
PLAN COMMISSION MEETING

From:
Mark J. Mommaerts, AICP, Assistant Village Manger

VILLAGE OF HARRISON

Meeting Date:
March 22, 2022

Title:
Conditional Use Permit – Anduzzi’s Waverly Beach

Issue:
Should the Plan Commission recommend approval of a conditional use permit for an outdoor recreation establishment in order to operate an outdoor dining area, outdoor entertainment, and outdoor wedding pavilion?

Background and Additional Information:

The applicant is proposing to remodel and expand an existing restaurant and banquet facility known as Waverly Beach, located at N8770 Firelane 1, Location IDs 39870 & 39868. The property is currently zoned Community Commercial [CC]. The property has driveway access to Firelane 1 and is located on Lake Winnebago. Currently Waverly Beach operates as a banquet facility and restaurant with an outdoor patio “tiki bar” area under a conditional use permit issue by Calumet County Planning & Zoning on February 14, 2008. In 2010, the Village (Town of Harrison at the time) opted out of County zoning and created its own zoning code. At the time of adoption, all condition use permits previously issued were considered to have been issued by Harrison with all conditions of approval.

The applicant wishes to expand the building and construct an outdoor wedding pavilion and make interior changes/remodel. This is considered a major change in the conditional use and must be reviewed and approved as if it was a new conditional use. As the expansion is considered a new conditional use, the provisions of the Harrison zoning ordinance will prevail. Within the CC zoning district, restaurants and banquet facilities are permitted uses. Staff has interpreted that the outdoor dining area (including the restaurant area when the overhead doors are open), outdoor patio “tiki bar”, outdoor wedding pavilion, and firepit areas are uses similar to an outdoor commercial recreational establishment which requires conditional use permit approval under Harrison zoning.

Issues related to outdoor use of sound amplifying devices are regulated by Harrison Municipal Code Division 28-IV, Outdoor Use of Sound Amplifying Devices. This process requires an applicant to make an application to the Village Board for use of outdoor speakers, microphones, and other sound amplifying devices. This process is separate from the Conditional Use Permit process. However, the Plan Commission and/or Village Board can place reasonable and measurable conditions regarding the use of sound amplifying devices as part of the Conditional Use Permit.

The zoning ordinance requires a public hearing be held for all Conditional Use Permits (CUP). The Plan Commission is to hold a public hearing within 45-days of an application being filed and make a recommendation to the Village Board to approve, approve with conditions, or deny the conditional use permit. This time period may be extended with approval from the applicant. Within 45-days of the Plan Commission decision, the Village Board shall act on the conditional use permit. In the case of this application, which was filed on March 1st, the Plan Commission must hold a public hearing and make a recommendation by April 14th.

Findings of Fact:

- Staff finds that the Conditional Use Permit request will comply with the Harrison Zoning Ordinance with the below conditions.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Basis for Approval:

No conditional use permit shall be recommended by the plan commission, or approved by the Village Board, unless it shall find all of the following criteria have been met. The applicant's failure to satisfy the criteria, or any other applicable requirement in this [Zoning] chapter, shall be deemed grounds to deny the conditional use permit.

1. *Zoning.* The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of this chapter. Where there is an existing nonconforming structure, the design standards of the underlying zoning district may be waived by the plan commission and Village Board. *Staff finds that the property is currently zoned Community Commercial [CC]. Restaurants and banquet facilities are permitted uses in the CC zoning district. Outdoor uses are considered outdoor recreation and are conditional uses in the CC zoning district.*
2. *Plans.* The proposed use conforms to the Village comprehensive plan and any other officially adopted Village plan. *Staff finds that the Comprehensive Plan identifies this area as commercial and the proposes uses are classified as commercial.*
3. *Traffic.* Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. *Staff finds that the overall use of the site will not change and the existing infrastructure is adequate.*
4. *Landscaping and screening.* Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in article VI, Access, Parking, and Loading and article IX, Landscaping and Screening Standards. *Staff finds that fencing and landscaping along the east property line will assist in reducing noise and light.*
5. *Neighborhood compatibility.* The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust. *Staff finds that the historical use of the property has been commercial or entertainment. Staff finds that the proposed uses is substantially the same as the current uses. Staff finds that the Comprehensive Plan identifies this area as commercial.*

6. *Services.* Adequate facilities, access roads, drainage and/or necessary services have been or will be provided. *Staff finds that the existing sanitary and water services are adequate. Staff finds that the applicant is proposing to enhance the parking lot area and improve the site drainage under the expansion plans.*

Recommended Action:

Staff recommends approval of the Conditional Use Permit request with the following conditions:

1. This Conditional Use Permit supersedes and replaces the Conditional Use Permit approval from Calumet County dated February 14, 2008.
2. All outdoor amplified sound devices, including but not limited to, speakers for dining area, microphones and speakers for wedding pavilion, speakers and equipment for live music, shall meet the requirements of Harrison Municipal Code Division 28-IV, Outdoor Use of Sound Amplifying Devices, and shall be granted a permit under such code. Any conditions placed on the approval of an outdoor sound amplifying device shall be deemed a condition of approval under this Conditional Use Permit. The Plan Commission or Village Board may readdress this Conditional Use Permit at any time to address reasonable and valid concerns related to the use of outdoor sound amplifying devices.
3. Rolling overhead doors, windows, service doors, and other openings on east side of building to be shut or remain shut during all hours during live music performances.
4. Live music outdoors shall only be allowed during the hours of 11:00am – 10:00pm.
5. Outdoor recreation areas, including but not limited to, wedding pavilion, outdoor dining area, outdoor patio “tiki bar” area, firepit area, shall be limited to hours of operation from 9:00am – 12:00am.
6. A solid eight-foot (8’) high fence minimum or solid ten-foot (10’) high fence maximum shall be installed along the east property line. Such fence to be neutral in color and shall be maintained in a neat and orderly manner at all times. Such fence shall have the finish side of the fence facing the adjacent properties. Such fence shall extend from the shoreland accessory 35-foot setback from Ordinary High Water Mark (OHWM) to the north property line.
7. Plantings or vegetative buffer shall be planted from the OHWM setback to the OHWM. Such plantings shall be capable of reaching 8-10’ within 5-years of this approval.
8. There shall be no portable or temporary sanitary waste disposal systems, such as “porta-potties”, on the property. If existing facilities within the building are inadequate to the serve the customers, the owner shall either expand the indoor facilities or limit the number of customers.
9. All exterior lighting shall be direct cut off fixtures and be no taller than 25-feet. Exterior lighting shall be designed so that there is minimal light trespass onto adjacent properties.
10. Firepits need to be at least 20-feet from any structure.
11. All provisions of the Harrison Zoning Ordinance shall be met.
12. A sign permit must be obtained for all new or changed signage.
13. A zoning permit must be obtained for the additions and accessory buildings.
14. A building permit must be obtained for the additions, interior remodel, and accessory buildings.
15. The project shall comply with all other local, state, and federal requirements.

Attachments:

- Aerial Map
- Applicant's CUP Narrative
- Planset
- CUP Approval from Calumet County dated February 14, 2008
- Municipal Code 28-IV - Outdoor Use of Sound Amplifying Devices
- Resident/Property Owner Correspondence
 - Pamela Schoenecker (Feb 22)
 - Lisa & Andy Szymanski (response to Pamela Schoenecker letter)
 - Jack & Mary Couillard
 - Pamela Schoenecker (Feb 8)
 - James Beson
 - Bill & April Hershman
 - Bonnie & Richard McKenny (email)



Waverly Beach Conditional Use Application Narrative

VISION

Since the late 1800s, Waverly Beach has served as a destination for leisure and activity on Lake Winnebago. Year after year, the space has served thousands of guests enjoying the waterfront. The ownership group of Anduzzi's Sports Club and Waverly Beach (hereafter "the group") has identified an opportunity to modernize the property so it can continue to serve the needs of patrons from the Fox Valley required for the 21st century. The ownership group is thrilled to become a member of the Town of Harrison and City of Menasha at Large. Our vision for the property is to create an environment inclusive to all members of the community, including families and local business owners.

INVESTMENT BENEFITS

With the remodel, the ownership group plans to bring multi-million dollar investment to the Town of Harrison. The investment will raise the assessment of the property, which the village will benefit from immediately via incremental property tax. The renovation will create meaningful jobs in the community, raising our staff totals to 40 full-time equivalent employees, 30 part-time employees, and 75 seasonal teammates. A larger sellable space will increase total commerce, and additional traffic in the area will support neighboring businesses.

SAFETY PRIORITIZATION

One key item for improvement the group has identified is to increase the safety of the property for the benefit of the community. Installing walkways and bollards along the waterline will increase accessibility for all guests. Upgrades to lighting will include landscaped islands in the parking lots with additional lumens, installed with care as to mitigate washing any light on our residential neighbors. Pendants and sconces will adorn the building and update its look from the road. An inviting road sign will designate the entry and exit. Parking lots will be completely paved and re-stripped to safely

accommodate traffic flow. Dozens of security cameras throughout the property will increase surveillance at Waverly Beach, and the group has a strong track record of positively partnering with local law enforcement to keep areas safe for all.

COMMUNITY STEWARDSHIP

For over 20 years, the group has taken pride in being good-standing members of each community we occupy. We look forward to developing the same consistent reputation with the Town of Harrison. We understand the benefits of working with the community while simultaneously running successful businesses. Our renovation plans include hosting community driven events like Farmer's Markets, and a Christmas Market to host local vendors. We will continue to pursue a family environment by offering specials for children, including physical attractions like balloon nights and a year-round playset. Other community events like Sturgeon Spearing and pursuing partnerships with local fisherman's club will be our goal as we lean into the longstanding Wisconsin traditions in the area. We will also make a concerted effort to beautify the property, transforming it from a tired, industrial plot to a warmer, welcoming environment via increased landscaping, tree planting around perimeters, updated fence lines, and a retention pond for stormwater management. A water fountain near the entrance will welcome guests to the facility.

HOURS OF OPERATION

- The restaurant will operate from the hours of 7am-2am.
- The outdoor space will operate from the hours of 9am-2am.
 - Live Music will operate from 11am-10pm.
 - Ambient stereo music for a relaxed atmosphere will mirror the outdoor hours of operation.

ANDUZZIS SPORTS CLUB - WAVERLY BEACH

WAVERLY BEACH RENOVATION

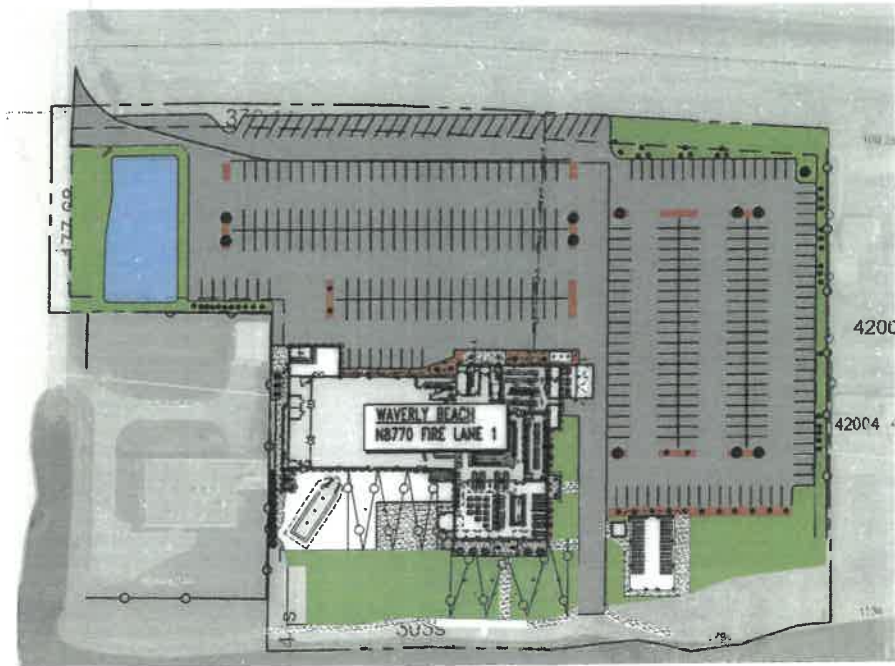
N8770 FIRE LANE 1, MENASHA, WI 54952



SITE LOCATION MAP
NOT TO SCALE



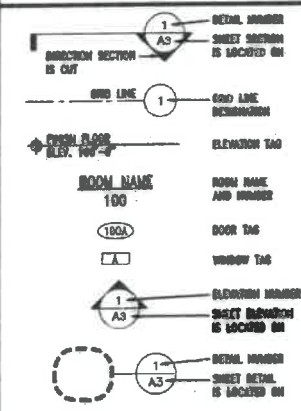
SITE PROXIMITY MAP
NOT TO SCALE



OVERALL SITE
NOT TO SCALE

SHEET INDEX	
TS	SHEET INDEX, SYMBOLS KEY, SITE PLAN
T2	OVERALL SITE PLAN
LS1	LIFE SAFETY PLAN
A1.0	PROPOSED FLOOR PLAN
A3	EXTERIOR ELEVATIONS
AS.1	EXTERIOR RENDERINGS
AS.2	EXTERIOR RENDERINGS
A6	ROOF PLAN
A8	EXTERIOR FINISHES
B1	PROPOSED WEDDING PAVILION FLOOR PLAN, ELEVATIONS
00.1	MACH - COVER SHEET
01.0	MACH - DEMOLITION PLAN
02.0	MACH - SITE PLAN
03.0	MACH - UTILITY PLAN
04.0	MACH - GRADING PLAN
05.0	MACH - EROSION CONTROL PLAN
06.0	MACH - SITE DETAILS
06.1	MACH - UTILITY AND GRADING DETAILS
06.2	BUMPS/STER ENCLOSURES
L1.0	MACH - LANDSCAPE PLAN
E1.0	ENTERPRISE - SITE LIGHTING PLAN

SYMBOLS



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EFJ

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434 S Van Buren St, Green Bay, WI 54901
(920) 832-7888 FAX: (920) 832-7726
E-mail: jef@efjassociates.com

Mach IV

Engineering & Surveying LLC
2200 Salschelder Court, Green Bay, WI 54913
PH: 920-569-5765 Fax: 920-569-5767

PLAN DEVELOPMENT LOG

SET DESCRIPTION	DATE	PAGES INVOLVED WITH PLAN DEVELOPMENT SET
PLAN DEVELOPMENT SET #1	10-27-21	TS, C1, C2, D4, A1, A3
PLAN DEVELOPMENT SET #2	12-9-21	TS, C1, C2, LS1, D1, A1, A3, A6, A7, AS.1, AS.2
PLAN DEVELOPMENT SET #3	12-10-21	TS, C1, C2, LS1, D1, A1, A3, A6, A7, AS.1, AS.2
PLAN DEVELOPMENT SET #4	1-7-22	TS, C1, C2, LS1, D1, A1.0, A1.1, A1.2, A3, A4, A5, A6, A7, AS.1, AS.2, S1.1, S1.2, S2.1, S2.2
PLAN DEVELOPMENT SET #5	2-11-22	TS, C2, LS1, D1, A1.0, A1.1, A1.2, A1.3, A3, A4, A5, A6, A7, AS.1
PLAN DEVELOPMENT SET #6 (CPA)	2-15-22	S0.1, S1.1, S1.2, S1.3, S2.1, S2.2, S2.3, D1 TS, TS, LS1, A1.0, A3, AS.1, AS.2, A6, A8, D1, C1.1, C1.2, C2.0, C3.0, C4.0 C5.0, C6.0, C6.1, C6.2, L1, E1

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
METAL BUILDINGS

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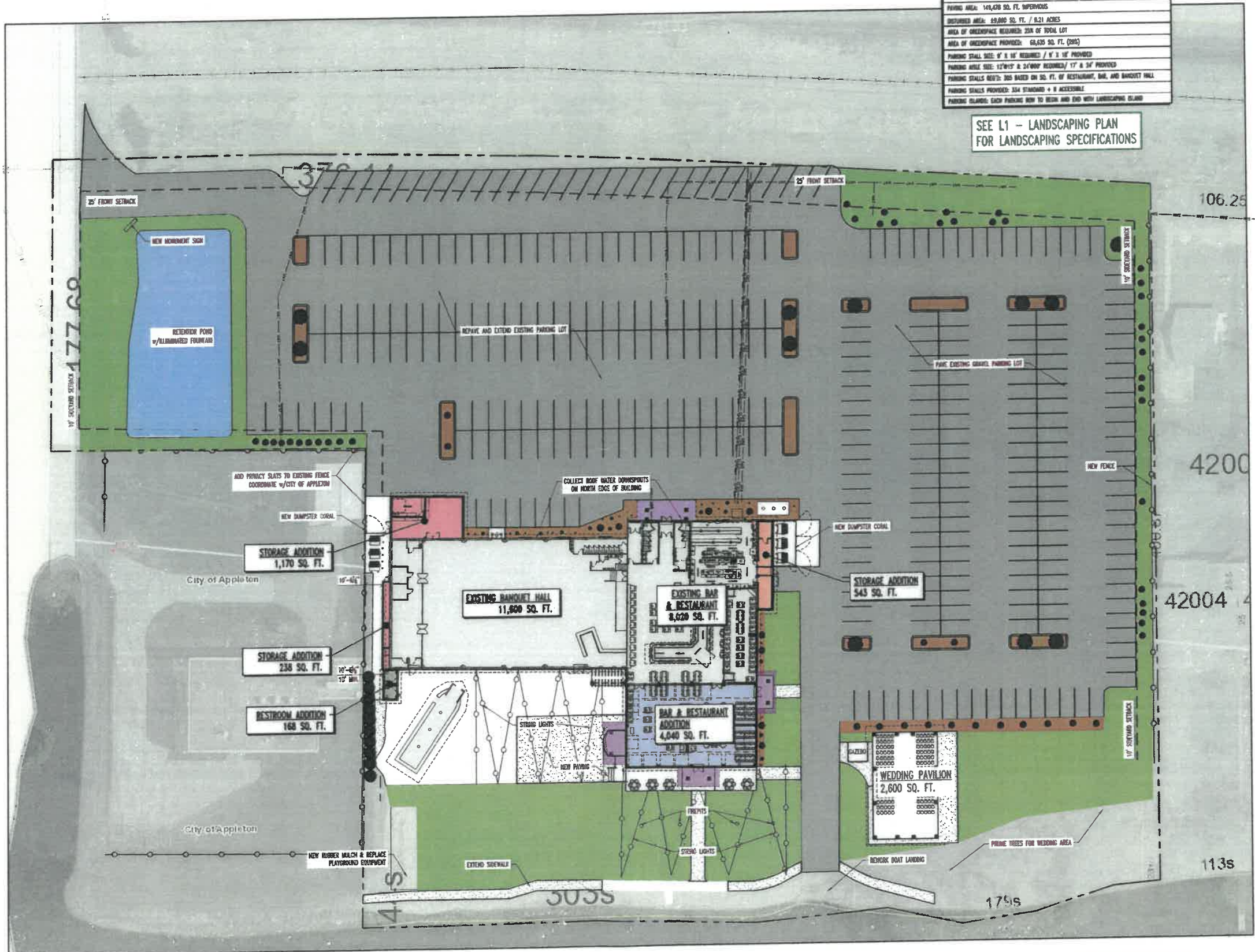
PROJECT:
ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
N8770 FIRE LANE 1
MENASHA, WI 54952

PROJECT NO.:
21-595

SHEET NO.:
TS

LOCAL CODE / SITE REQUIREMENTS	
PARCELS: 3870 & 2000 TO BE COMBINED	
ZONING: (C2) COMMUNITY COMMERCIAL	
SETBACKS - FRONT: 25'	REAR: 25'
SIDE: 10'	SHOULDER: 75'
LOT AREA: 282,916 SQ. FT. / 6.51 ACRES	
BUILDING AREA: 19,812 SQ. FT. EXISTING + 8,750 SQ. FT. ADDITIONS = 28,562 SQ. FT.	
FLOOR AREA RATIO: 10%	
PARKING AREA: 140,470 SQ. FT. SUPERVISOR	
DISTURBED AREA: 49,000 SQ. FT. / 1.12 ACRES	
AREA OF GREENSPACE REQUIRED: 25% OF TOTAL LOT	
AREA OF GREENSPACE PROVIDED: 69,630 SQ. FT. (25%)	
PARKING STALL SIZE: 8' x 16' REQUIRED / 8' x 16' PROVIDED	
PARKING STALLS: 17'0" x 24'0" REQUIRED / 17' x 24' PROVIDED	
PARKING STALLS: 200 BASED ON SQ. FT. OF RESTAURANT, BAR, AND BANQUET HALL	
PARKING STALLS PROVIDED: 354 STANDARD + 8 ACCESSIBLE	
PARKING ISLANDS: EACH PARKING ROW TO BEGIN AND END WITH LANDSCAPING ISLAND	

SEE L1 - LANDSCAPING PLAN FOR LANDSCAPING SPECIFICATIONS



PROPOSED SITE PLAN
1"=30'-0"

SEE L1 - LANDSCAPING PLAN FOR LANDSCAPING SPECIFICATIONS

DESIGN / BUILD GENERAL CONTRACTING STEEL FABRICATION

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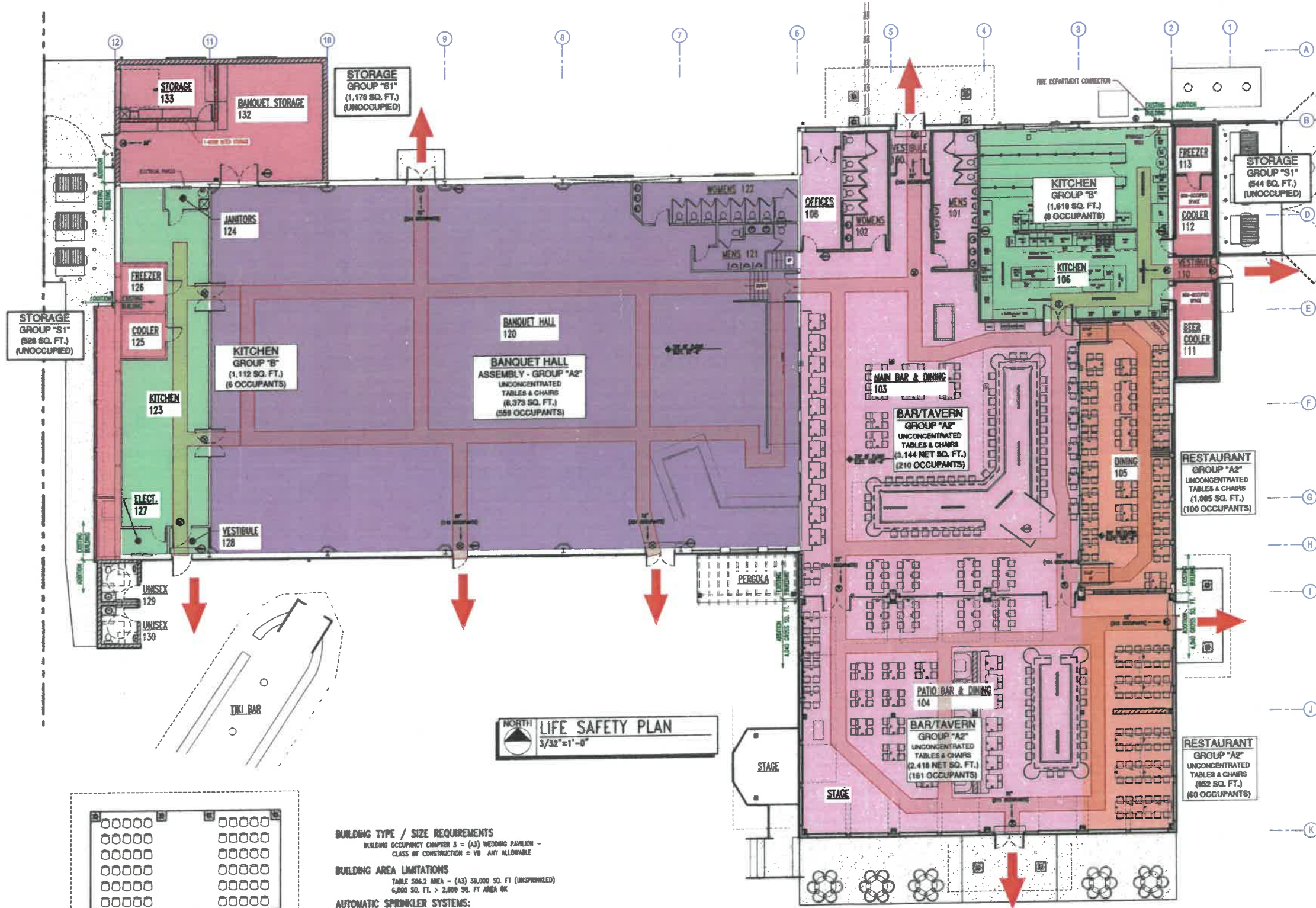
PROJECT:
ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION

MEZ70 FIRE LANE 1
MENASHA, WI 54862

PROJECT NO.:
21-595

SHEET NO.:
T2

2/24/2021 10:00 AM 21-595-T2.dwg 1:1000 1/10/21 10:00 AM 21-595-T2.dwg



OCCUPANCY LEGEND

0 - KITCHEN A2 - BANQUET
 A2 - BAR/TAVERN S1 - STORAGE
 A2 - RESTAURANT

BUILDING CODE REQUIREMENTS

BUILDING TYPE / SIZE REQUIREMENTS
 BUILDING OCCUPANCY CHAPTER 3 = (B) COMMERCIAL KITCHEN -
 (A3) BANQUET HALL/RESTAURANT - (S1) STORAGE
 CLASS OF CONSTRUCTION = IV NONCOMBUSTIBLE MATERIALS

BUILDING HEIGHT LIMITATIONS
 BUILDING HEIGHT O.K. (40' ALLOWABLE)

BUILDING AREA LIMITATIONS
 TABLE 506.2 AREA - (A2) 38,000 SQ. FT. (FULLY SPRINKLED)
 6,000 SQ. FT. > 2,000 SQ. FT. AREA OK

AUTOMATIC SPRINKLER SYSTEMS:
 A2 ASSEMBLY:
 SPRINKLING REQUIRED (AS PER 903.2) DESIGN USING NFPA-13
 FIRE AREA IS GREATER THAN 5,000 SQ. FT.

FIRE RESISTANCE CONSTRUCTION
 GREATER THAN 10'-0" FIRE SEPARATION DISTANCE
 NO EXTERIOR WALL RATING REQUIRED

EGRESS LIGHTING
 EXIT LIGHTS REQUIRED PER 1008.2
 MEANS OF EGRESS ILLUMINATION TO BE PROVIDED PER 1008.2.1
 = MIN 1 FOOT CANDLE AVE
 EMERGENCY POWER SHALL BE PROVIDED PER 1008.3.1

BUILDING ACCESS / EGRESS INFORMATION

(S1-STORAGE)	2,000 / 200 SQUARE FEET PER OCCUPANT = UNOCCUPIED
(KITCHEN)	2,711 / 150 SQUARE FEET PER OCCUPANT = 14 OCCUPANTS
(A2-BANQUET)	8,373 / 15 SQUARE FEET PER OCCUPANT = 558 OCCUPANTS
(A2-MAIN BAR)	3,144 / 15 SQUARE FEET PER OCCUPANT = 210 OCCUPANTS
(A2-PATIO BAR)	2,418 / 15 SQUARE FEET PER OCCUPANT = 161 OCCUPANTS
(A2-RESTAURANT)	1,245 SQUARE FEET WITH SEATING FOR 60 OCCUPANTS
(A2-RESTAURANT)	852 SQUARE FEET WITH SEATING FOR 60 OCCUPANTS

EXIT WIDTH PER OCCUPANT - 0.5" PER OCC. STAIRS / 0.2" PER OCC. OTHER
 TOTAL EXIT WIDTH REQUIRED - 236" OR 7 TOTAL EXITS (MIN)
 COMMON PATH OF EGRESS - GROUP A2 = 75'-0" PER TABLE 1008.2.1
 EXIT ACCESS DISTANCE - GROUP A2 = 250'-0" PER TABLE 1017.2 (W/ SPRINKLER)

SANITARY FACILITIES - PER OCCUPANCY

	WATER CLOSET		LAVATORIES	
	MALE	FEMALE	MALE	FEMALE
A2 - BAR (1/40) (1/75)	4.84	4.84	2.47	2.47
A2 - BANQUET (1/75) (1/200)	3.75	3.75	1.4	1.4
A2 - RESTAURANT (1/75) (1/200)	1.00	1.00	0.4	0.4

REQUIRED: 10 MALE URINALS & 4 TOILETS
 PROVIDED: 10 MALE URINALS & 13 FEMALE TOILETS

WATER IS AVAILABLE TO ALL CUSTOMERS & EMPLOYEES
 NOTE: URINALS COUNTED AT .57 SUBSTITUTION AS PER IPC 424.4 FOR ASSEMBLY OCCUPANCIES

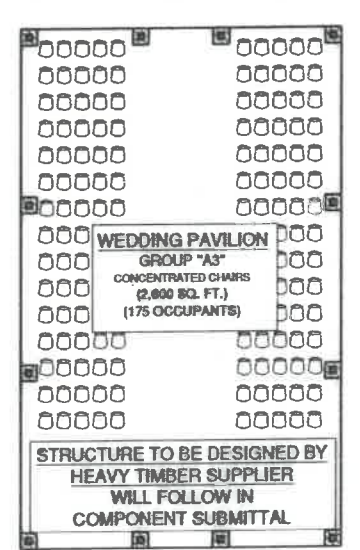
FIRE EXTINGUISHERS
 TYPE OF BUILDING HAZARD - MODERATE
 TYPE OF EXTINGUISHER REQUIRED - ABC
 MAXIMUM TRAVEL DISTANCE - 75'
 NUMBER OF EXTINGUISHERS REQUIRED - (9) LOCATIONS
 TO BE VERIFIED AT TIME OF INSTALLATION

ACCESSIBILITY
 PER 1109 (13)(A) CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY THE OCCUPANT, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION, AND ELECTRICAL CONVENIENCE OUTLETS, IN ACCESSIBLE SPACES SHALL BE ACCESSIBLE IN COMPLIANCE WITH ICC/ANSI A117.1

DRAWING LEGEND:

- NEW EXIT SIGN
- ACCESSIBLE ROUTE W/ WIDTH
- FIRE EXTINGUISHER
- 5' ROUND WHEELCHAIR TURNING SPACE
- FLOOR SPACE WHERE EMERGENCY LIGHTING IS NEEDED
- MINIMUM (1) PHOTO-CANDLE REQUIRED
- MEANS OF EGRESS ILLUMINATION TO BE PROVIDED PER 1008.2
- EMERGENCY POWER SHALL BE PROVIDED PER 1008.3.1

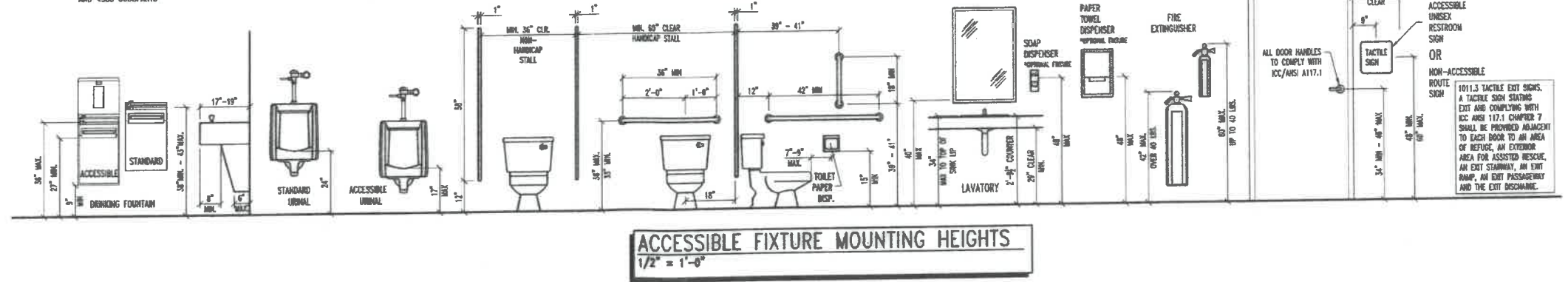
LIFE SAFETY PLAN
 3/32" = 1'-0"



BUILDING TYPE / SIZE REQUIREMENTS
 BUILDING OCCUPANCY CHAPTER 3 = (A3) WEDDING PAVILION -
 CLASS OF CONSTRUCTION = VB ANY ALLOWABLE

BUILDING AREA LIMITATIONS
 TABLE 506.2 AREA - (A3) 38,000 SQ. FT. (UNSPRINKLED)
 6,000 SQ. FT. > 2,000 SQ. FT. AREA OK

AUTOMATIC SPRINKLER SYSTEMS:
 A3 ASSEMBLY:
 NO SPRINKLING REQUIRED AREA < 12,000 SQ. FT.
 AND < 300 OCCUPANTS



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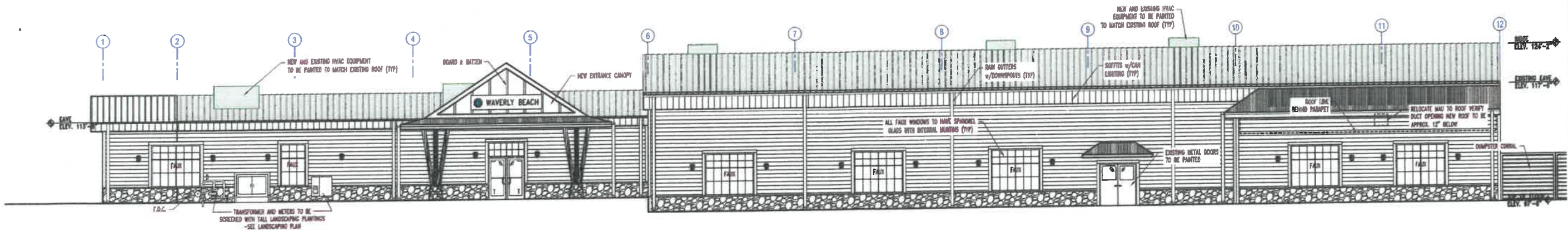
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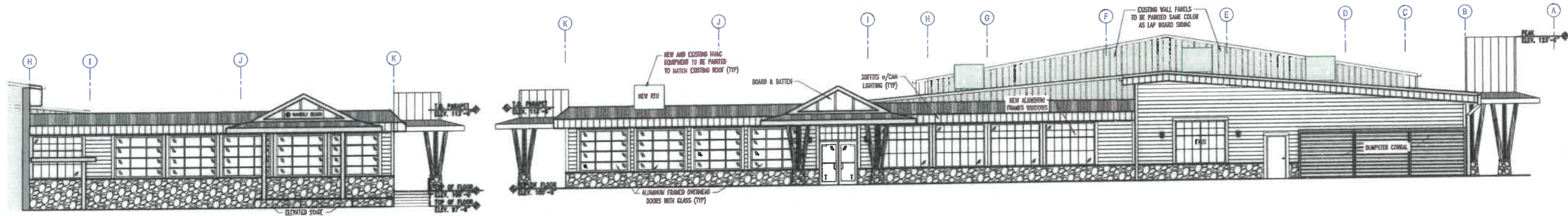
PROJECT:
ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
 186770 FIRE LANE 1
 WEAVER, VT 05485

PROJECT NO.:
21-595

SHEET NO.:
LS1

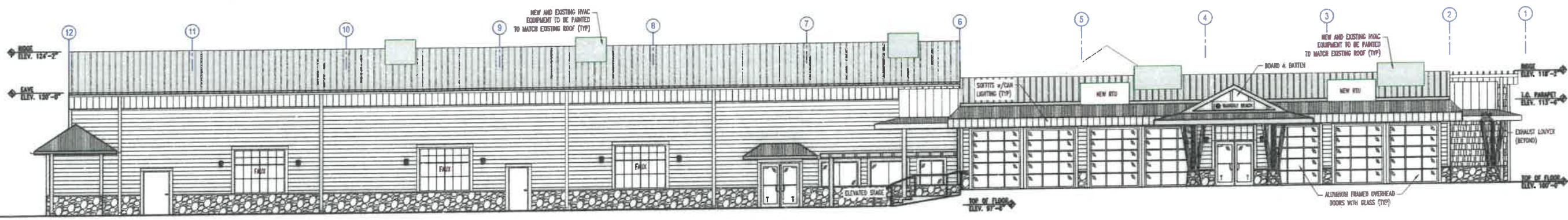


1 NORTH ELEVATION
 A3 1/8"=1'-0" LOOKING SOUTH

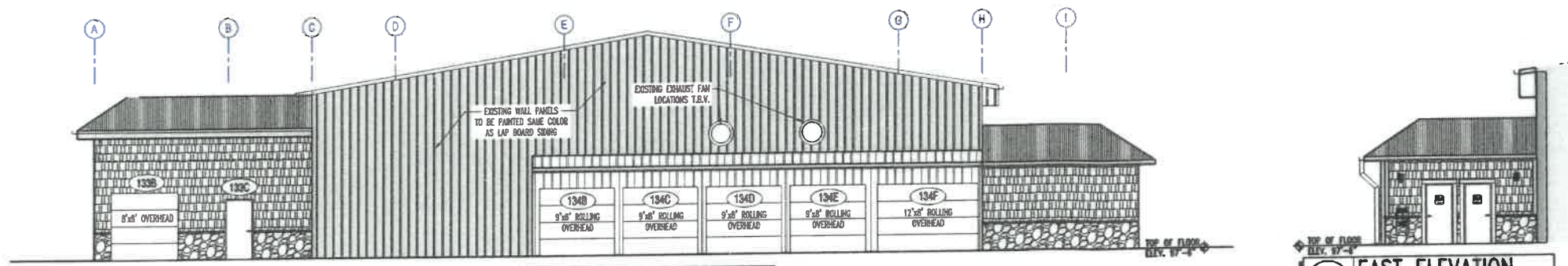


2 WEST ELEVATION
 A3 1/8"=1'-0" LOOKING EAST

3 EAST ELEVATION
 A3 1/8"=1'-0" LOOKING WEST



4 SOUTH ELEVATION
 A3 1/8"=1'-0" LOOKING NORTH



6 SOUTH ELEVATION
 A3 1/8"=1'-0" LOOKING NORTH

5 EAST ELEVATION
 A3 1/8"=1'-0" LOOKING WEST

MATERIAL LEGEND

	THIN STONE VENEER w/LIMESTONE CAP	
	226A CORRUGATED STEEL - PAINTED (EXHAUST CORNALS)	

NOTE: ALL NEW AND EXISTING MECHANICAL EQUIPMENT TO BE PAINTED TO MATCH EXISTING GALVANIZED ROOF

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 STEEL FABRICATION
 METAL BUILDINGS

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PROJECT:
ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
 N8770 FIRE LANE 1
 MENAASHA, WI 54852

PROJECT NO.:
21-595

SHEET NO.:
A3

18/770 FIRE LANE 1, MENAASHA, WI 54852



NOTE: NEW AND EXISTING HVAC EQUIPMENT
TO BE PAINTED TO MATCH EXISTING ROOF



DESIGN / BUILD
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STEEL FABRICATION

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PROJECT:
**ANDRUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION**
MAYFA FIRE LINE 1
MAYFA, WI 53052

PROJECT NO.:
21-595

SHEET NO.:
A5.1



NOTE: NEW AND EXISTING HVAC EQUIPMENT
TO BE PAINTED TO MATCH EXISTING ROOF



DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

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Scale IDW 630-055

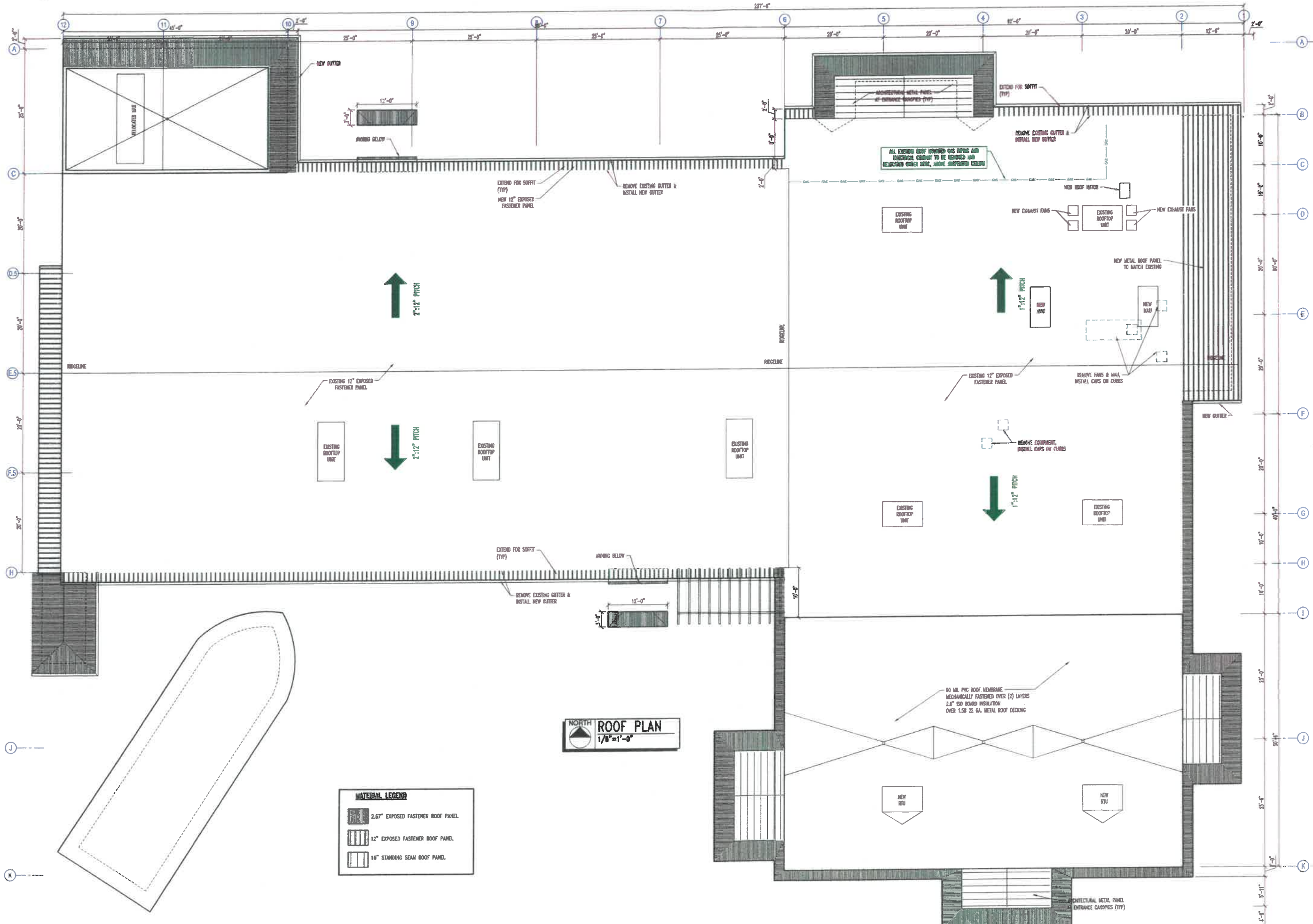
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ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
N8770 FIRE LANE 1
MENASHA, WI 54662

PROJECT NO.:
21-595

SHEET NO.:
A5.2

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MATERIAL LEGEND

	2.67" EXPOSED FASTENER ROOF PANEL
	12" EXPOSED FASTENER ROOF PANEL
	16" STANDING SEAM ROOF PANEL

ROOF PLAN
1/8" = 1'-0"

DESIGN / BUILD GENERAL CONTRACTING STEEL FABRICATION
METAL BUILDINGS

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Scale ID# 680499

**PROJECT: ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION**
N8770 FIRE LANE 1
MEMPHIS, WI 54962

PROJECT NO.: 21-595

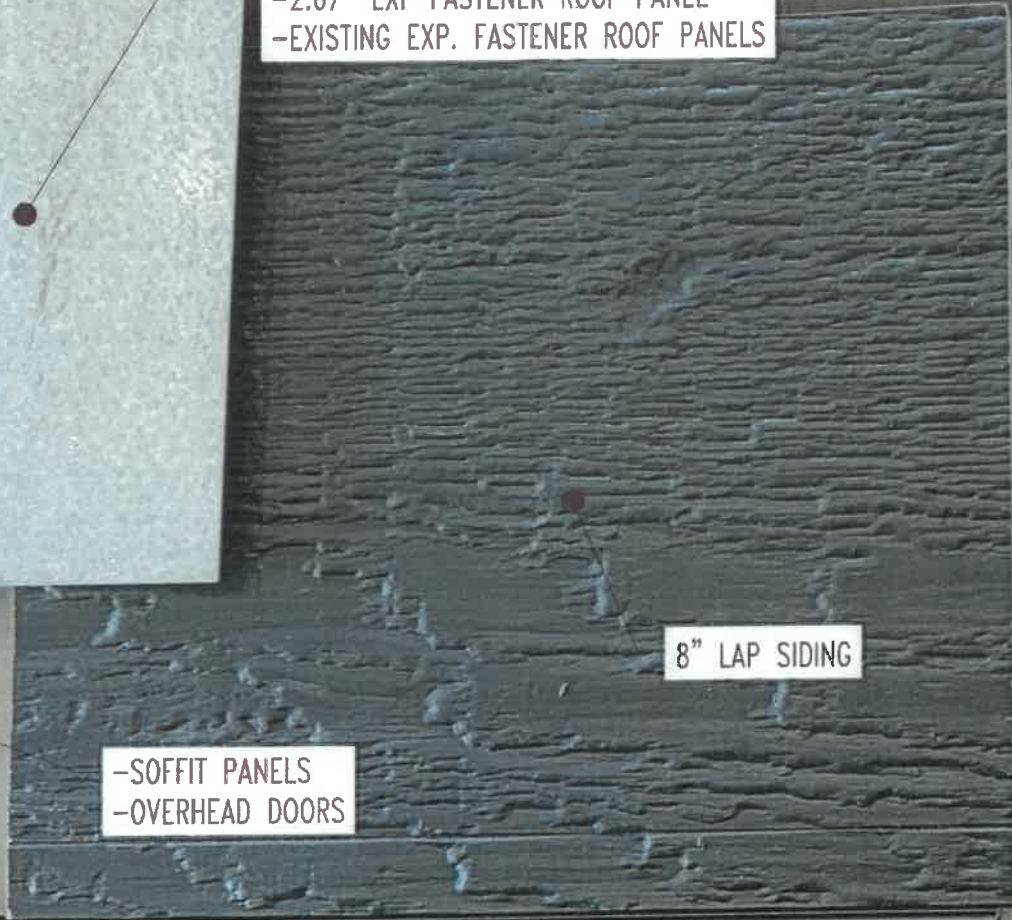
SHEET NO.: A6

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2024/05/01 10:00 AM 1/8" = 1'-0" 21-595-01-A6.dwg



- RAIN GUTTERS AND DOWNSPOUTS
- FASCIA PANELS
- STANDING SEAM ROOF PANEL
- 2.67" EXP FASTENER ROOF PANEL
- EXISTING EXP. FASTENER ROOF PANELS



8" LAP SIDING

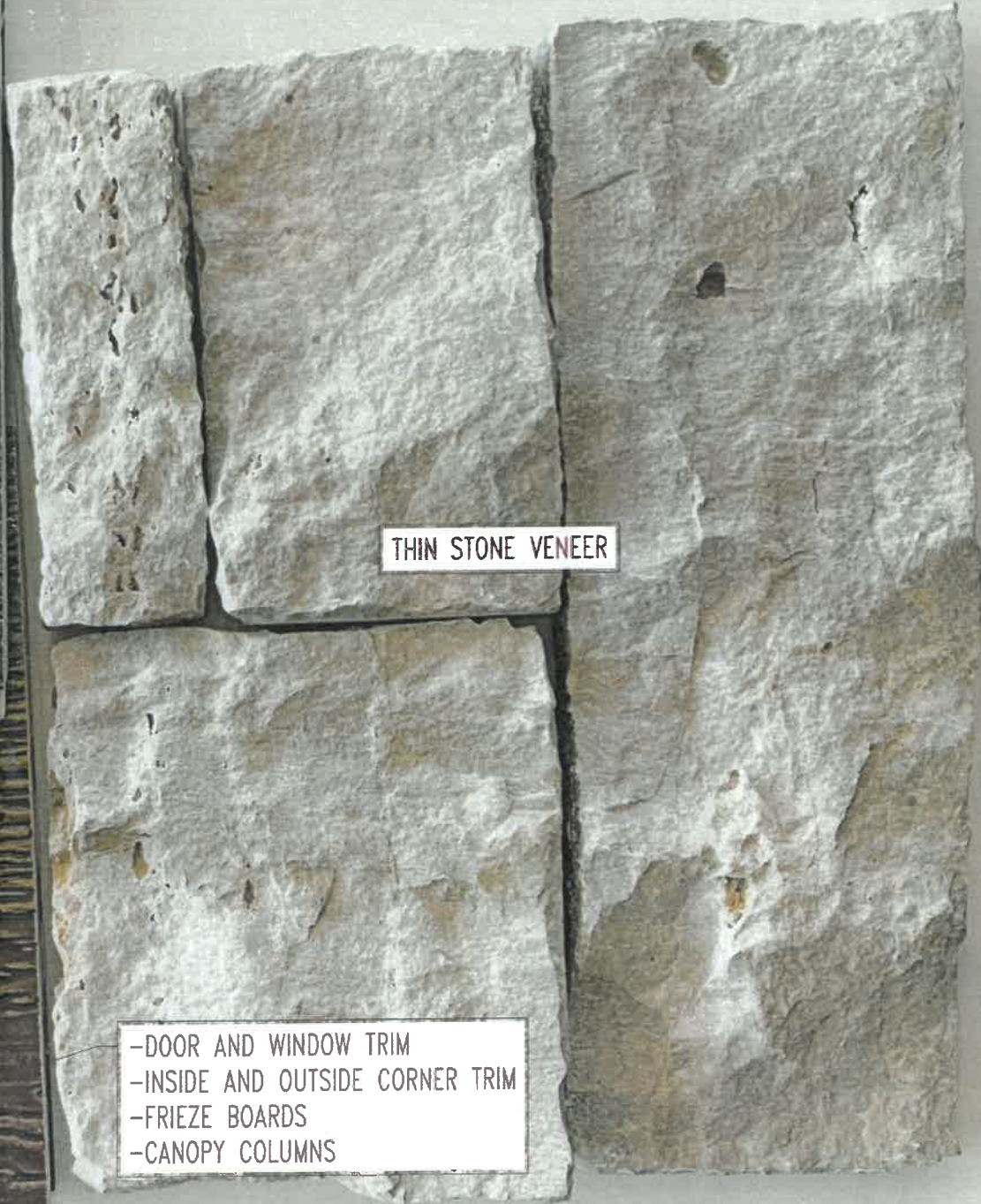
- SOFFIT PANELS
- OVERHEAD DOORS



ALUMINUM WINDOW AND DOOR FRAMING



- DOOR AND WINDOW TRIM
- INSIDE AND OUTSIDE CORNER TRIM
- FRIEZE BOARDS
- CANOPY COLUMNS



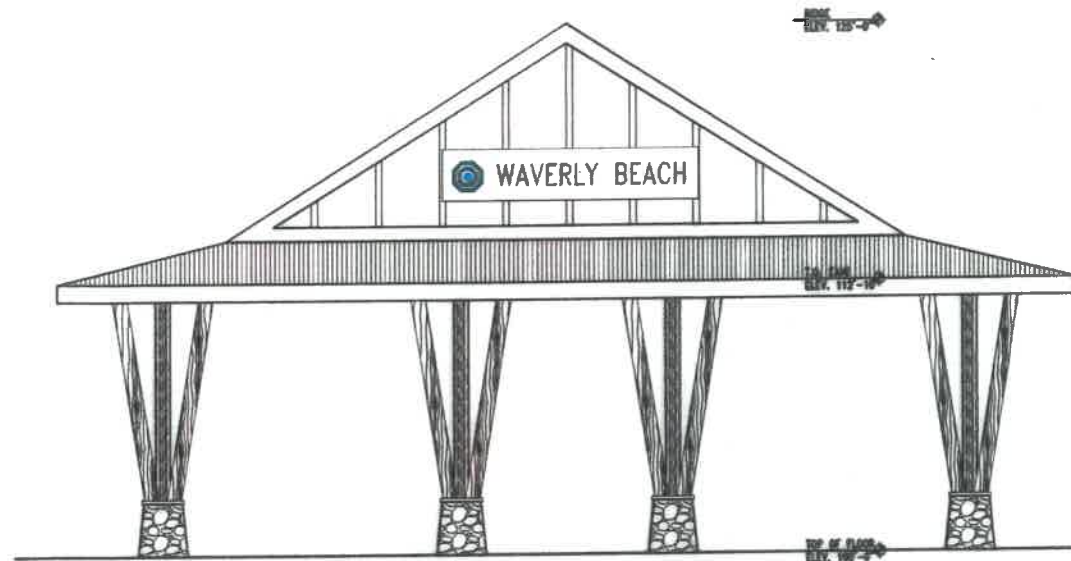
THIN STONE VENEER

PROJECT:
ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
18770 FRIEZE LANE 1
MENASHA, WI 54952

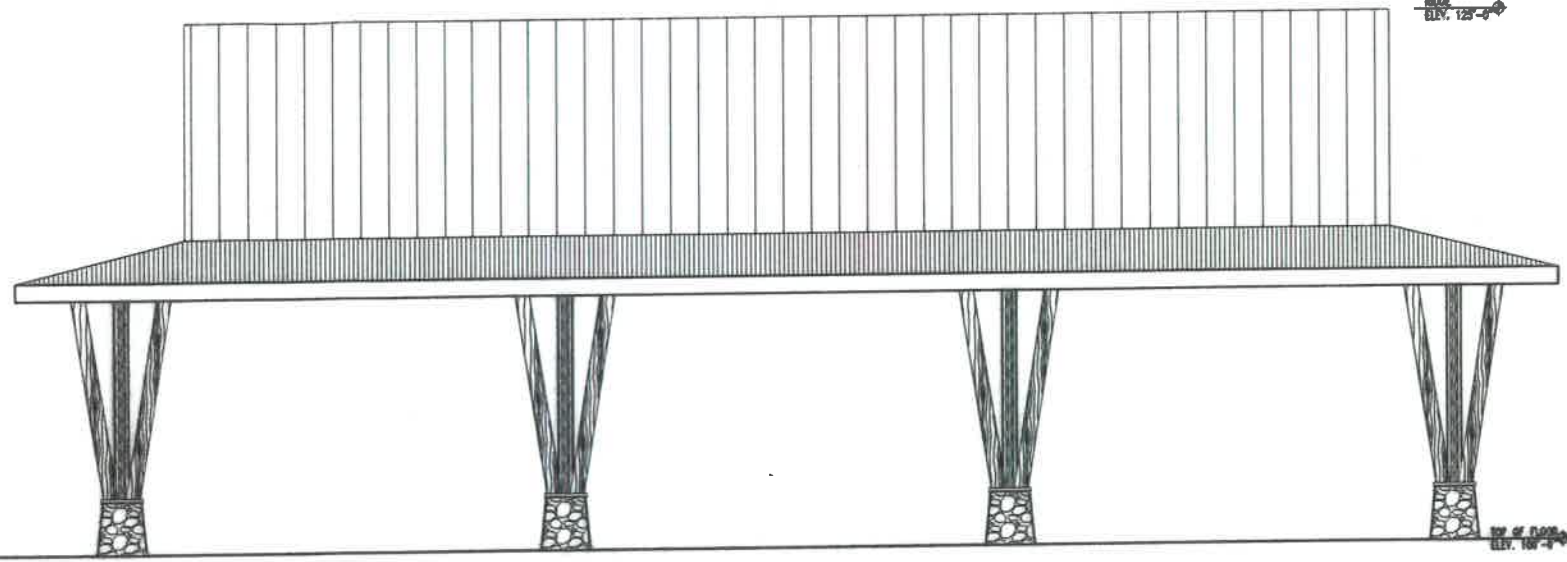
PROJECT NO.:
21-595

SHEET NO.:

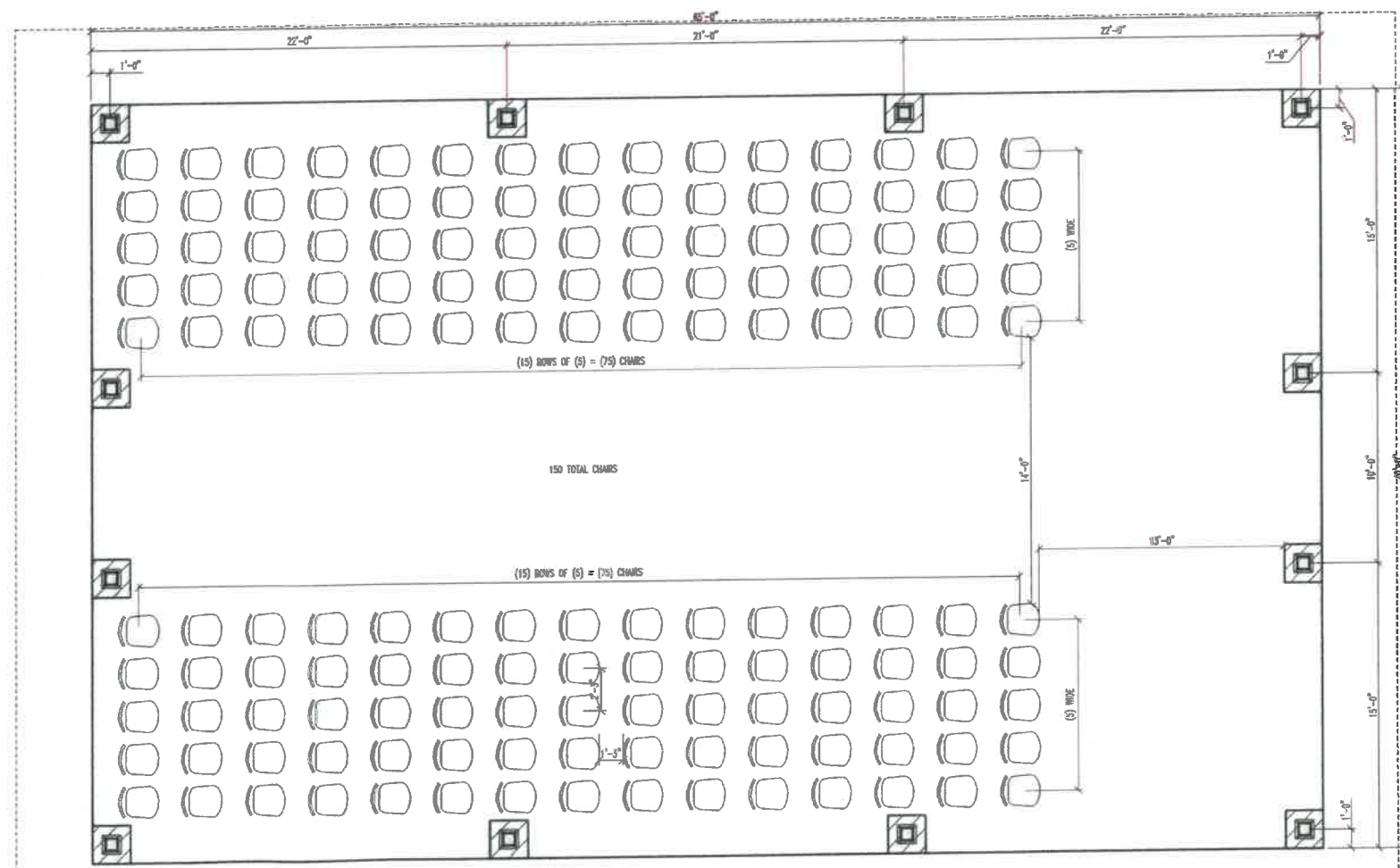
A8



1 SOUTH ELEVATION
B1 1/4"=1'-0" WEDDING PAVILION



1 WEST ELEVATION
B1 1/4"=1'-0" WEDDING PAVILION



NORTH PROPOSED FLOOR PLAN
1/4"=1'-0" WEDDING PAVILION

STRUCTURE TO BE DESIGNED BY HEAVY TIMBER SUPPLIER
-WILL FOLLOW IN COMPONENT SUBMITTAL

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
METAL FINISHES

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CONSTRUCTION, INC.
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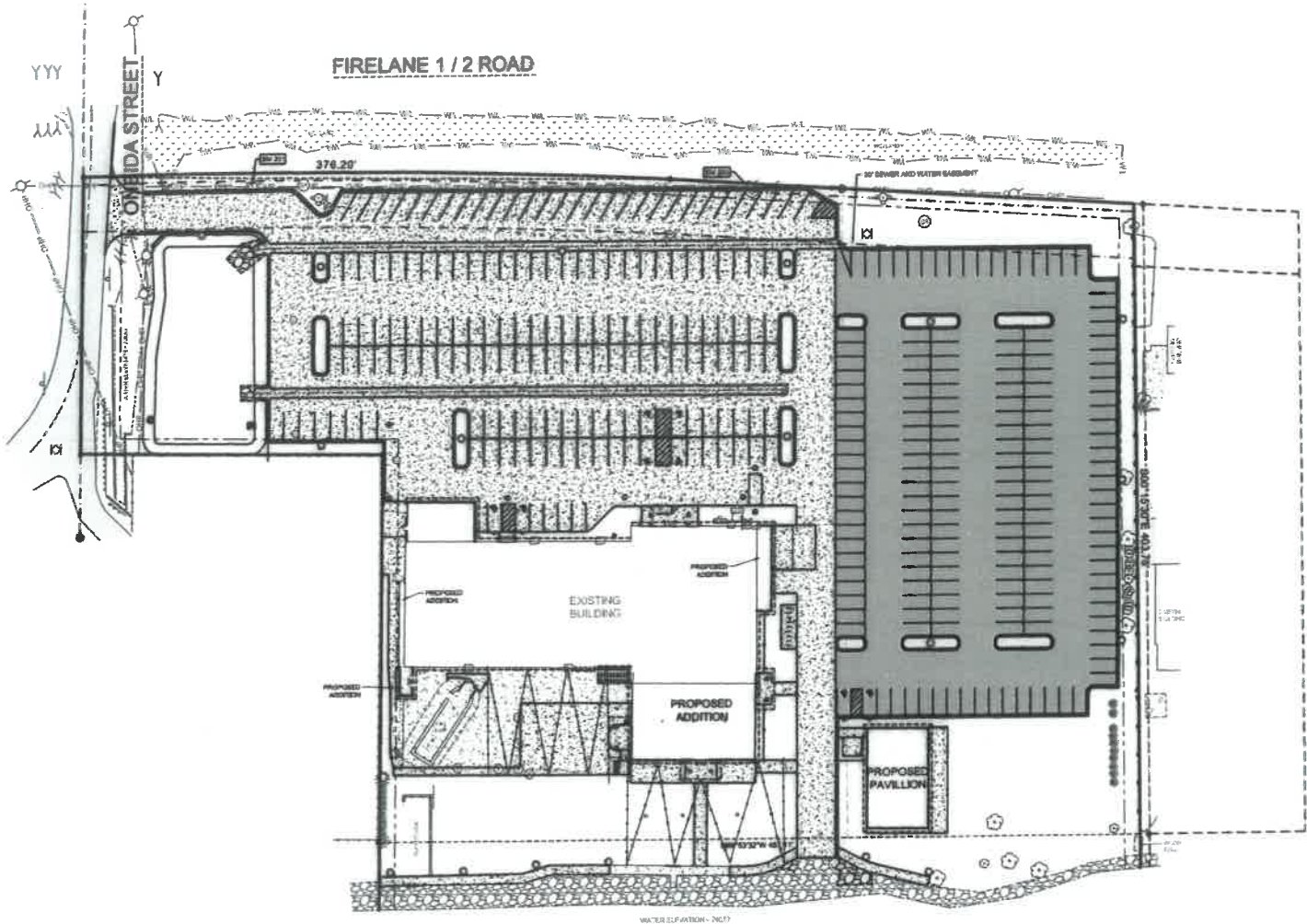
These drawings were prepared by the undersigned for the purpose of showing the general character of the work to be done and are not to be construed as a contract or as a representation of the actual work to be done. The contractor shall be responsible for the design and construction of the work shown on these drawings.

PROJECT:
**ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION**
18770 FIFE LANE 1
MEMPHIS, TN 38115

PROJECT NO.:
21-595

SHEET NO.:
B1

1:10/20/2021 10:42:00 AM C:\Users\johndoe\OneDrive\Documents\21-595\21-595-01.dwg



LOCATION MAP
N8770 FIRELANE 1 ROAD
MENASHA, WI 54982

LEGAL DESCRIPTION

PART OF GOVERNMENT LOT 4, SECTION 18, T20N-R18E,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- C6.1 UTILITY & GRADING DETAILS
- C6.2 DUMPSTER ENCLOSURES
- L1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

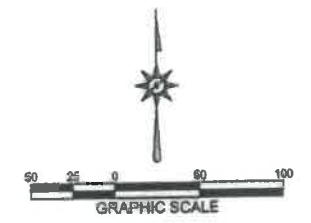
1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC NOVEMBER 7, 2021.
2. SURVEY VERTICAL DATUM IS NAVD83.
3. UTILITY LOCATES PER DIGGERS HOTLINE REQUEST.
4. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
5. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
6. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
7. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
8. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
9. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
11. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
12. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ADJUTING PAVEMENTS, SIDEWALKS, AND CURBS.
13. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
14. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
16. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
17. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
18. FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.
19. FOR NOTES SHOWN THIS, (1), SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL	[Symbol]	EVERGREEN SHRUB	[Symbol]	STANDARD DUTY ASPHALT	[Symbol]
ELECTRIC METER	[Symbol]	EVERGREEN TREE	[Symbol]	HEAVY DUTY ASPHALT	[Symbol]
ELECTRIC PEDESTAL	[Symbol]	TREE	[Symbol]	BUILDING	[Symbol]
GUY WIRE	[Symbol]	TREE SHRUB	[Symbol]	ASPHALT	[Symbol]
LIGHT POLE	[Symbol]	BUILDING OVERHANG	[Symbol]	CONCRETE	[Symbol]
POWER POLE	[Symbol]	UNDERGROUND CABLE	[Symbol]	GRAVEL	[Symbol]
GAS METER	[Symbol]	OVERHEAD WIRE	[Symbol]	LANDSCAPE WOOD MULCH	[Symbol]
GAS VALVE	[Symbol]	UNDERGROUND ELECTRIC	[Symbol]	LANDSCAPE STONE MULCH	[Symbol]
BOLLARD	[Symbol]	GAS	[Symbol]		
HANDICAP PARKING	[Symbol]	LANDSCAPE	[Symbol]		
SANITARY CLEANOUT	[Symbol]	FENCE	[Symbol]		
SANITARY MANHOLE	[Symbol]	GUARDRAIL	[Symbol]		
CATCH BASIN	[Symbol]	CENTERLINE	[Symbol]		
CULVERT	[Symbol]	CURB	[Symbol]		
DUMPSPOUT	[Symbol]	PARKING STRIPE	[Symbol]		
INLET	[Symbol]	SANITARY SEWER	[Symbol]		
INLET 2' X 2'	[Symbol]	CULVERT	[Symbol]		
STORM CLEANOUT	[Symbol]	STORM SEWER	[Symbol]		
STORM MANHOLE	[Symbol]	FIBER OPTIC	[Symbol]		
FIBER OPTIC PEDESTAL	[Symbol]	WOOD LINE	[Symbol]		
SEW	[Symbol]	RETAINING WALL	[Symbol]		
FIRE HYDRANT	[Symbol]	WATERMAIN	[Symbol]		
WATER SHUT OFF	[Symbol]	CONTOUR MAJOR	[Symbol]		
WATER VALVE	[Symbol]	CONTOUR MINOR	[Symbol]		

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	CHP	OVER HEAD POWER
CI	CURB INLET	CL	OUTLOT
CMF	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
EL	ELEVATION	SA	SANITARY
EDM	ELECTRIC (BURIED)	SCHD	SCHEDULE
FE	FACILITIES DEVELOPMENT MANUAL	S.D.	SUMP DEPTH
FFE	FIRST FLOOR ELEVATION	SD	SQUARE
FL	FLOW LINE	ST	STORM
FO	FIBER OPTIC	S.T.H	STATE TRUNK HIGHWAY
FT	FEET	STM	STORM
G	GAS	T	TELEPHONE
G.F.E.	GROUND FLOOR ELEVATION	TIC	TOP OF CURB
GR	GRADE	U.S.H	UNITED STATES HIGHWAY
HDPE	HIGH DENSITY POLYETHYLENE	V	VARIABLE
IN	INLET	W	WEST
INVERT	INVERT	WAT	WATER
M	METER	WI	WISCONSIN
MAX	MAXIMUM	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION
MH	MANHOLE		



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TOLL FREE

WISCONSIN STATUTE 182.0175 (15M) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



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PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1911-01-21

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.

State ID# 680499

19351 Elmwood Drive, Janesville, WI 53145
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PROJECT:
**ANDRUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION**

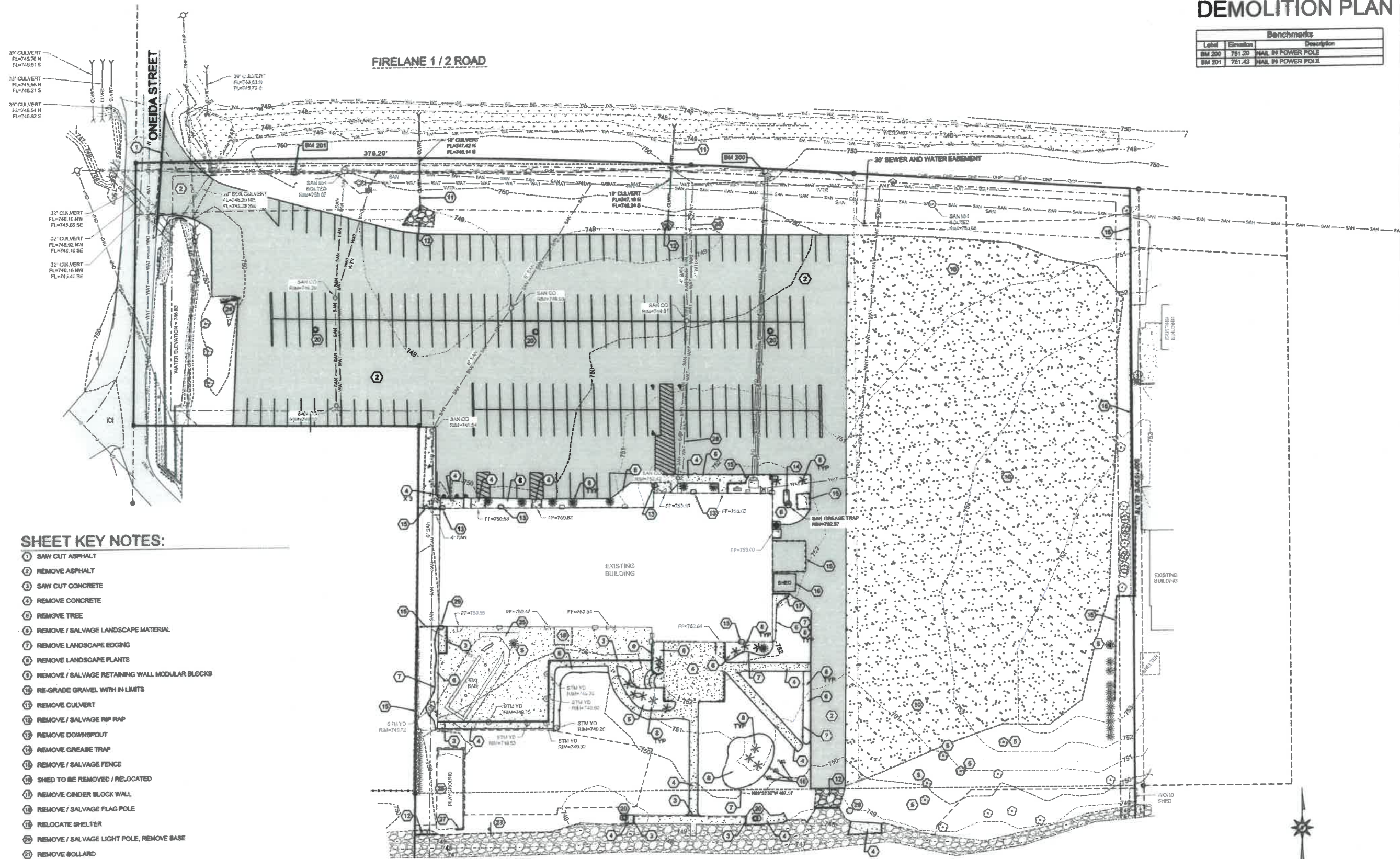
N8770 FIRELANE 1 ROAD
MENASHA, WI 54982

PROJECT NO.:
21-595

SHEET NO.:
C0.1

DEMOLITION PLAN

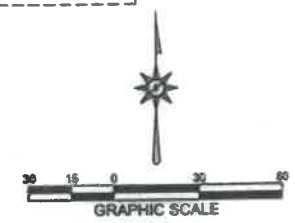
Benchmarks		
Label	Elevation	Description
BM 200	751.20	NAIL IN POWER POLE
BM 201	751.43	NAIL IN POWER POLE



SHEET KEY NOTES:

- 1 SAW CUT ASPHALT
- 2 REMOVE ASPHALT
- 3 SAW CUT CONCRETE
- 4 REMOVE CONCRETE
- 5 REMOVE TREE
- 6 REMOVE / SALVAGE LANDSCAPE MATERIAL
- 7 REMOVE LANDSCAPE EDGING
- 8 REMOVE LANDSCAPE PLANTS
- 9 REMOVE / SALVAGE RETAINING WALL MODULAR BLOCKS
- 10 RE-GRADE GRAVEL WITH IN LIMITS
- 11 REMOVE CULVERT
- 12 REMOVE / SALVAGE RIP RAP
- 13 REMOVE DOWNSPOUT
- 14 REMOVE GREASE TRAP
- 15 REMOVE / SALVAGE FENCE
- 16 SHED TO BE REMOVED / RELOCATED
- 17 REMOVE CINDER BLOCK WALL
- 18 REMOVE / SALVAGE FLAG POLE
- 19 RELOCATE SHELTER
- 20 REMOVE / SALVAGE LIGHT POLE, REMOVE BASE
- 21 REMOVE BOLLARD
- 22 REMOVE UTILITY POLE
- 23 REMOVE / RELOCATE SIGN
- 24 REMOVE / SALVAGE MONUMENT SIGN
- 25 REMOVE WATER FEATURE AND GAS GRILL CONNECTOR
- 26 REMOVE PLAYGROUND EQUIPMENT AND SAND
- 27 REMOVE / ADJUST WALL LOCATION AS NECESSARY FOR PROPOSED SIDEWALK
- 28 EXISTING WATER SERVICE TO BE ABANDONED
- 29 DOWNSPOUT TO BE RELOCATED AND CONNECTED TO EXISTING STORM PIPING; FIELD VERIFY LOCATION AND INVERT OF EXISTING PIPE

WATER ELEVATION = 746.57



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Project Number: 1911-01-21

DESIGN / BUILD
GENERAL CONTRACTOR
STEEL FABRICATION

Schub
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State ID# 080999

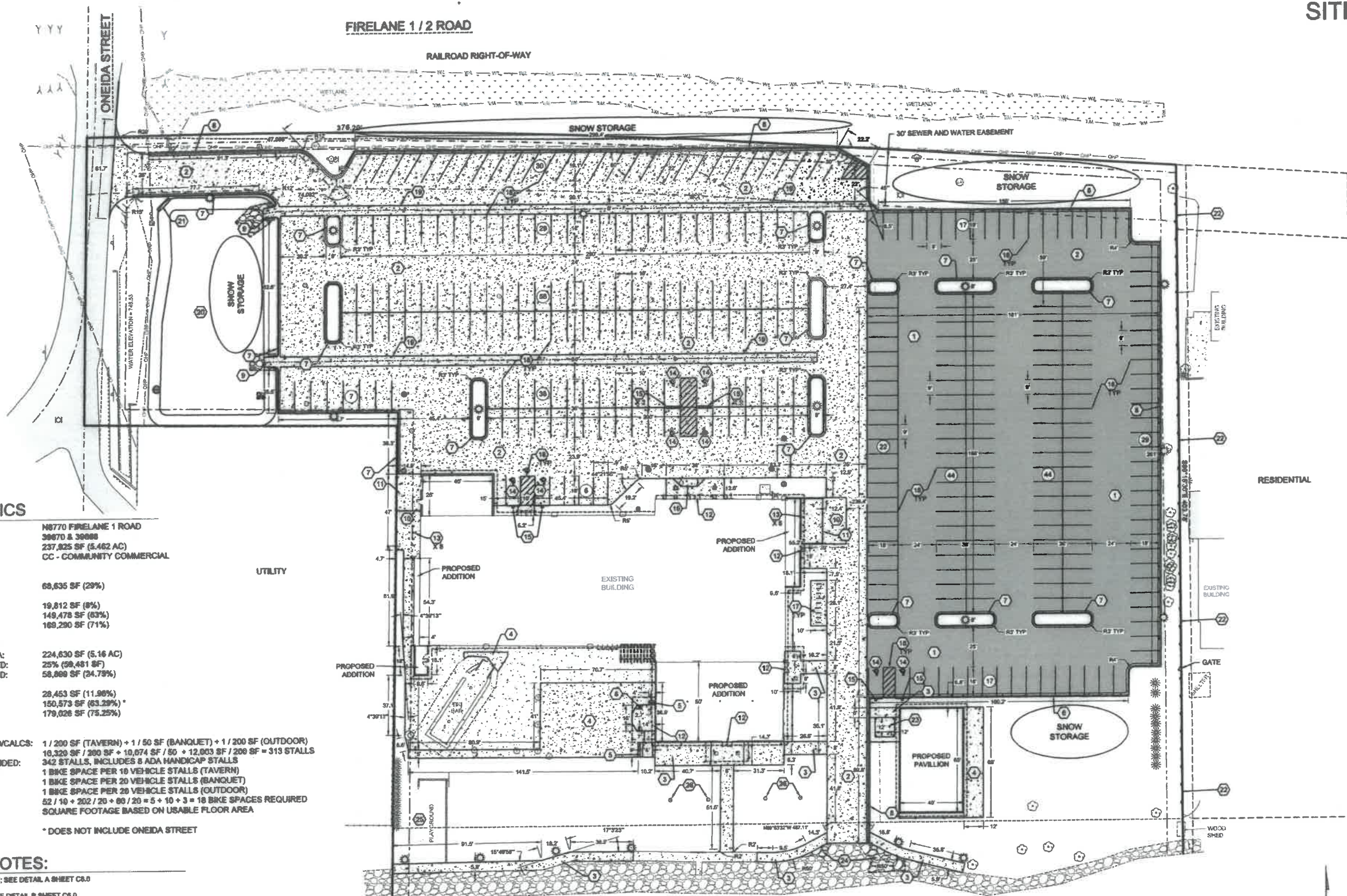
PROJECT:
**ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION**
N8770 FIRE LANE 1 ROAD
MEMOSHIA, WI 54952

PROJECT NO.:

SHEET NO.:

C1.0

PL: 10/11/11 1:02:51 Waverly Beach AnduzzisSportsClub 1911-01-21 Eng.dwg 2/16/2022 2:27:47 PM



SITE STATISTICS

PARCEL ADDRESS: N8770 FIRELANE 1 ROAD
 PARCEL NUMBER: 39670 & 39688
 PARCEL SIZE: 237,925 SF (5.462 AC)
 ZONING: CC - COMMUNITY COMMERCIAL

EXISTING SITE
 GREEN SPACE: 68,635 SF (29%)
 IMPERVIOUS AREA: 19,812 SF (8%)
 BUILDING: 149,478 SF (63%)
 PAVEMENT: 169,290 SF (71%)
 TOTAL IMPERVIOUS: 169,290 SF (71%)

PROPOSED SITE
 TOTAL DISTURBED AREA: 224,630 SF (5.16 AC)
 GREEN SPACE REQUIRED: 25% (56,158 SF)
 GREEN SPACE PROVIDED: 58,869 SF (24.79%)
 IMPERVIOUS AREA: 28,453 SF (11.98%)
 BUILDING: 150,573 SF (63.29%)
 PAVEMENT: 179,026 SF (75.25%)

PARKING PROVIDED
 PARKING SPACES REQUIRED: 1 / 200 SF (TAVERN) + 1 / 50 SF (BANQUET) + 1 / 200 SF (OUTDOOR) = 10,320 SF / 200 SF + 10,074 SF / 50 + 12,003 SF / 200 SF = 313 STALLS
 342 STALLS, INCLUDES 8 ADA HANDICAP STALLS
 1 BIKE SPACE PER 20 VEHICLE STALLS (TAVERN)
 1 BIKE SPACE PER 20 VEHICLE STALLS (BANQUET)
 1 BIKE SPACE PER 20 VEHICLE STALLS (OUTDOOR)
 52 / 10 + 202 / 20 + 60 / 20 = 5 + 10 + 3 = 18 BIKE SPACES REQUIRED
 SQUARE FOOTAGE BASED ON USABLE FLOOR AREA

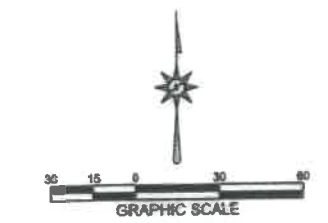
* DOES NOT INCLUDE ONEIDA STREET

SHEET KEY NOTES:

- 1 STANDARD DUTY ASPHALT; SEE DETAIL A SHEET C&D
- 2 CONCRETE PAVEMENT; SEE DETAIL B SHEET C&D
- 3 CONCRETE SIDEWALK; SEE DETAIL C SHEET C&D
- 4 CONCRETE PATIO; SEE DETAIL D SHEET C&D
- 5 CONCRETE STEPS; REFER TO ARCHITECTURAL DRAWINGS
- 6 CONCRETE RAMP; REFER TO ARCHITECTURAL DRAWINGS
- 7 18" CONCRETE CURB & GUTTER; SEE DETAIL E SHEET C&D
- 8 24" MOUNTABLE CURB & GUTTER; SEE DETAIL F SHEET C&D
- 9 CONCRETE FLUME; SEE DETAIL G SHEET C&D
- 10 DUMPSTER PAD; SEE DETAIL H SHEET C&D
- 11 DUMPSTER ENCLOSURE; REFER TO SHEET C&2
- 12 STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- 13 BOLLARD; SEE DETAIL I SHEET C&D
- 14 ADA HANDICAP STALL; SYMBOL
- 15 ADA HANDICAP SIGN; SEE DETAIL J SHEET C&D
- 16 ADA HANDICAP RAMP AND WARNING PLATE; SEE DETAIL E SHEET C&1

SHEET KEY NOTES (CONTINUED):

- 17 BICYCLE PARKING AREA; REFER TO ARCHITECTURAL DRAWINGS
- 18 4" WIDE PAINT STRIPE; COLOR BY OWNER
- 19 6" WIDE VALLEY GUTTER; SEE DETAIL K SHEET C&D
- 20 STORM WATER POND; SEE SHEET C&D
- 21 MONUMENT SIGN; REFER TO ARCHITECTURAL DRAWINGS
- 22 6' HIGH COMPOSITE FENCE; REFER TO ARCHITECTURAL DRAWINGS
- 23 RELOCATED SHELTER
- 24 SALVAGED RIP RAP
- 25 PLAYGROUND AREA TO RECEIVE RUBBER MULCH AND NEW PLAYGROUND EQUIPMENT; REFER TO ARCHITECTURAL DRAWINGS
- 26 FIRE PIT; REFER TO ARCHITECTURAL DRAWINGS



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 Project Number: 1811-01-21

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 CONSTRUCTION, INC.
 State ID# 686499

After three glass panes of the window are broken, the window is no longer safe. Please do not touch the glass. If you do touch the glass, you may be injured. Please do not touch the glass. If you do touch the glass, you may be injured. Please do not touch the glass. If you do touch the glass, you may be injured.

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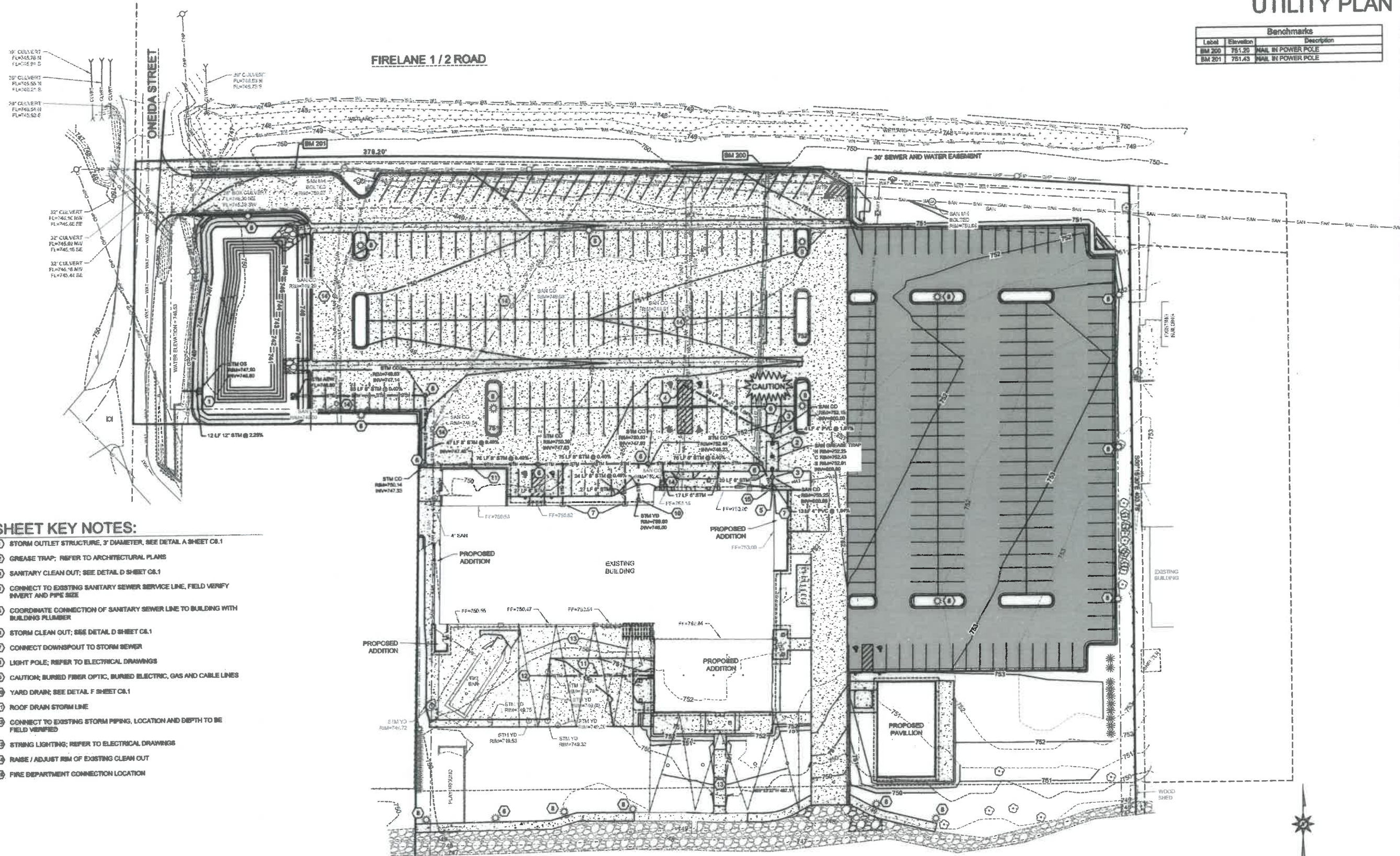
PROJECT:
ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
 N8770 FIRELANE 1 ROAD
 WAVERLY BEACH, WI 54982

PROJECT NO.:
 SHEET NO.:
C2.0

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UTILITY PLAN

Benchmarks		
Label	Elevation	Description
BM 200	751.25	MAIL BY POWER POLE
BM 201	751.43	MAIL BY POWER POLE



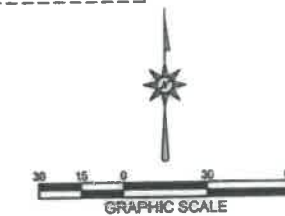
SHEET KEY NOTES:

- 1 STORM OUTLET STRUCTURE, 3' DIAMETER, SEE DETAIL A SHEET C6.1
- 2 GREASE TRAP; REFER TO ARCHITECTURAL PLANS
- 3 SANITARY CLEAN OUT; SEE DETAIL D SHEET C6.1
- 4 CONNECT TO EXISTING SANITARY SEWER SERVICE LINE, FIELD VERIFY INVERT AND PIPE SIZE
- 5 COORDINATE CONNECTION OF SANITARY SEWER LINE TO BUILDING WITH BUILDING PLUMBER
- 6 STORM CLEAN OUT; SEE DETAIL D SHEET C6.1
- 7 CONNECT DOWNSPOUT TO STORM SEWER
- 8 LIGHT POLE; REFER TO ELECTRICAL DRAWINGS
- 9 CAUTION; BURIED FIBER OPTIC, BURIED ELECTRIC, GAS AND CABLE LINES
- 10 YARD DRAIN; SEE DETAIL F SHEET C6.1
- 11 ROOF DRAIN STORM LINE
- 12 CONNECT TO EXISTING STORM PIPING, LOCATION AND DEPTH TO BE FIELD VERIFIED
- 13 STRING LIGHTING; REFER TO ELECTRICAL DRAWINGS
- 14 RAISE / ADJUST RIM OF EXISTING CLEAN OUT
- 15 FIRE DEPARTMENT CONNECTION LOCATION

UTILITY NOTES:

1. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
2. WATER SERVICE SHALL BE COPPER, CM90 PVC OR HDPE. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
3. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
4. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
5. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
6. STORM SEWER SHALL BE PVC SDR 35 (ASTM-D-3034) OR SCH 40.
7. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
8. CONNECTIONS TO MUNICIPALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THEIR STANDARD SPECIFICATIONS.

WATER ELEVATION = 746.57



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PROJECT:
ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
N8770 FIRE LANE 1 ROAD
MEMPHIS, WI 54882

PROJECT NO.:

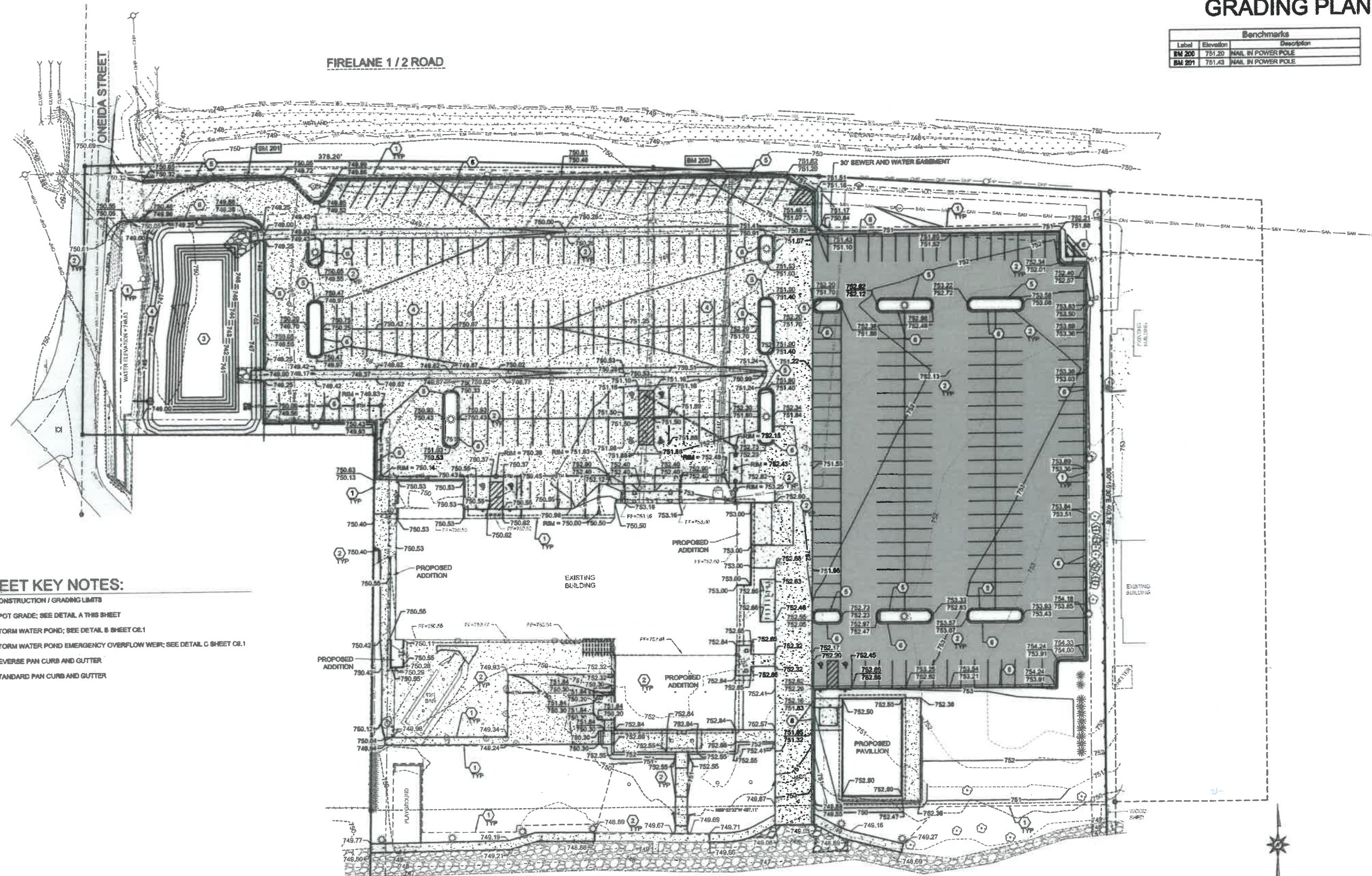
SHEET NO.:

C3.0

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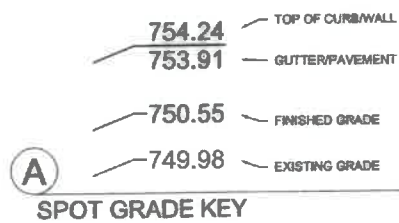
GRADING PLAN

Benchmarks		
Label	Elevation	Description
BM 200	751.20	NAIL IN POWER POLE
BM 201	751.43	NAIL IN POWER POLE



SHEET KEY NOTES:

- ① CONSTRUCTION / GRADING LIMITS
- ② SPOT GRADE; SEE DETAIL A THIS SHEET
- ③ STORM WATER POND; SEE DETAIL B SHEET C6.1
- ④ STORM WATER POND EMERGENCY OVERFLOW WEIR; SEE DETAIL C SHEET C6.1
- ⑤ REVERSE PAN CURB AND GUTTER
- ⑥ STANDARD PAN CURB AND GUTTER



WATER ELEVATION = 746.57

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.

State ID# 606499

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www.schuhconstruction.com

PROJECT:
**ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION**

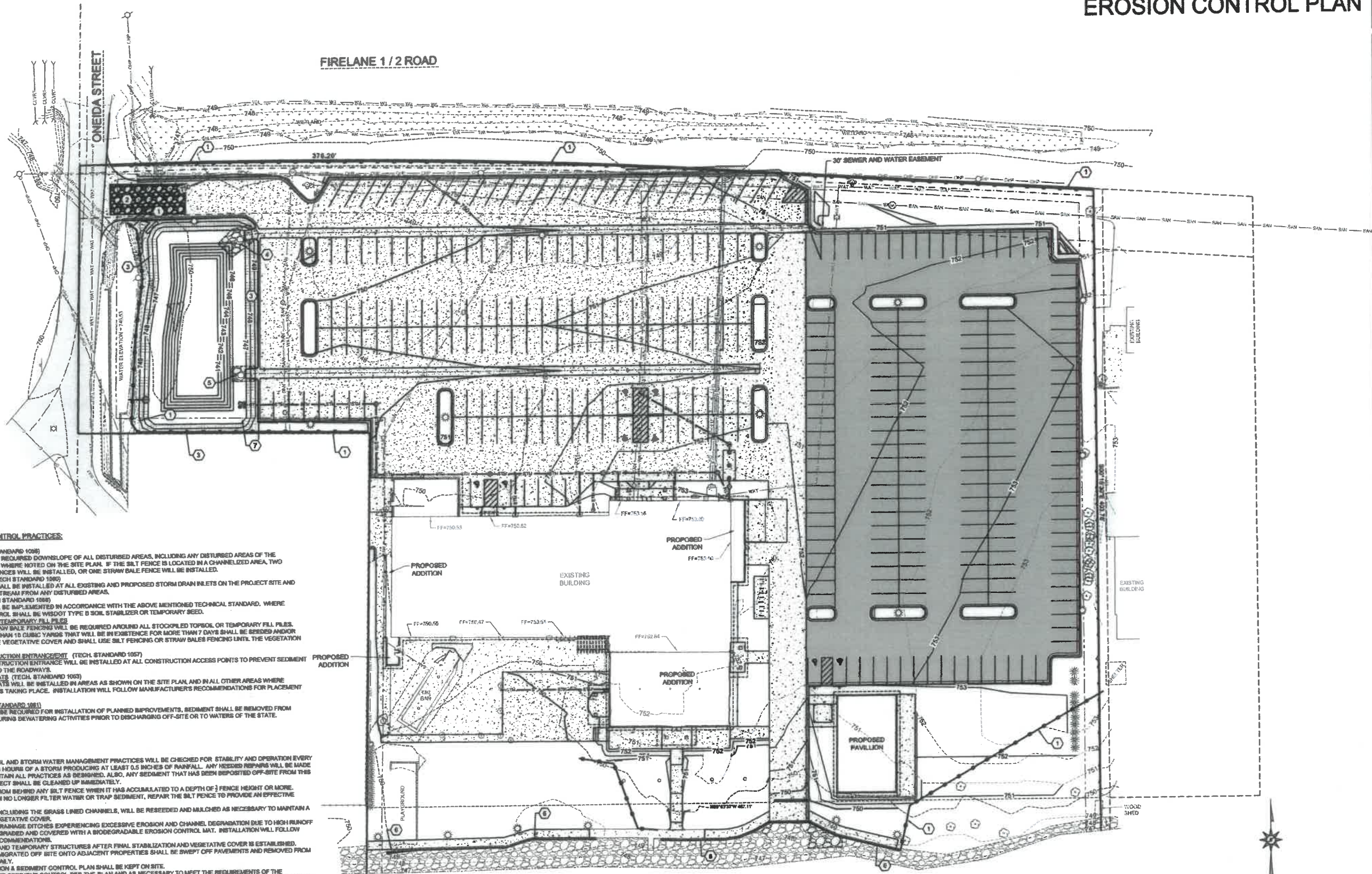
1911-01-21 Waverly Beach AnduzziSportsClub/1911-01-21/Engineering/2/19/2022 2:37:38 PM

PROJECT NO.:
SHEET NO.:
C4.0

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Project Number: 1911-01-21

EROSION CONTROL PLAN



PLANNED EROSION CONTROL PRACTICES:

- SILT FENCE (TECH. STANDARD 1008)**
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
- INLET PROTECTION (TECH. STANDARD 1009)**
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
- DUST CONTROL (TECH. STANDARD 1008)**
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD, WHERE POSSIBLE DUST CONTROL SHALL BE W/BOOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
- STOCKPILE AND TOPSOIL TEMPORARY FILL PILES**
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
- TEMPORARY CONSTRUCTION ENTRANCE MAT (TECH. STANDARD 1057)**
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
- EROSION CONTROL MATS (TECH. STANDARD 1053)**
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
- DEWATERING (TECH. STANDARD 1001)**
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

- ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
- REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
- ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
- SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS ONLY.
- COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
- MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
- AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

CONSTRUCTION NOTES:

- TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
- ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WNR TECHNICAL STANDARD (1008).
- EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE BARRIERS AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WNR TECHNICAL STANDARD.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
- SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WNR TECHNICAL STANDARD (1001).
- THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

CONSTRUCTION SEQUENCE:

- APRIL 2022 TO JUNE 2022
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WNR TECHNICAL STANDARDS AND STORMWATER MANAGEMENT PLAN.
 - STRIP TOPSOIL WITHIN GRADING LIMITS
 - ROUGH GRADE SITE
 - CONSTRUCT BUILDING
 - INSTALL SITE UTILITIES
 - INSTALL BASE COURSE
 - TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
 - INSTALL PAVEMENT
 - INSTALL BIOFILTER
 - RE-SEED ANY UNVEGETATED AREAS
 - REMOVE EROSION CONTROL BMP'S UPON SITE STABILIZATION

SHEET KEY NOTES:

- SILT FENCE; SEE DETAIL A SHEET C5.1
- STONE TRACKING PAD, ALL EXCAVATION TAKING PLACE ON EXISTING IMPERVIOUS SURFACE; IF NEEDED SEE DETAIL B SHEET C5.1
- CLASS I URBAN, TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL C SHEET C5.1
- ENERGY DISSIPATOR, 256 SF MEDIUM RIP RAP OVER GEOTEXTILE FABRIC
- ENERGY DISSIPATOR, 112 SF MEDIUM RIP RAP OVER GEOTEXTILE FABRIC
- SEDIMENT LOG; SEE DETAIL D SHEET C5.1
- ENERGY DISSIPATOR; SEE DETAIL F SHEET C5.1

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PROJECT:
ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION

PROJECT NO.:

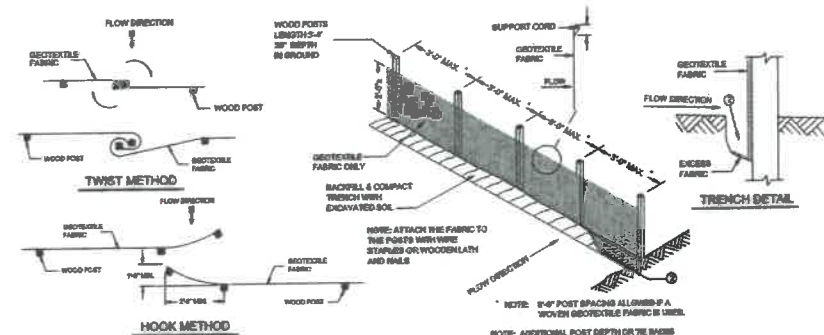
SHEET NO.:

C5.0

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EROSION CONTROL DETAILS

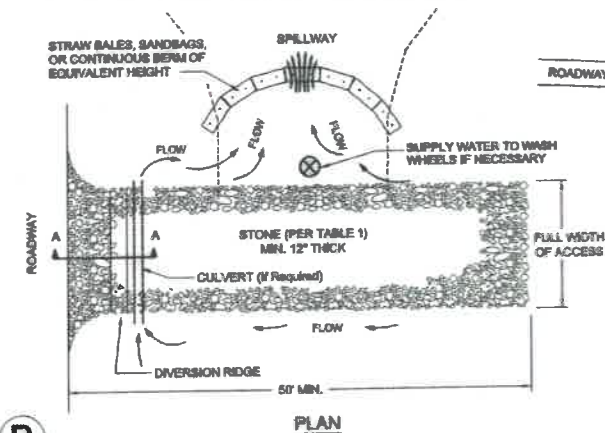


- GENERAL NOTES:**
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 8" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- NOTE:** 8" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.
- NOTE:** ADDITIONAL POST DEPTH OR THE BAGS MAY BE REQUIRED IN UNSATURABLE SOILS.

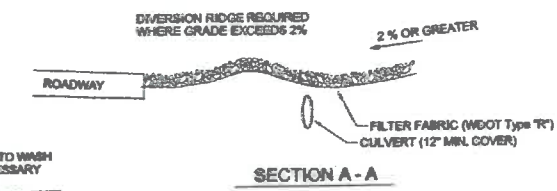
A
SILT FENCE

TABLE 1: GRADATION FOR STONE TRACKING PADS

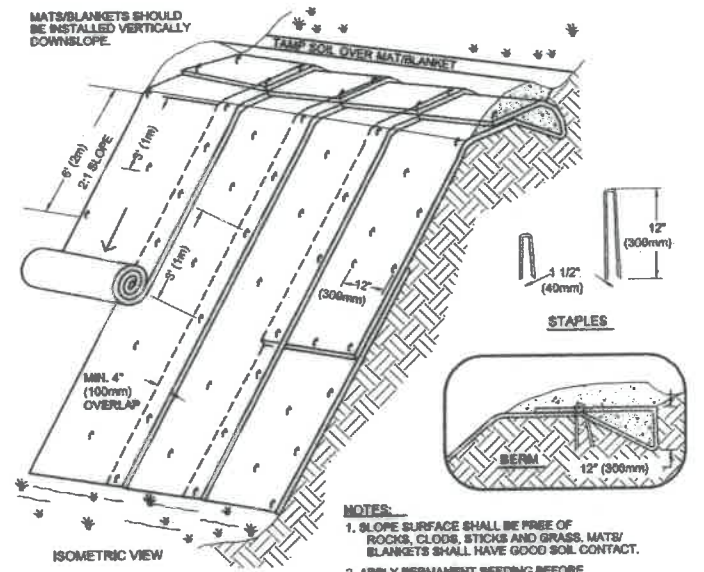
SIEVE SIZE	% PASSING BY WEIGHT
3"	100
2 1/2"	90-100
1 1/2"	25-80
3/4"	0-20
3/8"	0-5



B
STONE TRACKING PAD

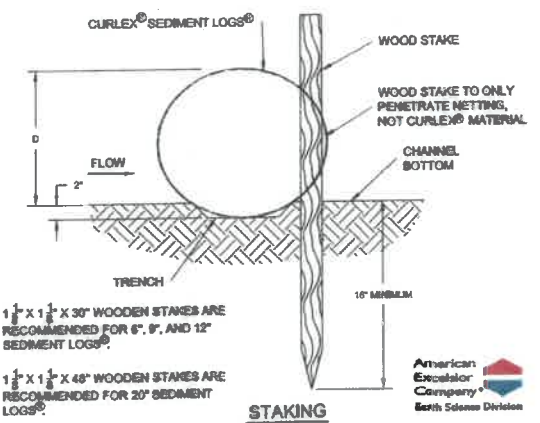


- NOTES:**
- TRACKING PAD SHALL BE FULL WIDTH OF THE ACCESS POINT UNLESS EXISTING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE WITH A MINIMUM 12 FOOT WIDTH.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED EROSION CONTROL BMP.
 - USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BMP AS REQUIRED.



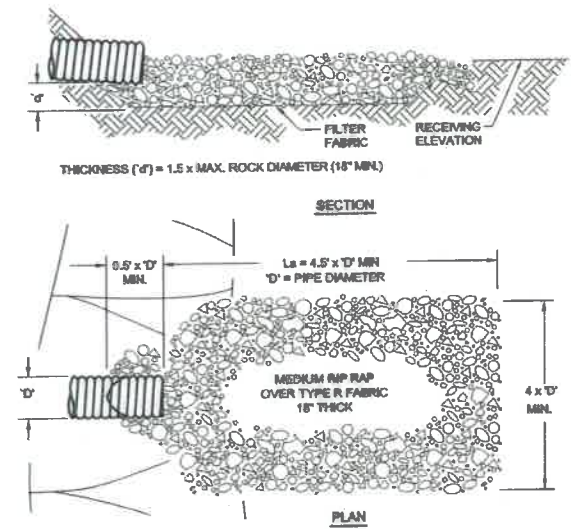
- NOTES:**
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 - APPLY PERMANENT BEEDING BEFORE PLACING BLANKETS.
 - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

C
EROSION CONTROL MAT FOR SLOPE INSTALLATION



- 1 1/2\"/>**

D
CURLEX® SEDIMENT LOGS®



- NOTES:**
- L_s = LENGTH OF APRON. DISTANCE 'L_s' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
 - APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
 - FILTER MATERIAL SHALL BE WDOT TYPE HR FILTER FABRIC

E
ENERGY DISSIPATOR

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PROJECT:
**ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION**
N8770 FIRE LANE 1 ROAD
MEWAUSA, WI 54982

PROJECT NO.:

SHEET NO.:

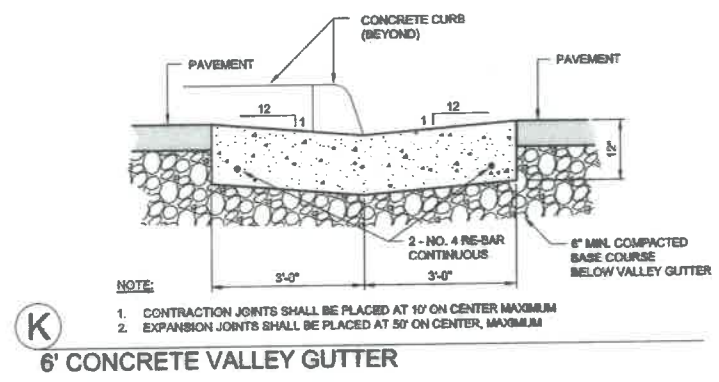
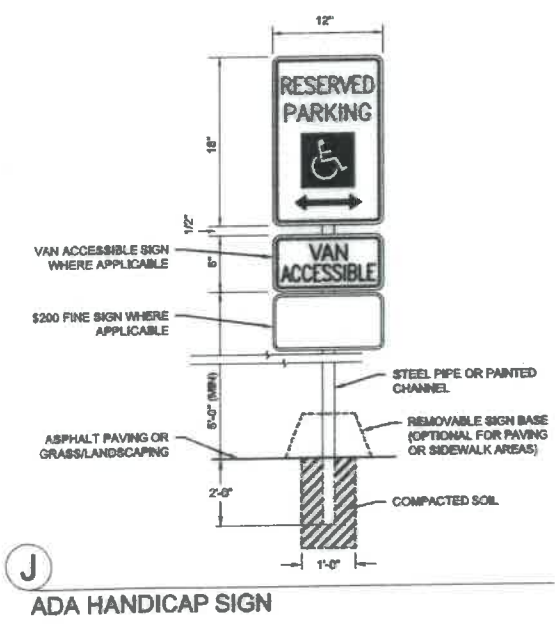
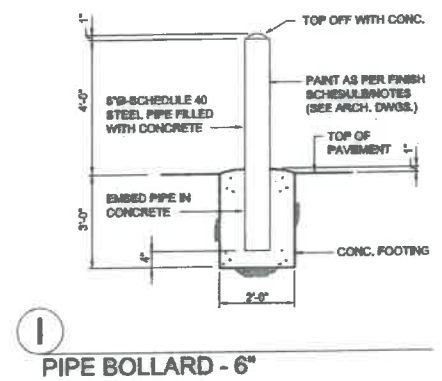
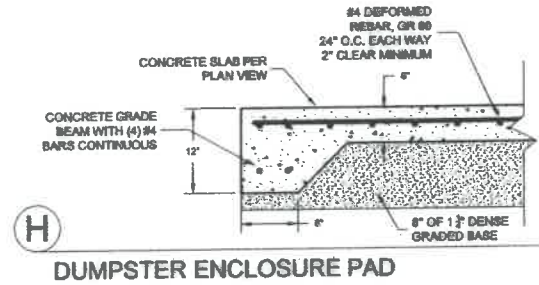
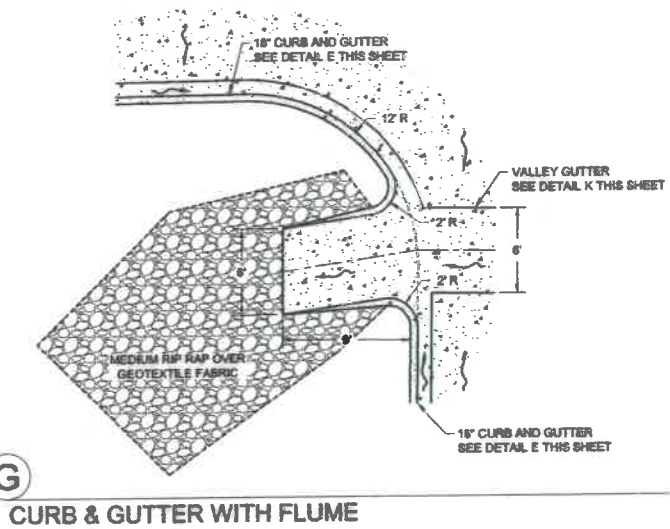
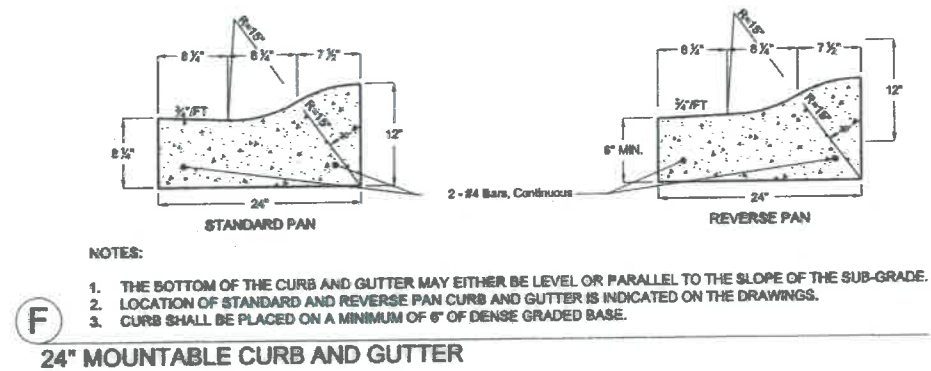
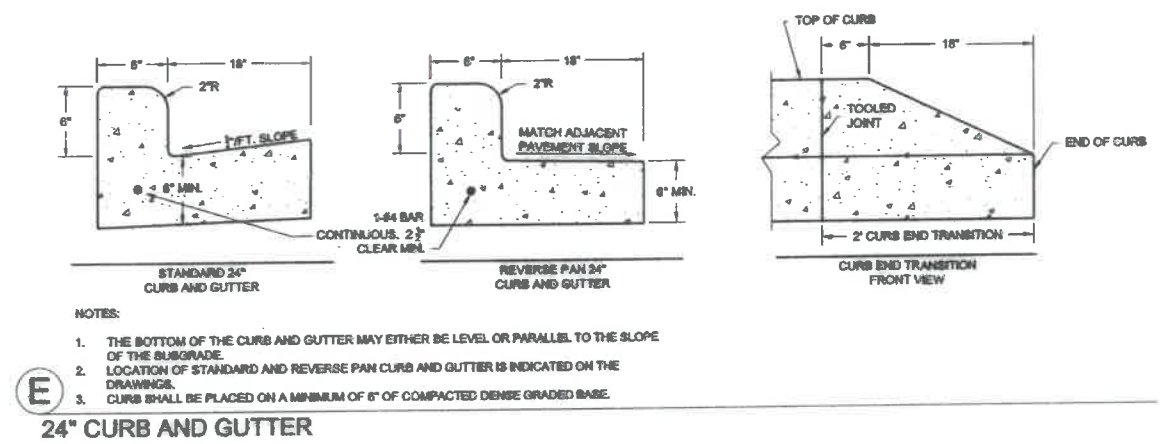
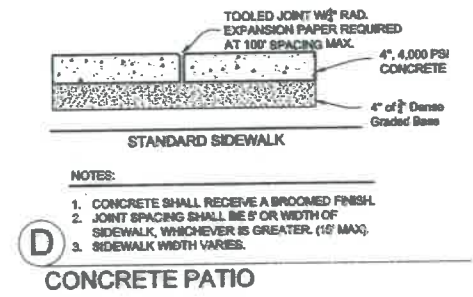
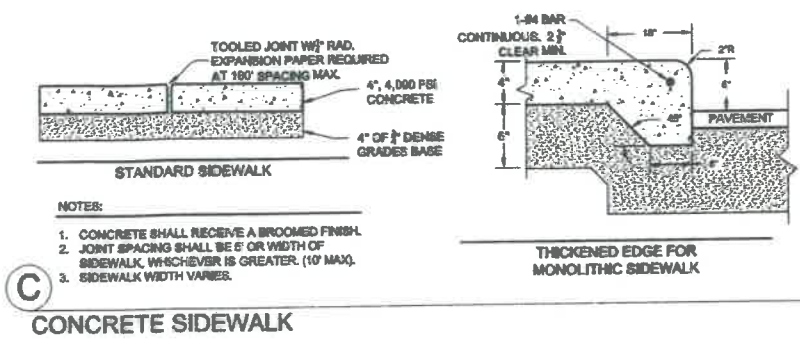
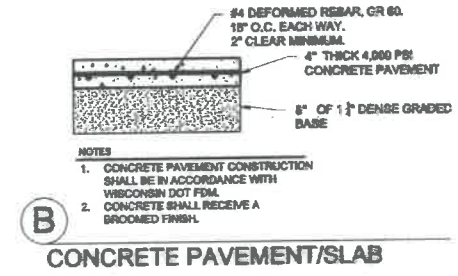
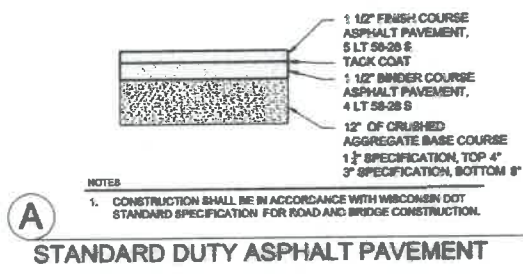
C5.1

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SITE DETAILS



RLJob11911-01-21 Waverly Beach Anduzis Sports Club 1911-01-21 Eng'dwg 2/19/2022 2:28:06 PM

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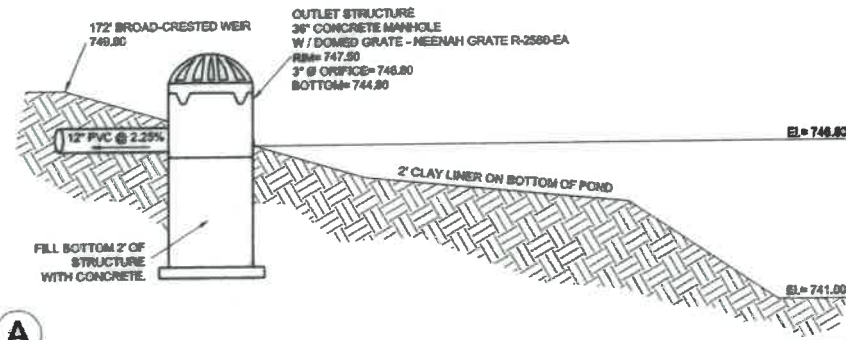
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PROJECT:
ANDUZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
 N6778 FIRE LANE 1 ROAD
 MENASHA, WI 54952

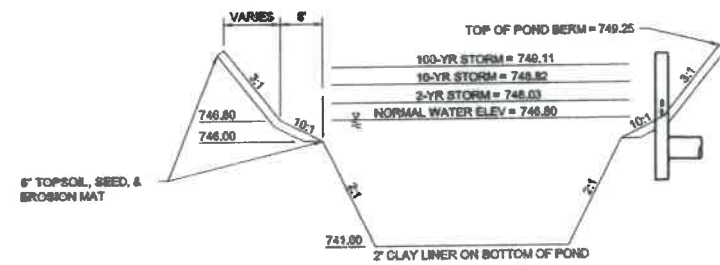
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PROJECT NO.:
 SHEET NO.:
C6.0

UTILITY & GRADING DETAILS

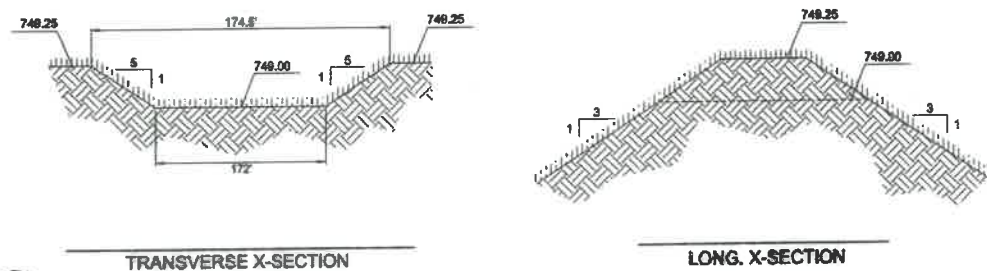


A POND OUTLET STRUCTURE



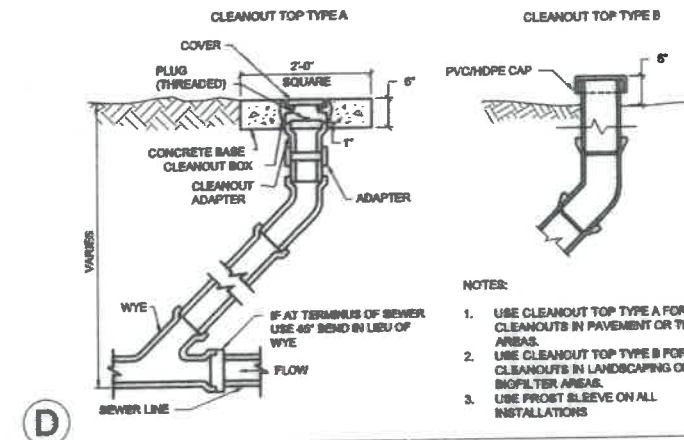
B DETENTION POND TYPICAL SECTION

- CLAY LINER CRITERIA:
- 50% FINES (200 SIEVE) OR MORE IN-PLACE HYDRAULIC CONDUCTIVITY OF 1×10^{-6} CM/SEC OR LESS.
 - AVERAGE LIQUID LIMIT VALUE OF 18 OR GREATER WITH NO VALUE LESS THAN 14
 - AVERAGE PI OF 7 OR MORE WITH NO VALUES LESS THAN 5
 - CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 204



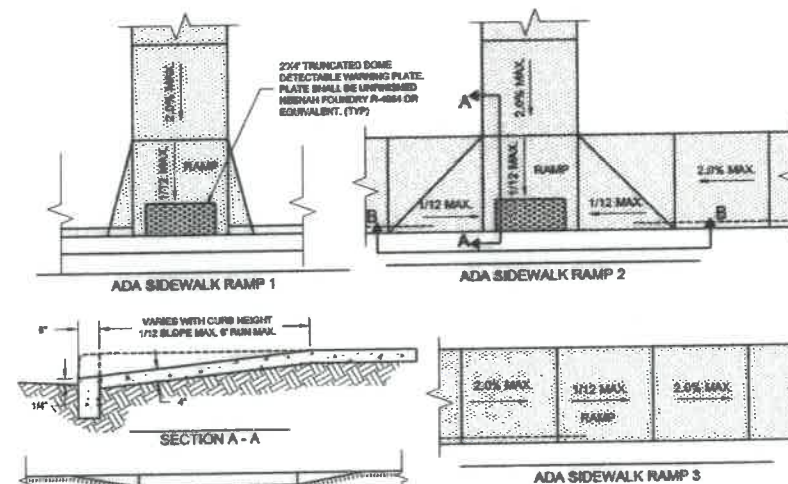
C STORM WATER POND EMERGENCY OVERFLOW WEIR

SCALE: N.T.S.



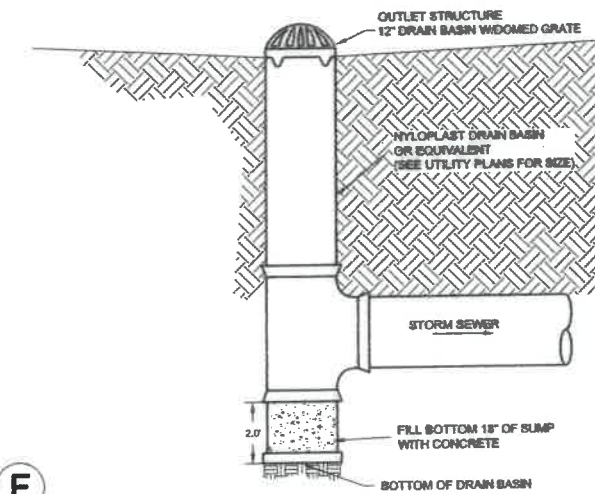
D CLEANOUT

- NOTES:
- USE CLEANOUT TOP TYPE A FOR CLEANOUTS IN PAVEMENT OR TURF AREAS.
 - USE CLEANOUT TOP TYPE B FOR CLEANOUTS IN LANDSCAPING OR BIOPILER AREAS.
 - USE PROST SLEEVE ON ALL INSTALLATIONS



E ADA SIDEWALK RAMP

- NOTES:
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH "ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" LATEST EDITION. USE RAMP 1 WHERE ADA ROUTE MEETS CURB AND THERE IS NO PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
 - USE RAMP 2 WHERE ADA ROUTE MEETS CURB AND THERE IS PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
 - USE RAMP 3 WHERE ADA ROUTE DOES NOT MEET CURB BUT A RAMP SECTION IS REQUIRED FOR GRADE.
 - DETECTABLE WARNING SHALL BE PLACED WHERE PEDESTRIAN TRAFFIC IS AT GRADE WITH VEHICULAR TRAFFIC.
 - MAXIMUM RAMP RUN IS 6' AT 1/12 SLOPE FOR A MAXIMUM RISE OF 6". RAMPS WITH A RISE OF >6" REQUIRE AN ADA COMPLIANT HANDRAIL.



F YARD DRAIN

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State ID# 680499

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ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
NET70 FIRE LANE 1 POND
MENASHA, WI 54952

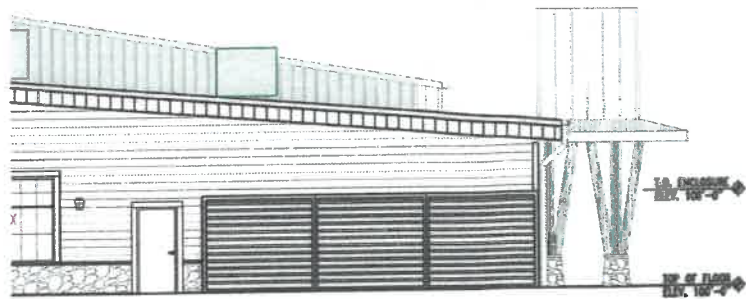
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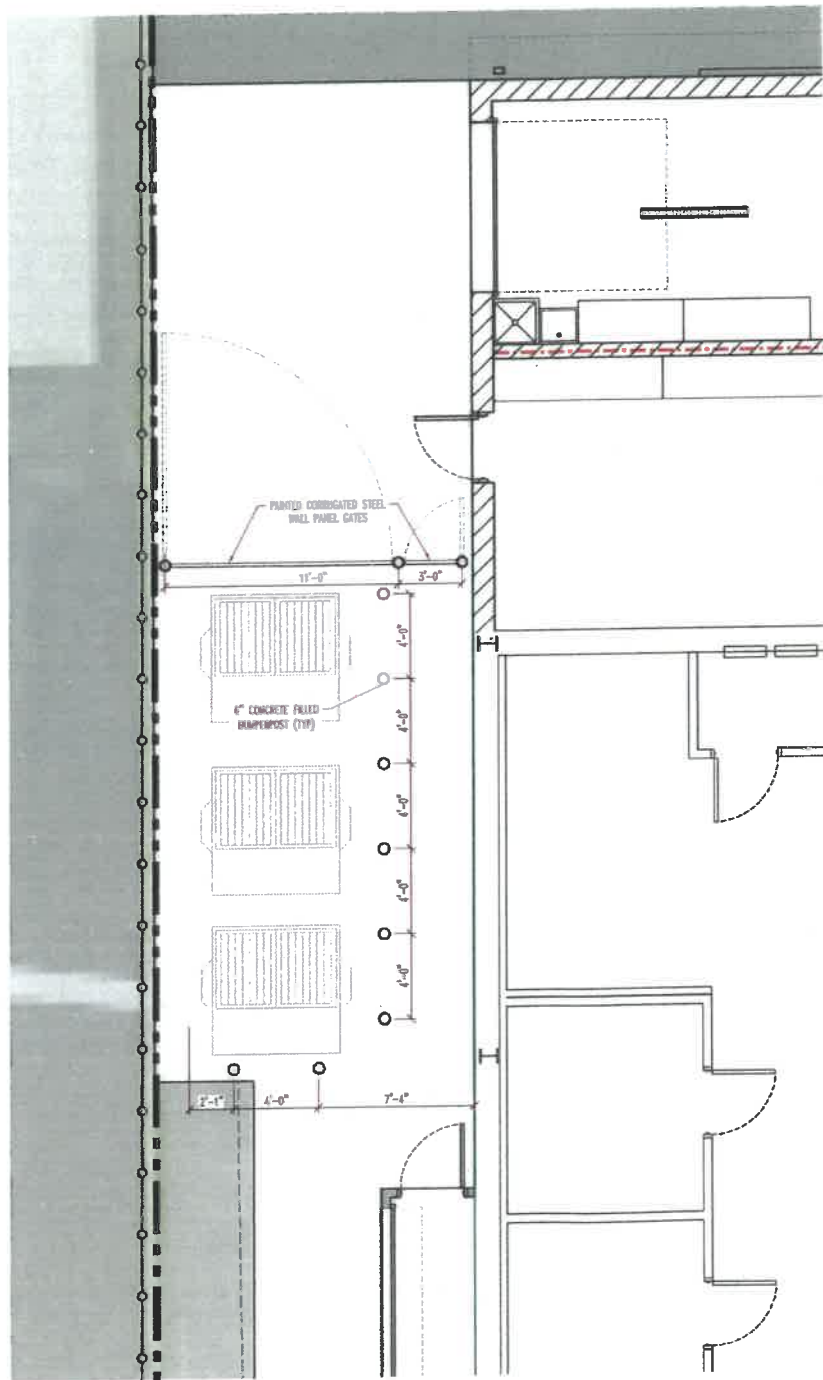
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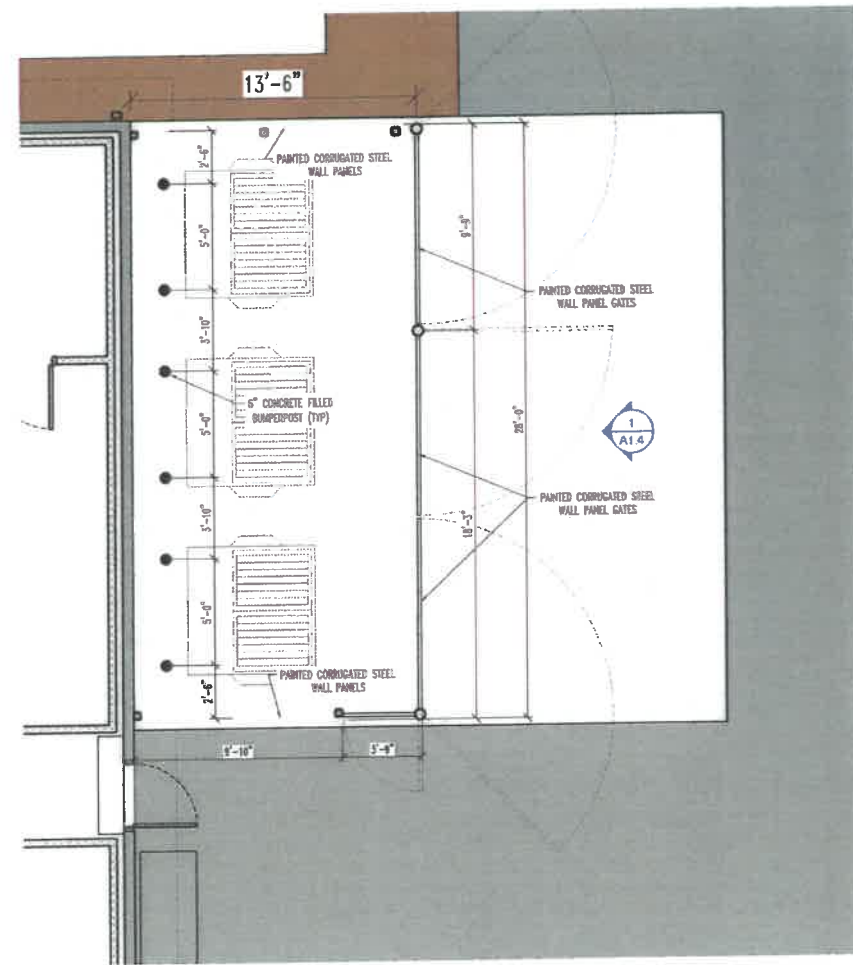
1 EAST ELEVATION
C6.2
LOOKING WEST



3 NORTH ENLARGED FLOOR PLAN
C6.2 1/4"=1'-0" WEST BUMPER ENCLOSURE



2 EXAMPLE DUMPSTER ENCLOSURE
C6.2



4 NORTH ENLARGED FLOOR PLAN
C6.2 1/4"=1'-0" EAST BUMPER ENCLOSURE

DUMPSTER ENCLOSURES

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Established 1978

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PROJECT:
**ANDUZZIS SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION**
N8770 FIRE LANE 1
MENASHA, WI 54952

PROJECT NO.:
21-595

SHEET NO.:

C6.2

LANDSCAPE PLAN

SHEET KEY NOTES:

- ① 6" DIAMETER SPADE EDGE & 5" HARDWOOD MULCH
- ② PROFESSIONAL GRADE EDGING
- ③ 1/2" RIVER ROCK WITH WEED BARRIER FABRIC

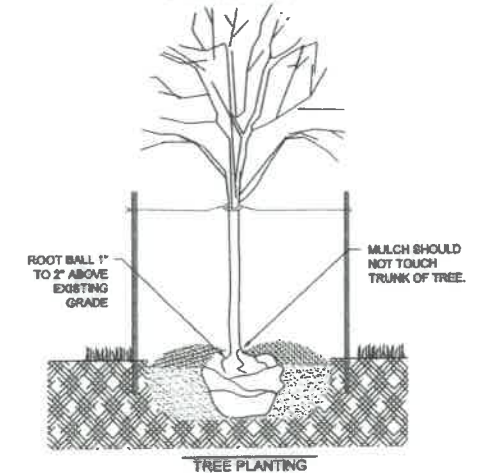
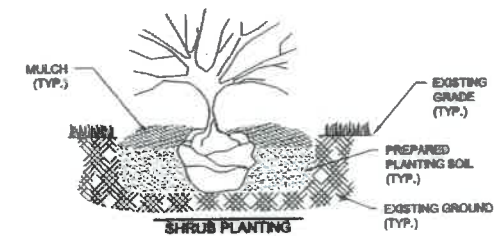
LANDSCAPE REQUIREMENTS

SITE IMPERVIOUS LANDSCAPE POINTS
 20 POINTS PER 1,000 SF IMPERVIOUS SURFACE
 179,026 / 1,000 SF X 20 POINTS = 3,581 POINTS

EXISTING LANDSCAPE
 22 CANOPY TREES = 22 X 50 POINTS = 1,100 POINTS
 21 EVERGREEN TREES = 21 X 30 POINTS = 630 POINTS

PROPOSED LANDSCAPE
 11 CANOPY TREES = 10 X 50 POINTS = 500 POINTS
 20 EVERGREEN = 20 X 30 POINTS = 600 POINTS
 91 MEDIUM SHRUBS = 91 X 8 POINTS = 728 POINTS

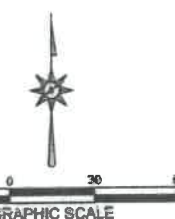
TOTAL POINTS = 3,608 POINTS



PLANTING NOTES:

1. PLANTING HOLE SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE ROOT BALL AND EQUAL TO THE DEPTH OF THE ROOT BALL.
2. EXCAVATED SOIL FROM PLANTING HOLE SHALL BE MIXED WITH 1 PART POTTING SOIL TO 2 PARTS EXCAVATED SOIL.
3. PLANT SO THAT THE ROOT COLLAR WILL BE 1" TO 2" ABOVE EXISTING GRADE.
4. IF BALLED AND BURLAPED, PLACE PLANT IN HOLE, CUT THE BALLING TWINE, AND PULL BACK THE TOP TWO THIRDS OF BURLAP. IF POTTED REMOVE POT, AND PLACE PLANT INTO HOLE.
5. BACKFILL HOLE WITH PREPARED SOIL, AND MOUND SOIL 2" TO 3" HIGH IN A RING AT THE PERIMETER OF THE EXCAVATED HOLE. WATER AND SMOOTH RING PRIOR TO MULCHING.
6. MULCH WITH 5" OF SHREDDED HARDWOOD MULCH OR LANDSCAPE STONE (RIVER ROCK, NOT CRUSHED STONE).
7. IF STAKING IS REQUIRED FOR TREES TWO STAKES SHALL BE UMBED ONE ON THE PREVAILING WIND SIDE OF THE TREE, AND THE OTHER STAKE ON THE OPPOSITE SIDE. STAKES SHALL BE FASTENED TO THE TREE USING RUBBER TUBING, OR NYLON STRAPPING.

PLANTING DETAIL



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 CONSTRUCTION, INC.
 Scale 1/8" = 1'-0"

Under these plans/conditions the user assumes the responsibility of obtaining the necessary permits, licenses, and approvals from the appropriate authorities. The user shall be responsible for any and all costs, expenses, or other charges incurred in connection with the use of these plans/conditions. The user shall be responsible for any and all damages, claims, or liabilities arising out of the use of these plans/conditions. The user shall be responsible for any and all costs, expenses, or other charges incurred in connection with the use of these plans/conditions. The user shall be responsible for any and all damages, claims, or liabilities arising out of the use of these plans/conditions.

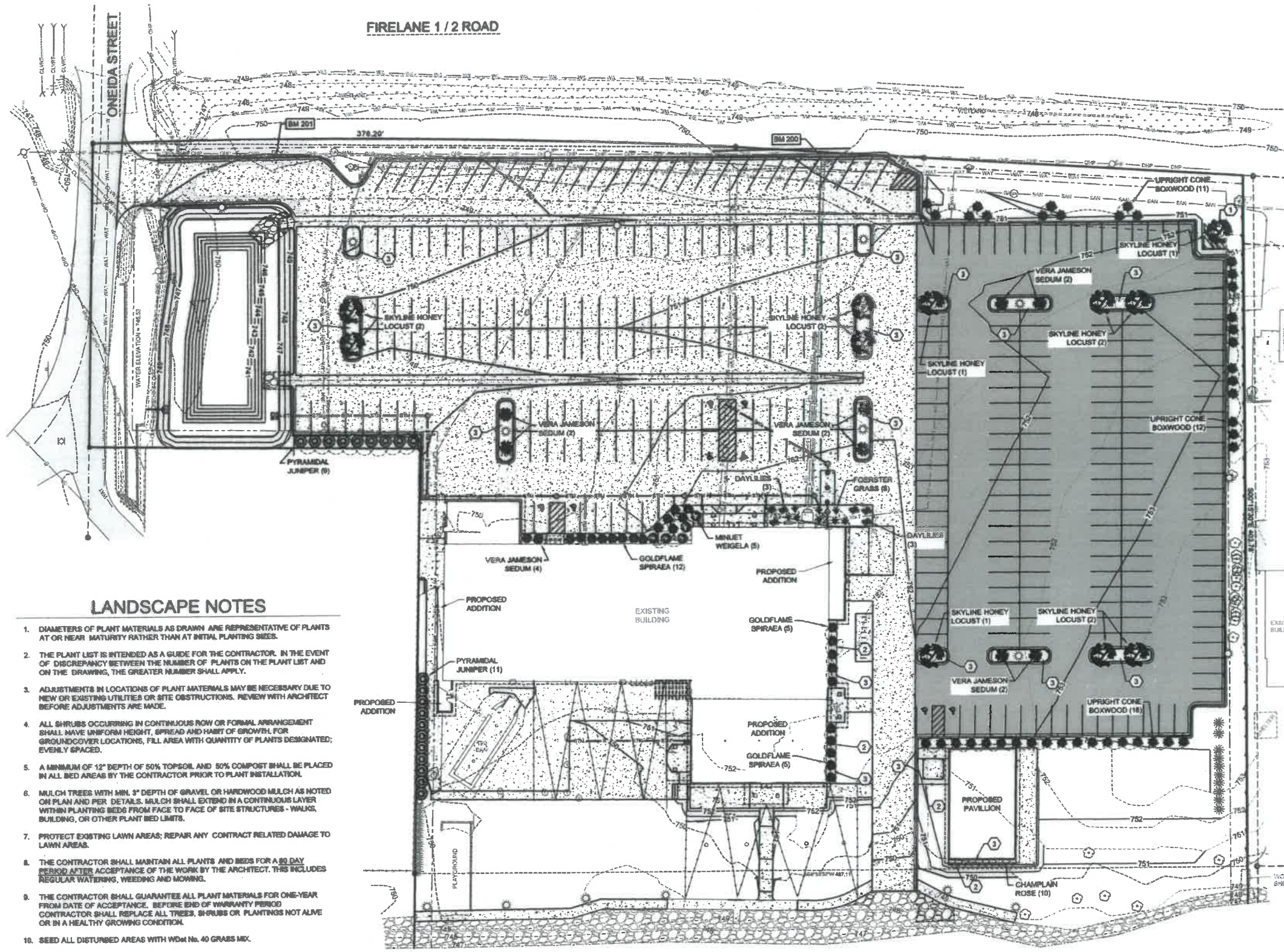
PROJECT:
ANDUZZI SPORTS CLUB - WAVERLY BEACH
WAVERLY BEACH RENOVATION
 18770 FIRE LANE 1/2 ROAD
 MENAASHA, WI 54982

PROJECT NO.:

SHEET NO.:

L1.0

FIRELANE 1/2 ROAD



LANDSCAPE NOTES

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
5. A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
6. MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
7. PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
8. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 90 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
9. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
10. SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.

PLANT TABLE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
●	SKYLINE HONEY LOCUST	GLEDTISIA TRICANTHOS INERMIS 'SKYCOLE'	11	2 1/2"
●	UPRIGHT CONE BOXWOOD	BUXUS 'UPRIGHT CONE'	29	36"
●	PYRAMIDAL JUNIPER	JUNIPERUS SCOPULORUM 'PYRAMIDALIS'	19	36"
●	GOLDFLAME SPIRAEA	SPIRAEA X BUBALDA 'GOLDFLAME'	22	3 GAL
●	DAYLILIES	HEMEROCALLIS	6	1 GAL
●	FOERSTER GRASS	CALAMAGROSTIS X ACUTIFLORA	8	1 GAL
●	VERA JAMESON SEDUM	SEDUM 'VERA JAMESON'	12	1 GAL
●	MINUET WEIGELA	WEIGELA FLORIDA 'MINUET'	6	3 GAL
●	CHAMPLAIN ROSE	ROSA 'CHAMPLAIN'	10	3 GAL

R:\Jobs\1911-01-21 Waverly Beach AnduzziSportsClub\1911-01-21 Landscape.dwg 2/19/2022 2:32:11 PM



Luminaire Schedule						
QTY	TYPE	MFR	PART NUMBER	LLF	Lum. Watts	Total Watts
1	OA2	Lithonia	DSX1 LED P4 xdk T2M (volt) (mount) (finish) + 20' POLE + 3' BASE	0.950	125	125
3	OA3B	Lithonia	DSX1 LED P4 xdk BLC (volt) (mount) (finish) + 20' POLE + 3' BASE	0.950	125	375
1	OA4	Lithonia	DSX1 LED P4 xdk T4M (volt) (mount) (finish) + 20' POLE + 3' BASE	0.950	125	125
3	OA5	Lithonia	DSX1 LED P4 xdk T5M (volt) (mount) (finish) + 20' POLE + 3' BASE	0.950	125	375
4	OA5W-2	Lithonia	(2) DSX1 LED P4 xdk TSW (volt) (mount) (finish) + 20' POLE + 3' BASE	0.950	125	1000
6	OB2	Lithonia	KBR8 LED 16C 530 xdk SYM MVOLT (finish)	0.950	28	168

Calculation Summary					
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN
Parking Lot	1.33	4.4	0.2	6.65	22.00



#	DATE	COMMENTS
REVISIONS		

DRAWN BY: JS
 DATE: 2 / 15 / 2022
 SCALE: 1" = 30'-0"

ANDUZZI'S SPORTS CLUB
 WAVERLY BEACH
 MENASHA, WI
 SITE LIGHTING PLAN

DIVISION 28-IV-2 OUTDOOR USE OF SOUND AMPLIFYING DEVICES

[28-121 Findings Of Fact](#)

[28-122 Permit Required](#)

[28-123 Application](#)

[28-124 Time Of Filing](#)

[28-125 Fee](#)

[28-126 Public Meeting Notice](#)

[28-127 Investigation](#)

[28-128 Granting Of Permit](#)

[28-129 Appeals](#)

[28-130 Abatement Orders](#)

28-121 Findings Of Fact

The Village Board finds that excess noise and excessive vibration can degrade the environment of the Village to a degree which is harmful and detrimental to the public health, safety and welfare of its inhabitants and interferes with the comfortable enjoyment of life, property and recreation therein and causes nuisances. The Village Board further finds that no one has any right to interfere with comfortable enjoyment of life, property and recreation within the Village by creating excess noise or excess vibration by the use of sound amplification devices which may unreasonably interfere with normal pursuits of life and recreation or the health and welfare of the Village's inhabitants.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-122 Permit Required

Except in cases of clear emergency, no person within the Village, excluding businesses which are on a fixed site and have drive-through services, auction services, and other like-oriented businesses that use loudspeakers to service customers shall operate or permit operation outside of a reasonably soundproof enclosure, any loudspeaker, public address system or similar sound amplifying device without first obtaining a permit from the Village Board as provided in this section.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-123 Application

An application for an outdoor sound amplification permit shall be filed with the Village Clerk on forms provided by the clerk as approved by the Village Board and shall include at least the following information:

- (a) History of the applicant relative to the applicant's fitness to hold a permit.
- (b) The dates and times for which the applicant is applying and the type of equipment to be used.
- (c) The premises or area of the Village where the sound amplifying equipment will be used and the anticipated affected area.
- (d) A sworn statement of the applicant that all information provided in the application is true and correct.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-124 Time Of Filing

Each application for an outdoor sound amplification permit shall be filed with the Village Clerk at least 30 days prior to the date on which the permit is proposed to be used and at least 15 days prior to granting of the permit. If a permit is not turned in timely, but time allows for the clerk to do all the necessary legal publication and notice requirements, the clerk will use his/her discretion in accepting the permit for processing.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-125 Fee

The nonrefundable fee for an outdoor sound amplification permit shall be as set forth in the Village fee schedule to cover the cost of publication and mailing and shall be paid at the time of filing the application for the permit.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-126 Public Meeting Notice

No permit shall be granted until after a public meeting is held thereon in accordance with this section. The Village Clerk shall schedule a public meeting before the Village Board on the granting of the permit. A representative of the applicant shall attend the public meeting. The clerk shall notify all property owners within a radius of 300 feet of the site for which the permit is sought at least ten days before the meeting. Notice shall be given by first class mail.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-127 Investigation

The Village clerk shall refer each application for a permit to the Village Board which shall conduct an investigation as to the advisability of granting the permit as it deems necessary or desirable to protect the public interest described in section 28-112.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-128 Granting Of Permit

- (a) No permit may be granted until and unless the Village Board by a majority vote has authorized granting of the same.
- (b) If the Village Board decides not to issue a permit it shall notify the applicant of its decision in writing and state the reasons therefore.
- (c) Permits shall contain the date of issuance, the amount of fee paid and the name of the permittee. No permit shall be valid at times or dates other than as stated on the face thereof, nor for longer than four months.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-129 Appeals

Any applicant aggrieved by the Village Board's denial of a permit may within thirty (30) days after the written denial commence an action seeking the remedy available by certiorari.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015

28-130 Abatement Orders

In lieu of or in addition to issuing a citation or complaint, any law enforcement officer may issue an order requiring the immediate abatement of any source of sound in violation of this article.

HISTORY

Adopted by Ord. [V15-12](#) on 6/30/2015



CALUMET COUNTY PLANNING DEPARTMENT
206 COURT STREET
CHILTON, WI 53014-1198

CHILTON: (920) 849-1442
APPLETON/SHERWOOD: (920) 989-2700 EXT. 442

FAX: (920) 849-1481
WEBSITE: www.co.calumet.wi.us

February 14, 2008

Rock II, LLC
N8770 Firelane 1
Menasha, WI 54952

Dear Waverly Beach Property Owners:

I am writing in regard to the conditional use permit application and land use (building) permit application submitted to our department. Both permits have now been issued.

Enclosed is the conditional use permit granted by the Calumet County Planning and Zoning Committee on February 7, 2008, authorizing the expansion of the tavern to the patio ("tiki bar" area), and, the operation of a commercial entertainment facility, all from your property known as the "Waverly Beach Sports Bar" at N8770 Firelane 1 in the Town of Harrison.

Be advised the permit has been issued subject to conditions. Acceptance of the enclosed permit shall deem acceptance of the conditions listed. The following are the conditions established by the Planning and Zoning Committee:

1. To rectify the violation with the existing parking lot, the existing parking lot be re-striped in compliance with the dimensional standards of the Calumet County Shoreland Zoning Ordinance within three years of the issuance of the conditional use permit. To guarantee the parking lot does not become further non-compliant, when re-striped, the stalls meet all new dimensional and setback standards of the zoning code in effect at that time.
2. The existing gravel/grass area east of the building be paved and striped to create an additional 178 code complying stalls. The owner work with an engineer to design the lot so water does not runoff into Lake Winnebago or onto neighboring properties. The parking lot is to be installed, paved, and striped prior to Memorial Day 2008.
3. To minimize potential adverse impacts drivers, passengers or trespassers could have on neighboring properties, parallel to the east lot line, a solid six foot high fence be installed (in compliance with all setback provisions), and, between the setback provision and the ordinary high water mark a thick vegetative buffer (such as a cedar hedge) be planted capable of reaching a height of ten feet within five years. The fence shall be earth tone in color and shall be maintained. Said fence shall be installed and hedge planted prior to Memorial Day 2008. (Be sure to check with the Planning Department and the Town of Harrison to determine if a permit is necessary.)
4. "No parking" signs shall be posted in appropriate locations to prevent parking on private property and along private roadways. Neighbors and the Town of Harrison shall be consulted to determine where the signs shall be placed. (The town shall be consulted to ensure the sign locations do not inhibit fire access or be in conflict with any town regulation).
5. There shall be no portable or temporary sanitary waste disposal systems, such as "porta-potties",

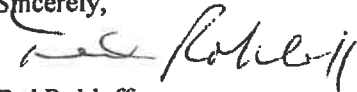
on the property. If existing facilities within the building are inadequate to serve the number of customers, the owner shall either provide more facilities within the building, or, limit the number of patrons.

6. The number of tables, chairs and barstools outside the building shall be limited to the number portrayed on plans submitted to the Calumet County Planning Department October 26, 2007.
7. No new lighting shall be installed around the patio area ("tiki bar" area).
8. The only music allowed outside the building shall be acoustic.
9. There shall be no amplification to the outside patio area ("tiki bar" area).
10. Outside music shall not begin prior to 11:00 a.m. (that includes testing of equipment) and shall cease by 7:00 p.m.
11. The outside patio area ("tiki bar" area) shall be closed to the public by 11:00 p.m.
12. "Quiet Rock" or other similar material shall be installed in the building to minimize the potential for interior noise to be heard outside the building beyond the confines of the property. The material be installed by Memorial Day 2008, and be evaluated within three months to determine if it is adequate or if additional material needs to be installed to minimize noise emanating from the building. (Please call the Planning Department as soon as it is installed so we may know when to re-inspect the property for compliance with this condition.)
13. Noise levels shall not exceed the following levels when measured at any point along Waverly Beach's north, east and west property lines:
 - Between 7 a.m. and 10:00 p.m. noise shall not exceed 57 dB(A)
 - Between 10:01 p.m. and 6:59 a.m. noise shall not exceed 52 dB(A)Levels shall be measured with a sound level meter set to the A-weighting scale and in the FAST response mode. A windscreen shall be mounted on the microphone. On-site vehicle noise shall be exempted from these noise level limitations; measurements shall not be taken when vehicles are entering or leaving the property.
14. If windows or doors are opened for ventilation purposes, the music inside the building shall be turned off prior to opening and shall remain off until the windows and doors are closed.
15. The petitioner comply with all applicable Town of Harrison Ordinances.

Now that the conditional use permit has been issued, we are in a position to issue the land use permit. Enclosed is the land use permit issued authorizing the remodeling of the interior of the building per plans submitted to the Planning Department in 2007, and, an additional 5790 square feet of concrete on the water side of the building, per staff inspections in 2007. No additional remodeling or concrete is to be added prior to the issuance of a new permit or written authorization by our department.

We urge you to contact our department after the parking lot, screening, fence, and Quiet Rock have been installed so we can inspect for compliance with these permits. Should you have any questions, feel free to contact me.

Sincerely,



Ted Rohloff
Code Administrator

Enc. Permits

Copy w/enc.: Menn Law Firm, Attn. Steve Frassetto
Calumet County Corporation Counsel
Town of Harrison
Neighbors who testified at meetings

February 22, 2022

To: Village of Harrison, Planning and Zoning Committee

Re: Expansion and Renovation of Waverly Beach Bar and Grill

Thank you for the opportunity to speak at the committee meeting February 15, 2022. I appreciate your open forum to discuss expansion and renovation plans for Waverly Beach Bar and Grill. It was refreshing to discuss our neighborhood involvement and history of interaction with past owners, new owners, implementation of Noise Ordinance, Conditional Use Permit, and the hard work that we have done as a collective group of neighbors to address these concerns.

Living within two blocks of this entertainment venue generates several areas for concern; parking overflow, egress from the property to Fire lane 1/Brighton Beach Road, egress from the shoreline to anchored boats, noise, existing tree coverage of shoreline and lot line areas, past neighborhood efforts to minimize impacts. For further detail please refer to letter written and distributed 2/8/2022.

Disappointment with sturgeon opening celebrations on the Waverly's property on 2/12/2022, an outdoor tent featured earth pounding, amplified music, all afternoon, followed by an evening of indoor, amplified music, prompted this follow up letter. My impression of living near the Waverly with its new ownership group leaves me frustrated that .2 mile distance from the entertainment venue I could clearly hear the music, feel the ground shake, also leaving me in doubt whether our new neighbors respect our neighborhood by complying with local ordinance and permits.

Especially worrisome is their request to expand the building footprint, encourage more patrons, and make other improvements increasing traffic to this area. This is not an occasional event, a unique scenario. Rather, the music calendar for the Anduzzi Waverly includes live music booked every weekend through the end of February; 2/18, 2/19, 2/25, 2/26.

This past weekend, on 2/20/2022, the shoreline roiled with noise making swamp buggies' loud exhaust sounds, screaming their tires on the shoreline. Included in this melee of snowmobiles, ATVs, etc., was a double decker modified swamp buggy, filled with people. It slowly cruised up and down the shoreline; loud music with low bass clearly audible from my home, overcoming the televised Badger vs Wolverine basketball game. This was another indication of what continues to be an issue with our Waverly neighbors, continually disrupting neighborhood peace, either through planned events or through lake access allowed from their property.

To add insult to injury, I had to slam on my brakes driving east on the Brighton Beach curve nearing the Waverly driveway. A sturgeon spearer, shanty in tow, never looked left while he quickly exited the Waverly property, nearly hitting me in the process! Fortunately, I was able to stop in time. Increased traffic on the pavement, trebled by two loud lanes of roaring, racing traffic on the ice, impresses upon me the dire need for permits and ordinance enforcement. The noise alone is obnoxious, added to it, more vehicular and shoreline traffic, increases the level of frustration for homeowners eager for respite while in their own dwellings.

Please reassure the neighborhood that these troubling events will be taken into consideration when authorizing changes to the existing building footprint, Conditional Use Permit, and enforcement of Noise Ordinances, or any other exceptional requests made by the new owner group.

Thank you again for your consideration in this matter and providing an open forum for discussion.

Sincerely,



Pamela A Schoenecker
1764 Brighton Beach Road
Fox Crossing, WI 54952

920-277-4554

Cc: Waverly Beach Owners

Cc: Village of Fox Crossing



RECEIVED
FEB 22 2022
HARRISON PLANNING

Dear Pamela,

Thank you for reaching out. We are excited to be a part of a location that holds so much history within the Menasha area. Our goal is to continue to develop the property to provide an enhanced experience for both customers and the neighborhood, to improve what has been a long-standing icon for the community on Lake Winnebago.

We appreciate your candor in sharing your concerns, and we feel confident that they are already in the process of being addressed. We too, see the value in executing many of the changes you have brought to light.

Our plans for the parking lot include a safe, organized, aesthetically pleasing area that provides an inviting introduction to the newly remodeled venue. We believe you will be pleased with the addition of 100 parking spaces, a fully paved lot (completely lined for parking), and a thoughtful lighting strategy to improve the visibility. All of these changes are intended to provide direction for vehicles, deter unwanted activity through better visibility, and offer additional parking.

Although this new lot will also be more aesthetically pleasing, there are other initiatives in the plan that will further enhance aesthetics, while ensuring specific functional objectives are met. These initiatives include the addition of two retention ponds in the lot, to ensure water direction is managed as appropriate. From a foliage perspective, there will be more trees, shrubs and landscaping added to the property, with a twofold plan of enhancing appearance, while also accomplishing an additional barrier for sound.

Cleaning up the overall property, improving safety and providing greater conveniences for our guests is a formula we believe is critical to success, as well as being a good neighbor. We are pleased to share that a new footbridge is also part of our planned improvements, as well as a stop sign at the street as you enter the property.

Our intent is to work very closely with the Village of Harrison to ensure we do everything we can to create a destination in Menasha that can not only be a successful business model, but also accomplishes the goal of assisting in the development of the community. To that end, we fully anticipate coming to an agreement together that is respectful to all involved.

Again, we appreciate your concerns and we are encouraged to see we have much common ground relative to over all improvements to the experience at Waverly Beach.

Sincerely,

Three handwritten signatures in black ink. The first signature is "Lisa Szymanski", the second is "Andy Szymanski", and the third is "Mac Cisar".

Lisa & Andy Szymanski, Mac Cisar

Cc: Village of Harrison

Cc: Village of Fox Crossing

February 11, 2022

Jack and Mary Couillard
1777 Brighton Beach Rd.
Menasha, WI 54952
920-734-0894

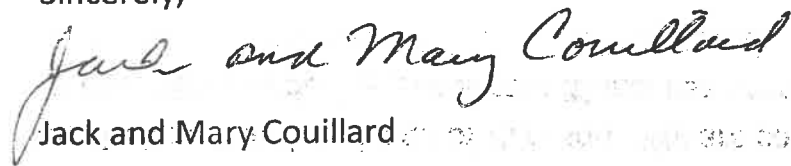
Village of Harrison Planning and Zoning Commission

Dear Commissioners,

We are concerned residents that live near to Waverly Beach Restaurant which is on Firelane 1 in the Village of Harrison. We are concerned that the Village of Harrison is considering a new conditional use permit for Waverly Beach. Our concern is that the permit does not allow outside amplified music. Under previous ownership, the volume was so loud that we could not hold a conversation outside without yelling. We live 9 houses from the county line in Winnebago County.

Please be aware that your proposed conditional use permit will have an affect on us. We hope the conditional use permit does not allow outdoor amplified music and restricts indoor amplified music. Contact us if you would like to discuss more.

Sincerely,


Jack and Mary Couillard

February 8, 2022

To: Waverly Beach Owners

Re: Expansion and Renovation of Waverly Beach Bar and Grill

The Waverly Beach entertainment venue is an historic, convenient source of food and entertainment. I enjoy this convenience, take advantage of their hospitality, and now, appreciate their willingness to listen to neighbors and comply with limitations placed on their enthusiastic music and patrons. Knowing the new owners have this same enthusiasm for entertainment, it is important for me to address ongoing concerns from my perspective, so that we can live as good neighbors. I would like to be comfortable and continue to patronize the new organization. My hope is that we can collaborate to create a good situation for everyone involved.

I am writing in regard to address issues and concerns involving the above construction and proposed expansion. Living within two blocks of this entertainment venue generates several unique areas for improvement; parking overflow, egress from the property to Firelane 1/Brighton Beach Road, egress from the shoreline to anchored boats, noise, existing tree coverage of shoreline and lot line areas, past neighborhood efforts to minimize impacts.

Parking overflow traditionally includes parking on the north side of Brighton Beach Road. On a regular basis, Waverly patrons park in front of my house, pulling off the pavement onto my front yard. Car wheels rut into the grass creating a muddy mess. Additionally, people have parked across the end of my driveway limiting entrance & exit. There are times when there is no parking available on Brighton Beach. My understanding is that there are vacant parking lots near the Waverly under consideration for special events parking. I am concerned this is only a temporary solution as eventually these properties may be sold.

I also understand that there will be new parking spaces added when the gravel area of the Waverly is resurfaced. Please reassure neighbors that this will be in compliance to permeable surface restrictions with water directed in an appropriate manner. Upon viewing architectural plans during the neighborhood meeting, I did not see water retention ponds, and have concern about run off into the lake. Additionally, living near water level in a flood zone, to protect the safety of personal property from flooding, it is critical that permeable surface requirements are strictly enforced.

Speed limits on Brighton Beach Road are 15 miles per hour. As patrons enter and leave the Waverly, they do not have to stop, yield, or slow down. I have had to jump off the road onto the neighbor's lawn as patrons exit the facility. We have disabled and elderly folks that live on this street, dog walkers, bicyclists, pedestrians, using the pavement to enjoy scenery around the lake. Being very careful as I walk near Waverly, I am concerned that not everyone is as wary of the traffic there and someone may be hurt. Any construction traffic should be routed away from Brighton Beach Road. Routinely the 15 mph limit is not adhered to, causing concern among neighbors for safety.

As an occasional patron of the Waverly, I also have concern for the customers who park their boats and climb onto shoreline. On any given weekend there can be as few as 25, or as many as 95 boats anchored on the sand bar in front of the Waverly. Currently, a small algae covered temporary footbridge allows access for these customers. It is an inappropriate solution, slippery and dangerous. I was disappointed to see that nothing shown on the plans addresses this issue.

My property is located approximately two blocks west of the Waverly. While the noise from the Tiki bar, or amplified music is less audible, I must comment on the effect of music on my own property. I am nearly 1/3 of a mile from the Waverly, and while I can use ear plugs to block noise for sleep, there is no blocking the ground thumping bass that vibrates my house. During winter, though both my windows and Waverly's windows are closed, the ground is frozen, no leaves on trees to absorb sound, exacerbates the problem during colder months. As recently as the evening of February 4th, I laid awake feeling the thump from Waverly's live music. These vibrations and thumping beats continue regardless of season whenever music is playing at the Waverly.

Living near the water, sound carries very easily. In the past, part of the proposed noise solution for Waverly generated noise, included: construction of wooden walls, planting evergreen trees, closing windows, limiting times for music, regulating decibel levels. Accordingly, the vegetation; mature trees, hedges, act as a sound barrier for the neighbors but also aid repelling geese; help control shoreline erosion, absorb runoff, provide sanctuary to ducks and birds. Removal of these natural sound barriers is of great concern. I noticed that the architectural drawings did not show or include any of this vegetation.

Grateful that the new owners of Waverly invited the neighbors to voice their concerns, I see that we can collaborate to create a comfortable situation for all involved. The Waverly is a locally favorite venue, with convenient food options, offers scenic views for patrons, includes the boating public, and employs our neighbors. Let's work together, address these concerns, have fun, establish a collaborative working relationship between new owners and property owners so that we can enjoy our residential properties along with commercial properties in our neighborhood.

Eternally an optimist, there can be creative, honorable solutions that respect both sides of this issue. In regard to parking, for example, during one of the largest crowds gathering at Waverly Beach last summer, I noticed my entrepreneurial neighbors parking cars on vacant areas on their own property. Brighton Beach was full of cars and customers were happy to pay \$5.00 to park in neighborhood driveways. Is this a possibility for future overflow parking? Or, can the neighbors be compensated for these above inconveniences and annoyance? Perhaps Waverly could offer a neighbor discount for bar or food service? Can more traffic control occur near the entrance of the facility to better ensure pedestrian safety? Instead of cutting down the existing trees and shrubbery, perhaps more can be added to help absorb sound? Collaboration and respect for each other can help make our neighborhood fun, peaceful, and relaxing.

Who we should call if there is complaint that needs to be addressed? It is very confusing to live in Winnebago County/Village of Fox Crossing, address concerns of Waverly Beach located in Calumet County/Village of Harrison, while lake issues belong to the Wisconsin Department of Natural Resources, not forgetting that we can also attempt to call authority at the Waverly as well. If we could have direction in that matter it would be greatly appreciated. Who should we call?

Finally, I would ask that we find common ground, rely on the neighbor's previous work with the above mentioned authorities, and move forward with continued progress. This is not the first time we as a neighborhood have organized to address our concerns. While I believe that progress has been made, it is frustrating to think that we are back to where we started. These weekly annoyances occur regularly. New owners purchased the property, so now we have to negotiate again for our own comfort? Are previous agreements regarding occupancy permits null and void with a new owner? I am struggling to see how expanding the venue capacity, and increasing parking lot size will allow for adherence to existing

ordinance. I ask for reassurance that we can live peaceably in our neighborhoods that surround the entertainment venue.

Thank you again for the opportunity to voice and address these residential concerns. I hope the new owners of Waverly find success in their new venture, and can assure the neighbors of compliance to noise ordinances, while respecting our neighborhood.

Sincerely,



Pamela A Schoenecker
1764 Brighton Beach Road
Fox Crossing, WI 54952

920-277-4554

Cc: Village of Harrison

Cc: Village of Fox Crossing

1823 Brighton Beach Rd.
Fox Crossing-Menasha, WI 54952-2911
February 8, 2022

Board of Commissioners
Village of Harrison Planning Dept.
W5298 State Road 114
Harrison, WI 54952

Dear Commissioners;

Very soon your commission will be considering an application from Waverly Beach Bar and Grille, N8770 Fire Lane 1 in the Village of Harrison for permits to expand their facilities and most probably to modify their existing business conditional use permit. This expansion will include additions to the size of their building, increasing the size of their outdoor entertainment area, paving of parking lots and installation of a great amount of additional exterior lighting.

In the past the members of the surrounding neighborhood have had many problems with entertainment band noise, outside bar noise, traffic and parking problems affecting the quality of their family's lives. Prior to the construction of this facility our neighborhoods on both the Harrison and Fox Crossing sides were extremely quiet and peaceful. When the former owners, Rock II LLC purchased the property they instituted a steady program of extremely loud outside and inside entertainment. A coalition of neighbors from both communities worked very hard with the Calumet County Planning and Zoning Commission to place limitations on the owners in the form of the current Conditional Use Permit. It is important to note that the conditions listed in that permit have been continuously violated by the owners since the time it was issued.

I would like to ask that the members of your commission give serious thought before granting changes to the current Conditional Use Permit. If changes are allowed, please consider that this area is primarily residential in nature and that the operations at Waverly have a large impact on the surrounding community. I appreciate your consideration on behalf of the residents in this matter.

Respectfully yours,


James F. Beson
jfbeson@gmail.com

February 2, 2022

Village of Harrison
Planning & Zoning Department
W5298 State Rd 114
Menasha, WI 54952

Dear Village Planner,

We are writing to you to express our hopes and concerns for the proposed expansion and renovation of the Waverly Beach Bar & Grille. We moved to the Village just over 2 years ago to escape the bustle of city living and start transitioning into the next chapter in life as we become empty nesters. Choosing this area was purposeful since growing up on Lake Winnebago decades ago. To come back to this place was a dream. And sharing a property line with Waverly we thought could be a perk, for the most part. We've come to understand there is a historical agreement on file called a Conditional Use Permit. However, we know firsthand that the agreement is not actively being monitored or respected.

- Noise - when there are inside bands, we can hear and feel the pounding of the music in our house. Sometimes we've had to turn up our TV just to drown out the noise. And the music, during these times, chooses our bedtime because it's impossible to fall asleep to the pounding. When there are outside bands or karaoke, the sound carries directly into our yards. Our hope is that through the Waverly renovation, innovative sound absorbing materials are used, vegetation plots are increased and/or noise reducing fence materials are used.
- Disturbances - the unpaved parking lot (aka gravel section) draws shenanigans to the property. Every week there are vehicles that use the gravel as a speedway or for burnouts. There have also been cars that park in the darkest area and sit there for hours or sleep in their cars. Or, visiting vehicles that appear to do a "trade." Our hope is that through the Waverly renovation, consideration is given to a security gate at the entrance in addition to security cameras.
- Boating Safety - bands and events draw in boaters in droves each summer. Both summers that we have lived here, boats have nearly drifted into our docks because their anchors have left loose. We had to jump into the water to secure them. The additional challenge has been who to contact in this case. Intoxicated boaters eventually realize their boat is not where they left it. Our hope is that between the Village, the DNR and Waverly, solutions can be devised to curb this issue.
- Access Point / Landing - in the summertime, the launch is not available - nobody is allowed to launch their boats. However, in the winter time, this is being used as a recreational access point to the lake. Disturbances are created with revving engines in the parking lot between cars, snowmobiles, ATV's, UTV's and other types of all-terrain

vehicles. We also had groups create bon-fires on the ice in front of our house, leaving behind trash and wood that we had to clean up. Public access to the lake in this area is at Firelane 8.

- Lighting - at this time, the parking lot and tiki area lighting do not impede on our outdoor activities or cause light challenges inside our home. It is our hope that the lighting expansion in Waverly's redesign does not increase the light pollution within our yards or homes.

Lastly, but not specific to the Firelane 2 neighborhood is road safety. During large events, like the WAPL concert, heavy vehicle traffic and pedestrian traffic cause safety issues and property damage, to our Brighton Beach neighbors. They have experienced being blocked in their own driveways and vehicles parking in their yards leaving behind deep divots and skid marks that they have to repair at their own expense. The roads are also dimly lit between Oneida Street, Firelane 1 and Brighton Beach. It's hard to see pedestrian traffic walking from the empty car lot to/from Waverly during overflow events. Our hope is that the Village of Harrison, Village of Fox Crossings, Calumet or Winnebago County can work together to improve the road markings/width, consider a pedestrian lane and/or roadside lighting and insert No Parking signs on Brighton Beach.

We truly hope that we can create and foster a beneficial neighborhood partnership with Waverly. We do believe that doing business in the Village of Harrison brings prosperity. As we join the public sessions to listen and to be heard, we truly are looking to strike a respectful, mutual understanding between property owners and business owners.

Sincerely,



Bill and April Hershman
W7265 Firelane 2
Menasha, WI 54952
920-740-8442 or 920-284-8950

Dear Village of Harrison,

I have been a neighbor to Waverly Beach for the past 26 years. During that time, my family has made a lifetime of memories, many of which involve Waverly Beach and the lake we share. Recently, Waverly Beach was purchased by new owners. As a result of this the neighbors were invited to review new upgrades for the property. While I am excited for new ownership and some of the plans they have, I have concerns regarding some of the proposed changes based on the history of the property and establishment.

I worked as a waitress at Waverly Beach for 13 years. I started when Waverly Beach was just an old, one room bar and was a part of their expansion to the new bar and banquet hall. I served Friday night fish, worked weddings, banquets, Sunday chicken and many holiday buffets. Waverly has always been a busy place. Friday night fish used to begin at 4pm, and by 530pm, there would often be a 1 to 2 hour wait for a table. My husband and I participated in both the indoor and outdoor volleyball leagues, as well as the horseshoe leagues. We attended several weddings, meetings and banquets at Waverly. Our snowmobile club used to hold its annual vintage snowmobile show there for many years. Some of the funds raised during this show were donated to the Harrison Volunteer Fire Department as well as many other Calumet County businesses.

Then Rock II, LLC bought the property. The Friday fish fries, classic weddings, banquets, Sunday chicken and Holiday buffets stopped as we knew them. It was decided that Waverly was to become an entertainment outlet. This brought increased foot and vehicle traffic, loud music, late night outside loud voices, fighting and vehicles doing donuts in the parking lot. Friday and Saturday nights have become "band nights," with warm up and practice sometimes beginning as early as 3 pm. The bands are loud, both during the summer months with the windows open and winter months with the windows closed. Outside conversations can be heard from several yards away. And parking has been, at times, a major problem. On some occasions there have been bands on Thursday, Friday, Saturday and Sunday nights. Most people can choose what bands and which night they would like to attend and then leave when they have had enough. As a close neighbor, I do not have the choice as to what band I will hear or how long I get to stay.

Historically, there have been parking problems, in where Firelane 1 and Firelane 2 have had cars parked on both sides of the street. I have witnessed patrons of Waverly, many of whom were intoxicated, walk down the dark streets to get back to their vehicles. The lack of street lights in the area and railroad tracks nearby creates a hazard for these patrons not to mention a risk for me as someone who must drive through that area to get to my home. There have been times when Waverly customers would park in my driveway and/or along the private drive, preventing me from leaving or returning home. I have worried about needing emergency assistance and emergency vehicles not being able to access my residence because of these parking/pedestrian issues.

In 2008, a conditional use permit was requested and adopted to help alleviate some of these problems. Though not fully enforced, the permit has allowed for reasonable co-existence.

In 2008, the parking lot was to be paved and striped. I believe this was not completed due to DNR regulations and Shore Land ordinances. As per the conditional use permit, a solid six foot high fence was installed and maintained which has been very helpful for privacy reasons. There is vegetation between the shore and high water mark, but a cedar hedge was never planted as outlined in the conditional use permit. "No Parking" signs were installed and proved to be helpful. However, the marina building parking lot, the corner business and used car parking lot have become offsite parking locations, which has created different issues. Patrons are now walking on the railroad tracks and continue to walk down roadways that are not lit. I am not sure if the number of tables, chairs and barstools outside the building were ever limited or enforced. The amplification of outside music has not always

been followed/enforced, but has been within reason. I do believe some type of "quiet rock" sound damping material was installed in the lower level and did help some, but the bass noise continues to be the most bothersome. The noise levels may not always be enforced, but limiting the hours of outside operation has made a difference for late night fights, conversations and music.

I am hopeful that a new agreement can be made, however I am concerned that even the original conditional use permit was not enforced and therefore eliminating the permit would exacerbate the issues. My family and our fellow neighbors have had the same concerns for the past several years and we would like for the village to acknowledge these concerns and ensure that they will act to protect the tax payers and citizens within its limits. These concerns and issues go beyond a "business model" and encompass the community surrounding Waverly. The proposed changes would significantly and negatively impact the already identified issues brought before the village. I believe that community input should be considered and the history of this property to be taken into consideration. We would like to see Waverly be successful and to continue seeing people, including ourselves, make memories along the north shore.

Susa Andrus

Dan Andrus

Mark Mommaerts

From: Bonnie McKenny <bmckenny22@yahoo.com>
Sent: Monday, February 7, 2022 5:41 PM
To: Mark Van Hefty; Allison Blackmer; Julene Baldwin; Darlene Bartlein; Scott Handschke; Matt Lancaster; Pete Stier; Mark Mommaerts
Subject: Concerns about Waverly Beach/Anduzzi's bar

We are Bonnie and Richard McKenny and live at 1831 Brighton Bch Rd, Village of Fox Crossing. Approximately two weeks ago, the neighborhood was invited to Waverly Beach Sports bar located at N8870 Firelane 1 in the Village of Harrison for a presentation of upgrades and remodeling that are proposed to the Waverly facility. Currently Waverly has a Conditional Use permit and land use permit with limitations since they are operating in a residential neighborhood.

I have many concerns since the presentation upgrades and new building appear to be in violation of the CUP that was granted in February 7, 2008. Although sometimes that CUP was violated by Rock II, LLC, the previous owners, as neighbors we worked to an agreeable solution to the situation.

The main concern is noise. The current CUP indicates that the only outside music is to be acoustic. The new plans indicates an outside stage built off of the new wing that is facing west towards my house. The plans show an extension off of the main building that would place it closer to the water. Does the 100 high water mark have to be considered for the extension? And there was mention of being within 35 feet of the water front. I do not want to hear the music and people at the Tiki bar especially sleeping at night. On the water the noise is always amplified. There was mention of garage door style walls that could be raised and let the music flow outside. This is in violation of the CUP. I do not know what style of music is planned at Waverly but I hate jazz music. I do not want to sit on my deck in the summer and have to listen to an afternoon of jazz music infringing on the use of my home.

I have concerns about runoff if the parking lot is paved. There was mention of 2 retention ponds being built. I assume the DNR and state will be involved with requirements for retention ponds.

There was plans for a bridal pavilion that was a separate building built in the east parking lot. I'm not sure if that building will just be used for the ceremony or if that will also be used for the wedding celebration. Mention of more outside lighting which is in violation of the CUP.

There is always a concern with traffic and parking. Because of Waverly parking concerns, Brighton Bch Rd has no parking on the south side of our road. This is to provide access for emergency vehicles. The roads around Waverly do not all have streetlights and I would not want to be responsible for hitting a person walking to their car that is parked a block away. My husband walks our dog daily and he has had to move to avoid cars coming out of and into Waverly. Waverly should have a STOP sign coming out of their property.

From the presentation, I feel that Waverly is of the mode to continue with plans and ask forgiveness later. If I heard right, they wanted to start construction in April and have it done by May.

Please review the CUP as it pertains to the property. I'm not sure of the business plan that Waverly/Anduzzi's has planned. I do not know if they plan on bringing big bands into the neighborhood or acoustic bands. More weddings. More outside music.

Rumor has it that the reason Rock II, LLC sold is because they could not run the business the way they wanted to but they continued to operate the business for 14 years after the approval of the CUP is 2008. My perception is that they drove away their regular customers by removing the volleyball courts, the dart leagues, raising their drink prices and going thru a period of poor food. They continued to have outside music on Sunday afternoons and the TIKI bar was open during the summer. The previous remodel of the wedding/banquet area inside is beautiful. Of course the past two years of covid hurt every business.

Please take the time to review the CUP for the property and how this will fit with the new owners business plans. Remember we are a residential neighborhood.

Thanks

Bonnie and Richard McKenny
1831 Brighton Beach Rd
Menasha WI 54952

email bmckenny22@yahoo.com
920 739 3770

PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manger

Meeting Date:

March 22, 2022

Title:

Certified Survey Map – Wruck/Luniak

Issue:

Should the Plan Commission recommend approval of a 3-lot Certified Survey Map to the Village Board?

Background and Additional Information:

The applicant is proposing a 3-lot Certified Survey Map (CSM) for the property located along North Shore Road, Location IDs 39526 & 39532. The purpose of the CSM is to reconfigure the property to split the property into three lots, partially for existing home site expansion, partially for a new home site, and partially for future development purposes.

Lot 1 is proposed to be 0.8678-acres and will include an existing home. This CSM will add 20-feet to the south side of the existing home parcel (ID 39532). Lot 2 is proposed to be 6-acres and can be a new home site. Lot 3 is proposed to be 27.5-acres and is mainly existing farmland. It is anticipated that Lot 3 could be sold for future development purposes. The CSM also dedicates right-of-way (ROW) for North Shore Road.

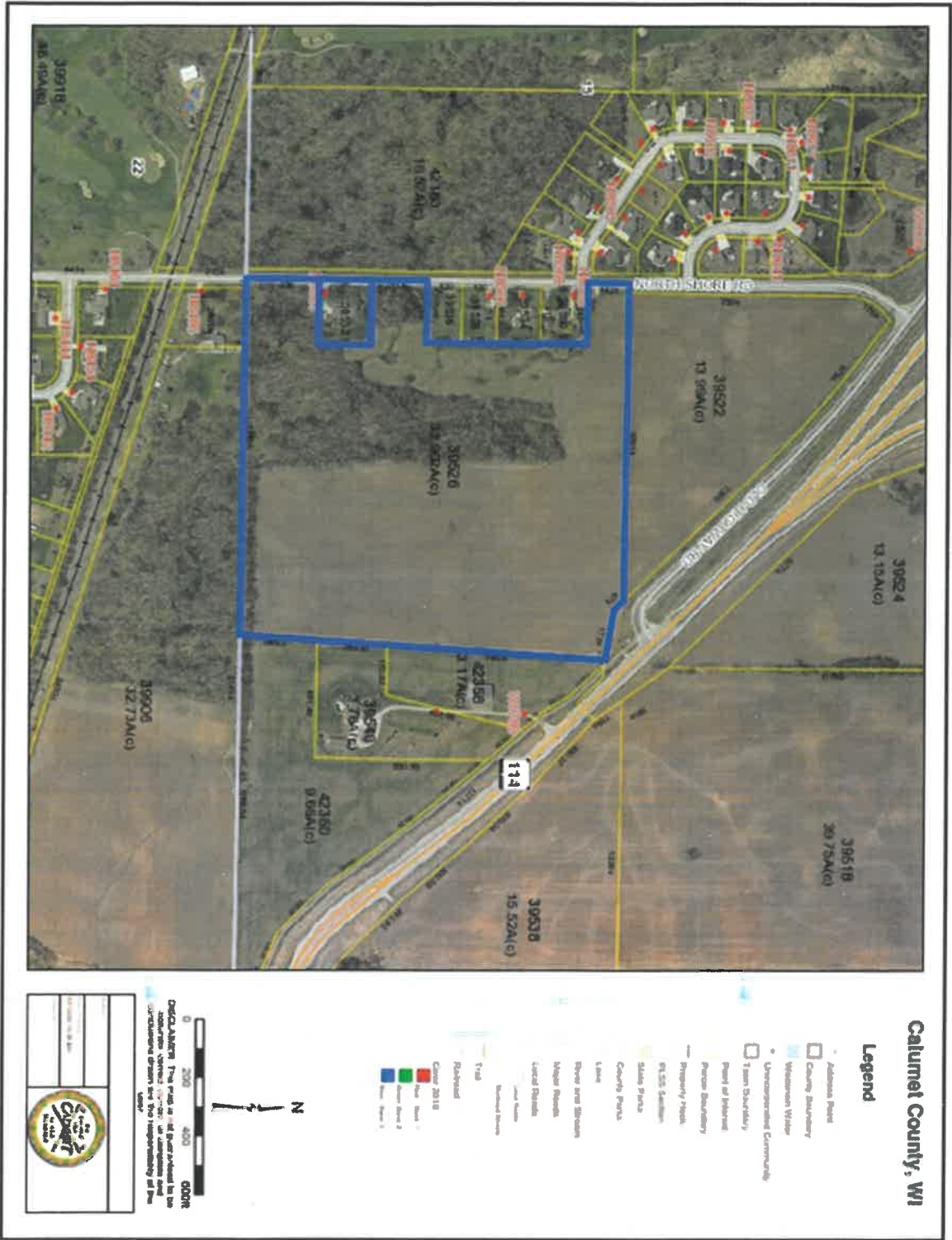
Recommended Action:

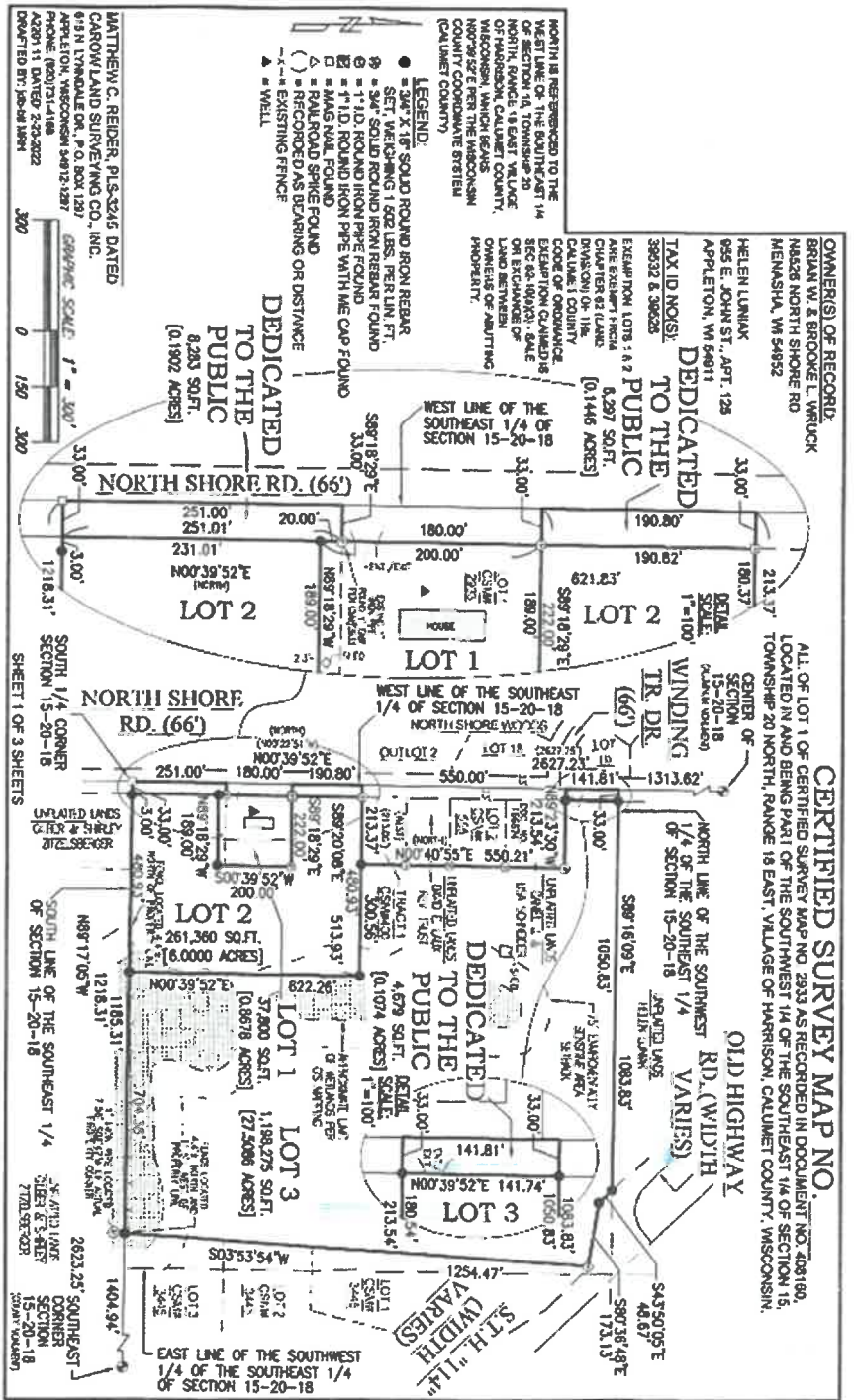
Staff recommends approval of the Certified Survey Map request as submitted.

Attachments:

- Aerial Map
- CSM

Aerial Map





CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2933 AS RECORDED IN DOCUMENT NO. 408160, LOCATED IN AND BEING PART OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MATTHEW C. REIDER, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2933 AS RECORDED IN DOCUMENT NO. 408160, LOCATED IN AND BEING PART OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH ¼ CORNER OF SECTION 15; THENCE N00°39'52"E, 251.00 FEET ALONG THE WEST LINE OF THE SOUTHEAST ¼ OF SECTION 15 TO THE SOUTH LINE OF CERTIFIED SURVEY MAP NO. 2933; THENCE S89°18'29"E, 33.00 FEET ALONG SAID SOUTH LINE TO THE EAST RIGHT-OF-WAY LINE OF NORTH SHORE ROAD; THENCE N00°39'52"E, 180.00 FEET ALONG SAID EAST RIGHT-OF-WAY LINE TO THE NORTH LINE OF CERTIFIED SURVEY MAP NO. 2933; THENCE N89°18'29"W, 33.00 FEET ALONG SAID NORTH LINE TO THE WEST LINE OF THE SOUTHEAST ¼ OF SECTION 15; THENCE N00°39'52"E, 190.80 FEET ALONG SAID WEST LINE TO THE SOUTH LINE OF TRACT 1 OF CERTIFIED SURVEY MAP NO. 400; THENCE S89°20'08"E, 213.37 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF SAID TRACT 1; THENCE N00°40'55"E, 550.21 FEET ALONG SAID EAST LINE AND ITS EXTENSION NORTHERLY TO THE NORTH LINE OF LANDS DESCRIBED IN DOCUMENT NO. 166874 AS MONUMENTED; THENCE N89°23'30"W, 213.54 FEET ALONG SAID NORTH LINE TO THE WEST LINE OF THE SOUTHEAST ¼ OF SECTION 15; THENCE N00°39'52"E, 141.81 FEET ALONG SAID WEST LINE TO THE NORTH LINE OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 15; THENCE S89°16'09"E, 1083.83 FEET ALONG SAID NORTH LINE TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF S.T.H. "114"; THENCE S43°50'05"E, 48.67 FEET ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE; THENCE S80°36'48"E, 173.13 FEET ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE TO THE WEST LINE OF CERTIFIED SURVEY MAP NO. 3445; THENCE S03°53'54"W, 1254.47 FEET ALONG SAID WEST LINE TO THE SOUTH LINE OF THE SOUTHEAST ¼ OF SECTION 15; THENCE N89°17'05"W, 1218.31 FEET ALONG SAID SOUTH LINE TO THE SOUTH ¼ CORNER OF SECTION 15 AND THE POINT OF BEGINNING. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF BRIAN WRUCK, N8526 NORTH SHORE ROAD, MENASHA, WISCONSIN 54952.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION ORDINANCE OF THE VILLAGE OF HARRISON.

MATTHEW C. REIDER, PLS-3245 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNDALE DRIVE, P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168
A2201.11 (RFR) DATED: 2-23-2022

VILLAGE OF HARRISON APPROVAL:

THIS CERTIFIED SURVEY MAP WAS APPROVED AND ACCEPTED BY THE VILLAGE OF HARRISON ON THIS ____ DAY OF _____, 20__.

VILLAGE PRESIDENT

VILLAGE CLERK

CERTIFIED SURVEY MAP NO.

BEING ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2933 AS RECORDED IN DOCUMENT NO. 408160, LOCATED IN AND BEING PART OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

AS OWNER (S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON.

I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S. 236.10 OR 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF HARRISON.

BRIAN W. WRUCK

BROOKE L. WRUCK

STATE OF WISCONSIN)

) SS

COUNTY)

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 20____, THE ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

OWNER'S CERTIFICATE:

AS OWNER (S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON.

I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S. 236.10 OR 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF HARRISON.

HELEN LUNIAK

STATE OF WISCONSIN)

) SS

COUNTY)

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 20____, THE ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

MATTHEW C. REIDER, PLS-3245 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDALE DRIVE, P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168
A2201.11 (RFR) DATE: 2-23-2022

PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manger

Meeting Date:

March 22, 2022

Title:

Zoning Map Amendment - Wruck

Issue:

Should the Plan Commission recommend approval of a zoning map amendment to rezone 20-feet of property from AG to RR to match the existing RR zoning on a parcel?

Background and Additional Information:

The applicant is proposing to rezone 20-feet of property south of N8526 North Shore Road, Location ID 39532, from General Agricultural [AG] to Rural Residential [RR] to match the existing zoning on the property. The applicant proposed a Certified Survey Map (CSM) to expand the property an additional 20-feet.

Findings of Fact:

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan of the Village of Harrison.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

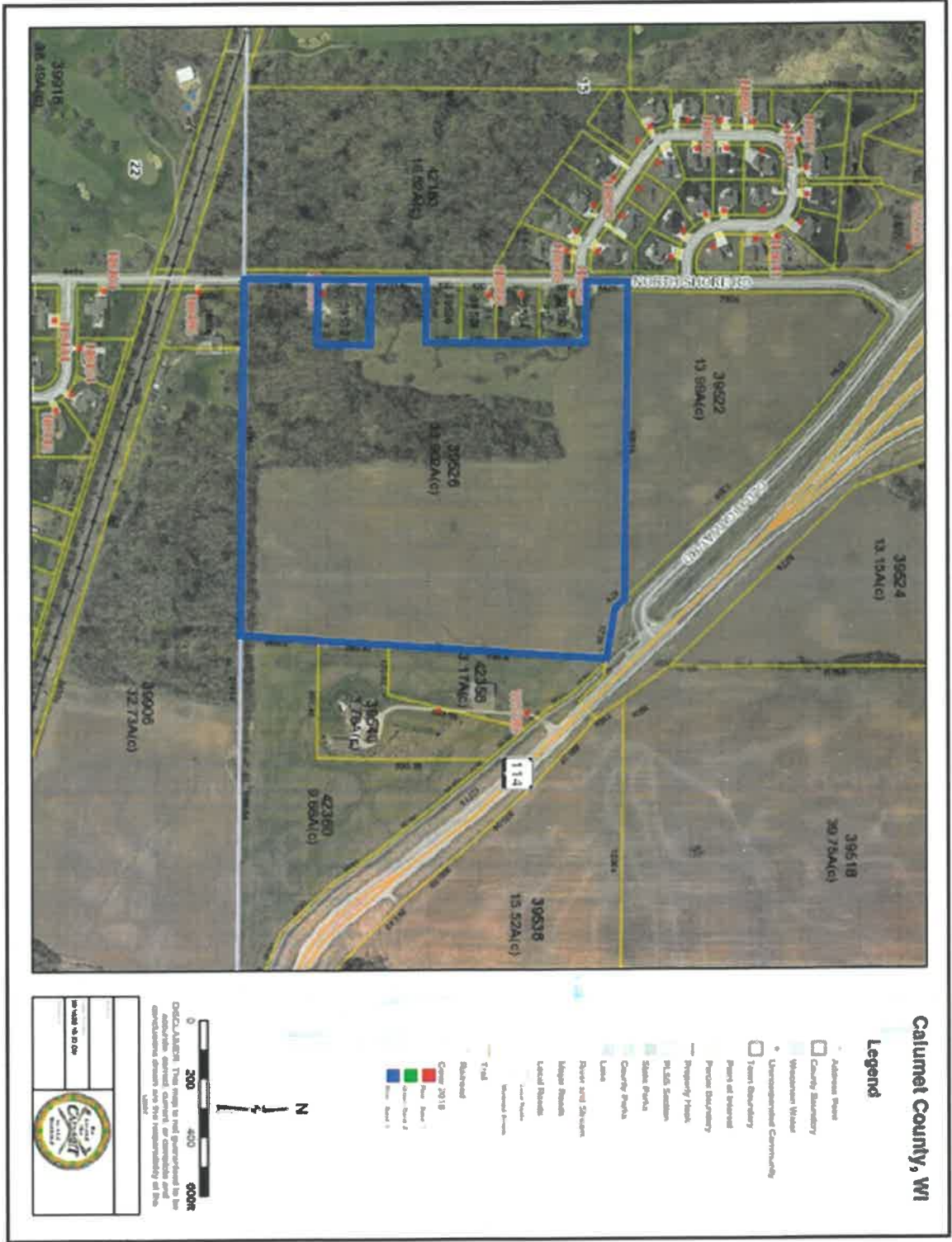
Recommended Action:

Staff recommends approval of the Zoning Map Amendment request as submitted.

Attachments:

- Aerial Map
- Zoning Map

Aerial Map



PLAN COMMISSION MEETING

From:
Mark J. Mommaerts, AICP, Assistant Village Manger

VILLAGE OF HARRISON

Meeting Date:
March 22, 2022

Title:
Certified Survey Map – Kimberly Clark Corp.

Issue:
Should the Plan Commission recommend approval of a 2-lot Certified Survey Map to the Village Board?

Background and Additional Information:

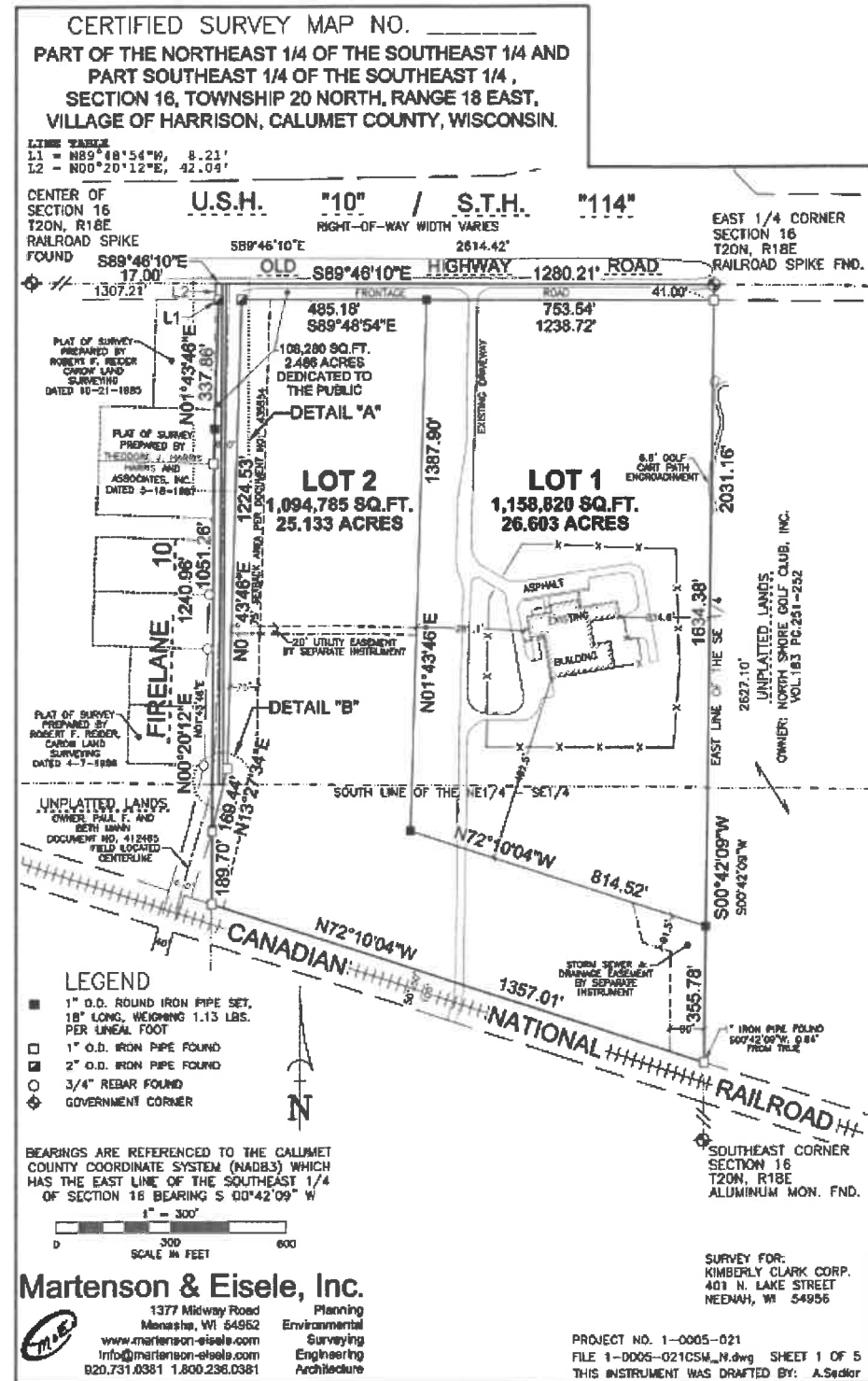
The applicant is proposing a 2-lot Certified Survey Map (CSM) for the property located at W6149 Old Highway Road, Location IDs 39566 & 39652 & 39654. The purpose of the CSM is to reconfigure the property to split the property into two lots, for development purposes. Lot 1 is proposed to be 26.603-acres and will include the existing building and driveway intersecting Old Highway Road. Lot 2 is proposed to be 25.133-acres. It is anticipated that Lot 2 will be sold for future development purposes. The CSM also dedicates right-of-way (ROW) for Old Highway Road and Firelane 10. The CSM also references two separate easement instruments. One easement is 20-foot wide that crosses proposed Lot 2 from Firelane 10 to proposed Lot 1 for Utility purposes, which will be for sanitary sewer to the existing building. The second easement is approximately 90-foot wide for storm sewer & drainage purposes, which will be for storm sewer from proposed Lot 1 to extend south to lands south of the railroad tracks also owned by the applicant.

Recommended Action:

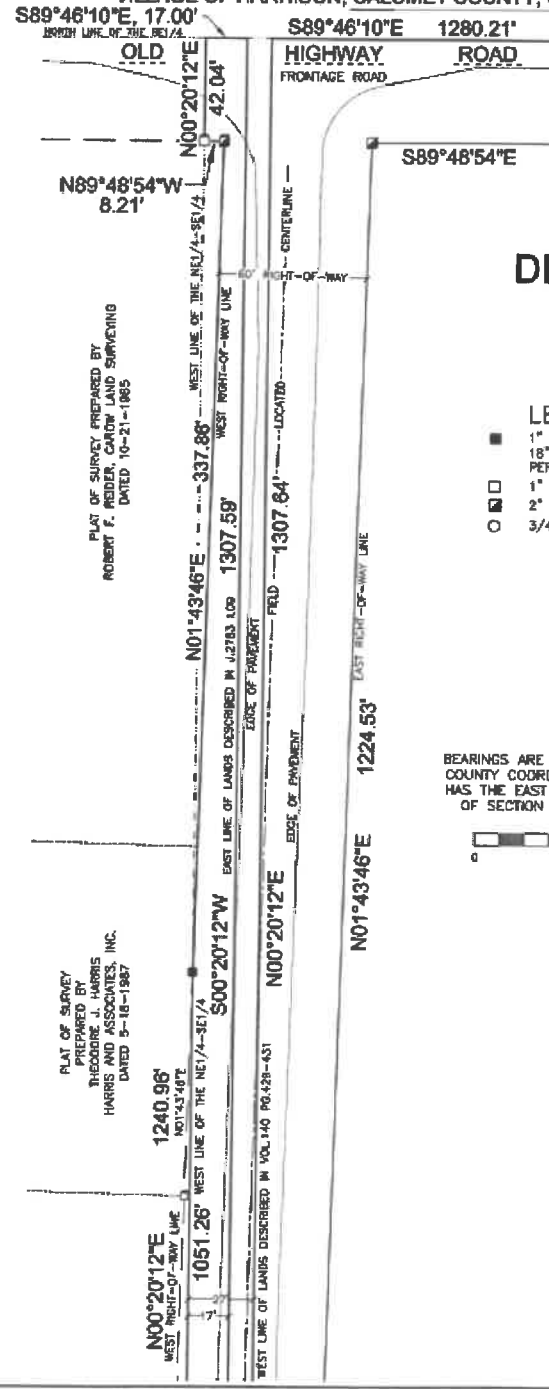
Staff recommends approval of the Certified Survey Map request as submitted.

Attachments:

- Aerial Map
- CSM
- Utility Easement exhibit
- Storm Sewer & Drainage Easement exhibit



CERTIFIED SURVEY MAP NO.
 PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND PART SOUTHEAST 1/4 OF
 THE SOUTHEAST 1/4, SECTION 16, TOWNSHIP 20 NORTH, RANGE 18 EAST,
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.



PLAT OF SURVEY PREPARED BY
 ROBERT F. DATED 10-21-1985

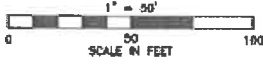
PLAT OF SURVEY
 PREPARED BY
 THORNDIKE J. HARRIS
 HARRIS AND ASSOCIATES, INC.
 DATED 9-18-1987

DETAIL "A"

- LEGEND
- 1" O.D. ROUND IRON PIPE SET,
18" LONG, WEIGHING 1.13 LBS.
PER LINEAL FOOT
 - 1" O.D. IRON PIPE FOUND
 - ▣ 2" O.D. IRON PIPE FOUND
 - 3/4" REBAR FOUND



BEARINGS ARE REFERENCED TO THE CALUMET
 COUNTY COORDINATE SYSTEM (NAD83) WHICH
 HAS THE EAST LINE OF THE SOUTHEAST 1/4
 OF SECTION 16 BEARING S 00°42'09" W



CERTIFIED SURVEY MAP NO. _____
 PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND PART SOUTHEAST 1/4 OF
 THE SOUTHEAST 1/4, SECTION 16, TOWNSHIP 20 NORTH, RANGE 18 EAST,
 VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, GARY A. ZARRINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, MAPPED AND DIVIDED AT THE DIRECTION OF KIMBERLY-CLARK CORPORATION, PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 16, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 16; THENCE SOUTH 00 DEGREES 42 MINUTES 09 SECONDS WEST, ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16, A DISTANCE OF 2031.16 FEET; THENCE NORTH 72 DEGREES 10 MINUTES 04 SECONDS WEST, ALONG THE NORTH RIGHT-OF-WAY OF CANADIAN NATIONAL RAILROAD, A DISTANCE OF 1357.01 FEET; THENCE NORTH 00 DEGREES 20 MINUTES 12 SECONDS EAST, ALONG THE WEST LINE OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 16, A DISTANCE OF 1240.96 FEET; THENCE NORTH 01 DEGREES 43 MINUTES 46 SECONDS EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF FIRELANE 10, A DISTANCE OF 337.86 FEET; THENCE NORTH 89 DEGREES 48 MINUTES 54 SECONDS WEST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF OLD HIGHWAY ROAD, A DISTANCE OF 8.21 FEET; THENCE NORTH 00 DEGREES 20 MINUTES 12 SECONDS EAST, ALONG THE WEST LINE OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 16, A DISTANCE OF 42.04 FEET; THENCE SOUTH 89 DEGREES 46 MINUTES 10 SECONDS EAST, ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16, A DISTANCE OF 17.00 FEET; THENCE SOUTH 00 DEGREES 20 MINUTES 12 SECONDS WEST, ALONG THE EAST LINE OF LANDS DESCRIBED IN JACKET 2783 IMAGE 09, A DISTANCE OF 1307.59 FEET; THENCE SOUTH 89 DEGREES 30 MINUTES 17 SECONDS EAST, ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, A DISTANCE OF 10.00 FEET; THENCE NORTH 00 DEGREES 20 MINUTES 12 SECONDS EAST, ALONG THE WEST LINE OF LANDS DESCRIBED IN VOLUME 140 PAGE 429-431, A DISTANCE OF 1307.64 FEET; THENCE SOUTH 89 DEGREES 46 MINUTES 10 SECONDS EAST, ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16, A DISTANCE OF 1280.21 FEET TO THE POINT OF BEGINNING. CONTAINING 2,361,885 SQUARE FEET [54.222 ACRES]. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE FULLY COMPLIED WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND WITH THE VILLAGE OF HARRISON SUBDIVISION ORDINANCE IN SURVEYING, DIVIDING AND MAPPING THE SAME.

THAT THIS MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

GIVEN UNDER MY HAND THIS 24TH DAY OF FEBRUARY, 2022.

GARY A. ZARRINGER, PROFESSIONAL LAND SURVEYOR S-2098

THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED INSTRUMENTS

OWNER OF RECORD:	RECORDING INFORMATION:	PARCEL NUMBERS:
KIMBERLY-CLARK CORPORATION	VOL.140 PG.429-431	131-39566 AND 131-39652
KIMBERLY-CLARK CORPORATION	J.2783 I.09	131-39654

CERTIFICATE OF THE VILLAGE OF HARRISON:

BE IT RESOLVED THAT THIS CERTIFIED SURVEY MAP, IN THE VILLAGE OF HARRISON HAS BEEN APPROVED AND ACCEPTED AS SURVEYED, MAPPED AND DIVIDED BY THE OWNERS SHOWN HEREON,

THIS _____ DAY OF _____, 2022.

VILLAGE PRESIDENT _____

VILLAGE CLERK _____

TREASURER'S CERTIFICATE:

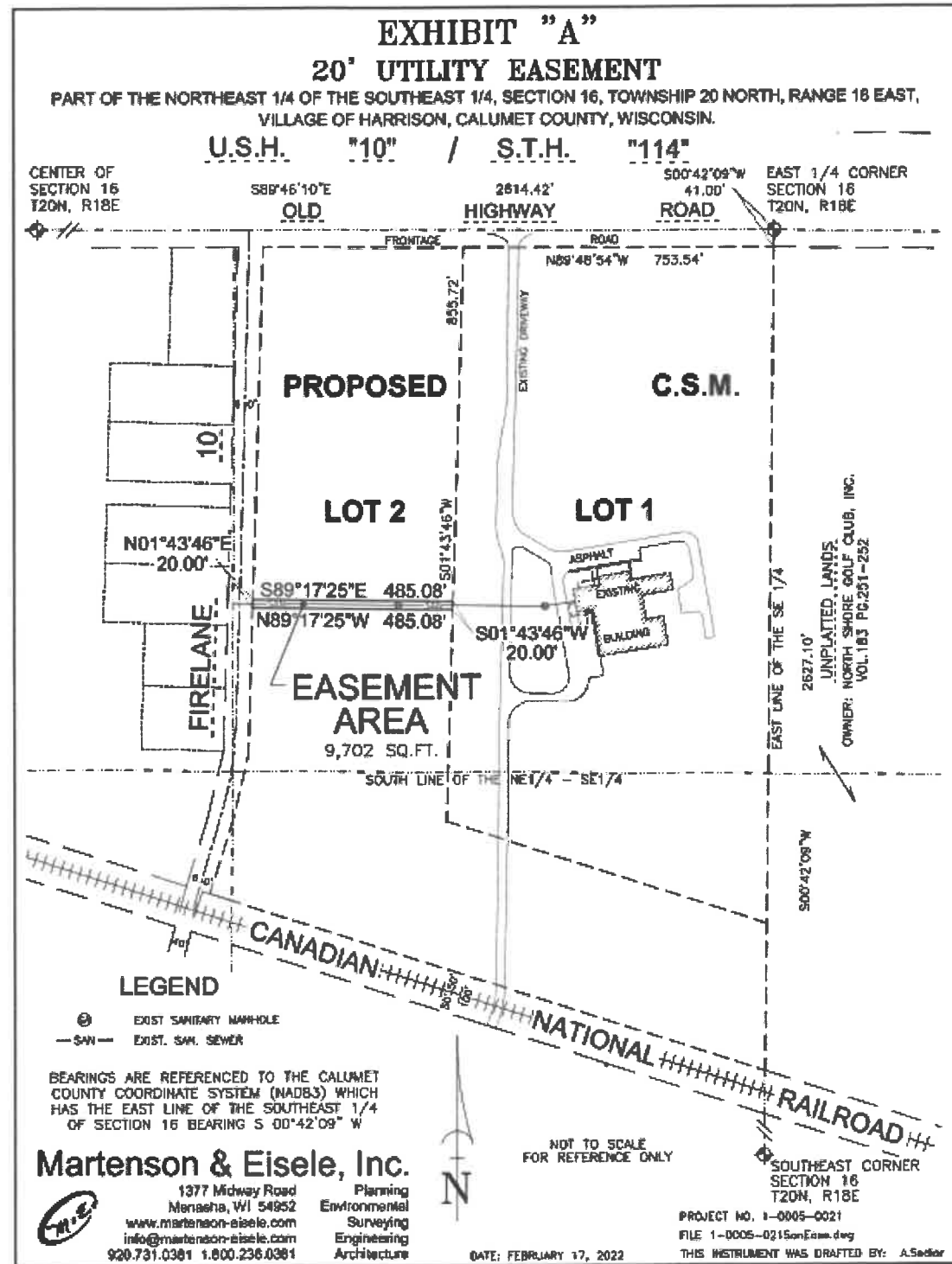
I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

VILLAGE TREASURER _____

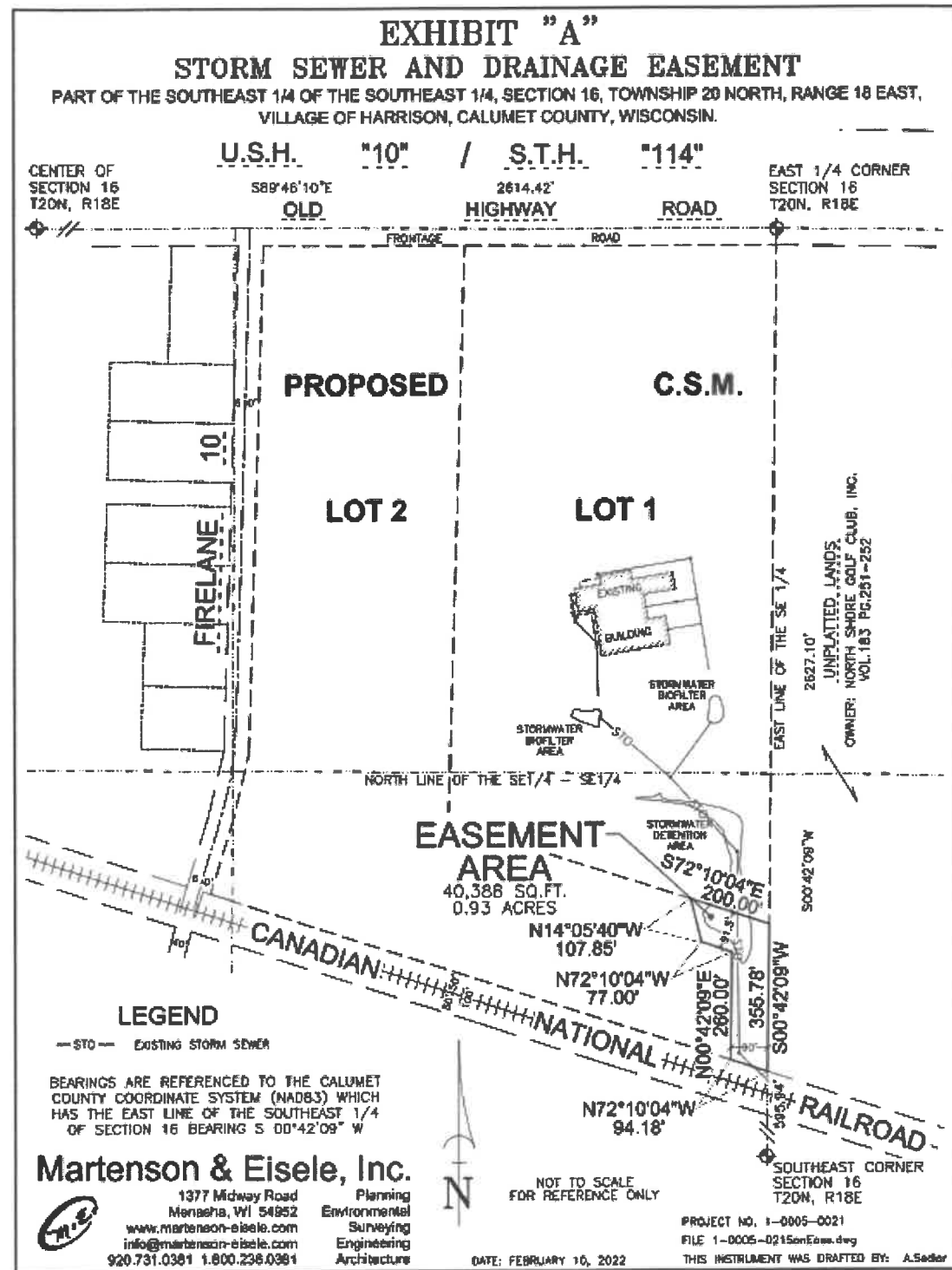
DATE _____

COUNTY TREASURER _____

DATE _____



Storm Sewer & Drainage Easement exhibit



PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

March 22, 2022

Title:

Comprehensive Plan Amendment – Golden (Withdrawn)

Zoning Map Amendment – Golden (Withdrawn)

Conditional Use Permit – Golden (Withdrawn)

Issue:

Should the Plan Commission recommend approval of a Comprehensive Plan Amendment from Single Family Residential to Multi-Family Residential, a Zoning Map Amendment from RS-1 to MF, and Conditional Use Permit for a 3-building multi-family development to the Village Board?

Background and Additional Information:

The applicant has withdrawn all applications... Comprehensive Plan Amendment, Zoning Map Amendment, and Conditional Use Permit. This is informational only as the Plan Commission moved to postpone action from February 15 to March 22. No action is necessary.

Information provided at February 15, 2022 meeting:

The applicant is proposing a 3 building multi-family development on lots at W5909, W5925 & W5941 Old Highway Road, Tax IDs 42188, 45590 & 45592. The property is currently zoned Single Family Residential (Suburban) [RS-1] and is identified as Single Family Residential (sewered) in the Comprehensive Plan. These were both approved in fall 2020 as a change from commercial to single-family residential. A Comprehensive Plan Amendment, Zoning Map Amendment (Rezoning), and Conditional Use Permit are proposed in order to develop the lots with 4-unit multi-family buildings. The proposed zoning will be Multiple Family Residential [RM].

Comprehensive Plan Amendment: The applicant is proposing to amend the future land use map in the Comprehensive Plan to change the land use designation from Single Family Residential (sewered) to Multi-Family Residential.

Zoning Map Amendment: The applicant is proposing to rezone from Single-Family Residential (Suburban) [RS-1] to Multiple Family Residential [RM].

Conditional Use Permit: The applicant is proposing to construct a single 4-unit building on each lot for a total of 12-units. The buildings are proposed to be 2-story. Access to sewer and water is available along Old Highway Road. Driveway access can be obtained onto Old Highway

Road. All current and existing easements on the property will be retained. The developer desires to enhance the conservation easement area with additional plantings for screening. No plans for a walking trail connecting the development to the subdivision to the south is proposed.

Recommended Action:

The applicant has withdrawn all applications. No action is necessary.

Attachments:

- Aerial Map



Calumet County, WI

Legend

- Address Point
- County Boundary
- Wisconsin Water
- Unincorporated Community
- Town Boundary
- Part of Interest
- Parcel Boundary
- Property Type
- PLSS Section
- State Parks
- County Parks
- Lake
- River and Stream
- Major Roads
- Local Roads
- Local Roads
- Local Roads
- Railroad
- Center 2018
- Parcels 1
- Parcels 2
- Parcels 3
- Parcels 4



Scale: 0 200 400 600 Feet
 0 60 120 180 Meters
 2025 JAN 28 10:45 AM
 THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN AND THE RESPONSIBILITY OF THE USER.



Aerial Map

PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

March 22, 2022

Title:

Variance for Private Road Development

Issue:

Should the Plan Commission consider a development that utilizes private roads rather than public roads?

Background and Additional Information:

The applicant is considering purchasing a portion of the Kimberly Clark Corp. property along Firelane 10 and south of the railroad tracks. The area is adjacent to Northshore Golf Club and sits east of Firelane 10. The applicant wishes to develop the property as a private single-family residential subdivision with approximately 10-16-lots on the portion south of the railroad tracks. The area north of the railroad tracks will be developed as a public residential subdivision.

The intent is to create a private residential development on the south side of the railroad. Private development, as in private streets. Utilities (sanitary sewer & water) would be public and serviced by Harrison Utilities. The subdivision ordinance states that the design of a subdivision, “new private streets shall not be permitted”. The process for a variance from the subdivision ordinance includes review by the Plan Commission and approval by the Village Board. At this point, this is just a discussion and preliminary review. Based on feedback and comments, the applicant will have to submit for a formal variance request at a later date.

The applicant is proposing private streets due to a provision in the railroad crossing of the existing private driveway that the private driveway remain private. The applicant is proposing secondary access for emergency vehicles.

There is public right-of-way (ROW) from Firelane 10 south of the railroad tracks to this property where a new public road could be built. The ROW is less than the standard 60-foot width so additional ROW may have to be acquired or the public road constructed within a substandard ROW width. If there were private roads within the subdivision, easements will be required for utility access and stormwater access.

Subdivision Ordinance Variance process and approval criteria:

- (i) *Variance and appeals (modification of regulations).* When the plan commission or Village board finds that extraordinary hardship or injustice will result from strict compliance with this chapter, it may vary the terms thereof to the extent deemed necessary and proper to grant relief, provided that the modification meets the land division variance criteria.

1. The land division variance criteria include the following four standards:
 - a. The variance is due to physical features of the site or its location.
 - b. The variance is the least deviation from this chapter which will mitigate the hardship.
 - c. The variance is not detrimental to the public interest and is in keeping with the general spirit and intent of this chapter.
 - d. Any variance recommendation shall include, at minimum, that the variance will not violate the purpose of this chapter or provisions of Wis. Stats. ch. 236.
2. Application for a variance shall be made to the Village planner and Village clerk who shall provide notice of time and place of hearing by publication of a Class 2 notice, under Wis. Stats. ch. 985.
3. A copy of such notice shall be mailed to all property owners within 300 feet of the subject site by regular mail. Notice of hearing shall be mailed approximately 14 days prior to hearing date. The applicant shall be responsible for payment of a hearing fee as set forth in Appendix A, Fee Schedule, reference this code section.

Recommended Action:

None. Discussion item only.

Attachments:

- Aerial Map (indicates public ROW west of site, "X" shape in blue)
- Request for Variance letter from applicant (includes aerial map and concept plan)

Letter

To: Town of Harrison

From: Paul and Tom Klister

Subject: Request for Variance

We are working with Kimberly Clark to purchase the approximate 64 acres as depicted on the attached map. Our goal/plan is to demo the existing structures south of the railroad and develop a private residential community by creating 10-16 single family residential lots. The parcel to the North of the railroad would be developed as single family residential sites and be public.

We understand that the Town's preference is to have residential developments of two or more lots to be public and follow the Town's specifications for doing so. We are respectfully requesting a variance to keep the area South of the railroad private, and have the area North of the tracks public. The following is our basis for requesting a variance:

- 1) Access: Kimberly Clark is mandating that the existing access from the frontage road onto fire lane 11 be utilized for their own private use to access their storage facility. Our plan would be to cul de sac Fire lane 9 and create a new, private drive that would come from fire lane 10 and joining up with the existing road (fire lane 11) and continue to utilize the existing passage over the railroad. Please see attached map.
- 2) Railroad Tracks: The existing access to the South portion of the land is presently served by a privately authorized easement that is granted by Canadian National Railway (CN) to Kimberly Clark. We have had discussion with a representative of CN and they are firm on requiring said access to continue to be private. In order to meet CN requirement, we would incorporate an LLC that would have all land owners South of the tracks to be members of the LLC. We would create a governing home owners association that would provide a united governance: providing the CN required insurable interest; and providing a united authority that would control all the private services that would be needed (garbage; mail; road and infrastructure; snow and landscaping; environmental regulations with the existing navigable stream).
- 3) Secondary access: We are of the understanding that there is mapped access from fire lane 10 – see attached map outlined in yellow. We have talked to the neighbors, including Steve Endries who paved the existing drive (Endries access). We are of the understanding that all the neighbors would object to us using the Endrie's access as the main thorough fare for our proposed development. To provide secondary access for police, fire and emergency vehicles, we would propose that the Endrie's ingress/egress point be utilized only in emergency situation;
- 4) The existing road and bridge that services the area South of the tracks were constructed to service as private use. If we were required to meet public standards for road construction and to build a new bridge, it would add substantial cost, that would not allow the development to be economically feasible.

Thank you for your consideration

Aerial View

Exhibit A – Development Area

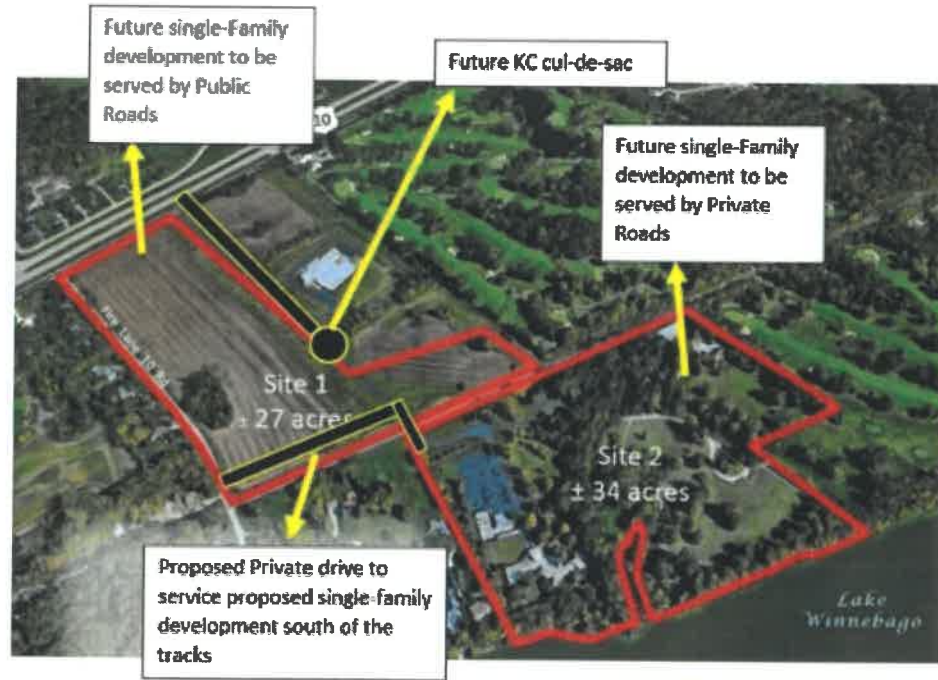
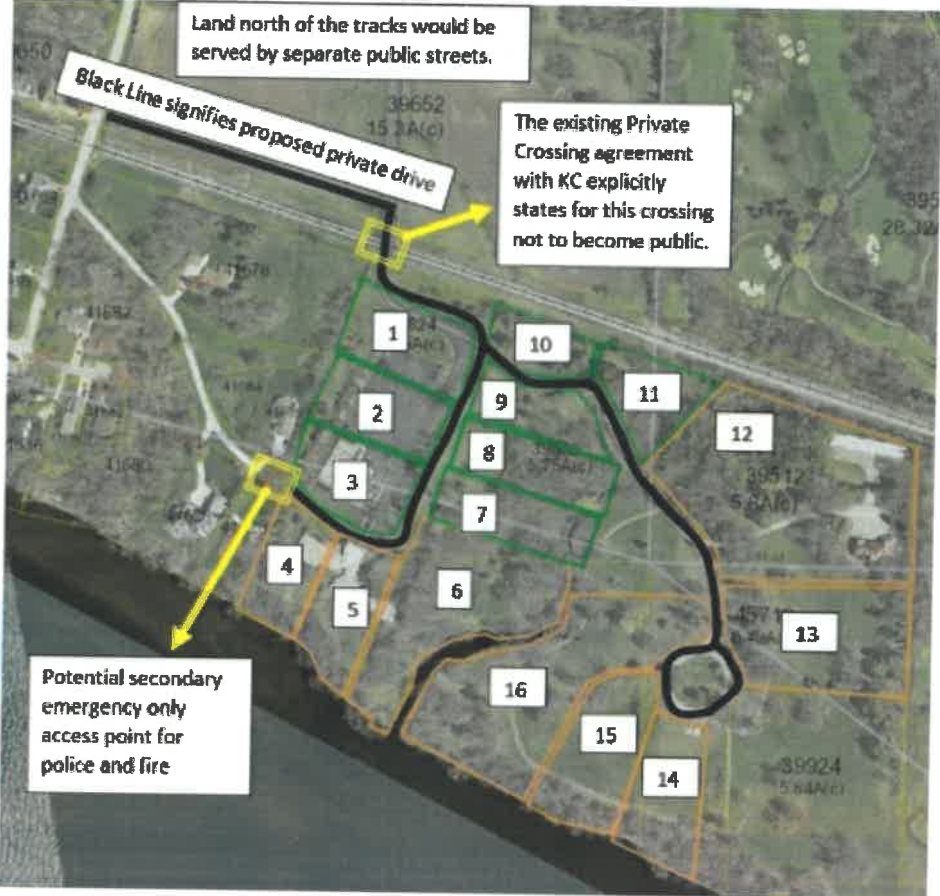


Exhibit B – Potential Site plan, south side of tracks



PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Mark J. Mommaerts, AICP, Assistant Village Manager

Meeting Date:

March 22, 2022

Title:

Comprehensive Plan Amendment – Village Center Plan

Issue:

The Village Board is asking the Plan Commission to recommend changes to the Comprehensive Plan, specifically the Village Center Plan.

Background and Additional Information:

At the February Village Board meeting, the Board made several motions related to the Comprehensive Plan and the Village Center Plan that is part of it. Below are the Village Board motions:

1. Motion: To refer the comprehensive plan back to the Plan Commission to update the plan and address eliminating the multifamily units. Motion Passed 7-0
2. Motion: To direct the Plan Commission to modify the Village Center conception plan by removing multifamily units. Motion Passed 7-0
3. Motion: To direct staff and the Plan Commission to work with the fire chief to determine a site plan for a future public safety building within the comprehensive plan. Passed 7-0

The Plan Commission is asked to review the Comprehensive Plan and the Village Center concept plan to remove/eliminate multi-family housing as a use and to select a location for a future public safety building (sheriff/fire). The location could be on the property the Village owns on County Road N or it could be in another location. Staff has already been in contact with the Fire Chief about a location. The preferred location is along the County Road N corridor north of Highway 10. The further north the better as there may be opportunities with Buchanan Fire Department.

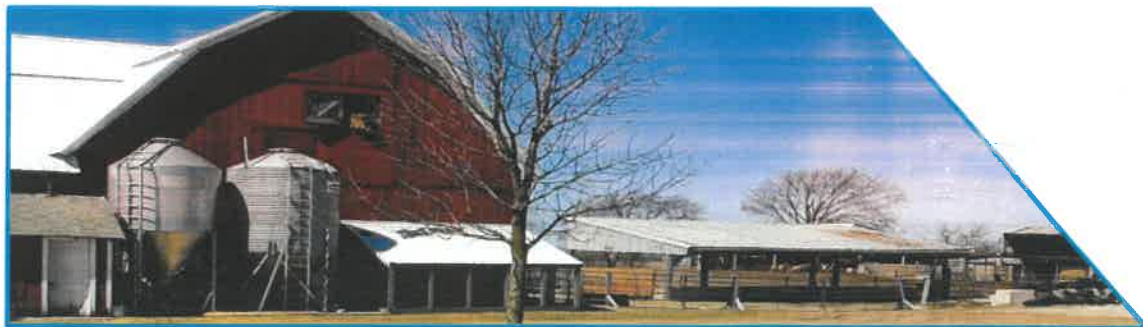
Staff would like to have a brief discussion on the process for amending the Comprehensive Plan, which includes the Village Center plan, as well as what options there are when amending.

Recommended Action:

None. Discussion item only.

Attachments:

- Land Use Chapter of Comprehensive Plan
- Future Land Use Map
- Zoning Code Village Center Overlay District



LAND USE

Land Use

Introduction

Considering the rapid growth of the community, the village staff gave careful thought to future land use. Public participants had opportunities to review future land use proposals at public meetings. The land use element is essential for creating a useful tool for decision makers to guide growth and development in their communities. The future land use map is also essential for developers to see where the growth is expected.

Community Survey

Over 54% of respondents agree the Village should enforce community-wide aesthetic requirements for development. 51.7% agree the different types of land uses should be strictly separated. This relates to the overwhelming response of 82.1% that agree the environmentally sensitive areas should be protected from development pressures. The respondents were consistent with their community design and appearance by agreeing that the Village should limit its residential development to mostly single-family detached houses, and limit the development of apartment buildings.

Existing Land Use Patterns

Existing land use patterns are those that are presently found at a location. Land use is different from zoning. Land use is a broad term that describes the general nature of the activity that exists or may occur on a parcel. Zoning is a specific set of regulations that narrowly defines the specific uses, as well as setbacks, height, floor area ratios, and other site characteristics. For example, a residential land use category might include single-family and multifamily zoning districts. The existing land use patterns for the Village of Harrison are displayed in Map 12.

As discussed before, Harrison land use is predominantly Agricultural (69%) shown in figure 12, followed by residential land use (17%), and

wetlands (13%). Single-family sewered land use is the predominant residential land use (65%) shown in figure 13.

Figure 12: Village of Harrison Land Use Distribution

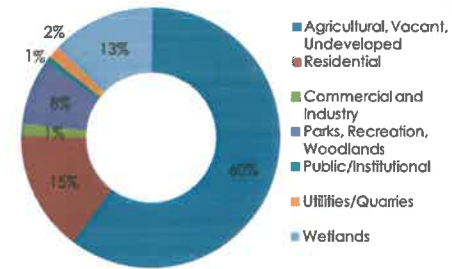
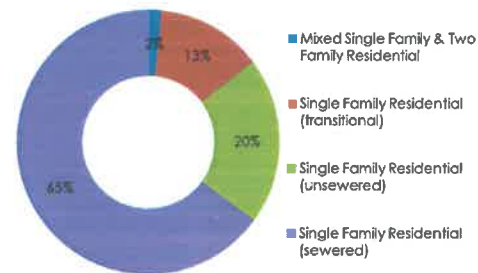


Figure 13: Village of Harrison Residential Land Use Distribution



Wetlands, Floodplains, and Soil Limitations

The wetlands land use category represents the third largest acreage for land area in the village. Although the wetland sites are scattered throughout the village, three distinct areas have a greater concentration of the acreage as the Floodplain and Wetlands map reveals.

The western edge of the village has an extensive amount of wetlands located south of USH 10 and STH 114, as well as the area located between the highways and the Canadian National tracks. A second area is located east of CTH "N" between USH 10 and STH 114. This area, in particular, has some significant woodland parcels that are worth preserving. The third area that has substantial acreage associated with woodlands and wetlands is located south of the Village of

Sherwood, particularly the area located between Kees Road and South Harwood Road. The land area lying south of Harrison Road also has acreage designated as woodlands and wetlands, with surrounding agricultural lands.

A major challenge facing the Village of Harrison during the planning period will be developing strategies and Village policies that could ensure the preservation of these important, and yet unique land areas.

Areas where soil characteristics may create limitations of varying degrees in the development of building sites are shown on Map 11.

Slight – limitations are minor and easily overcome.

Moderate – limitations can be overcome or minimized by special planning and design.

Severe – development is necessary, a major increase in construction effort, special design, or intensive maintenance is required.

Much of the future development will be encroaching into soils that are considered either severe-moderate or severe. This does not mean development cannot occur, but that construction technique will need to take into account the type of soil in these areas.

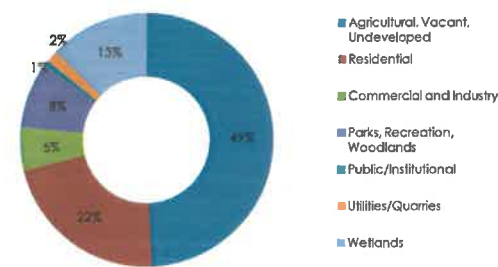
Future Development Demand

Considering the Village and Town are expected to increase from approximately 3,980 in 2015 to 4,670 in 2020 and over 6,000 by 2030. Harrison should prepare to add 100-150 units per year based on these estimates. That ranges from 1,200 to 1,800 units over a 12 year period. The Village Center plan includes a suggested 560 units with three phases for development. This leaves between 711 and 1,311 units that will need to be built over that time frame. These new homes will consume a varying amount of land depending upon the density of development, as measured in units per acre.

Future Land Use Patterns

Considering the incorporation and expected growth, future land use will change the existing land use patterns. Agricultural, vacant, and undeveloped land will experience an 18.5% decrease. However, the agricultural, vacant, and undeveloped land will be the predominant land use. Single-family sewerred and single-family unsewerred will experience increases in their land use categories, 62.8%, and 37.9%, respectively.

Figure 14: Village of Harrison Future Land Use Distribution



The future residential land use category adds 1,513 acres of land for future residential development. Table 13 displays the increased acreage for land use categories that will expand in the future.

Table 13: Village of Harrison Increased Acreage

Land Use Classification	Acreage Needs
Commercial	500
Industrial	360
Parks and Recreation	22
Single Family Residential (sewered)	1,273
Single Family Residential (transitional)	240

The Comprehensive Plan's land use goal states: To provide for orderly growth and development that ensures the character, magnitude, and location of all land uses are considered in achieving a balanced natural, physical, and economic environment, and contributes to the general health, safety, and welfare of the Village's residents and property owners.

Objectives identified include ensuring that growth is orderly and that development occurs in a planned and coordinated manner; and ensuring that development is compatible with neighboring land uses and the natural environment and preserves the character of existing neighborhoods, all while considering long-term implications.

Thus, the future land use is to be structured around these two basic premises, the existing conditions and development goals and objectives. The Future Land Use map (Map 13) illustrates the proposed scheme for land use development. This plan map is discussed in the following sections for each land use category.

Residential

Residential development in the Village has been significant in recent years and is perhaps affecting the greatest pressure on the Village rural agricultural character. Because of the Village location with relatively convenient access to the Fox Cities and the communities of Appleton and Menasha, as well as the potential Village Center, and the availability of large acreage for future development, Harrison will continue to experience residential growth. The aim of the land use plan is to guide the growth to appropriate portions of the village and influence the type and design of such development.

Recent residential development has been a mixture of "suburban" residential subdivisions served by public sewer services and rural residential development without public sewer. To achieve the desired mix of residential development, the Village should continue to plan areas for each type of development. Regarding potential residential development served by public sewer and water, the availability of such public utilities is the greatest factor influencing development. The Village has significant control over the location of such facilities and, thus, can help implement the land use plan more easily through the timing and placement of services.

To meet the village's goals and objectives and ensure high-quality orderly growth, several development policies are put forth in this plan.

This section discusses the recommended locations for various types of residential development and the corresponding policies for each type. The recommended future residential development is divided into three areas, each with its own set of guidelines for development. These are described as follows:

Sewered residential

This future land use category is proposed for regions that either already are, or are proposed to be, served by public sewer and water. Because areas either have or are planned to have public sewer services, it is recommended that only development served by public sewer be allowed. Development utilizing private on-site wastewater treatment systems should be discouraged. Because of the inefficiencies and greater costs associated with providing sewer and water services to previously developed areas, it is recommended that limited development occurs in these regions until actual services can be provided.

Parts of this region are included in the Heart of the Valley and Neenah-Menasha Sewer Service Area, which makes such land available to receive actual sewer service. As properties develop, sewer service area amendments should be sought to extend the Sewer Service Area to other parts of this region. The Village will need to reach out to the East Central Regional Planning Commission to prioritize new areas to receive sewer service based on achieving orderly growth, as well as economic and engineering factors. Ideally, growth would occur gradually outward from the existing developed core rather than sporadic and scattered pockets of growth.

Future development served by public sewer should follow the density and standards of the Harrison Zoning Ordinance. That ordinance specifies a maximum density for the following zones:

Table 14: Village of Harrison Zoning Maximum Density

Zoning Districts	Units per Acre
Single-family Residential (RS-1)	3.6
Single-family Residential (RS-2)	5.8
Two-family Residential (RT)	4
Multiple-Family Residential (RM)	6 to 15

The proposed Village Center is a great location for multi-family residences, duplexes, and apartments and townhouses that will act as a transition between industrial, commercial and mixed-use regions and single family residential areas. Multifamily development should be accomplished using the Planned Development overlay district. In this way, the Village will retain control over the location and site design of such uses.

Transitional residential area

The second residential land use category is known as the transitional residential area. This region encompasses the north central portion of the village. These areas are planned to receive public sewer and water service by 2030 according to the Sewer Service Area Plans. To balance the need to serve these areas efficiently in the future with the competing pressure for rural residential development before sewer service, the recommendations of this category are geared toward promoting a transition from non-sewered development to eventual hook-up to public sewer service.

Preferably, most of this region will remain undeveloped until public services can be provided, but because of the longer timeframe to extend such services and the pressure for rural residential development, it is recognized that restricting all non-sewered development might not prove feasible. Thus, the recommendation is that limited amounts of non-sewered development should be allowed, but subject to several conditions.

First, all major developments should be established using conservation by design subdivisions. This development technique will allow the development to be shifted to one or a few parts of the overall property, creating community-wide networks of open space. By

grouping the actual home sites, it will be easier to retrofit the development with public utilities since frontages and individual lot sizes will be smaller. Also, conservation by design methods might facilitate the use of cluster systems which in turn would facilitate future changeover to public sewer service.

The second recommended condition for allowing development in this region is that a lower residential density and a minimum amount of undeveloped open space should be established to allow for additional development at the time that sewer service is provided. The general idea of this recommendation is to limit the overall amount of non-sewered development that occurs before public sewer service and to allow for greater density to be achieved when service is provided. The open space that is required for conservation by design subdivisions should be divided into two categories. The first category is permanent open space integrated with the non-sewered development. The second category is additional open space that is set aside for future development when the public sewer is provided. In this way, there will always be open space associated with the initial non-sewered development, yet additional growth is permitted that can allow these regions to be more efficiently and economically served by public sewer.

The details of this approach need to be spelled out within the Village's zoning and subdivision ordinance, although one suggested scenario is to require a maximum density of roughly one lot per 5 acres owned with a maximum lot size of 60,000 square feet. This scenario would allow for some development potential to be realized before the actual provision of sewer service while allowing the created lots to be more efficiently retrofitted with public sewer service at a later date. The balance of the development would be open space. However, once sewer service becomes available, then a portion of the open space would be allowed to develop at the density for property served by public sewer.

A third recommended condition for non-sewered development within the Transitional Residential

Area is to engineer developments with future sewer service in mind. Proper street grades, utility easements, the location of holding tanks and drain fields and other factors should all be examined at the time of development so that it is easier to accomplish hook-up to the public sewer in the future. The village might also consider requiring the installation of the infrastructure so that when sewer service arrives, all that is needed is to connect the pipes.

The Transitional Residential region is envisioned to receive public sewer service eventually. As the Sewered Residential region develops to a degree, then the Village should look to extend sewers to this region. A phasing plan should be developed to determine which specific parts of this region should be serviced first. Once sewer service is provided, development should proceed according to the guidelines for Sewered Residential.

Parts of the Transitional Residential region have been previously developed with on-site systems. Some of these systems are older and there have been some failing systems reported. To prevent pollution problems and to make system upgrades more cost effective for property owners, the Village should extend public sewer service to any areas with known or suspected failures. There are some sewage holding tanks and individual on-site septic systems within the Neenah/Menasha Planning Area and in the Heart of the Valley Planning Area. There are no large holding tanks present in the Neenah/Menasha Planning Area, and only one large holding tank in the Heart of the Valley Planning Area.

Unsewered residential

The third proposed residential area of the Village is the unsewered residential area. The areas are the Northeast portion of the village east of Hwy 55, and the Southeast portion of the village south of Hwy 10. This region is largely rural residential development and is not slated to receive public sewer service in the foreseeable future. Because public sewer service is not expected, rural residential development served by private on-site wastewater treatment systems should be permitted. This unsewered residential

development will allow for the Village to continue providing a mixture of residential types without seriously compromising areas planned for eventual sewer service. It is further recommended that utilizing conservation by design subdivisions is encouraged to promote the preservation of open space and natural areas as well as give greater design flexibility.

Secondly, it is recommended that the total amount of growth within this region is monitored and restricted, if necessary. Although some rural residential development without public services is expected and desirable, a greater share of the future residential development should be steered toward the region served by public sewer service. This approach will allow Harrison to extend needed services in a cost-effective manner, while simultaneously promoting orderly and efficient development that maintains the village's open spaces for a longer period.

In order to achieve the objectives of the land use plan, the Village should strive for a percentage of 75% sewer lots. Growth management techniques such as the sensible use of rezonings from agriculture, limits on the number of non-sewered lots created, establishing primary growth areas, and other restrictions should be employed in the non-sewered regions to achieve this aim.

Like the Transitional Residential region, there may be previously developed areas with failing on-site septic systems. If it proves cost effective, the Village should strive to extend public sewers to serve neighborhoods with known problems.

Commercial

The Commercial areas are planned in the vicinity of County Road KK, Highway 55 near County Road KK, east of Lake Park Rd, and the Village Center. The commercial development along the southern strip of County Road KK and both sides of Highway 55 will allow existing and future business to take advantage of existing natural features and pockets of residential development to break up the commercial development. There are Commercial District design standards included in the zoning ordinance.

Commercial development served by public sewer is preferred for most of the commercial areas. In particular, the County Road KK, and Highway 55 should be reserved for development served by public sewer. These areas are critical for commercial development in the village, and thus high-value, high-employment uses should be directed there. As the population of Harrison rises, there will be a need for more neighborhood-type commercial activities. This type of use would be geared more toward the retail and service needs of the nearby residents as opposed to the highway commercial uses serving the needs of the highway user and entire region. The Village Center is one area for neighborhood-type commercial activities. Examples include grocery stores, hardware stores, and services such as a dental office or banking facilities.

Industrial

The future industrial regions of the Plan are considered light to medium industrial activities. Each of these categories has distinct purposes and recommendations. One of the light industrial locations is north of Hwy 10, allowing convenient access for future businesses. This industrial area is near the Lift Station study area, which will allow for businesses with public water and sewer service needs.

There are four small lot parcels scattered throughout the village with the industrial designation. These parcels are light industrial businesses. However, it is highly recommended to cluster any new industrial businesses in the industrial zoning district.

Mixed-use

The Future Land Use map calls for mixed-use areas along County N from Manitowoc Road to Highway 10, and along Lake Park Road from Woodland Road to Sonny Drive. Only development served by public sewer should be permitted to ensure high-quality high-value developments. The Village should develop a plan to prioritize future expansions of sewer service and to achieve orderly growth outward from the existing development. These mixed-use areas should blend residential, commercial, cultural, institutional, where those functions are

physically and functionally integrated, and that provides pedestrian connections.

Village Center

The proposed Village Center location is along Manitowoc Road. This area is a commercial/mixed-use area that will serve as the Village's commercial and social center. The location has convenient access and high visibility to County Highway N. As discussed in the Commercial uses section, there may be a need for a future neighborhood commercial area. A portion of the mixed-used category should contain neighborhood commercial area. Examples include grocery stores, hardware stores, and services such as a dental office or banking facilities. Also, the Village Center will contain residential units, a village square, parks, and a network of trails for pedestrians and bicyclists. Refer to the Village Center Plan noted as Appendix C of this Plan.

Agricultural

Agriculture is the largest current land use category in the village and will continue to be the largest land use even with the future development. As development pressure slowly erodes the amount of farmland, the predominance of agriculture in Harrison will remain evident for some time. The preservation of active farming regions helps to direct development to other parts of open space, which partly define the village's character.

The southeastern portion of the village is planned for agricultural usage. This large region contains no intensive development or subdividing activity. Also, this area is not in a sewer service plan area. The primary recommendation is direct future growth away from this region for other parts of the village. Limited amounts of new scattered residential parcels should be allowed, but rural residential subdivisions should be disallowed until other parts of the village develop to a greater degree.

Institutional

For educational facilities, the Village of Harrison is served by the Kimberly School District and Kaukauna School District. Currently, Sunrise Elementary and Woodland Elementary & Intermediate School are both located in the

Village of Harrison. According to the Kaukauna Area School District (KASD) Long Range Facilities Plan, dependent on growth and sanitary and water service, the area between Highway KK, Highway 55, State Park Road, and Manitowoc Road may provide a potential site for a new KASD school. It is recommended that Harrison meet with officials of the KASD to discuss any other potential school sites and take appropriate actions to identify and reserve sites.

Currently, Village offices are located at the intersection of Highway 114 and State Park Road. There are two fire stations, one that serves the southeastern area of the village, and another that serves the western half of the village. The Waverly Sanitary District office is in the village. The Village Center concept plan includes a Municipal Building that house the Village offices and fire station.

Recreational

There are four park sites in the Village of Harrison. Clover Ridge (mini-park), Darboy Community Park and Harrison Athletic Association Fields are Neighborhood Parks, and High Cliff is a State Park based on state classifications. Also, the Village maintains six special use boat launches and access areas. These recreational areas total over 58 acres. The Harrison schools also have recreational land available for public use. There is a Golf Course, a private park, a sports complex, and church facilities with playing fields.

According to the Town and Village of Harrison Comprehensive Outdoor Recreation Plan 2015-2019(CORP), the village is in need of additional recreational space. The future land use map shows areas for additional park spaces and pedestrian corridors. As seen in the CORP, there is potential for a regional park with connected trails throughout the community. Also, the Village Center provides additional recreational areas and pedestrian corridors.

Potential Land Use Conflicts

At this time, the Village Center and Industrial Park areas have not been developed. The village staff will need to make sure to enforce design standards for the industrial park parcels that face the Village Center.

Goal, Objectives, Policies

Goal

To provide for orderly growth and development that ensures the character, magnitude, and location of all land uses are considered in achieving a balanced natural, physical, and economic environment, and contributes to the general health, safety and welfare of the Village's residents and property owners.

Objectives

1. Ensure that growth is orderly and that development occurs in a planned and coordinated manner. Make land use decisions in accordance with the approved and adopted Comprehensive Plan, as well as any other pertinent development plans that are approved and adopted. Consider long-term implications of land use decisions.
2. Ensure that development is compatible with neighboring land uses and the natural environment and preserves the character of existing neighborhoods. Maintain separation of incompatible land uses.
3. Encourage and strengthen business districts and general urban function by channelling new developments to the appropriate zoning districts set aside for those land use purposes. This includes developing a vibrant Village Center district with mixed uses, and which makes use of high-quality multi-use buildings, features, and natural resources, while encouraging architectural integrity and community character.
4. Maintain and enhance the general community appearance and aesthetics of Harrison.
5. Maintain the efficient and economical delivery of Village utilities by ensuring that new development is coordinated with existing and planned services.
6. Participate in local and regional planning efforts to achieve a well-planned regional land-use pattern.

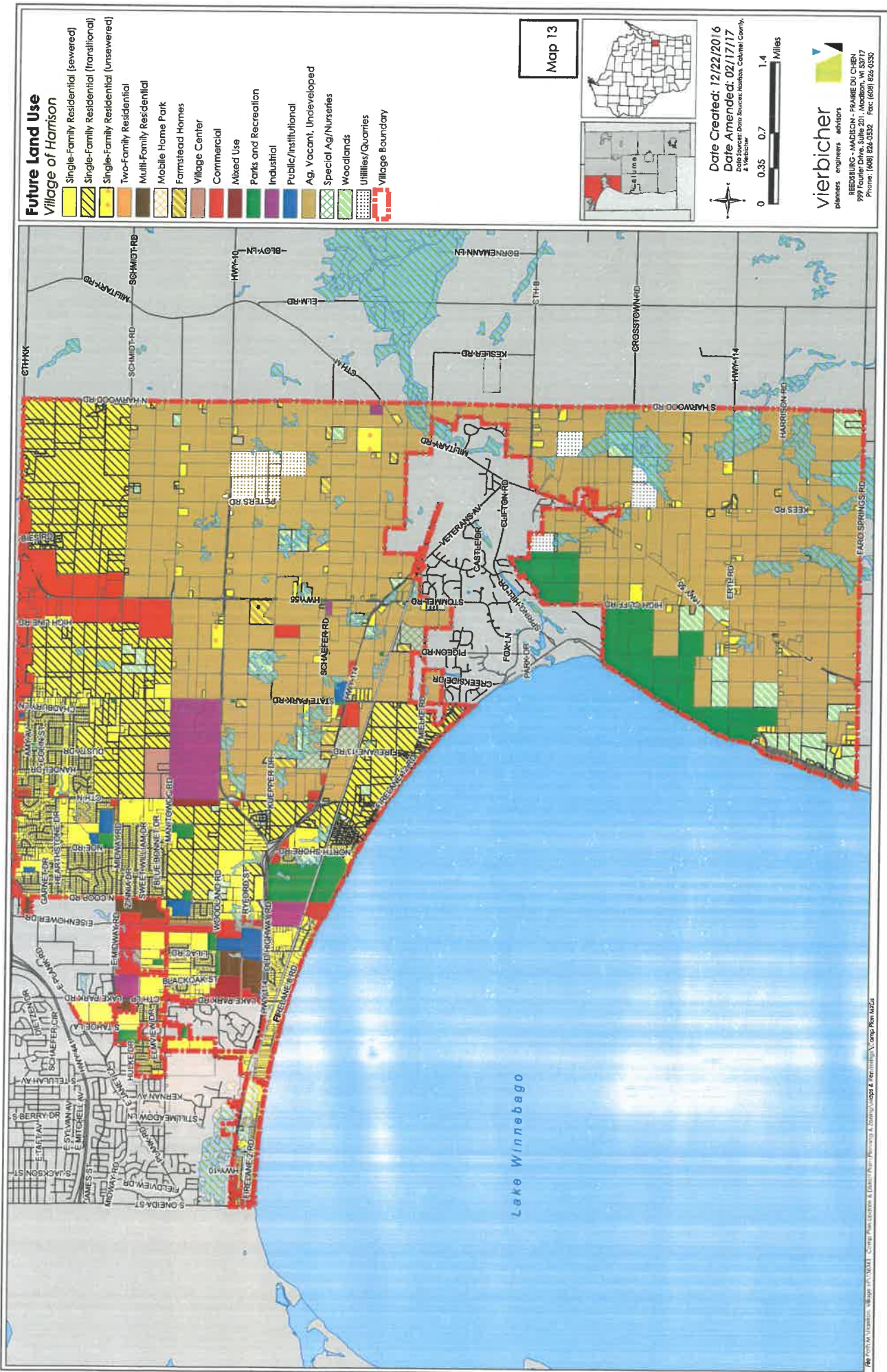
7. Involve community residents in planning future growth and enhancing existing districts.
8. Protect environmentally and culturally important areas from development, such as environmental corridors.

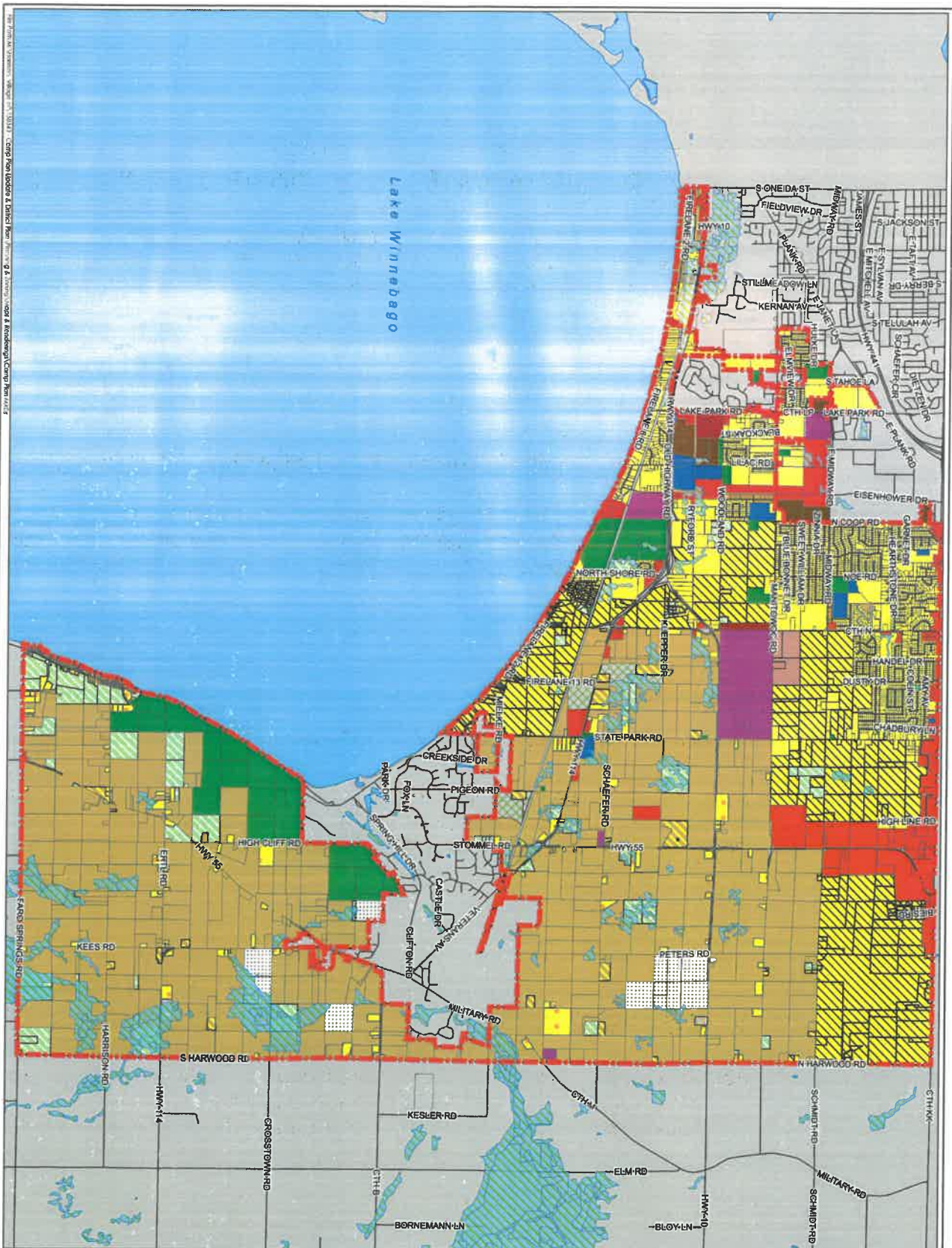
Policies

1. Develop a Encourage new development be located where Village services such as streets, sanitary sewers, public water mains, and stormwater facilities can meet the needs of the new development. Develop or revise regulatory tools needed to promote compact development in areas that can be efficiently served by existing Village services.
2. Amend the existing zoning map to be consistent with the recommendations of the Comprehensive Plan.
3. Require developers to pay their "fair share" for improvements needed to support new development requests.
4. Require that all new non-agricultural development located within the Village of Harrison's Sewer Service Area be served by municipal services.
5. Encourage, and provide land for industrial development that through appropriate zoning district designation and adherence to proper planning principles will foster a diversified economic base while not being detrimental to the Village's aesthetics and quality of life.
6. Regularly review the Land Use chapter of the Comprehensive Plan to identify amendments needed for the Plan to continue to effectively guide land use development decisions. Approve major deviations from the recommendations in the Plan only through a formal amendment.
7. Promote architecturally compatible commercial and residential building types to enhance the aesthetics of the Village. Develop a set of building and design standards as needed.
8. Identify, establish, and map environmental corridors. Preserve and enhance the attractiveness of natural features and environmental corridors in order to protect water quality and wildlife habitat, and to

maintain the rural character of the community.

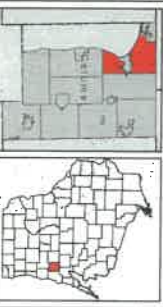
9. Encourage large ownership parcels to be developed as planned developments, rather than subdivided into lots without a coordinated development plan.
10. Incorporate the concerns of community residents in planning future growth and development in the Village.
11. Require new development to bury power utility and telephone lines.
12. Continue to enforce the sign ordinance in the Village to regulate the location, size, and appearance of signs.





Future Land Use
Village of Harrison

- Single-Family Residential (sewered)
- Single-Family Residential (transitional)
- Single-Family Residential (unsewered)
- Two-Family Residential
- Multi-Family Residential
- Mobile Home Park
- Farmstead Homes
- Village Center
- Commercial
- Mixed Use
- Parks and Recreation
- Industrial
- Public/Institutional
- Ag. Vaccin. Undeveloped
- Special Ag/Nurseries
- Woodlands
- Utilities/Quarries
- Village Boundary



Mcp 13

Date Created: 12/22/2016
Date Amended: 02/17/17



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Sec. 117-96. - Village center overlay zoning district (VCO).

- (a) *Intent.* The intent of this village center overlay zoning district is to establish uniform zoning standards to accommodate pedestrian oriented retail and office businesses and other uses located in a multi-purpose environment within the center of the Village; that recognizes the unique character of platting, land use and development within the village center; and that necessitates specialized standards to sustain a unique place. This overlay district is further intended to supersede standards of the base zoning district that allows an intensively developed, compact area consisting primarily of multiple-family residential, retail and office businesses with multi-purpose development where appropriate and maintains the surrounding residential neighborhood supporting the unique village center. The overlay district is further intended to promote human scale design through proportional size, mix, and arrangement of buildings and public spaces, and streetscape features; and to establish connectivity to activity areas.
- (b) *Boundary of village center overlay zoning district.* The standards of village center overlay zoning district within this section shall apply to and include properties as shown on the official zoning map, with the general boundaries to include approximately 80-acres on the northeast corner of County Road N and Manitowoc Road. The provisions of this section shall be in effect on a property or properties within the boundary of the village center overlay zoning district and shall apply to all buildings and structures erected and all uses of land established after the effective date of this section.
- (c) *Sub-districts of the village center overlay zoning district.* To achieve the intent of the village center overlay district, sub-districts are created. The sub-districts of the village center overlay district are as follows:
- (1) *Civic Campus.* Design guidelines concerning the civic campus focus on the public realm and public streetscape. The buildings and structures located within this sphere are for municipal government functions such as village hall offices, library, community center, fire and emergency operations, and parks and recreation.
 - (2) *Village Green.* The Village Green District is the focal point of the Village Center. The intent of this district is to promote designs that frame the village green and provides increased activity both on the programmatic and land use direction. The Village Green is a mixed-use area with commercial on the ground floor preferred and residential on the upper floors. Residential on the ground floor may be acceptable if approved by the Plan Commission.
 - (3) *Retail District.* The retail district establishes the entrances and the first impressions into the Village Center. The intent of this district is to promote design that exceeds that of the typical commercial strip development. These guidelines

provide a framework to create signature entrance ways and view shed into the village green as new development projects are brought forward.

(4) Residential District. The residential district serves as a transitional buffer or zone between land uses proposed in the Village Center. New residential to the south of the Village Center along Manitowoc Road will serve as a transitional buffer between existing land zoned for industrial and the proposed parks and recreational facilities. New residential to the north in the Village Center will serve as a transitional buffer between proposed retail and existing single-family residential uses.

(d) *Village Center Plan*. The provisions of the Village Center Plan dated February 2017 are incorporated herein by reference, including Chapter 3: Design Guidelines. Except as otherwise expressly set forth herein, this section shall be construed in accordance with the provisions of the Village Center Plan and any interpretations, amendments, rules and regulations promulgated by the Village of Harrison from time to time pursuant to the Village Center Plan. Any capitalized terms not otherwise defined in this section shall have the definitions set forth in the Village Center Plan. The Plan Commission shall have authority to interpret and construe the Village Center Plan and this section and to make any and all determinations under them. A copy of the Design Guidelines can be obtained from the Village Planner.

(e) *Administration*. Administration of this section shall be guided by the following terms and conditions.

(1) The base zoning district is the primary zoning district that applies to a property. Every property within the village center has a base zoning district that establishes the primary type and intensity of land use for the property, along with development regulations of this chapter for that particular type and intensity of land use for the property. The standards within this section apply to all properties of the village center overlay zoning district in lieu of the type and intensity of land use and the development regulations of the base zoning district. If situations arise of the type and intensity of land use and with property maintenance that are not addressed within the standards of the village center overlay zoning district, development regulations of the base zoning district and this chapter shall apply. However, any aspect of the development regulations of the base zoning district or chapter not addressed in the village center overlay zoning district may conflict with and restrict a new use, redevelopment or new development that otherwise meets the intent of, is permitted in, and conforms to other standards of the village center overlay zoning district. When a conflict in regulation is identified, upon finding that the intent of the village center overlay zoning district is maintained,

the plan commission may waive the conflicting regulation or establish alternative criteria for the new use, redevelopment or new development to adhere to.

- (2) The massing standards of lot size and lot width and/or frontage of section supersede any similar requirement of chapter 115, land division, of this Code.

**Village of Harrison
February-22 Zoning Permit Report**

	Current Year			Previous Year		
	Permits	YTD Permits	Estimated Value	YTD Permits	Estimated Value	YTD Estimate Value
Residential						
Single Family	6	11	\$ 1,940,000	10	\$ 3,608,000	\$ 4,248,000
Two Family (units)	0	0	\$ 0	(0)	\$ 0	\$ 0
Multi Family (units)	0	0	\$ 0	(0)	\$ 0	\$ 0
Additions	2	2	\$ 70,000	3	\$ 0	\$ 112,115
Acc. Structures	0	0	\$ 0	1	\$ 0	\$ 3,000
Miscellaneous	6	6	\$ 78,000	7	\$ 52,450	\$ 62,450
Total Residential	14	19	\$ 2,088,000	21	\$ 3,660,450	\$ 4,425,565
Com./Ind.						
New	0	0	\$ 0	1	\$ 0	\$ 550,000
Additions	0	0	\$ 0	0	\$ 0	\$ 0
Acc. Structures	0	0	\$ 0	0	\$ 0	\$ 0
Miscellaneous	0	1	\$ 3,500	0	\$ 0	\$ 0
Total Com./Ind.	0	1	\$ 3,500	1	\$ 0	\$ 550,000
Combined Total	14	20	\$ 2,088,000	22	\$ 3,660,450	\$ 4,975,565

Number of Vacant Lots Remaining

162