
PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Josh Sherman, Assistant Planner

Meeting Date:

July 18, 2023

Title:

Conditional Use Permit – Bayland Builders – N9695 County N

Issue:

Should the Plan Commission recommend approval of a Conditional Use Permit to the Village Board to construct and operate a fuel station and carwash, as part of a convenience store, on the old Darboy Club site.

Background and Additional Information:

The applicant Bayland Builders, Inc. is seeking a Conditional Use Permit (CUP) to construct and operate a Shell Gas Station at N9695 County N, which is the old Darboy Club Site, located on the corner of County KK and County N. The Shell Gas station would consist of a fuel pump station running parallel along County KK, a convenience store—with a Baskin Robbins ice cream shop—and a tunnel car wash directly west of the convenience store.

The property is zoned Community Commercial [CC]. Car washes and Gasoline/fueling stations are both conditional uses under the Community Commercial zoning district. Convenience stores are a permitted use under the current zoning.

This location was under a Development Agreement, dated May 12, 2021, where the Developer agreed to market the property to businesses other than retail fuel for two years. After two years, any use listed within the Zoning District applied to the property may be approved by the Village. It has been over two years since the agreement has been entered.

The convenience store would consist of approximately 5,500 square feet, which includes a Baskin Robbins ice cream shop with a drive thru window. The Baskin Robbins will occupy 1,500 square feet of the store. There will be a tunnel car wash building of approximately 3,200 square feet. The fueling island will have 5 fuel dispensers with 10 fueling positions with 5 grades of Shell branded fuel. The applicant is also obtaining approval for Shell branded electric charging dispensers with up to 4 charging stations.

The proposed hours of operation are:

Convenience Store	5:00 am to 12:00 am daily
Car Wash	5:00 am to 11:00 pm daily
Fuel and charging island	24 hours
Baskin Robbins	10:00 am to 10:00 pm daily

Total employment will be approximately 16 total persons with up to 5 employees on a shift. Occupancy can reach up to 35 customers. The location will not have any outside storage or vehicles – with the exception of an enclosed refuse center.

The exterior of the convenience store and tunnel car wash will consist mostly of brick veneer, with some natural cut stone and metal paneling.

The Calumet County Sheriff's Office had concerns with the hours of the car wash and communicated that limiting the car wash hours may help eliminate complaints from nearby residents.

The Calumet County Highway Commissioner is aware of the proposal and that increased traffic may spill onto County KK and County N. The county envisions it difficult to grant any additional access points. The County is working with the developer to reroute the storm sewer, which had a long standing easement going directly through the property

The Fire Chief has reviewed the concept plan and is okay with the ingress/egress. Should the conditional use be approved the Fire Chief will further review the site plan during the site plan review stage as part of the site plan review committee.

Findings of Fact:

- Staff finds that the Conditional Use Permit request will comply with the Harrison Zoning Ordinance with the below conditions.
 - Property owners within 300-feet of the subject property have been notified via first-class mail.
-

Basis for Approval: (from the Zoning Ordinance Section 117-319) Each item must be met in order to grant approval.

1. *Zoning. The proposed use conforms to the underlying zoning district intent and design standards and is in harmony with the general purpose and intent of this chapter. Where there is an existing nonconforming structure, the design standards of the underlying zoning district may be waived by the plan commission and village board. Car washes and Gasoline/fueling stations are conditional uses under the currently zoning district.*
2. *Plans. The proposed use conforms to the comprehensive plan and any other officially adopted plan. The proposed use of the property for convenience store and gas station conforms to the Comprehensive Plan as a conditional use.*
3. *Traffic. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. The proposal may increase traffic congestion to an already highly trafficked area. The location is a corner on two county roads which means the Village does not have much control. The county is aware of this proposal. The owner has not requested any changes in access points but the County has warned it would envision it difficult to grant any additional access points.*
4. *Landscaping and screening. Appropriate landscaping and screening has been or will be provided to protect adjacent uses or properties from light, noise and other visual impacts that are associated with the proposed use as established in article VI, Access, Parking, and Loading and article IX, Landscaping and Screening Standards. The applicant has a proposed to line the outside of the property with green space.*

5. *Neighborhood compatibility. The proposed use is compatible with the predominant or prevailing land use of the neighborhood surrounding the proposed development and whether the proposed use creates a nuisance due to noise, odor, or dust.* The surrounding land uses are for commercial or business development. There are residential suburban lots directly south of the proposal, including Mary Drive.
6. *Services. Adequate facilities, access roads, drainage and/or necessary services have been or will be provided.* Sanitary sewer and water are provided to the site.

Recommended Action:

Fuel Stations and Carwashes are Conditional Uses under the current zoning. A convenience store is a permitted use under the current zoning code. Should the Plan Commission recommend approval of the Conditional Use Permit, staff would recommend the following conditions.

1. Carwash hours shall be 5:00 am to 10:00 pm rather than 5:00 am to 11:00 pm.
2. A Site Plan Review Application, along with a detailed site plan—pursuant to Article XIII of the zoning ordinance—is required prior to the issuance of zoning and building permits.
3. A Stormwater Management & Erosion Control application is required prior to the issuance of zoning and building permits.
4. All wall-mounted exterior lighting shall be direct cut-off fixtures.
5. Freestanding light fixtures shall have a maximum height of 25 feet.
6. A planting landscape, buffer, or berm, shall be planted on the south side, but west of the entrance on County N.
7. A dumpster enclosure shall be provided that meets, or exceeds, the requirements of the zoning ordinance.
8. All provisions of the Harrison Zoning Ordinance shall be met.
9. A sign permit must be obtained for all new or changed signage.
10. A zoning permit must be obtained for the additions and accessory buildings.
11. A building permit must be obtained for the additions, interior remodel, and accessory buildings.
12. The project shall comply with all other local, state, and federal requirements.
13. The developer shall acknowledge the conditions of approval and agree to abide by all conditions.

Attachments:

- Aerial Map
- Shell Narrative
- Certified Survey Map
- Site and Building Plans

Calumet County, WI

Legend

- Address Point
 - Wisconsin Water
 - * Unincorporated Community
 - Town Boundary
 - Point of Interest
 - Parcel Boundary
 - Property Hook
 - PLS Section
 - State Parks
 - County Parks
 - Lake
 - River and Stream
 - Major Roads
 - Federal Highways
 - State Highways
 - County Highways
 - Local Roads
 - Local Streets
 - Municipal Streets
 - Trail
 - Railroad
- Color 2021
- Red: Band 1
 - Green: Band 2
 - Blue: Band 3



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Map Title:	
Date Printed:	07/11/23 11:22 AM



GCS Darboy Shell

We propose a retail store of approximately 5500 square feet. The store will consist of a Baskins Robins with a drive thru window. The Baskins Robins will occupy approximately 1500 square feet. The remainder square footage will be a convenience store. There also will be a tunnel car wash building of approximately 3200 square feet.

The fueling island shall have five fuel dispensers with 10 fueling positions with 5 grades of Shell Branded Fuel.

We are also obtaining approval for Shell branded electric charging dispensers with up to 4 charging stations.

Hours of Operation

C-Store	5:00 am to 12:00 am daily
Car Wash	5:00 am to 11:00 pm daily
Fuel & charging island	24 hours
Baskin Robins	10:00 am to 10:00 pm daily

Total employment will be approximately 16 total with up to 5 employees on a shift.

Occupancy can reach up to 35 customers.

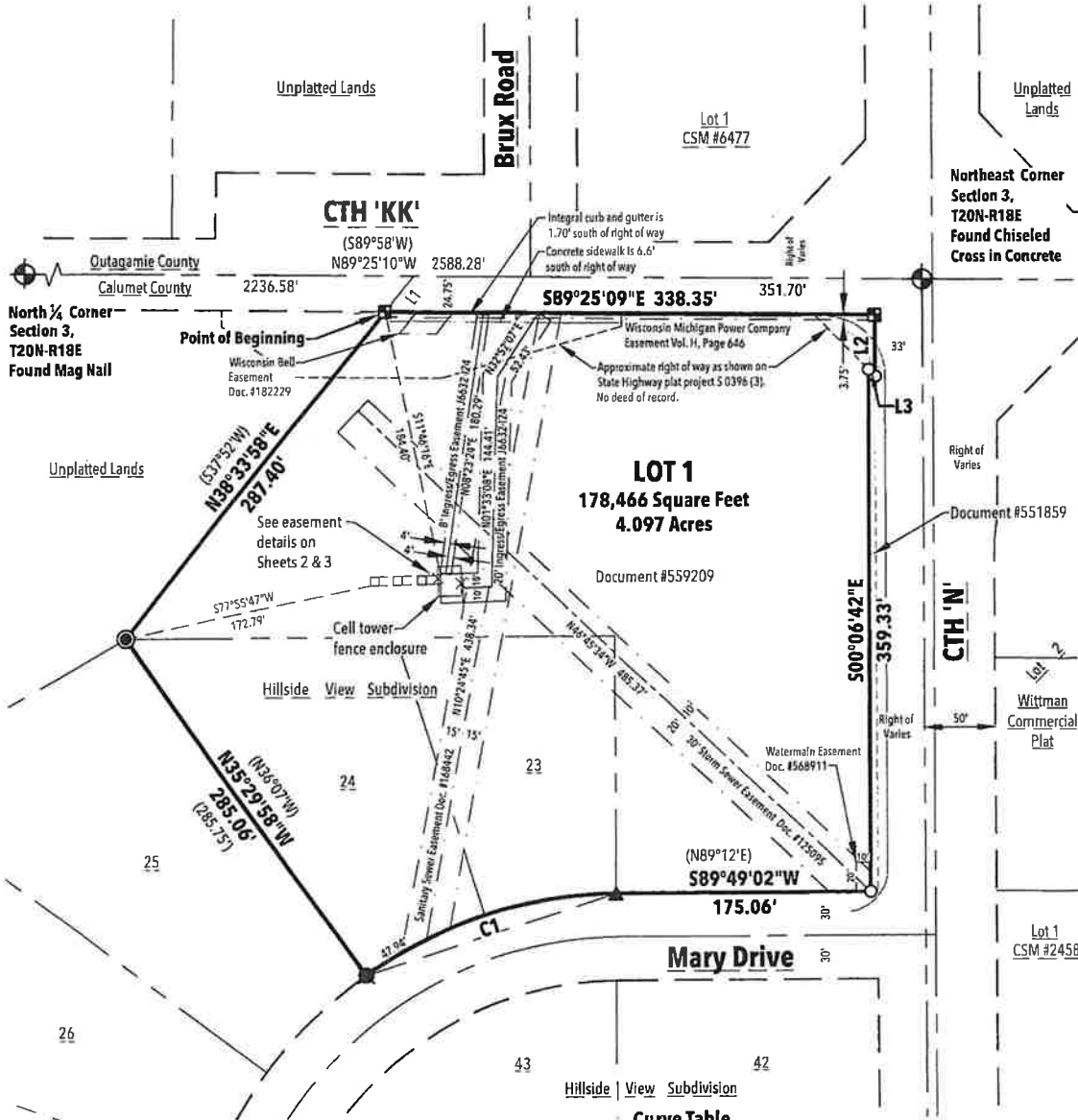
This location will not have any outside storage or vehicles – with the exception of an enclosed refuse center.

CERTIFIED SURVEY MAP 3998

ALL OF LOTS 23 AND 24, HILLSIDE VIEW SUBDIVISION AND PART OF THE
NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 3, TOWNSHIP 20 NORTH, RANGE
18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

DOCUMENT # 573815

TAMARA ALTEN
REGISTER OF DEEDS
CALUMET COUNTY, WI
10/13/2022 02:41 PM
VOL: 36 PAGE: 259

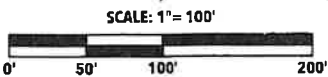


Curve Table

Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
C1	35°18'53"	300.00'	184.91'	S72°09'35.5"W	181.99'	S89°49'02"W	S54°30'09"W

LEGEND

- ▲ Existing PK Nail
- Existing 2" Iron Pipe
- ⊕ Existing 3/4" Iron Rod
- ⊞ Set Cut Cross in Concrete
- Set 1" x 18" Iron Pipe with cap weighing 1.38 lbs./lin. ft.
- ⊙ Recorded County Monument
- (xx.xx) Record bearing or distance



Bearings are referenced to the Calumet County Coordinate System. The north line of the Northeast 1/4 of Section 3, T20N-R18E bears N89°25'10"W.













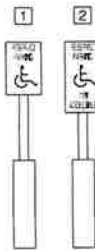
Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD
HOBART, WI 54155
INTERNET: www.releinc.com
PHONE: (920) 662-9641
FAX: (920) 662-9141

Line Table

Line #	Length	Direction
L1	31.40'	S38°33'58"W
L2	42.24'	S00°10'58"E
L3	6.40'	N44°48'04"W

LEGEND

-  CONCRETE PAVEMENT
-  ASPHALT PAVEMENT (LIGHT) (23,125 S.F.)
-  LANDSCAPE AREA
-  GREEN SPACE
-  PROPOSED 18" STANDARD CURB AND GUTTER
-  PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
-  PROPOSED 18" MOUNTABLE CURB AND GUTTER
-  TRAFFIC FLOW ARROW
-  HANDICAPPED PARKING
-  INDICATES NUMBER OF PARKING STALLS



*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

NOTE

ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA

TOTAL PARKING STALLS PROVIDED = 35
HANDICAP ACCESSIBLE PARKING STALLS = 2

SITE DATA

TOTAL AREA = 1.48 ACRES, 64,504 S.F.
GREEN SPACE = 0.25 ACRES, 10,774 S.F. (16.7%)

30' REARYARD PAVEMENT SETBACK LINE
50' REARYARD BUILDING SETBACK LINE

29,792 SF SHADED AREA

File: M:\Users\A\Projects\2023\2023 - Bay North\20230104_CAD\REV LEE\2023488 CONCEPT.dwg
 Plot Date: Jan 02, 2023, 11:13am

LAYOUT - FULL SITE

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN LLP
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DESIGNED JOS

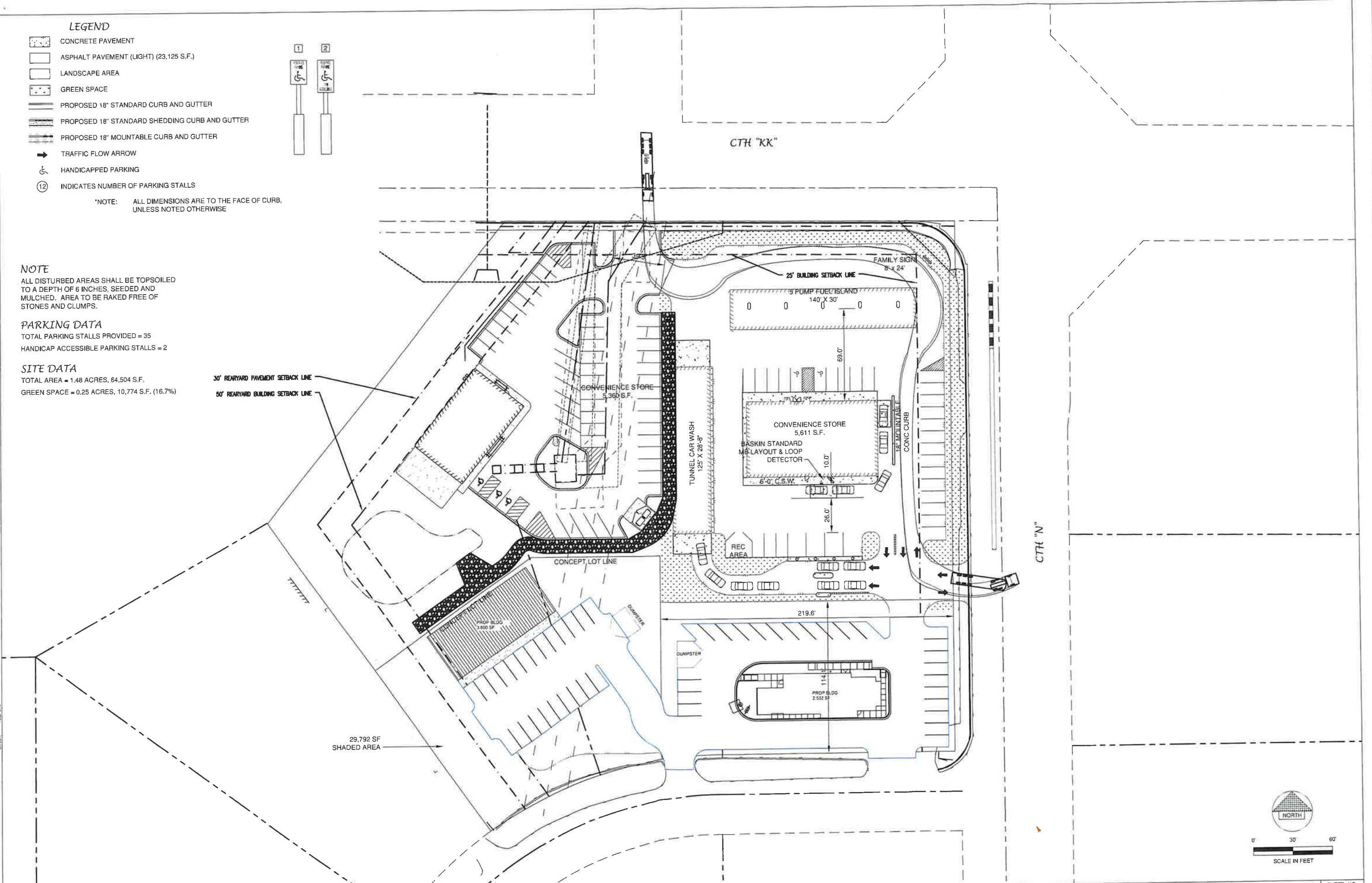
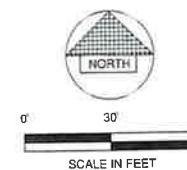
SITE DEVELOPMENT FOR CONVENIENCE STORE
BAYLAND BUILDINGS, INC.
VILLAGE OF HARRISON
CALUMET COUNTY, WISCONSIN

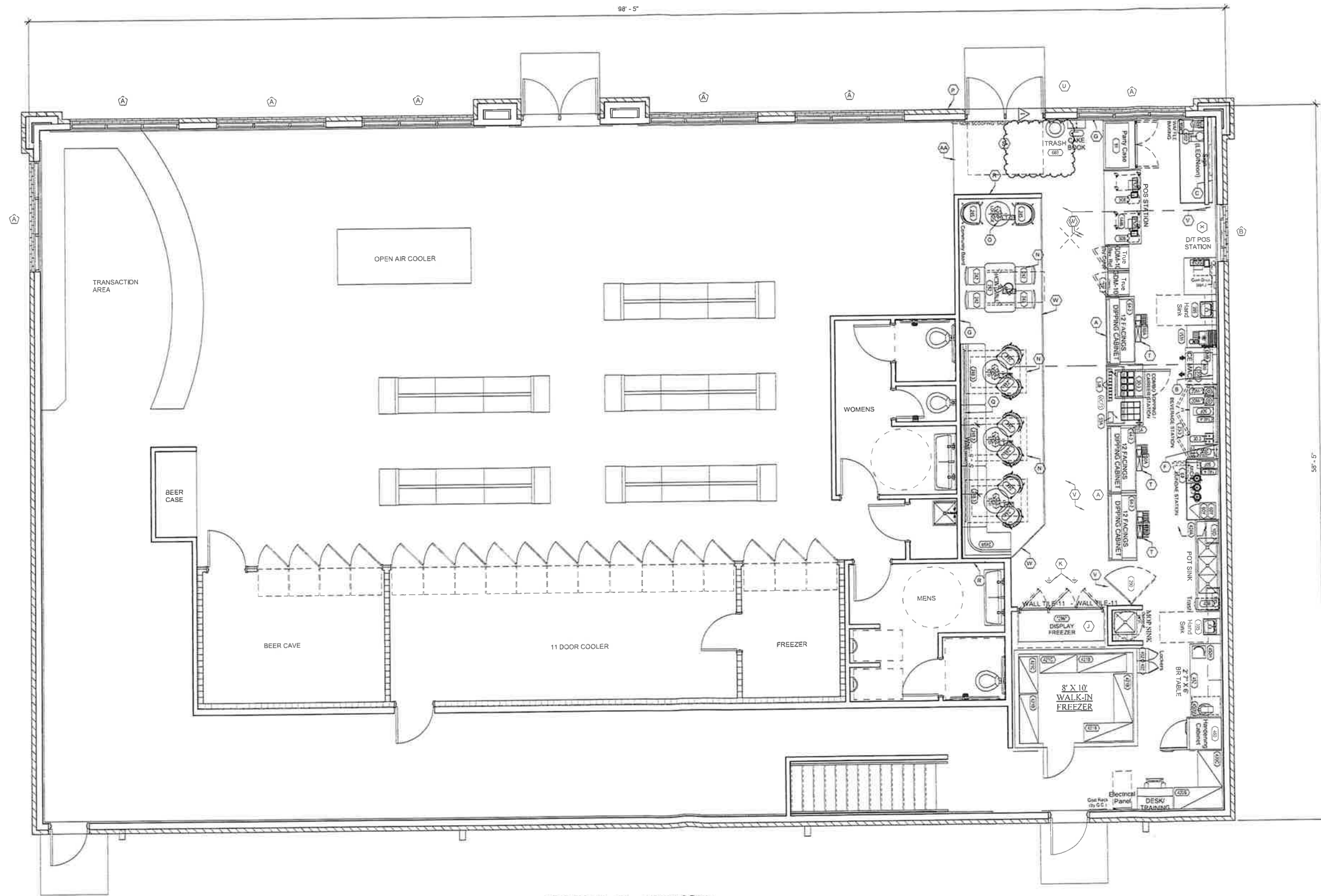
CONCEPT OVERALL SITE PLAN

DATE 10/2022
FILE 20235488 CONCEPT
JOB NO. 20235488

Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-9641 www.releeinc.com

SHEET NO.
2





FLOOR PLAN - PROPOSED
1/A1.0 SCALE = 1/4" = 1'-0"

PROPOSED BUILDING FOR:

22-2833

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION
THE BAR MEASURES 1" ON ORIGINAL
AS NOT SCALE ACCORDINGLY

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CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 22-2833

PROJECT EXECUTIVE: TOM AMBROSIUS
(920) 371-2544

DRAWN BY: DPO/JRG

DATE: 06/13/2023

REVISIONS:
1 00/00/00 XYZ

ISSUED FOR: CHECKED DATE:
BY:

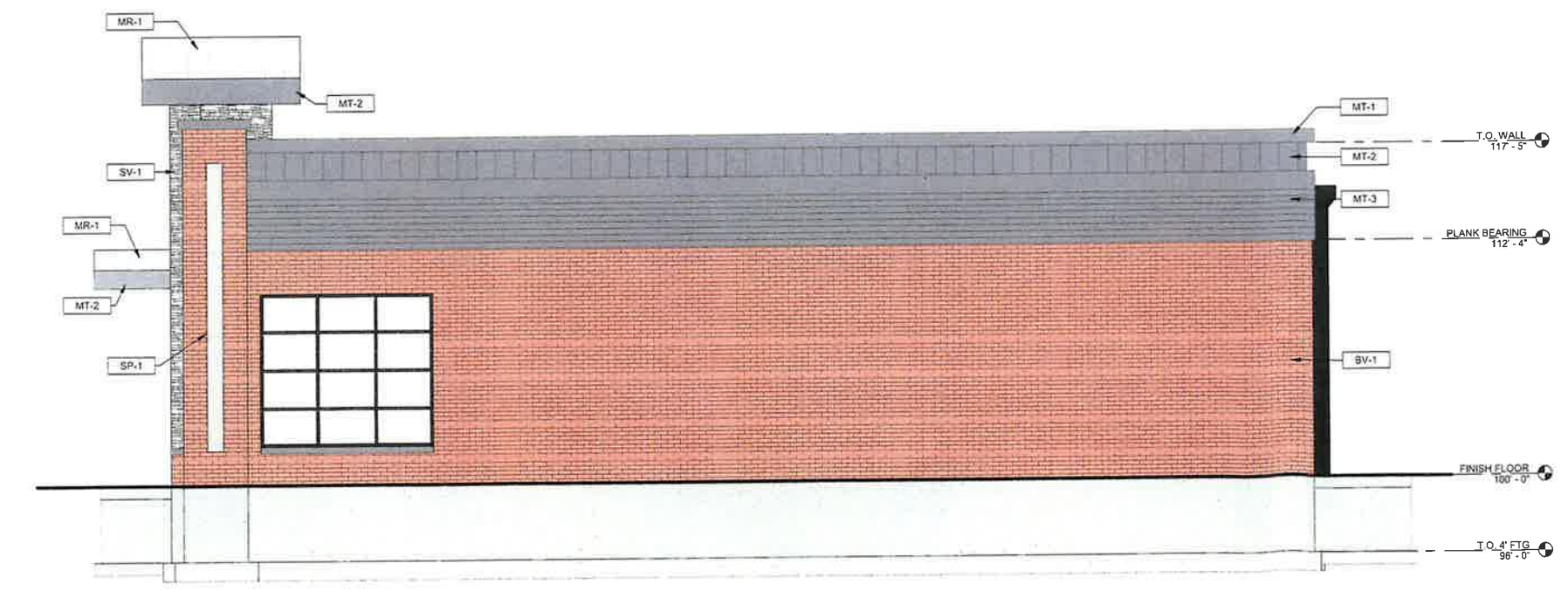
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- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

FLOOR PLAN - PROPOSED

A1.0



BUILDING ELEVATION - NORTH
1/A2.0 SCALE = 1/4" = 1'-0"



BUILDING ELEVATION - WEST
2/A2.0 SCALE = 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
MT-1	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: .050 ALUMINUM COPING CAP SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: VERTICAL FASCIA PANELS MATERIAL: .032 ALUM. COMPOSITE MATERIAL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-3	LOCATION: NARROW HORIZ. FASCIA PANELS MATERIAL: METAL PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
EIFS-1	LOCATION: SIGN MATERIAL: EIFS PANELS SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
BV-1	LOCATION: BRICK VENEER MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
SV-1	LOCATION: STONE VENEER MATERIAL: NATURAL CUT STONE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
SP-1	LOCATION: VERTICAL STONE INSET MATERIAL: SOAPSTONE PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MR-1	LOCATION: CURVED ROOFS MATERIAL: STANDING SEAM METAL PANELS SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MEM-1	LOCATION: REAR OF ENTRY STRUCTURE MATERIAL: ROOF MEMBRANE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:

PROPOSED BUILDING FOR:

22-2833

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL. ADJUST SCALE ACCORDINGLY.

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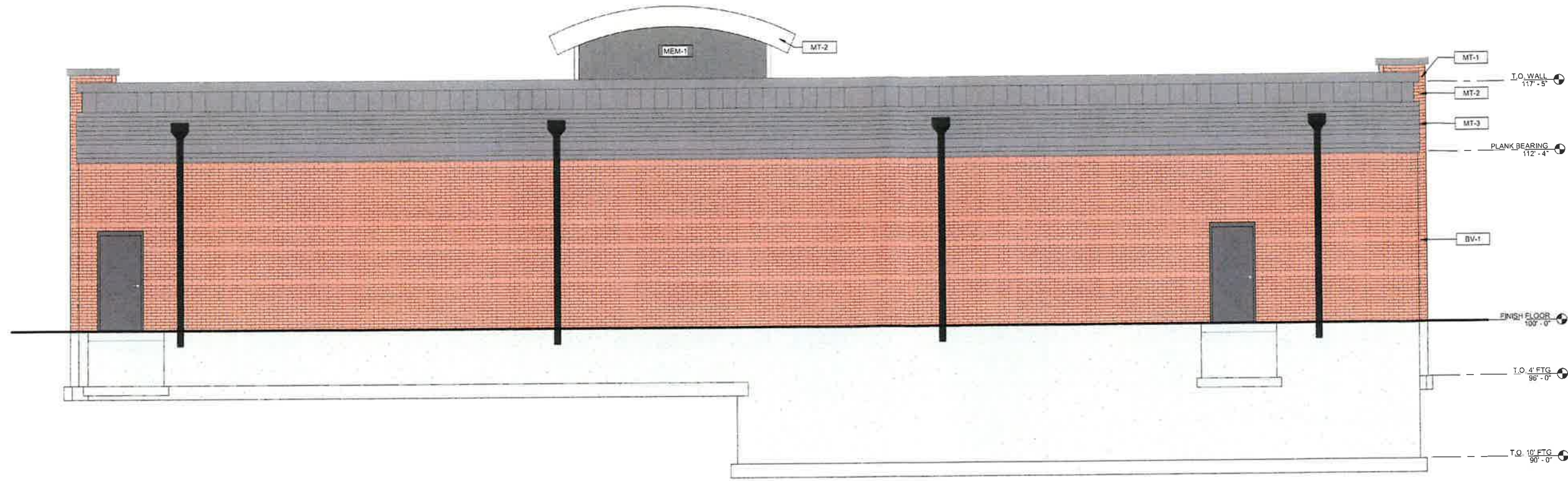
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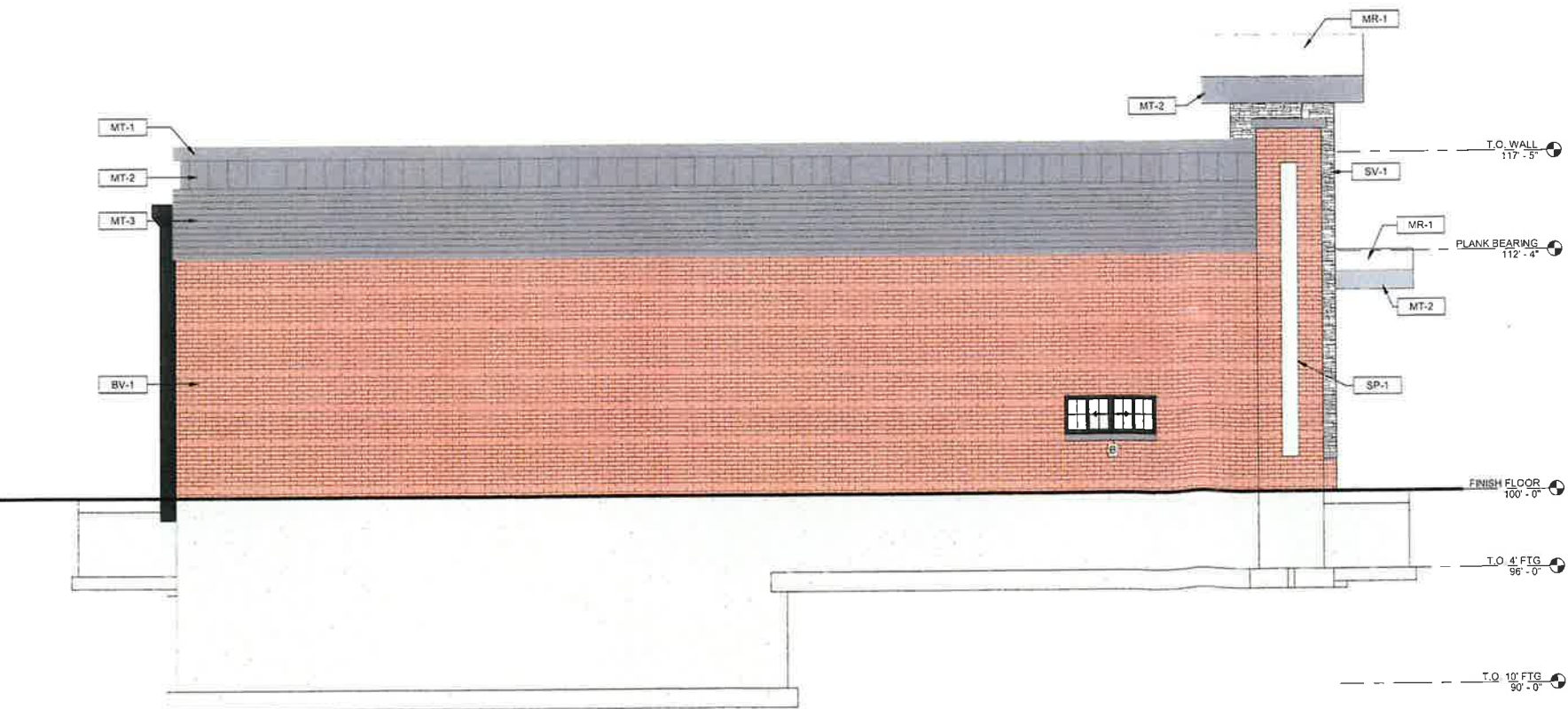
ELEVATION - EXTERIOR

A2.0



BUILDING ELEVATION - SOUTH

1/A2.1 SCALE = 1/4" = 1'-0"



BUILDING ELEVATION - EAST

2/A2.1 SCALE = 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
MT-1	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: .050 ALUMINUM COPING CAP SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: VERTICAL FASCIA PANELS MATERIAL: .032 ALUM. COMPOSITE MATERIAL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-3	LOCATION: NARROW HORIZ. FASCIA PANELS MATERIAL: METAL PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
EIFS-1	LOCATION: SIGN MATERIAL: EIFS PANELS SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
BV-1	LOCATION: BRICK VENEER MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
SV-1	LOCATION: STONE VENEER MATERIAL: NATURAL CUT STONE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
SP-1	LOCATION: VERTICAL STONE INSET MATERIAL: SOAPSTONE PANEL SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MR-1	LOCATION: CURVED ROOFS MATERIAL: STANDING SEAM METAL PANELS SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MEM-1	LOCATION: REAR OF ENTRY STRUCTURE MATERIAL: ROOF MEMBRANE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:

PROPOSED BUILDING FOR:

22-2833

CITY, WISCONSIN; COUNTY OF:

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(920) 371-2544

DRAWN BY: DPO/JRG

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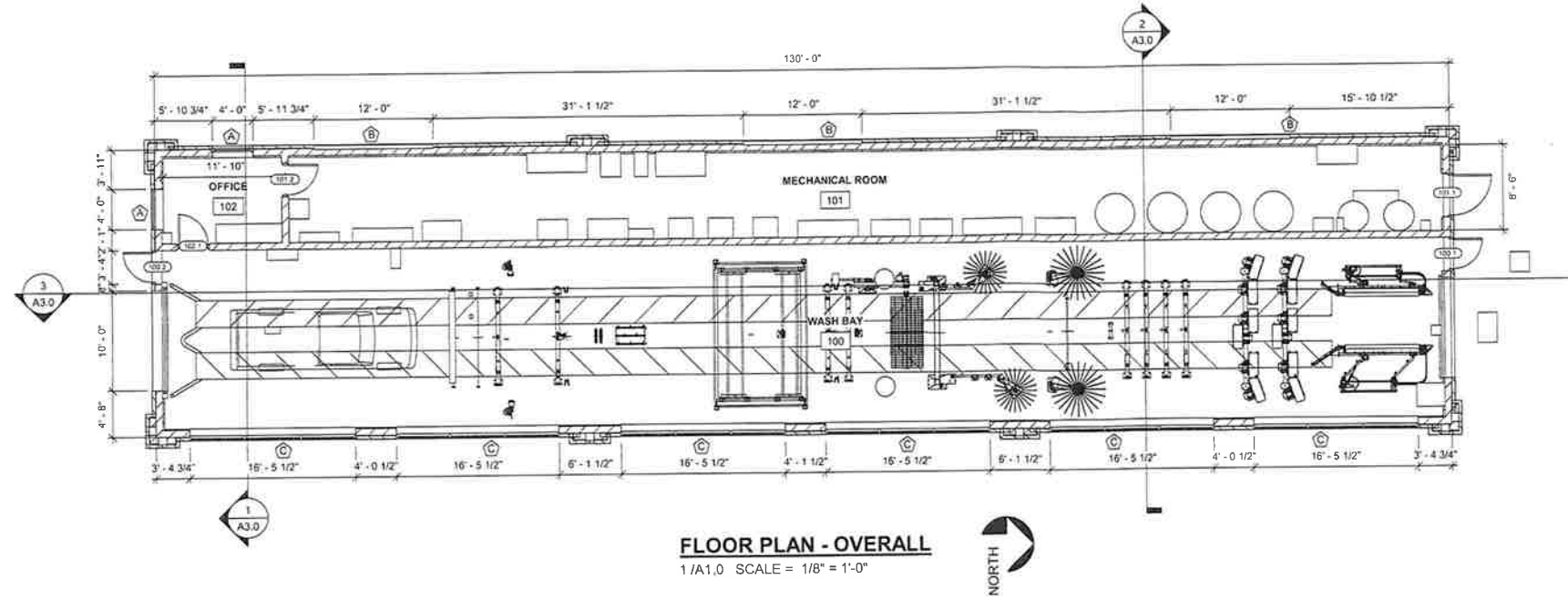
REVISIONS:

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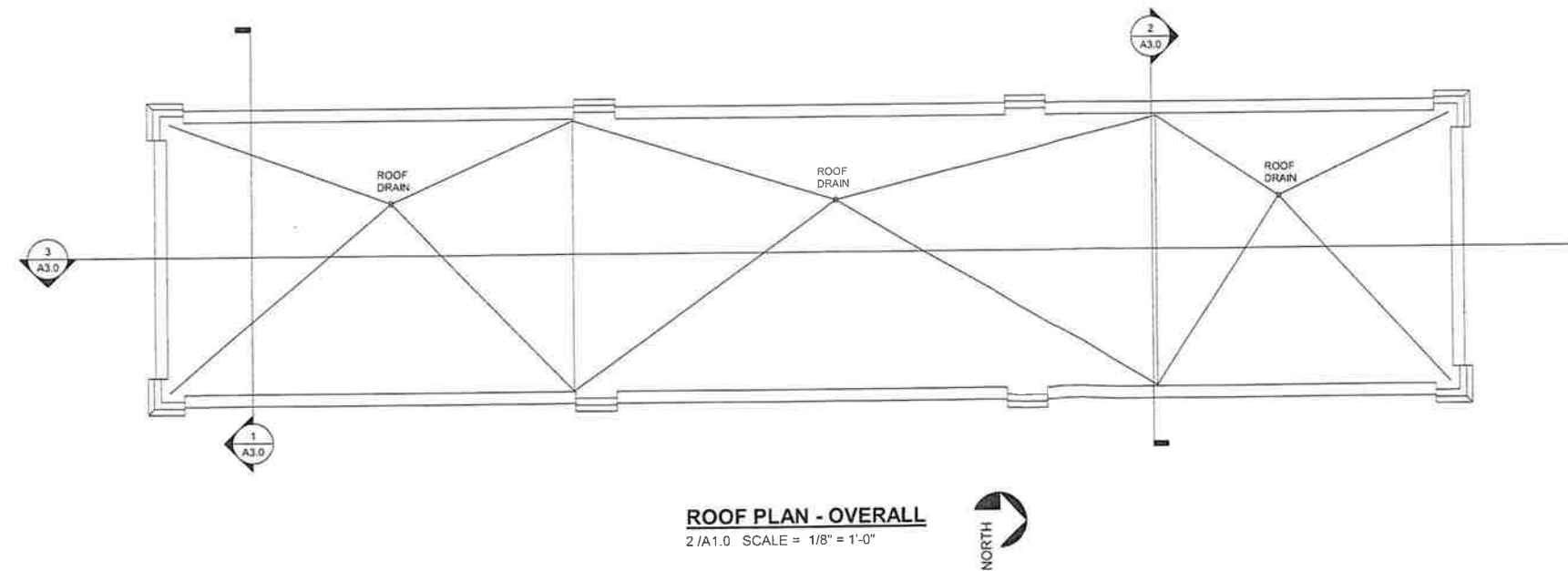
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- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

ELEVATION - EXTERIOR

A2.1



FLOOR PLAN - OVERALL
 1/A1.0 SCALE = 1/8" = 1'-0"



ROOF PLAN - OVERALL
 2/A1.0 SCALE = 1/8" = 1'-0"

PROPOSED BUILDING FOR:

22-2833

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DRAWN BY: JRG

DATE: 06/13/23

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OVERALL FLOOR PLAN

A1.0

PROPOSED BUILDING FOR:
22-2833
 CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

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(920) 371-2544

DRAWN BY: JRG

DATE: 06/13/23

REVISIONS:

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BY: _____

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EXTERIOR ELEVATIONS

A2.0

EXTERIOR FINISH LEGEND

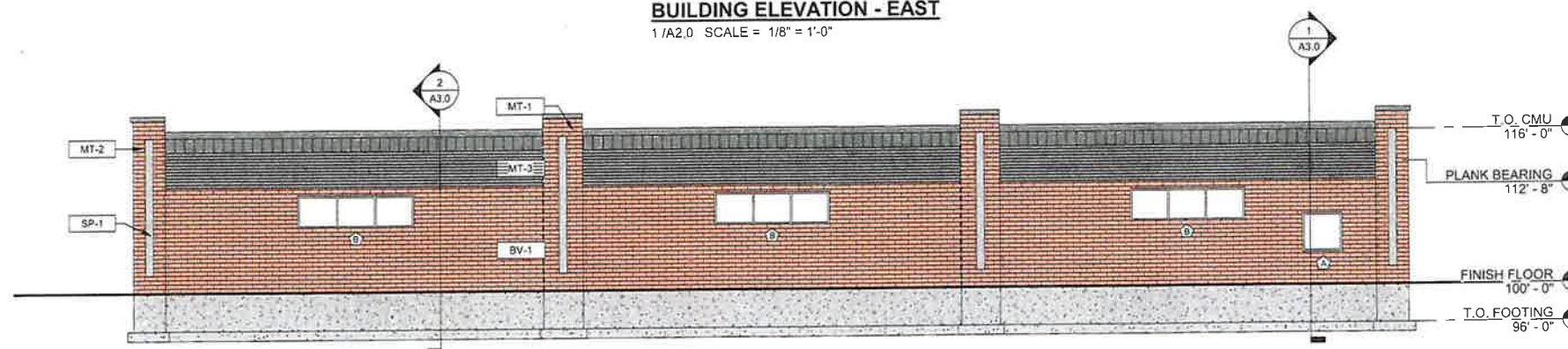
MARK DESCRIPTION

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MATERIAL: 050 ALUMINUM COPING CAP
SUPPLIER: VERIFY
COLOR: VERIFY
COMMENTS:
- MT-2** LOCATION: VERTICAL FASCIA PANELS
MATERIAL: 032 ALUM. COMPOSITE MATERIAL
SUPPLIER: VERIFY
COLOR: VERIFY
COMMENTS:
- MT-3** LOCATION: NARROW HORIZ FASCIA PANELS
MATERIAL: METAL PANEL
SUPPLIER: VERIFY
COLOR: VERIFY
COMMENTS:
- EIFS-1** LOCATION: HORIZ EXTERIOR SIDING
MATERIAL: 6" EIFS SYSTEM
SUPPLIER: VERIFY
COLOR: VERIFY
COMMENTS:
- BV-1** LOCATION: BRICK VENEER
MATERIAL: VERIFY
SUPPLIER: VERIFY
COLOR: VERIFY
COMMENTS:
- SP-1** LOCATION: VERTICAL STONE INSET
MATERIAL: SOAPSTONE PANEL
SUPPLIER: VERIFY
COLOR: VERIFY
COMMENTS:



BUILDING ELEVATION - EAST

1/A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - WEST

2/A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - NORTH

3/A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - SOUTH

4/A2.0 SCALE = 1/8" = 1'-0"

PLAN COMMISSION MEETING

VILLAGE OF HARRISON**From:**

Josh Sherman, Assistant Planner

Meeting Date:

July 18, 2023

Title:

Certified Survey Map (CSM) – Dale and Cindy Marx – Schmidt Rd

Issue:

Should the Plan Commission recommend approval of the Certified Survey Map?

Background and Additional Information:

The applicant is proposing to split a parcel into 2-lots by Certified Survey Map (CSM). The purpose of the CSM is to create a 1-lot residential parcel for a new home. The CSM would split 2.973 acres (Lot 1) from existing parcel 40526, which currently is 29.11 acres.

The applicant has applied to rezone the new lot to Rural Residential [RR] from General Agriculture [AG]. There is no controlled access on Schmidt Rd. west of State Hwy 55.

There are established residential lots zoned Rural Residential to the east and north of the proposed new lot. The applicant plans to keep the parent parcel 40526 zoned General Agriculture.

Recommended Action:

Staff recommends approval of the Certified Survey Map (CSM) request as submitted.

Attachments:

- Aerial Map
- CSM

Calumet County, WI

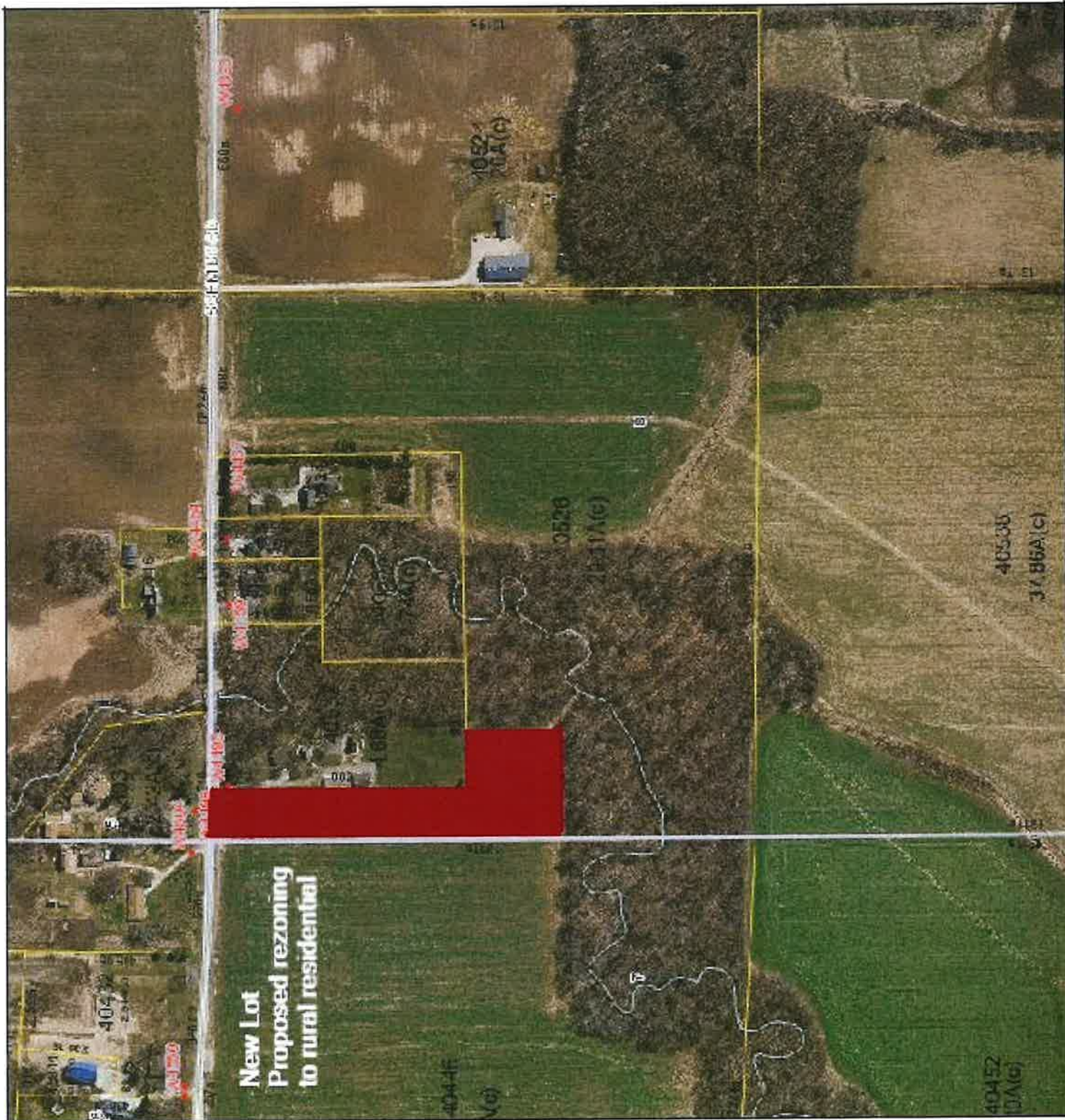
Legend

- Address Point
- County Boundary
- Water in Water
- Other Counties
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Mark
- PLSS Section
- State Parks
- County Parks
- Lake
- Road and Stream
- High Road
- Local Roads
- Town Name
- Unplatted
- Trail
- Railroad
- Color 2001
- See Map
- Overlays
- See Map



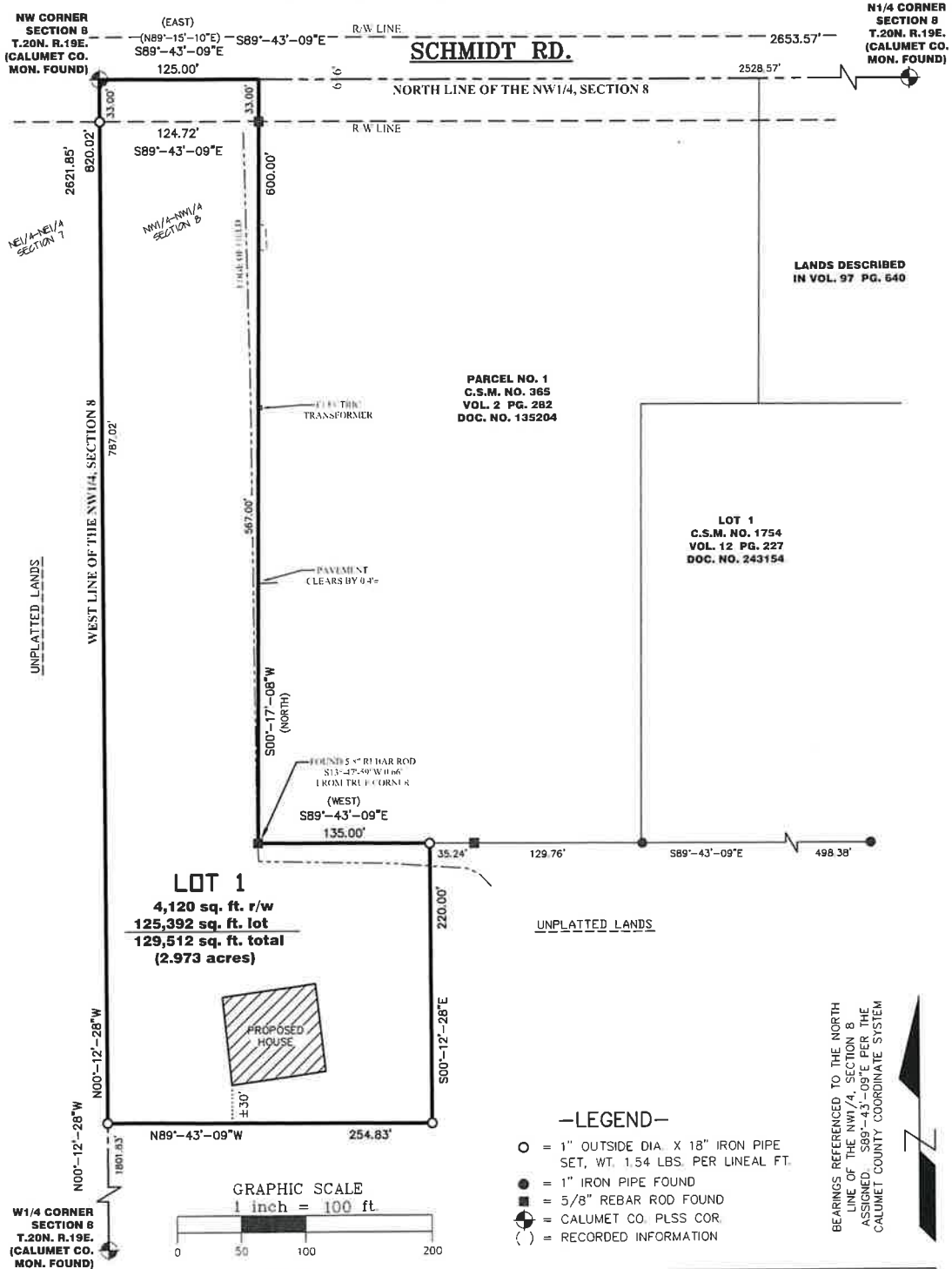
DISCLAIMER: This map is not guaranteed to be accurate, current, complete and conclusions drawn are the responsibility of the user.

Scale	
Code in File	
Map No. - 11 00	



CERTIFIED SURVEY MAP NO. _____

A PART OF THE NW1/4-NW1/4, SECTION 8,
T.20N., R.19E., VILLAGE OF HARRISON,
CALUMET COUNTY, WISCONSIN.



SURVEYED FOR:
DALE MARX
NB296 C.T.H. "M"
MENASHA, WI 54952

MERIDIAN
SURVEYING, LLC

2020 Madison Street Office: 920-993-0881
 New Holstein, WI 53061 Fax: 920-273-6037

DRAWN BY: JD	FIELD WORK DATE: 6-23-23
CHECKED BY: BB	FIELD BOOK: X
JOB NO.: 14697	SHEET 1 OF 4

CERTIFIED SURVEY MAP NO. _____
PART OF THE NW1/4 OF THE NW1/4 OF SECTION 8, T.20N., R.19E.,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN
Sheet 2 of 4

SURVEYOR'S CERTIFICATE

I, Bradley A. Buechel, Wisconsin Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed, divided, and mapped under the direction of Dale Marx, part of the Northwest Quarter (NW1/4) of the Northwest Quarter (NW1/4) of Section Eight (8), Township Twenty (20) North, Range Nineteen (19) East, Village of Harrison, Calumet County, Wisconsin containing 129,512 square feet (2.973 acres) of land and being described by:

Beginning at the northwest corner of said Section 8; thence S89°-43'-09"E along the north line of the NW1/4 of said Section 8, a distance of 125.00 feet to the northwest corner of Certified Survey Map No. 365, recorded in Volume 2 of Certified Survey Maps on Page 282 as Document No. 135204 of Calumet County Records; thence S00°-17'-08"W 600.00 feet to the southwest corner of said Certified Survey Map No. 365; thence S89°-43'-09"E along the south line of said Certified Survey Map No. 365, a distance of 135.00 feet; thence S00°-12'-28"E 220.00 feet; thence N89°-43'-09"W 254.83 feet to the west line of said NW1/4; thence N00°-12'-28"W along said west line, a distance of 820.02 feet to the point of beginning; being subject to any all easements and restrictions of record.

That such is a correct representation of all exterior boundaries of the land surveyed.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Land Subdivision Ordinance of the Village of Harrison in surveying, dividing, dedicating, monumenting, and mapping the same.

Dated this _____ day of _____, 2023.

Wisconsin Professional Land Surveyor
Bradley A. Buechel, S-2613

Survey Notes:

- Surveyed lands are contained wholly within Parcel No. 40526
- Surveyed lands are contained wholly within Document No. 460656
- Owner(s) of Record: Dale M. and Cynthia S. Marx

CERTIFIED SURVEY MAP NO. _____
PART OF THE NW1/4 OF THE NW1/4 OF SECTION 8, T.20N., R.19E.,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

Sheet 3 of 4

OWNER'S CERTIFICATE

As owner(s), I (we) hereby certify that I (we) caused the land described on this map to be surveyed, divided and mapped as represented on this map. I (we) also certify that this map is required by S. 236.34 to be submitted to the following for approval or objection: Village of Harrison

Dated this _____ day of _____, 2023.

Dale M. Marx

Cynthia S. Marx

STATE OF WISCONSIN)
CALUMET COUNTY) SS

Personally came before me this _____ day of _____, 2023, the above named owner(s) to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, Calumet County, Wisconsin

My Commission Expires _____

Dated this _____ day of _____, 2023.

Wisconsin Professional Land Surveyor
Bradley A. Buechel, S-2613

CERTIFIED SURVEY MAP NO. _____
PART OF THE NW1/4 OF THE NW1/4 OF SECTION 8, T.20N., R.19E.,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN
Sheet 4 of 4

VILLAGE OF HARRISON CERTIFICATE

This Certified Survey Map in Section 8, Township 20 North, Range 19 East, Village of Harrison, Calumet County, Wisconsin, is hereby approved.

Village of Harrison - President

Date

Village of Harrison - Clerk

Date

VILLAGE TREASURER'S CERTIFICATE

I being the duly elected qualified and acting treasurer of the Village of Harrison, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid assessments as of this _____ day of _____, 2023 on any lands included in this Certified Survey Map.

Village of Harrison - Treasurer

Date

COUNTY TREASURER'S CERTIFICATE

I being the duly elected qualified and acting treasurer of the County of Calumet, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid assessments as of this _____ day of _____, 2023 on any lands included in this Certified Survey Map.

Dated

County Treasurer:

Dated this _____ day of _____, 2023.

Wisconsin Professional Land Surveyor
Bradley A. Buechel, S-2613

PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Josh Sherman, Assistant Planner

Meeting Date:

July 18, 2023

Title:

Zoning Map Amendment (Rezoning) – Dale and Cindy Marx – Schmidt Rd

Issue:

Should the Plan Commission recommend approval of a zoning map amendment (rezoning) to the Village Board?

Background and Additional Information:

The applicant is proposing to rezone property located on Schmidt Rd from General Agriculture [AG] to Rural Residential [RR]. The proposed location is a new lot, created by a Certified Survey Map, that abuts site address W4495 Schmidt Rd to the West and South.

The purpose of the rezoning is to create a 1-lot residential parcel for a new home. The Comprehensive Plan and Future Land Use Map identifies this property as ‘Ag, Vacant, Undeveloped.’ The Rural Residential [RR] district is intended to be approved in areas identified as Single Family Residential (unsewered), Farmstead Homes and Ag, Vacant, Undeveloped on the future land use map in the Comprehensive Plan. The proposed rezoning is consistent with the Comprehensive Plan.

Findings of Fact:

- Staff finds that the Rezoning request complies with the Future Land Use Map as part of the Comprehensive Plan of the Village of Harrison.
- Property owners within 300-feet of the subject property have been notified via first-class mail.

Recommended Action:

Staff recommends approval of the Zoning Map Amendments from General Agriculture [AG] to Rural Residential [RR] as submitted.

Attachments:

- Aerial Map
- Rezoning Survey Map
- Zoning Map

Calumet County, WI

Legend

- Address Point
- County Boundary
- Wisconsin Water
- Other Counties
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Mark
- PLSS Section
- State Parks
- County Parks
- Lake
- Road and Stream
- Major Road's
- Local Roads
- Trailways
- Interstates
- Rail
- Railroad
- Other 2021
- See Also:
- See Also?
- See Also?



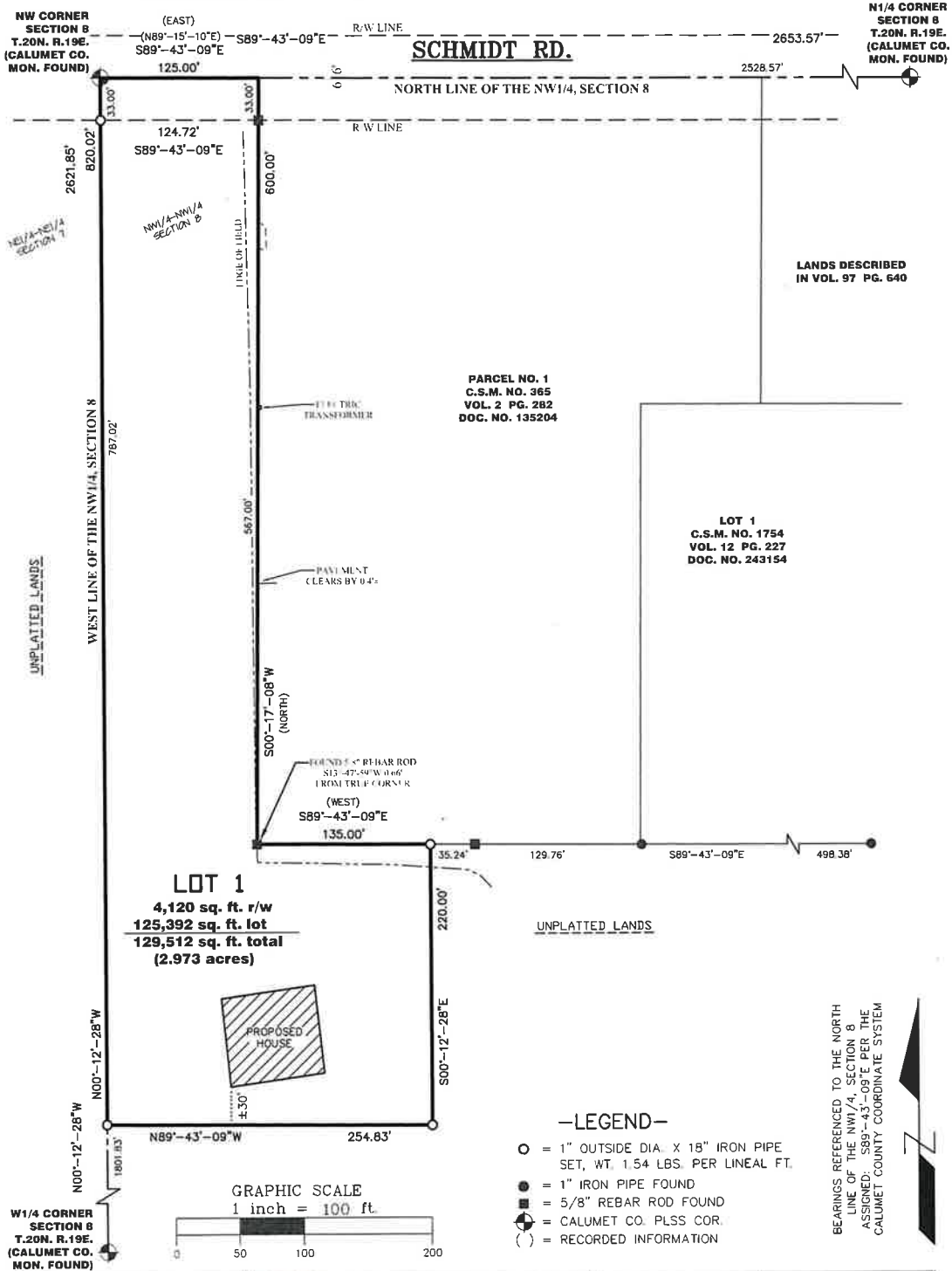
DISCLAIMER: This map is not guaranteed to be accurate, correct, or complete and the user assumes all responsibility of the information shown on this map.

Title: _____ Date: _____ Author: _____ Version: _____



CERTIFIED SURVEY MAP NO. _____

**A PART OF THE NW1/4-NW1/4, SECTION 8,
T.20N., R.19E., VILLAGE OF HARRISON,
CALUMET COUNTY, WISCONSIN.**

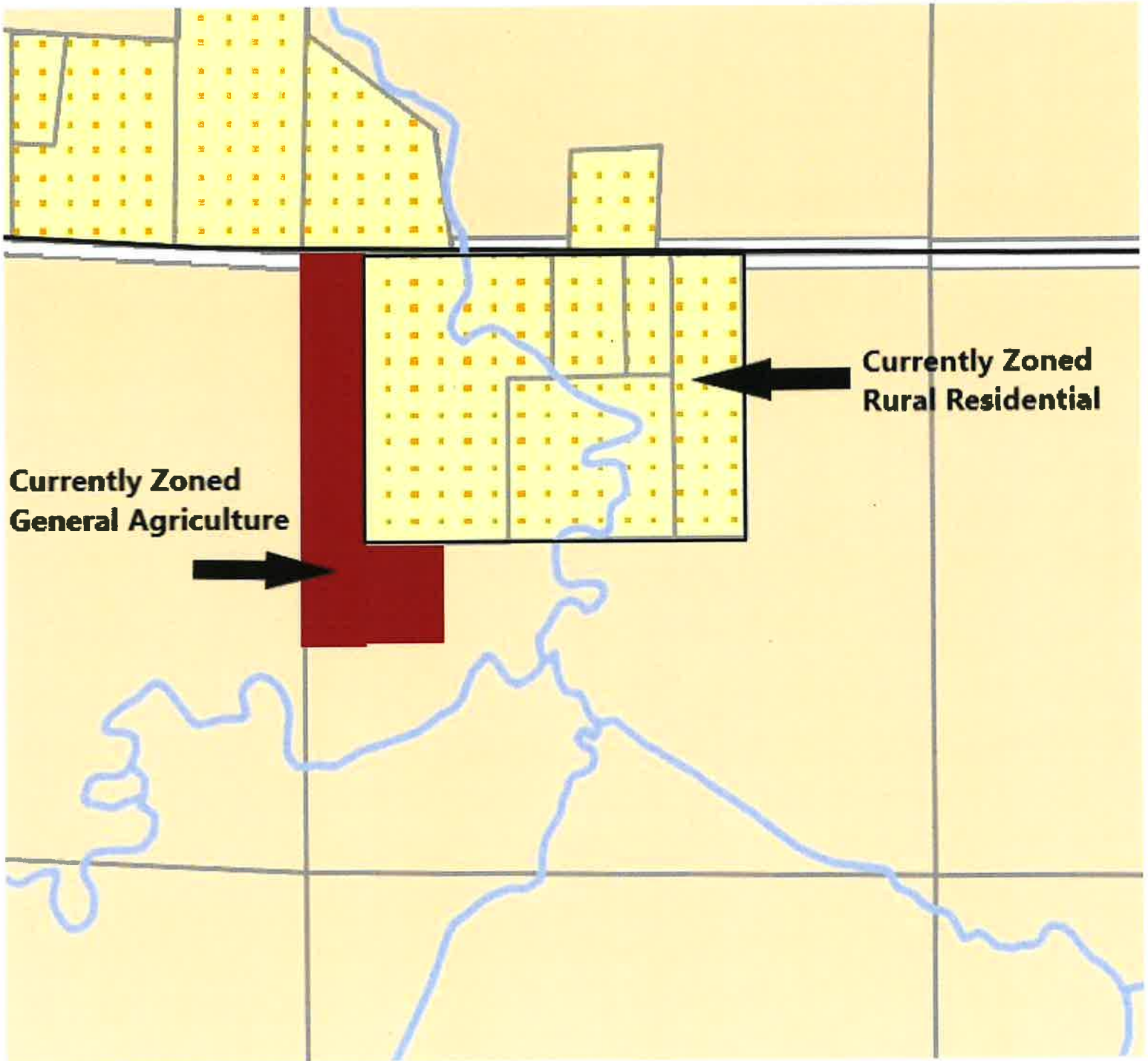


SURVEYED FOR:
DALE MARX
N8296 C.T.H. "M"
MENASHA, WI 54952

MERIDIAN
SURVEYING, LLC

2020 Madison Street Office: 920-993-0881
New Holstein, WI 53061 Fax: 920-273-6037

DRAWN BY: JD	FIELD WORK DATE: 6-23-23
CHECKED BY: BB	FIELD BOOK: X
JOB NO.: 14697	SHEET 1 OF 4



PLAN COMMISSION MEETING

VILLAGE OF HARRISON

From:

Josh Sherman, Assistant Planner

Meeting Date:

July 18, 2023

Title:

Certified Survey Map (CSM) – Don Mielke – Mielke Rd

Issue:

Should the Plan Commission recommend approval of the Certified Survey Map?

Background and Additional Information:

The applicant is proposing to split a parcel into 2-lots by Certified Survey Map (CSM). The purpose of the CSM is to create a 1-lot residential parcel for a new home. The CSM would split 1.215 acres (Lot 1) from existing parcel 43796, which currently is 19.34 acres of Ag land. The proposed new lot is already zoned Rural Residential [RR]. Parent parcel 43796 would remain zoned General Agriculture [AG].

There are established residential lots zoned Rural Residential to the west of the proposed new lot while the land to the east is zoned General Agricultural.

Recommended Action:

Staff recommends approval of the Certified Survey Map (CSM) request as submitted.

Attachments:

- Aerial Map
- CSM

Calumet County, WI

Legend

- Address Point
- County Boundary
- Wisconsin Water
- Other Counties
- Unincorporated Community
- Town Boundary
- Point of Interest
- Parcel Boundary
- Property Mark
- PLSS Section
- State Parks
- County Parks
- Lake
- Pave and Stream
- Major Roads
- Local Roads
- Traffic
- Interchange
- Rail
- Railroad
- Date 2021
- Use Item
- Boundary
- Use Item



DISCLAIMER: This map or not guaranteed to be accurate, current, or complete and Calumet County, WI is not responsible for the conclusions drawn on this map.

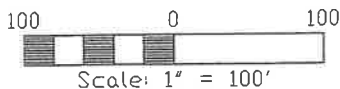
Scale	1:100,000
Scale File	PR_000_000.dwg
Scale	3/20/2021



PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY,
WISCONSIN.



James G. Mayer
May 23, 2023.

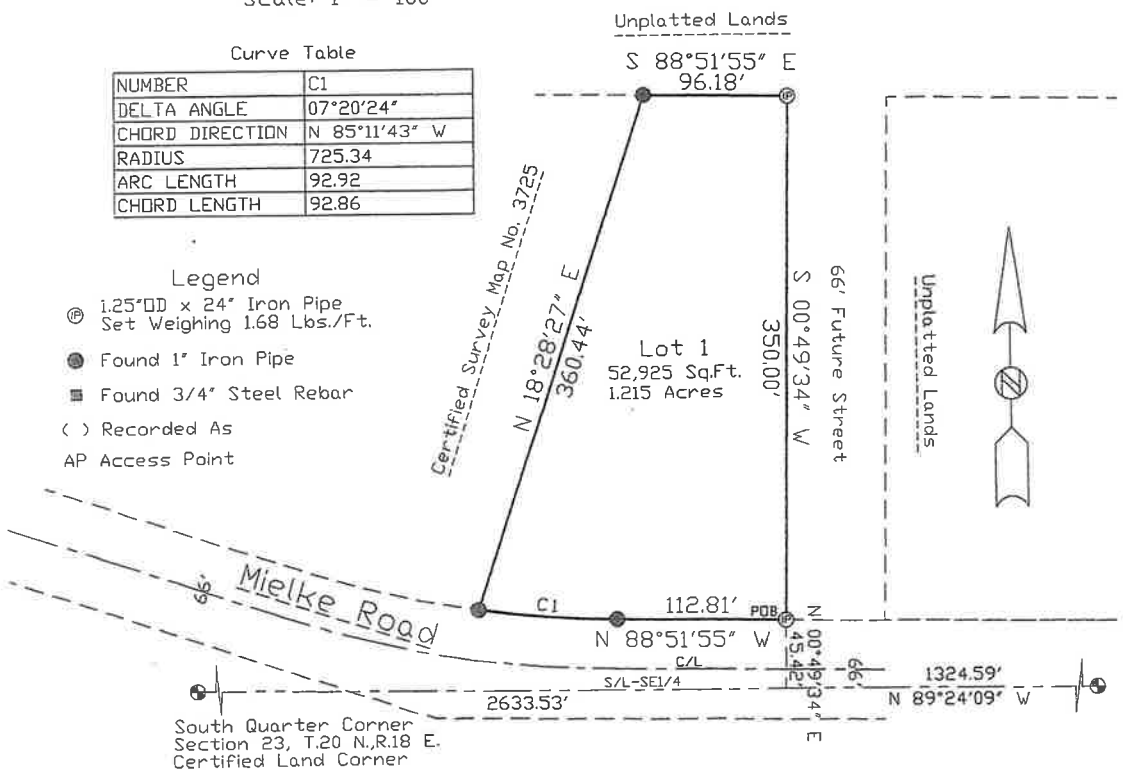


Curve Table

NUMBER	C1
DELTA ANGLE	07°20'24"
CHORD DIRECTION	N 85°11'43" W
RADIUS	725.34
ARC LENGTH	92.92
CHORD LENGTH	92.86

Legend

- ⊙ 1.25"OD x 24" Iron Pipe Set Weighing 1.68 Lbs./Ft.
- Found 1" Iron Pipe
- Found 3/4" Steel Rebar
- () Recorded As
- AP Access Point



JAMES MAYER
W 5460 MIELKE ROAD
MENASHA, WI. 920-418-2343

SURVEYED FOR
DONALD R. MIELKE
W5484 MIELKE ROAD
MENASHA, WI

C:\Projets\MielkeDon18\csm3.dwg
BEARINGS REFERENCED TO COUNTY
DATUM SOUTH LINE OF THE SOUTHEAST
QUARTER BEARS NORTH 89°24'09" WEST.
THIS INSTRUMENT DRAFTED BY J.G. MAYER"
NOTEBOOK NO.44 PAGE 39.

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, James G. Mayer, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed, divided, and mapped under the direction of Donald R. Mielke, part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 20 North, Range 18 East, Village of Harrison, (formerly Town of Harrison), Calumet County, Wisconsin containing 52,925 square feet or 1.215 acres of land and described as follows.

Commencing at the Southeast Corner of said Section 23, thence North 89°24'09" West a distance of 1,324.59 feet along the south line of the southeast quarter; thence North 00°49'34" East a distance of 45.42 feet to the north right-of-way line of Mielke Road and the point of beginning; thence North 88°51'55" West a distance of 112.81 feet along the north right-of-way line to a point of curvature; thence 92.92 feet along the arc of a 725.34 foot radius curve to the right, with a chord bearing of North 85°11'43" West a distance of 92.86 feet and a central angle of 07°20'24" along the north right-of-way line; thence North 18°28'27" East a distance of 360.44 feet; thence South 88°51'55" East a distance of 96.18 feet; thence South 00°49'34" West a distance of 350.00 feet to the point of beginning. Subject to all easements and restrictions of record. Liability hereunder is expressly limited to the cost of this survey.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division made thereof. That I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the Village of Harrison in surveying, dividing and mapping such lands.

Dated this 23 day of May, 2023.

James G. Mayer
James G. Mayer, S-1273
Wis. Professional Land Surveyor



OWNER'S CERTIFICATE

As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided mapped and dedicated as represented on the plat. I (we) also certify that this plat is required by s. 236.10 or s. 236.12 to be submitted to the following for approval or objection: Village of Harrison.

Dated this 27 day of June, 2023.

Donald R. Mielke
Donald R. Mielke, Owner

State of Wisconsin)
Calumet County) ss

Personally came before me on the 27th day of June, 2023, the above named owners to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires: January 29, 2026

Mary VanDenWymelenberg
Notary Public, Calumet County, Wisconsin



PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY,
WISCONSIN.

VILLAGE BOARD CERTIFICATE

Resolved that the above certified survey map in the Village of Harrison was approved by the Village Board on
this _____ day of _____, 2023.

Village President

Village Clerk

VILLAGE TREASURER'S CERTIFICATE

I being the duly elected qualified and acting village treasurer of the Village of Harrison, do hereby certify that in
accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of
_____, 2023 on any of the lands included in this Certified Survey Map.

Village Treasurer

Date

COUNTY TREASURER'S CERTIFICATE

I being the duly elected qualified and acting treasurer of the County of Calumet, do hereby certify the records in
my office show unredeemed tax sales and no unpaid taxes or special assessments as of
_____, 2023 affecting the lands included in this Certified Survey Map.

County Treasurer

Date

Notes:

This CSM is part of tax parcel no. 43796. This CSM is contained wholly within the property described in the
following recorded instrument: Doc. No. 356788. The property owner of record is Donald R. Mielke, W5484
Mielke Road, Menasha WI 54952.



**Village of Harrison
June-23 Zoning Permit Report**

	Current Year			Previous Year		
	Permits	YTD Permits	Estimated Value	YTD Permits	Estimated Value	YTD Estimate Value
Residential						
Single Family	1	56	\$ 500,000	30	\$ 1,130,000	\$ 11,864,150
Two Family (units)	0	(0)	\$ 0	2	\$ 600,000	\$ 1,200,000
Multi Family (units)	0	(0)	\$ 0	0	\$ 0	\$ 0
Additions	0	5	\$ 0	6	\$ 14,000	\$ 259,000
Acc. Structures	5	16	\$ 72,200	10	\$ 110,841	\$ 245,341
Miscellaneous	22	61	\$ 328,000	57	\$ 240,467	\$ 581,657
Total Residential	28	138	\$ 900,200	105	\$ 2,095,308	\$ 14,150,148
Com./Ind.						
New	1	2	\$ 400,000	1	\$ 800,000	\$ 800,000
Additions	0	1	\$ 0	1	\$ 0	\$ 5,000,000
Acc. Structures	0	3	\$ 0	0	\$ 0	\$ 0
Miscellaneous	0	3	\$ 0	9	\$ 187,300	\$ 550,285
Total Com./Ind.	1	9	\$ 400,000	11	\$ 987,300	\$ 6,350,285
Combined Total	29	147	\$ 1,300,200	116	\$ 3,082,608	\$ 20,500,433

Number of Vacant Lots Remaining
144