appleton, WI 54913-3559  
Phone: 920.734.9867  
www.larsonengr.com

**BILL'S CUSTOM CONVEYING**  
5774 Turnberry Drive  
Menasha WI 54952  
920-858-3991  
ATTN: Bill and Dierdra Porretto

**BILL'S CUSTOM CONVEYING**  
HWY 114  
Harrison, WI 54129

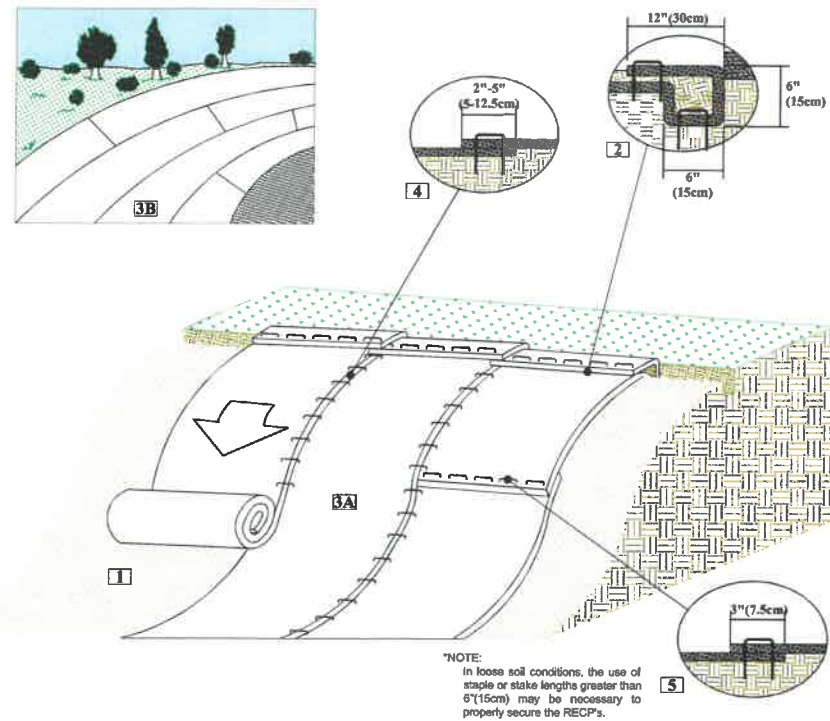
Revision Schedule

No.	Date	Description
1	09/19/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 30190018.000  
Drawn by: SLM  
Checked by: SEK

**EROSION CONTROL PLAN**

**C500**

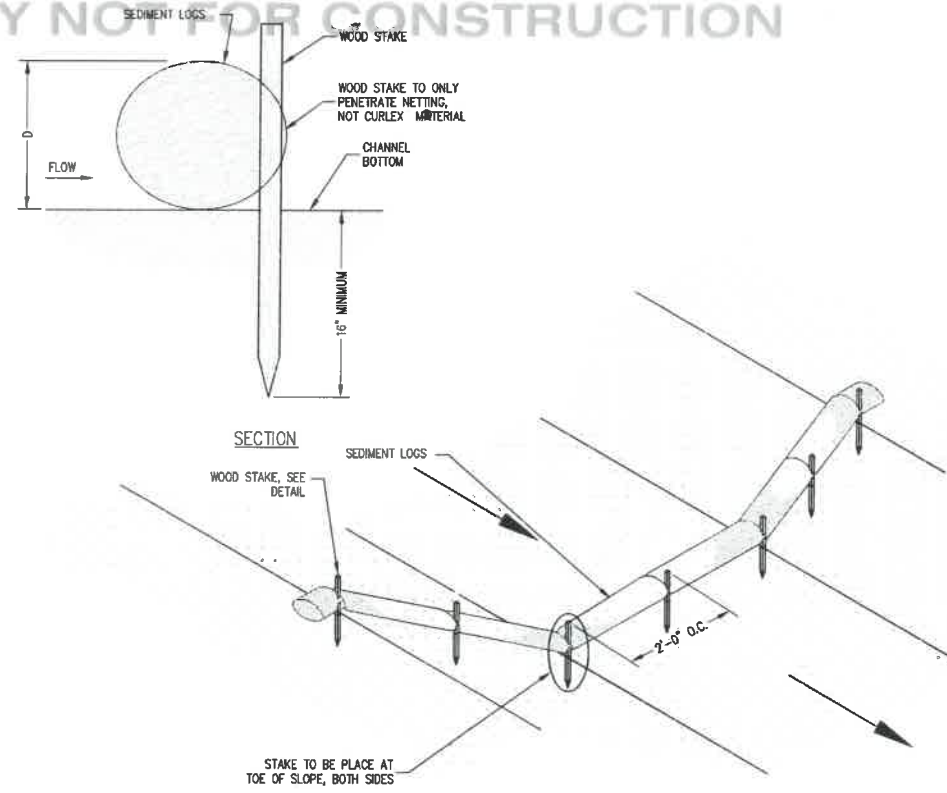


**EROSION MATTING  
INSTALLATION DETAIL**

3  
C501  
NOT TO SCALE

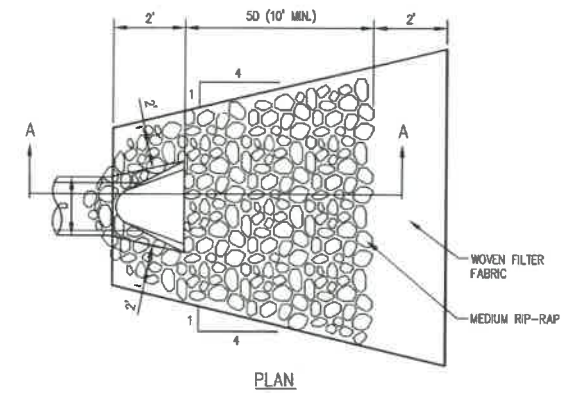
**SLOPE  
INSTALLATION  
DETAIL**

1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6"(15cm) deep X 6"(15cm) wide trench with approximately 12"(30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12"(30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12"(30cm) apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
5. Consecutive RECPs spliced down the slope must be end over end (Single style) with an approximate 3"(7.5cm) overlap. Staple through overlapped area, approximately 12"(30cm) apart across entire RECPs width.

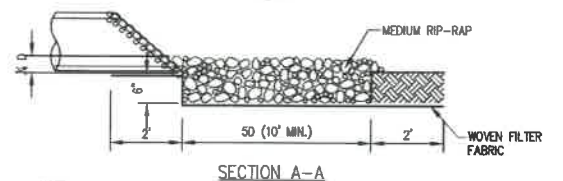


**SEDIMENT LOG  
INSTALLATION DETAIL**

2  
C501  
NOT TO SCALE



PLAN



SECTION A-A

NOTE:  
500X MIRAFI FABRIC OR EQUAL

**RIP-RAP AT OUTLETS**

1  
C501  
NOT TO SCALE

**Larson Engineering, Inc.**  
2801 E. Enterprise Avenue, Suite 200  
Appleton, WI 54911-3659  
Phone: 920.734.9867  
www.larsonengr.com



**BILL'S CUSTOM  
CONVEYING**

CLIENT:  
56774 Turnberry Drive  
Menasha WI 54952  
920-868-3991  
ATTN: Bill and Dierdra Porretto

**BILL'S CUSTOM  
CONVEYING**

HWY 114  
Harrison, WI 54129

SEAL

Date:  
Design Firm#

Revision Schedule		
No.	Date	Description
1	09/13/2019	Submittal Set
2	10/01/2019	Rev Submittal Set

Project#: 32190016.000  
Drawn by: SLM  
Checked by: SEK

Sheet Title:  
**EROSION CONTROL  
DETAILS**

**C501**



PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION



**SYMBOL LEGEND**

- TOPSOIL, SEED, MULCH  
(ALL DISTURBED AREAS NOT COVERED BY OTHER SITE IMPROVEMENTS SHALL BE RESTORED VIA TOPSOIL, SEED AND MULCH)
- AR2 - ACER RUBRUM
- PG - PICEA GLAUCA
- AD - ADOXACEAE
- JU - JUNIPERUS X PFITZERIANA

**IMPLEMENTATION/REPLACEMENT**

ALL APPROVED LANDSCAPING IS TO BE INSTALLED WITHIN ONE PLANTING SEASON OF THE LANDSCAPE/SITE DEVELOPMENT PLAN APPROVAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY APPEARANCE, AND FREE OF REFUSE AND DEBRIS. ALL PLANTINGS SHALL BE ARRANGED AND MAINTAINED SO AS NOT TO OBSCURE THE VISION OF TRAFFIC. ANY VEGETATION WHICH IS SHOWN ON THE APPROVED LANDSCAPE/SITE PLAN THAT DIES MUST BE REPLACED WITHIN ONE PLANTING SEASON PER APPROVED LANDSCAPE/SITE PLAN.

**MAINTENANCE**

IT SHALL BE THE RESPONSIBILITY OF THE PRINCIPAL USE, OR USES TO PERFORM THE NECESSARY MAINTENANCE OF ALL LANDSCAPING, INCLUDING MOWING, TRIMMING, WATERING, AND FERTILIZATION OF ALL GRASS, GROUND COVER, SHRUBS OR TREES, AND REMOVAL OF DEAD OR WASTE MATERIAL.

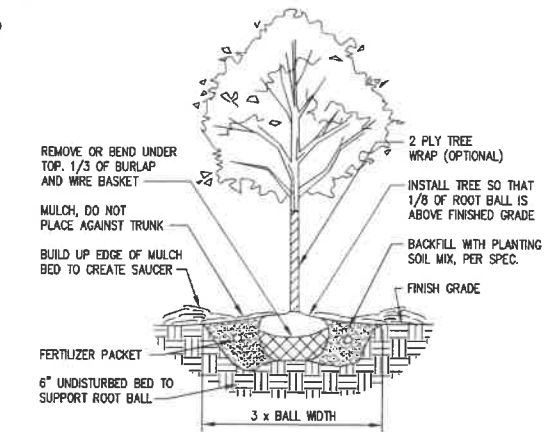
**PLANT SCHEDULE**

QUAN.	SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	REMARKS
5	AR2	ACER RUBRUM	RED MAPLE	2.5" CALIPER	CANOPY TREE (50 POINT EA)
10	PG	PICEA GLAUCA VAR.	BLACK HILLS SPRUCE	6" TALL	EVERGREEN (30 POINTS EA)
22	AD	ADOXACEAE	VIBURNUM	18" TALL	MEDIUM SHRUB (8 POINTS EA)
10	JU	JUNIPERUS X PFITZERIANA	JUNIPER (PFITZER)	24" TALL	TALL EVERGREEN SHRUB (12 POINTS EA)

**LANDSCAPING NOTES**

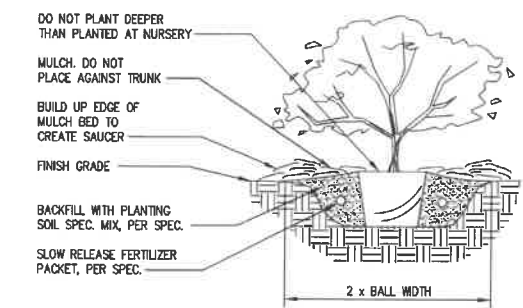
20 POINTS PER 1000 SF IMPERVIOUS = (42,152/1000) \* 20 = 843 POINTS REQUIRED

- POINTS PROVIDED:**
- 5 CANOPY TREES @ 50 POINTS EA = 250 POINTS
  - 10 EVERGREEN TREES @ 30 POINTS EA = 300 POINTS
  - 10 TALL SHRUBS @ 12 POINTS EA = 120 POINTS
  - 22 MEDIUM SHRUBS @ 8 POINTS EA = 176 POINTS
  - TOTAL: 846 POINTS**



\*\*DO NOT PROVIDE MULCH AROUND TREES LOCATED ADJACENT TO THE DRAINAGE SWALE.

**B&B TREE PLANTING DETAIL**  
NOT TO SCALE



\*\*DO NOT PROVIDE MULCH AROUND SHRUBS LOCATED ADJACENT TO THE DRAINAGE SWALE.

**CONTAINER SHRUB PLANTING DETAIL**  
NOT TO SCALE

**Larson Engineering, Inc.**  
2801 E. Enterprise Avenue, Suite 200  
Appleton, WI 54913-8259  
Phone: 920.734.9867  
www.larsonengr.com

**BILL'S CUSTOM CONVEYING**  
CLIENT:  
W5774 Turnberry Drive  
Menasha WI 54952  
920-858-3991  
ATTN: Bill and Dierdra Porretto

**BILL'S CUSTOM CONVEYING**  
HWY 114  
Harrison, WI 54129

SEAL  
Date: Design Firm#

Revision Schedule	
No.	Description
1	09/13/2019 Submit Set
2	10/01/2019 Rev Submit Set

Project#: 32190018.000  
Drawn by: SLM  
Checked by: SBK

Sheet Title:  
**LANDSCAPING PLAN**

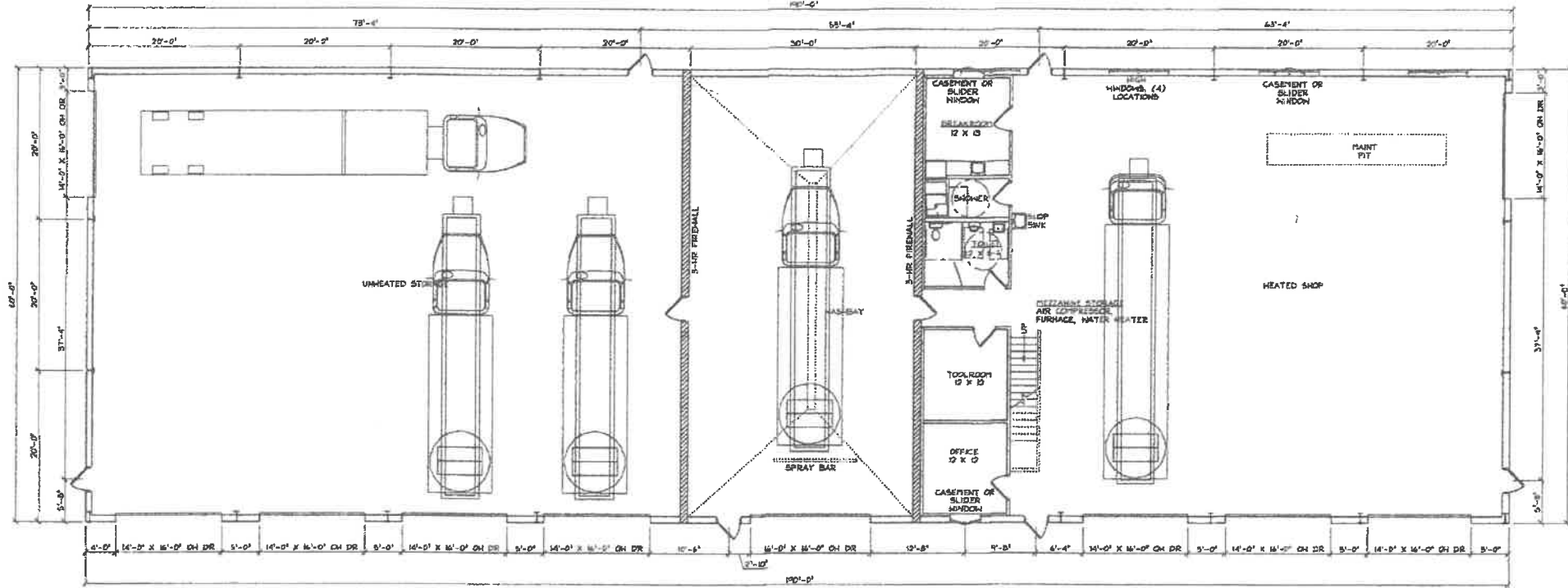
**L100**

**LANDSCAPING PLAN**  
SCALE: 1"=40'  
0 20 40 80

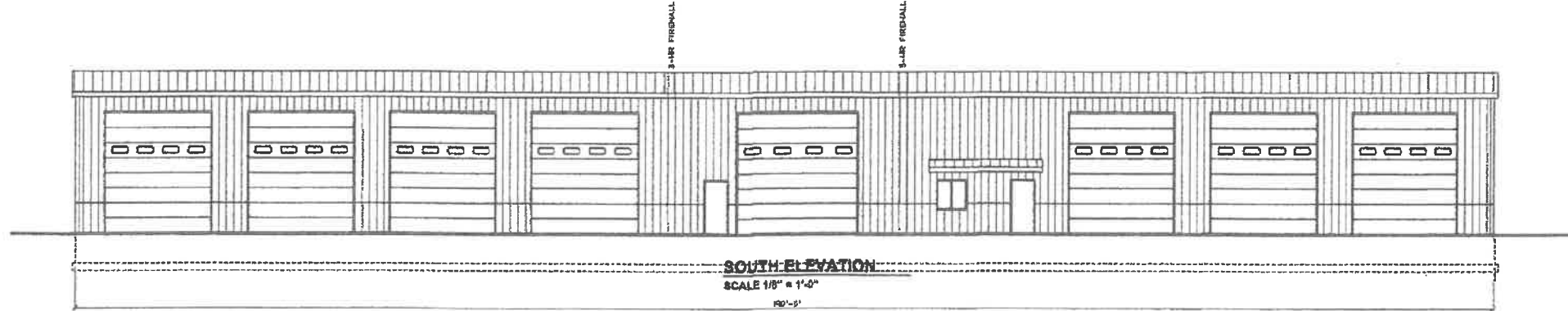
**811**  
Know what's below.  
Call before you dig.  
© 2019 Larson Engineering, Inc. All rights reserved.

PRELIMINARY NOT FOR CONSTRUCTION

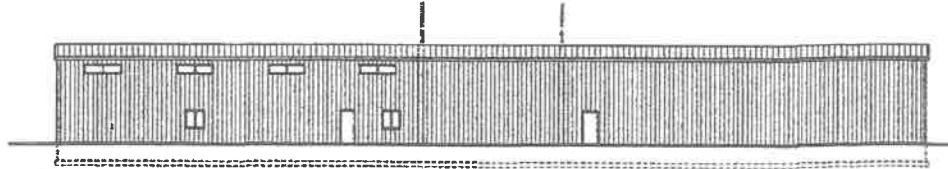




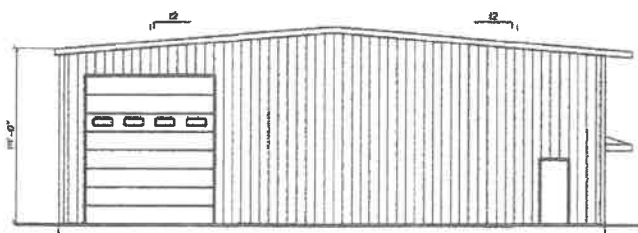
**FLOOR PLAN**  
SCALE 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/16" = 1'-0"



**WEST ELEVATION**  
SCALE 1/8" = 1'-0"

**CADREY INC!**  
design • consult • manage  
po box 985 Fond du Lac, WI 54936  
phone: 920-924-0110 fax: 920-924-0327  
design@cadrey.com



**OWNER**  
BILL'S CUSTOM CONVEYING

**PROJECT**  
SHOP AND STORAGE  
HWY 114  
VILLAGE OF HARRISON, WI

**DATE**  
AUG 12, 2014  
**REVISIONS**

copyright © 2013  
**PROJECT**  
19148  
**PAGE**

X1.0  
A

---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

Driveway Openings

---

**Issue:**

The Village Board asked the Plan Commission to develop a recommendation regarding the number of driveways allowed on a parcel.

---

**Background and Additional Information:**

Background: A property owner on Sumac Lane spoke to the Board about a driveway to their shed. The property owner constructed a shed with permit approval. The permit applicant did not include any information for a driveway. Staff was notified that a driveway out to Handle Drive was in the process of being constructed. Staff contacted the property owner to inform them that a second driveway was in violation of the zoning ordinance. The property owner decided to stop the paving at the property line. The property is on the southeast corner of Sumac Lane and Handle Drive. The house has an existing driveway out to Sumac Lane.

The Village Board has interest in amending the ordinance to allow for a second driveway. The Board is asking the Plan Commission to review the ordinance and make a recommendation to the Board for proposed changes, if any.

At the last meeting, the Plan Commission recommend the following changes highlighted in red text...

The zoning ordinance language is as follows:

*Sec. 117-157. - Access.*

*All driveways installed, altered, changed, replaced or extended after the effective date of this chapter shall meet the following requirements.*

- (1) Openings. Openings for vehicular ingress and egress shall not exceed 36 feet for single-family and two-family developments and 42 feet for agricultural, multiple-family, commercial, and industrial developments as measured at the street right-of-way line unless a greater distance is approved by the plan commission.*
- (2) Location. Vehicular entrance or exit shall not be less than 50 feet from a street intersection. Commercial and industrial vehicular entrances and exits shall not be less than 150 feet from any adjoining residential district.*
- (3) Number.*

- a. *Single Family Lots. Only one vehicular opening is permitted per lot for single-family lots. The Plan Commission may authorize a second opening for a corner lot as provided:*
    - i. *The driveway does not encroach into a drainage easement.*
    - ii. *The street with the second driveway opening has curb and gutter.*
    - iii. *The driveway opening is located at least 100-feet from a street intersection.*
    - iv. *The driveway opening is to service an accessory building.*
  - b. *Two Family Lots. Two vehicular openings may be permitted per lot for two-family lots.*
  - c. *Other Developments. Multiple-family, commercial, and industrial developments are permitted one vehicular opening per lot frontage unless a greater number is approved by the plan commission.*
- (4) *When roadways exit to adjacent property rather than directly to a public street, permanent cross easement agreements shall be recorded which adequately guarantee that such exit may not be closed and that such roadways will not become a future liability for the town.*

*(Ord. No. 10-147, § 6.0(2), 7-27-2010; Ord. No. 11-162, 11-29-2011)*

---

**Budget Impacts:**

None

---

**Recommended Action:**

Staff recommends approval. The next step will be a formal text amendment to the zoning ordinance.

---

**Attachments:**

- Proposed Ordinance V19-17

## ORDINANCE V19-17

### AN ORDINANCE AMENDING CHAPTER 117 (ZONING) OF THE CODE OF ORDINANCES FOR THE VILLAGE OF HARRISON, CALUMET AND OUTAGAMIE COUNTIES, WISCONSIN.

WHEREAS, Harrison regularly reviews and amends the zoning ordinance in order to maintain the intent of the ordinance as identified in Section 117-4 of the zoning ordinance; and

WHEREAS, a public hearing on the text amendments were held by the Harrison Plan Commission on October 29, 2019; and

WHEREAS, the Plan Commission recommended approval of the zoning text amendments.

THEREFORE, BE IT ORDAINED, by the Village Board of the Village of Harrison, Calumet & Outagamie Counties, Wisconsin, that the Harrison Zoning Ordinance is amended as follows:

*[Topic: Drainage Easements]*

*[Amend]*

#### **Sec. 117-54. - Accessory uses, buildings and structures.**

- (a) General regulations for accessory uses, buildings and structures. All accessory uses, buildings and/or structures shall abide by the following general regulations:
- (1) No accessory use, building and/or structure shall be constructed or established on a lot prior to the principal use or building being present or under construction, except temporary construction trailers.
  - (2) When attached to the principal building, accessory buildings and/or structures shall comply with all requirements of this chapter applicable to the principal building, unless otherwise stated, including, but not limited to setback requirements, building height limits, and maximum lot coverage standards.
  - (3) When not attached to the principal building, accessory buildings and/or structures shall comply with all requirements of this chapter applicable to the accessory buildings and/or structures in the zoning district including, but not limited to setback requirements, building height limits, and maximum lot coverage standards.
  - (4) Accessory buildings or structures in the RS-1, RS-2, and RT zoning districts shall not be located closer to the front lot line than is the principal structure, except those properties located adjacent to the shoreline of Lake Winnebago.
  - (5) Accessory buildings or structures shall not be located within any recorded easement (utility, drainage, or other) without written consent of the entity controlling the easement. *The Zoning Administrator may authorize fences provided all the following are met:*
    - a. *The fence does not restrict stormwater runoff flow, as determined by the Zoning Administrator.*
    - b. *The fence is not located within a storm sewer easement or drainage easement with storm sewer pipe, inlets, or other infrastructure improvements.*
    - c. *The property owner signs a "Permission to Occupy Drainage Easement Agreement" document.*

- (6) The following, including but not limited to, truck, truck tractor, truck trailer, canopy or bus, or portion thereof, shall not be used for, storage purposes, as a principal use and/or structure or an accessory use and/or structure in any zoning district, unless otherwise stated in this chapter.
- (7) Any detached accessory use, building and/or structure with a water closet (toilet facility) shall require a conditional use permit, pursuant to article XI, Conditional Use Permits.
- (8) Accessory uses, buildings and/or structures shall be located on the same lot as the principal use, structure or building.
- (9) Detached accessory buildings shall not be used as a secondary dwelling.

*[Topic: Driveway Openings on Corner Lots]*

*[Amend]*

Sec. 117-157. - Access.

All driveways installed, altered, changed, replaced or extended after the effective date of this chapter shall meet the following requirements.

- (1) Openings. Openings for vehicular ingress and egress shall not exceed 36 feet for single-family and two-family developments and 42 feet for agricultural, multiple-family, commercial, and industrial developments as measured at the street right-of-way line unless a greater distance is approved by the plan commission.
  - (2) Location. Vehicular entrance or exit shall not be less than 50 feet from a street intersection. Commercial and industrial vehicular entrances and exits shall not be less than 150 feet from any adjoining residential district.
  - (3) Number.
    - a. Single Family Lots. Only one vehicular opening is permitted per lot for single-family lots. The Plan Commission may authorize a second opening for a corner lot as provided:
      - i. The driveway does not encroach into a drainage easement.
      - ii. The street with the second driveway opening has curb and gutter.
      - iii. The driveway opening is located at least 100-feet from a street intersection.
      - iv. The driveway opening is to service an accessory building.
    - b. Two Family Lots. Two vehicular openings may be permitted per lot for two-family lots.
    - c. Other Developments. Multiple-family, commercial, and industrial developments are permitted one vehicular opening per lot frontage unless a greater number is approved by the plan commission.
  - (4) When roadways exit to adjacent property rather than directly to a public street, permanent cross easement agreements shall be recorded which adequately guarantee that such exit may not be closed and that such roadways will not become a future liability for the town.
- (Ord. No. 10-147, § 6.0(2), 7-27-2010; Ord. No. 11-162, 11-29-2011)

EFFECT. This ordinance shall be in force and effect upon passage and publication as provided by law.



Adopted by the Village Board of the Village of Harrison, Wisconsin this 29th day of October, 2019.

---

Kevin Hietpas, Village President

---

Attest: Jennifer Weyenberg, Village Clerk

---

**PLAN COMMISSION MEETING**

**VILLAGE OF HARRISON**

**From:**

Mark J. Mommaerts, AICP, Planner

**Meeting Date:**

October 29, 2019

---

**Title:**

Drainage Easements

---

**Issue:**

Should the Plan Commission make a recommendation regarding the approval process for structures within a drainage easement?

---

**Background and Additional Information:**

Background: Currently an applicant wishing to construct a fence within a drainage easement must get written permission from the easement holder prior to issuance of a permit. If it is a utility easement then an “encroachment letter” from We Energies is typically all that is required. If it is a larger utility easement then approval from ATC is required. These approvals are relatively quick, We Energies can respond within a few days.

Drainage easements require approval from the Village. Currently, a request is made to the Village Board and is placed on the agenda for the Board to review. The Board has developed a “Permission to Occupy Drainage Easement” form that states that the fence may be removed if drainage issues occur. This form is recorded as part of the deed for future property owners. This issue with this process is time. Many times the applicant must wait 2-3 weeks for approval, or more depending on Board meeting schedule.

At the last meeting the Plan Commission recommended the following changes highlighted in red text...

The zoning ordinance language is as follows:

***Sec. 117-54. - Accessory uses, buildings and structures.***

- (a) *General regulations for accessory uses, buildings and structures. All accessory uses, buildings and/or structures shall abide by the following general regulations:*
- (1) *No accessory use, building and/or structure shall be constructed or established on a lot prior to the principal use or building being present or under construction, except temporary construction trailers.*
  - (2) *When attached to the principal building, accessory buildings and/or structures shall comply with all requirements of this chapter applicable to the principal building, unless otherwise stated, including, but not limited to setback requirements, building height limits, and maximum lot coverage standards.*

- (3) *When not attached to the principal building, accessory buildings and/or structures shall comply with all requirements of this chapter applicable to the accessory buildings and/or structures in the zoning district including, but not limited to setback requirements, building height limits, and maximum lot coverage standards.*
- (4) *Accessory buildings or structures in the RS-1, RS-2, and RT zoning districts shall not be located closer to the front lot line than is the principal structure, except those properties located adjacent to the shoreline of Lake Winnebago.*
- (5) *Accessory buildings or structures shall not be located within any recorded easement (utility, drainage, or other) without written consent of the entity controlling the easement. The Zoning Administrator may authorize fences provided all the following are met:*
  - a. *The fence does not restrict stormwater runoff flow, as determined by the Zoning Administrator.*
  - b. *The fence is not located within a storm sewer easement or drainage easement with storm sewer pipe, inlets, or other infrastructure improvements.*
  - c. *The property owner signs a "Permission to Occupy Drainage Easement Agreement" document.*
- (6) *The following, including but not limited to, truck, truck tractor, truck trailer, canopy or bus, or portion thereof, shall not be used for, storage purposes, as a principal use and/or structure or an accessory use and/or structure in any zoning district, unless otherwise stated in this chapter.*
- (7) *Any detached accessory use, building and/or structure with a water closet (toilet facility) shall require a conditional use permit, pursuant to article XI, Conditional Use Permits.*
- (8) *Accessory uses, buildings and/or structures shall be located on the same lot as the principal use, structure or building.*
- (9) *Detached accessory buildings shall not be used as a secondary dwelling.*

---

**Budget Impacts:**

None

---

**Recommended Action:**

Staff recommends approval.

---

**Attachments:**

- Permission to Occupy Drainage Easement form example
- Proposed Ordinance V19-17 (See Driveway Openings memo)

---

VILLAGE OF HARRISON  
CALUMET & OUTAGAMIE COUNTIES, WISCONSIN

**Permission to Occupy Drainage Easement Agreement**

---

This agreement is entered into by and between the Village of Harrison, Calumet & Outagamie Counties, hereinafter referred to as "Village" and Owner's Name(s), hereinafter referred to as "Owner", owners of property described as Legal Description, located at Address.

This agreement authorizes the Owner to place a fence, hereinafter referred to as "Improvement", within the recorded drainage easement on their property subject to the following provisions and/or conditions:

1. The Owner agrees that if the Village determines that stormwater runoff is impeded or obstructed at any time because of the Improvement, then the Village may order the Owner to remove such Improvement and return the property grades/elevations to that of the approved grading/drainage plan. If the Owner fails to comply, the Village may cause removal of the Improvement and shall place the cost on the property tax bill as a special assessment.
2. The Owner agrees to remove the Improvement upon reasonable notice from the Village that work needs to be completed within the easement area or that access needs to be obtained through the easement area.
3. In case of emergency, the Village may remove the Improvement without giving notice to the Owner.
4. The Village is not responsible for any damage done during removal.
5. The Village will not replace the Improvement for any reason or reimburse Owner for removal of Improvement.
6. The Owner agrees to maintain the drainage easement, including but not limited to mowing and removal of debris, on both sides of the Improvement.

---

Return to:  
Village of Harrison  
W5298 Hwy 114  
Menasha, WI 54952

---

Parcel No.(s):

This Agreement shall be binding upon the owner, its successors, assigns, and heirs, until such time as the Improvement is removed and the easement is restored to its original state.

*The rest of this page left blank intentionally.*





Village of Harrison

September-19 Zoning Permit Report

	Current Year			Previous Year		
	Permits	YTD Permits	Estimated Value	YTD Permits	Estimated Value	YTD Estimate Value
<b>Residential</b>						
Single Family	5	51	\$ 1,327,000	59	\$ 600,000	\$ 15,698,445
Two Family (units)	0	0	\$ 0	0	\$ 0	\$ 0
Multi Family (units)	0	0	\$ 0	0	\$ 0	\$ 0
Additions	1	11	\$ 50,000	12	\$ 75,000	\$ 621,500
Acc. Structures	3	22	\$ 43,900	31	\$ 2,000	\$ 400,645
Miscellaneous	6	50	\$ 190,800	56	\$ 92,216	\$ 638,085
<b>Total Residential</b>	<b>15</b>	<b>134</b>	<b>\$ 1,611,700</b>	<b>158</b>	<b>\$ 769,216</b>	<b>\$ 17,358,675</b>
<b>Com./Ind.</b>						
New	0	2	\$ 0	0	\$ 0	\$ 0
Additions	0	0	\$ 0	0	\$ 0	\$ 0
Acc. Structures	0	0	\$ 0	0	\$ 0	\$ 0
Miscellaneous	2	3	\$ 65,000	5	\$ 9,550	\$ 49,150
<b>Total Com./Ind.</b>	<b>2</b>	<b>5</b>	<b>\$ 65,000</b>	<b>5</b>	<b>\$ 9,550</b>	<b>\$ 49,150</b>
<b>Combined Total</b>	<b>17</b>	<b>139</b>	<b>\$ 1,676,700</b>	<b>163</b>	<b>\$ 778,766</b>	<b>\$ 17,407,825</b>
<b>Number of Vacant Lots Remaining</b>	<b>145</b>					